

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING DEPARTMENT

Please Read Application And Notes, If Any, Attached

Permit Number: 090575

RECEIVED  
JUN 15 2007

This is to certify that SAVASTANO ANTHONY & JUDY-MAR Deane MacB

has permission to amend permit#080267 to add approx. 460 sq ft to existing & permitted deck

AT 0 NANCY LN Great Diamond Island

CB 083C/C001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*Thomas M. Miller* 6/15/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

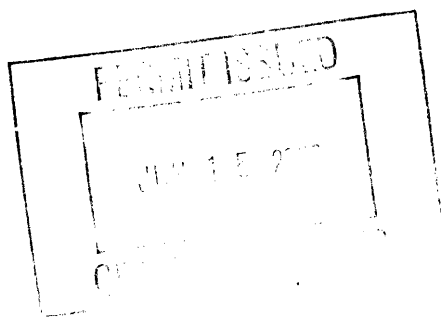
Permit No: 09-0575	Issue Date:	CBL: 083C C001001
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Location of Construction: (14) 0 NANCY LN Great Diamond Islan	Owner Name: SAVASTANO ANTHONY & JUD	Owner Address: 2983 HOLIDAY COURT	Phone:
Business Name:	Contractor Name: Deane MacBeth	Contractor Address: 72 Things Mill Road Shapleigh	Phone 2075760467
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: I-B/IR

Past Use: Single Family Home	Proposed Use: Single Family Home - amend permit#080267 to add approx. 460 sq ft to existing & permitted deck	Permit Fee: \$30.00	Cost of Work: \$30.00	CEO District: 1
Proposed Project Description: amend permit#080267 to add approx. 460 sq ft to existing & permitted deck		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB	
		Signature:	Signature: <i>JM</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 06/05/2009	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland building located in <input type="checkbox"/> Wetland I-B zone (backyard 75' setback) <input type="checkbox"/> Flood Zone panel 9 - zone C <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ conditions Date: 6/10/09 <i>ABN</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied OK. Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0575	<b>Date Applied For:</b> 06/05/2009	<b>CBL:</b> 083C C001001
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<b>Location of Construction:</b> 0 NANCY LN Great Diamond Islan	<b>Owner Name:</b> SAVASTANO ANTHONY & JUD	<b>Owner Address:</b> 2983 HOLIDAY COURT	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Deane MacBeth	<b>Contractor Address:</b> 72 Things Mill Road Shapleigh	<b>Phone</b> (207) 576-0467
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Amendment to Single Family	

<b>Proposed Use:</b> Single Family Home - amend permit#080267 to add approx. 460 sq ft to existing & permitted deck	<b>Proposed Project Description:</b> amend permit#080267 to add approx. 460 sq ft to existing & permitted deck
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 06/10/2009	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Note:</b>				
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 06/05/2009	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Note:</b>				
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.				

<b>Comments:</b>
6/15/2009-tm: this is amendment for permit# 080267
6/9/2009-mes: returned to Lannie to put the island on the permit - 2nd time in less than a week



# General Building Permit Application

ADDENDUM TO PERMIT NO: 08-0267

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>O NANCY LANE (#9) GREAT DIAMOND ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>ADD ON 460 SF TO EXISTING PERMITTED DECK</u>	Square Footage of Lot <u>5 1/2 ACRES</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>083C</u> Block# <u>0001</u> Lot# <u>001</u>	Applicant * <b>must be owner, Lessee or Buyer</b> * Name <u>ANTHONY &amp; JUDY SAVASTRANO</u> Address <u>PO BOX 7957</u> City, State & Zip <u>PORTLAND, ME 04112</u>	Telephone: <u>207-766-2389 HOME</u> <u>408-710-7080 CELL</u>
Lessee/DBA (If Applicable) <u>NA</u>	Owner (if different from Applicant) Name Address <u>NA</u> City, State & Zip	Cost Of <del>IN ORIGINAL</del> <u>POST</u> Work: \$ <u>SUBMITTED 3/25/2008</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>0</u> Proposed Specific use: <u>OUTSIDE DECK</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>ADD ON APPROX. 460 SF TO EXISTING + PERMITTED DECK</u>		
Contractor's name: <u>DEANE MAC BETH</u> Address: <u>72 THINGS MILL ROAD</u> City, State & Zip: <u>SHADLEIGH, ME</u> Telephone: <u>207-576-0467</u> Who should we contact when the permit is ready: <u>JUDY SAVASTRANO</u> Telephone: <u>207-766-2839 HOME</u> Mailing address: <u>PO BOX 7957, PORTLAND, ME 04112</u> <u>408-710-7080 CELL</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 06/05/2009

This is not a permit; you may not commence ANY work until the permit is issue

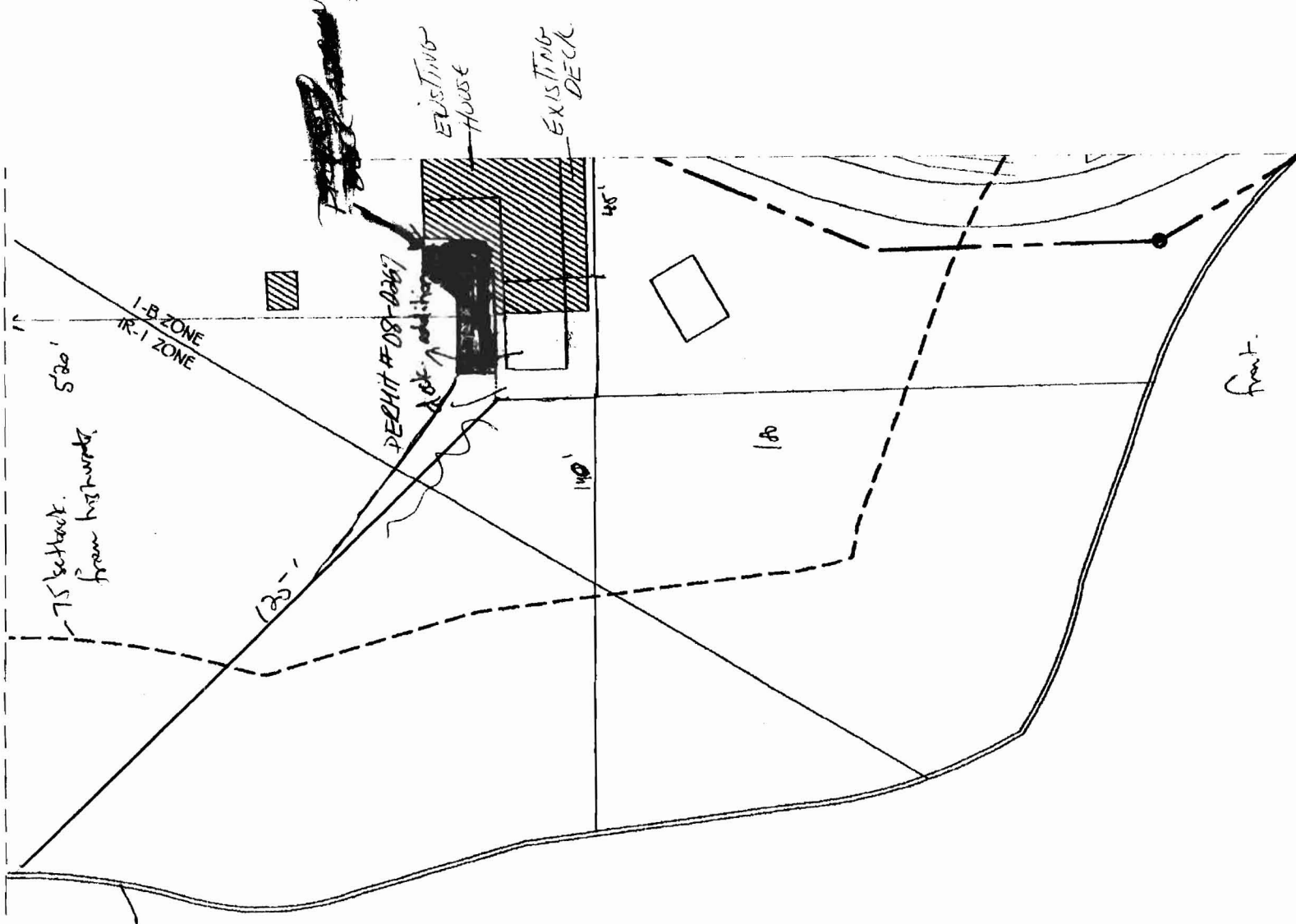
Anthony Savastrano Judy Savastrano

# PACKET CONTENTS

06/05/2009

- A. GENERAL BUILDING PERMIT APPLICATION  
ADDENDUM TO ORIGINAL PERMIT NO: 08-0267  
SUBMITTED 3/25/2008  
PERMITTED 4/11/2008 - ZONING  
5/08/2008 - BUILDING
- B. PROPOSED DECK ADD ON DETAILS  
SITE VIEW  
RAILING DETAILS
- C. ORIGINAL DECK DETAILS  
ORIGINAL SITE VIEW  
ORIGINAL RAILING DETAILS
- D. BUILDING PERMIT NO: 08-0267  
BUILDING PERMIT APPLICATION

JUN - 5 2009



~~rear 140'~~

Spring  
highway

\* beyond 75' setback - storage land

side rear setback - 10' min. - OK 60' to 75' setback

side 11' ~~24'~~

front - 20' or average - N/A

rear setback - 10' - ~~20'~~ well over 50'

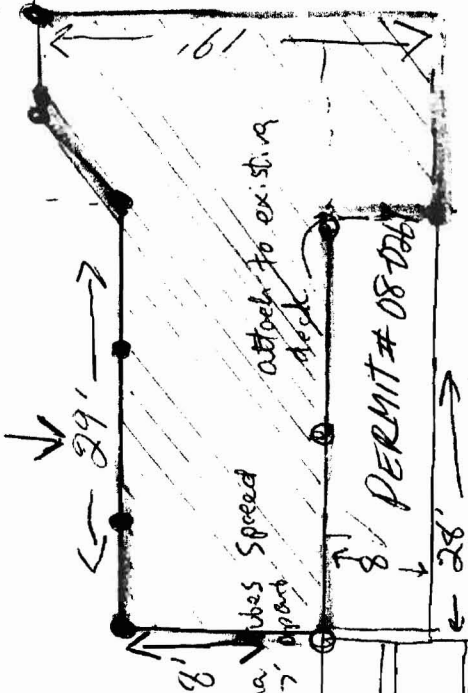
50% of lot = 127 loss - lot coverage ok.

1" = 40'

(B)

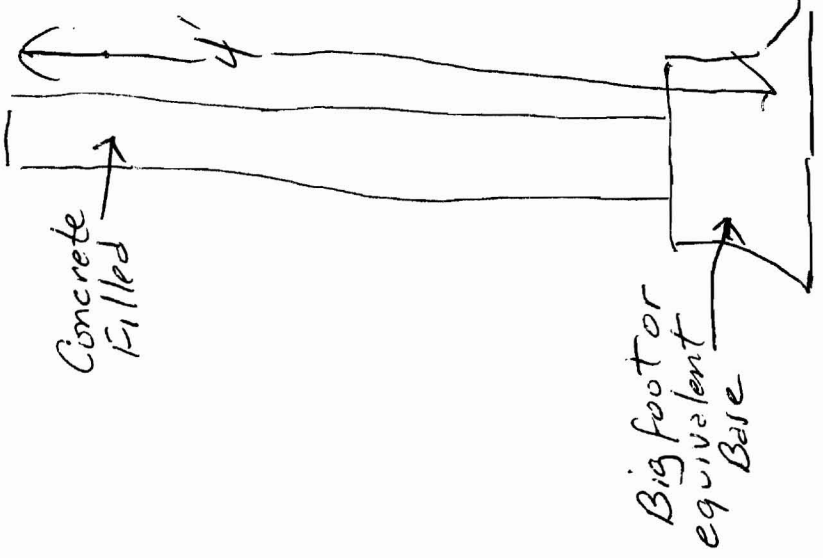
PROPOSED DECK  
ADD ON 4608

$$8 \times 29 = 232$$
$$12 \times 19 = \frac{228}{4}$$



EXISTING  
DECK

Sono Tubes



\* 4 Sono Tubes Spread approx 7" apart

PERMIT # 08-0266

2x8 p.t. ✓  
floor joist  
3/4" p.t. ✓  
decking

PERMIT # 08-0267

Deck Detail

Attach to existing deck

PERMIT # 08-0268

\* 4 Sono tubes Spread approx 7" apart

\* 5 Sono tubes Spread approx 7" apart

Deck detail

Existing house

2x10s  
N.H.  
Weld  
Lap  
approx 10"

37'

28'

29'

28'

19'

12'

8'

28'

PERMIT # 08-0267

\* 4 Sono tubes Spread approx 7" apart

Deck detail

Existing house

2x10s  
N.H.  
Weld  
Lap  
approx 10"

37'

28'

29'

28'

19'

12'

8'

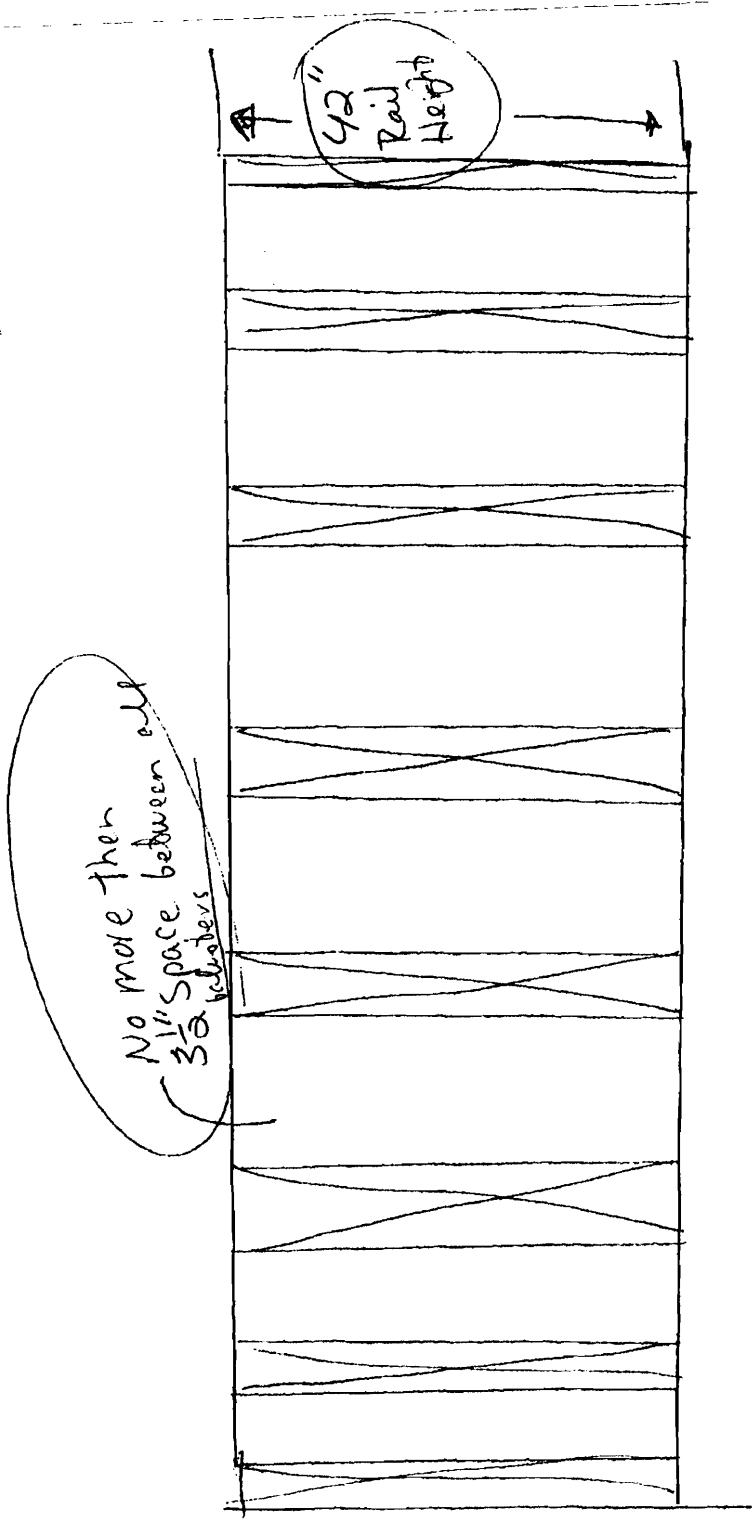
28'

PERMIT # 08-0267

\* 4 Sono tubes Spread approx 7" apart

Deck detail

Savastana  
Railing detail

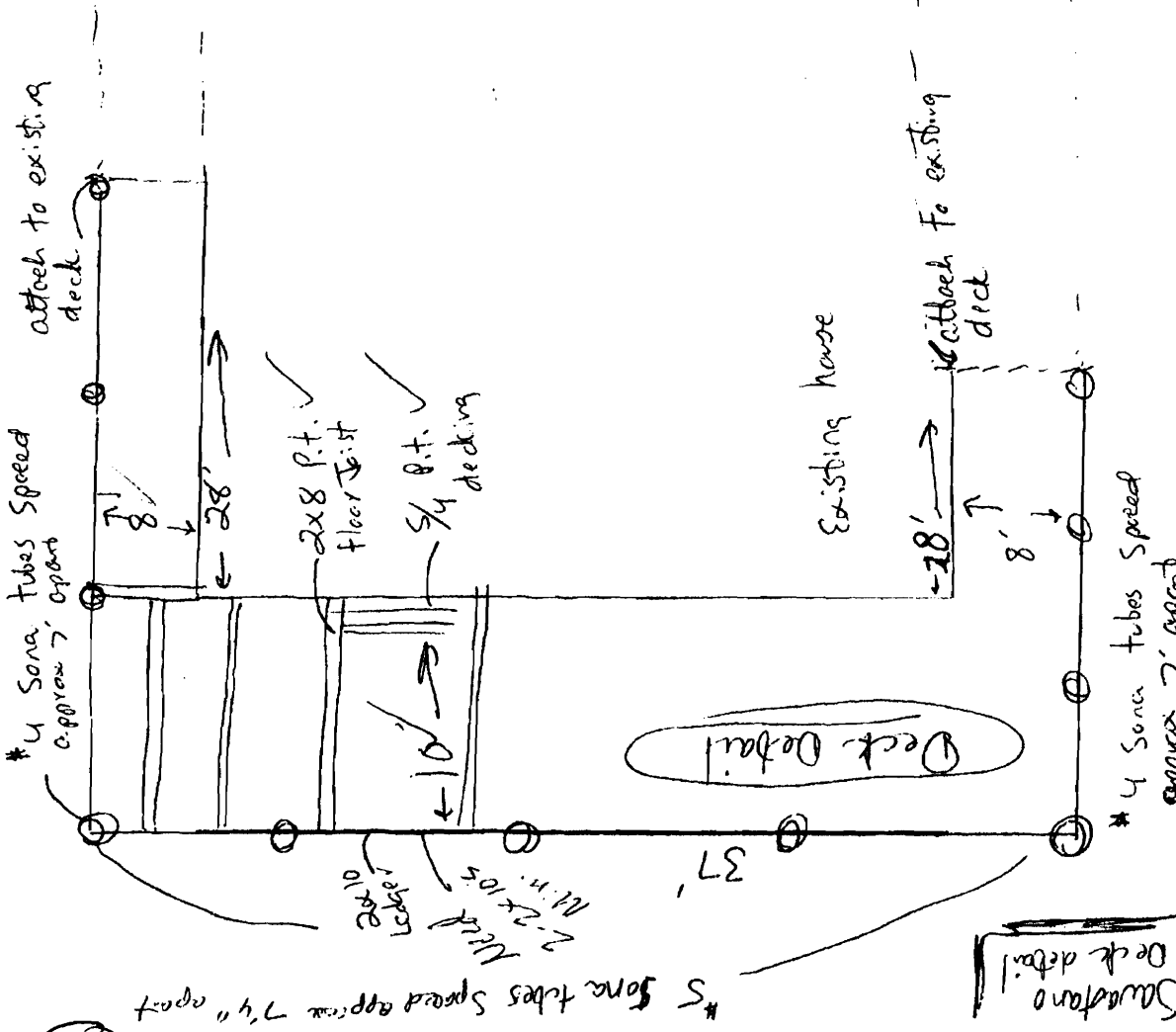


42"  
Rail  
Height

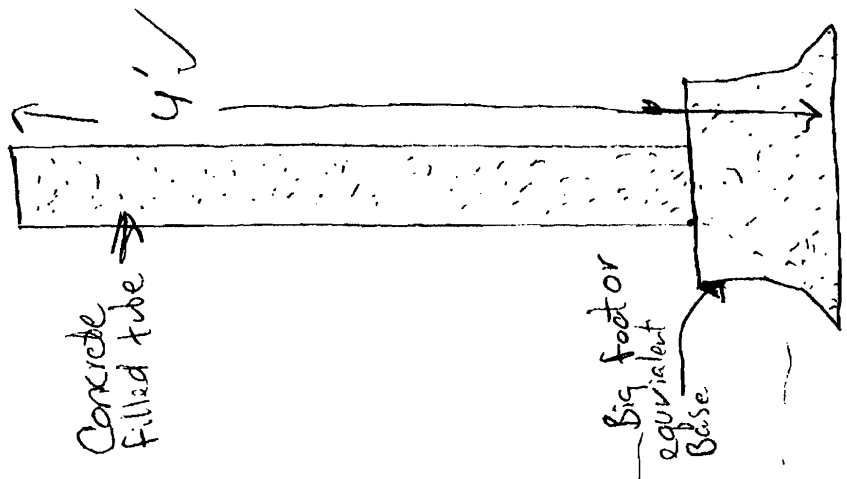
No more than  
3 1/2" space between all  
balusters



C.



Sona tubes



NOTE: SUBMITTED WITH ORIGINAL 3/25/2008 PERMIT APPLICATION

PERMITTED & APPROVED: ZONING 4/11/2008  
BUILDING 5/08/2008

Deck detail

Deck Detail

1" = 40'

front.

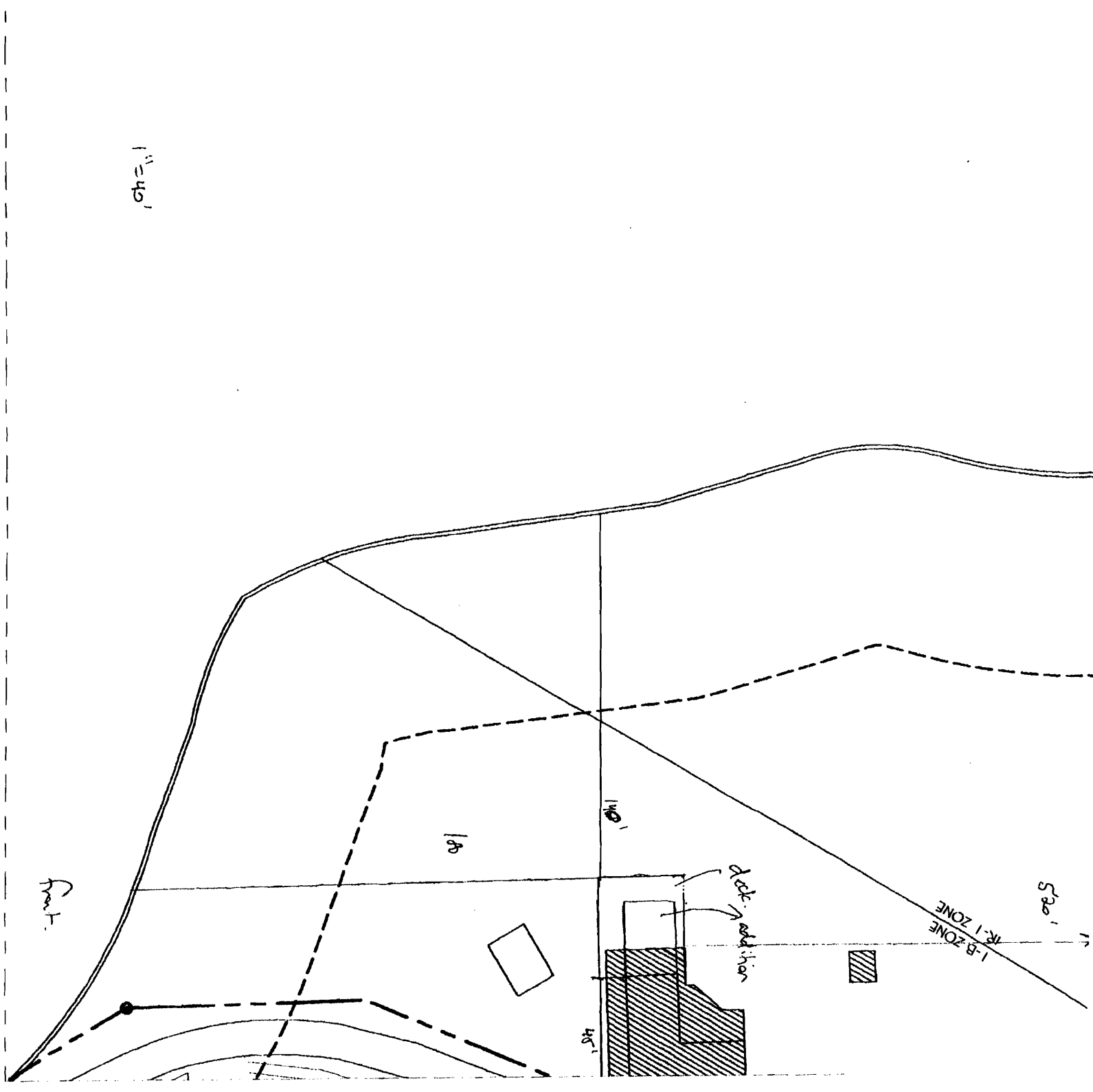
100'

100'

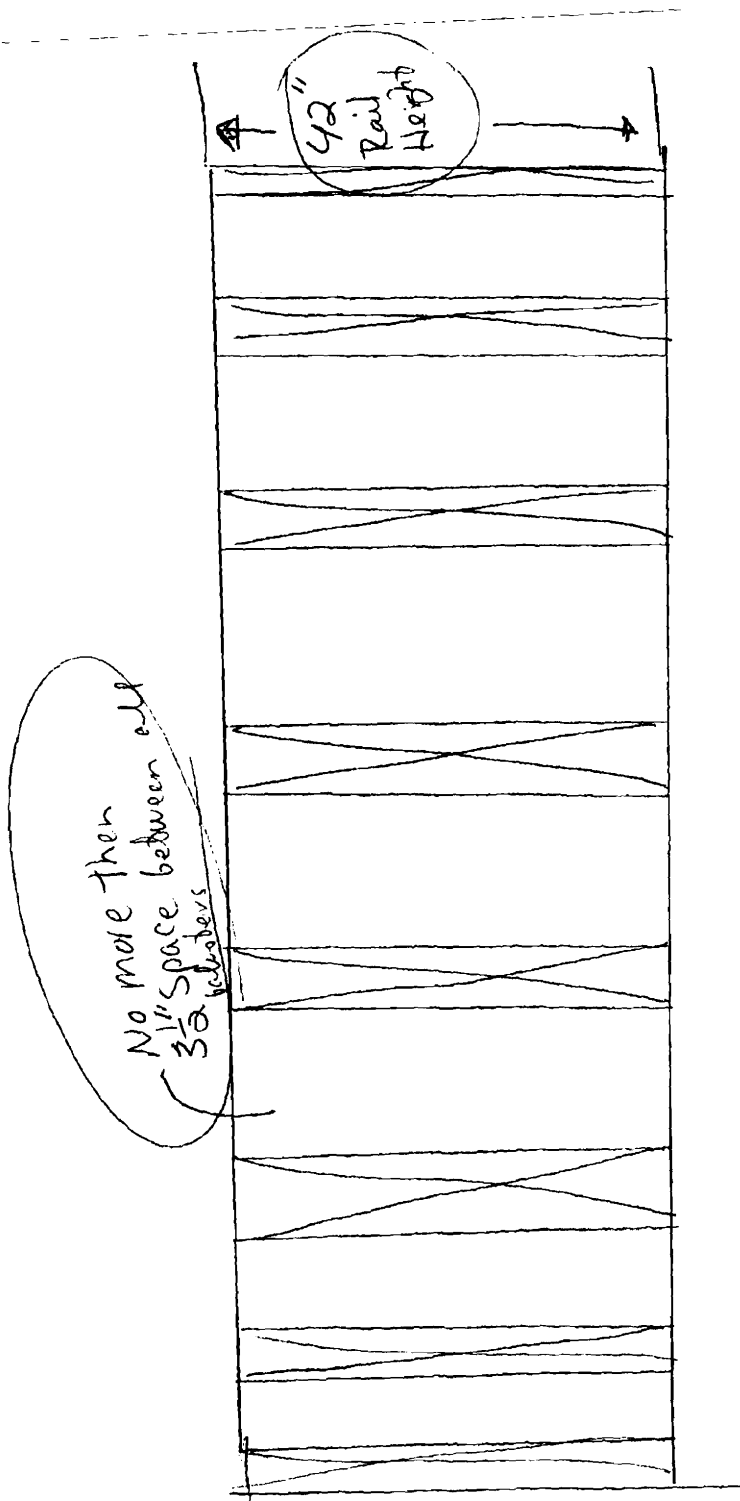
45'

deck addition

530'  
1-B ZONE  
R-1 ZONE



Sawtooth  
Railing detail



(D) 3

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-0267	<b>Date Applied For:</b> 03/25/2008	<b>CBL:</b> 083C C001001
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<b>Location of Construction:</b> 0 NANCY LN (#9), G.D.I.	<b>Owner Name:</b> SAVASTANO ANTHONY & JUD	<b>Owner Address:</b> 2983 HOLIDAY COURT	<b>Phone:</b> 207-766-1248
<b>Business Name:</b>	<b>Contractor Name:</b> D&H General Contracting	<b>Contractor Address:</b> 72 Thyngs Mill Road Shapleigh	<b>Phone:</b> (207) 576-0467
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home- addition of Master Bedroom and Sitting Room	<b>Proposed Project Description:</b> 21' x 28' Addition of Master Bedroom and Sitting Room w/wrap around deck
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 04/11/2008
<b>Note:</b>			<b>Ok to Issue:</b> ✓
1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 05/08/2008
<b>Note:</b>			<b>Ok to Issue:</b> ✓
1) Fastener schedule per the IRC 2003			
2) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required			
3) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.			
4) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.			
5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			
6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

<b>Comments:</b>
4/1/2008-amachado: Left message for Deane MacBeth, contractor. Need full size, scalable siteplan that has been stamped. Need the I-B zone line labeled & delineated. Need exact dimensions and construction detail for the deck that will go around the addition.
4/4/2008-amachado: Spoke to Deane. He will get the scaled siteplan that is stamped and submit the details for the deck addition.
4/25/2008-tmm: did foundation only permit - still need roof framing details, deck framing, and lally column spacing
4/9/2008-amachado: Received stamped, scalable site plan.
4/23/2008-jmb: Left voicemail with Dean M. For details on the placement of the bearing columns for the support beam to verify loads. Also there are no construction details for the wrap around deck, sona placement, rails, steps, etc.
4/23/2008-jmb: Routed to Tammy as I will be out of the office

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0409	Issue Date: 04/25/2008	CBL: 083C C001001
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Location of Construction: 0 Nancy Ln	Owner Name: Savastano Anthony &	Owner Address: 2983 Holiday Court	Phone: 207-776-2839
Business Name:	Contractor Name: D & H General Contractors / Dean	Contractor Address: 72 Thyngs Mill Road Shapleigh	Phone: 2075760467
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Residential	Zone: I-B-I-2 /

Past Use: single family	Proposed Use: single family - add 28' x 21' foundation only <i>for permit # 08-020?</i>	Permit Fee:	Cost of Work: \$0.00	CEO District: 1
Proposed Project Description: add 28' x 21' foundation only		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R 3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: tmm	Date Applied For: 04/25/2008	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>located in I-B-I-2 setback 5' etc.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>part of zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/25/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>4/25/08</i>

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Applicant: Toni & Judy Savastano

Date: 4/11/08

Address: 9 Nancy Lane

C-B-L: 083C-C001

permit # 08-0267

CHECK-LIST AGAINST ZONING ORDINANCE

Date - addition to existing house (built around 1900)

Zone Location - IRI/IB - both house located in IB zone

Interior or corner lot -

Proposed Use/Work - addition 28x39 (part two story / part one story) w/ wrap around deck.

Sevage Disposal -

Lot Street Frontage -

Front Yard - 20' or average - 180'

Rear Yard - 10' min. - 820'

Side Yard - 10' min. <sup>right 45'</sup>  
left 140'

Projections -

Width of Lot -

Height - 35' max. - 18.75 ≈

Lot Area - 40,000 ± min. - 255,200

Lot Coverage Impervious Surface - 50% OK

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection - w/in 250' - located in I-B no setback required

Flood Plains - panel 9 - zone C