

**DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK**  
**CITY OF PORTLAND**

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 070627

This is to certify that Glickman Albert B &/Rodney Boothhas permission to Build new 1,800 sq ft residential CottageAT 0 Diamond Shore Rd GDI Lot#3

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland relating to the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building &amp; Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

JUL 23 2007

1 New UBI

083C A 005

083C A001001

7/23/07

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0627	Issue Date:	New 083C A 005 CRL: 083C A001001
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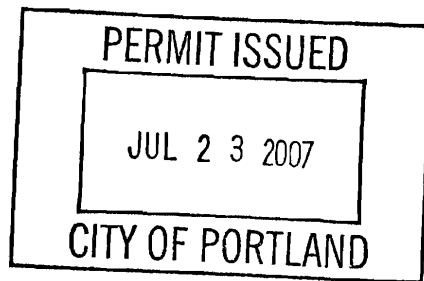
Location of Construction: <i>Nicholas St.</i> 0 Diamond Shore Rd GDI Lot#3	Owner Name: Glickman Albert B &	Owner Address: 9864 Wilshire Blvd	Phone:
Business Name:	Contractor Name: Rodney Booth	Contractor Address: 259 Main St Cumberland	Phone 2078310591
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: IR-1

Past Use: Single Family/Vacant Land - Glickman Family Subdivision connected w/ 2007-0039	Proposed Use: Subdivide for Single Family Home - Build new 1,800 sq ft residential Cottage	Permit Fee: \$2,095.00	Cost of Work: \$200,000.00	CEO District: 1
Proposed Project Description: Build new 1,800 sq ft residential Cottage		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC 2003</i>	
		Signature:	Signature:	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 05/29/2007	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input checked="" type="checkbox"/> Shoreland <i>house passed K. Kestine from highway.</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>pond 9 - zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2007-0053</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	<b>Zoning Appeal</b> <input checked="" type="checkbox"/> Variance - Disability <i>granted 5-0</i> <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <i>5-0</i> <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>for</i>
	Date:	Date: <i>8/16/07.</i>	Date:



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

\_\_\_\_\_  
SIGNATURE OF APPLICANT ADDRESS DATE PHONE

\_\_\_\_\_  
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-0627	<b>Date Applied For:</b> 05/29/2007	<b>CBL:</b> 083C A001001
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<b>Location of Construction:</b> 0 Diamond Shore Rd GDI Lot#3	<b>Owner Name:</b> Glickman Albert B &	<b>Owner Address:</b> 9864 Wilshire Blvd	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Rodney Booth	<b>Contractor Address:</b> 259 Main St Cumberland	<b>Phone</b> (207) 831-0591
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Subdivide for Single Family Home (lot 3)- Build new 1,800 sq ft residential Cottage	<b>Proposed Project Description:</b> Build new 1,800 sq ft residential Cottage
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 07/23/2007

**Note:** **Ok to Issue:**

- 1) This permit is being issued with the condition that the applicant will file a Disability Varaince Appeal Application within thirty days of the issuance of the permit for the ramp that encroaches on the side setback.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 07/23/2007

**Note:** 6/19/07 took from zoning review to start the plan review, must give back to zoning for approvals. Planning is waiting for letter from State of Maine Historic. **Ok to Issue:**

- 1) The attic scuttle opening must be 22" x 30".
- 2) As discussed, all bedrooms must have one egress window.
- 3) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 5) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Philip DiPierro      **Approval Date:** 07/19/2007

**Note:** **Ok to Issue:**

- 1) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 2) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 3) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 4) Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.
- 5) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 6) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a certificate of occupancy.

<b>Location of Construction:</b> 0 Diamond Shore Rd GDI Lot#3	<b>Owner Name:</b> Glickman Albert B &	<b>Owner Address:</b> 9864 Wilshire Blvd	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Rodney Booth	<b>Contractor Address:</b> 259 Main St Cumberland	<b>Phone</b> (207) 831-0591
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

7) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

**Comments:**

7/23/2007-amachado: Received approved site plan from planning on July 20, 2007.

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon.

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

\_\_\_\_\_ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Rodney L. Boots 7/23/07  
Signature of Applicant/Designee Date

[Signature] 7-23-07  
Signature of Inspections Official Date

CBL: 83CA1 Building Permit #: 070627

Additional requirements prior to Cofo  
See conditions sheet - RLB



# COPY

## CITY OF PORTLAND

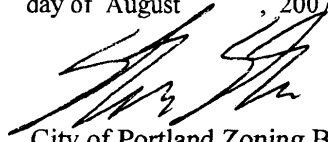
### CERTIFICATE OF VARIANCE APPROVAL

I, David Dore, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 16th day of August, 2007, the following variance was granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

1. **Current Property Owner:** Albert B. and Judith L. Glickman, Trustees
2. **Property:** Nicholas Street, Great Diamond Island, Portland, ME CBL: 083C-A-005  
Cumberland County Registry of Deeds, Book 10835, Page 123  
Last recorded deed in chain of Title: 7/19/1993
3. **Variance and Conditions of Variance:**  
To grant relief from section 14-145.5(c)3 of the Zoning Ordinance to allow an approximately 12.5 foot side yard setback instead of the required 20 foot side yard setback for an accessible ramp to provide wheelchair access.

IN WITNESS WHEREOF, I have hereto set my hand and seal this

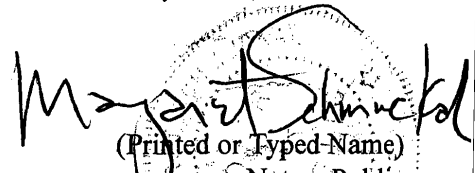
20<sup>th</sup> day of August, 2007.

  
, Chair of  
City of Portland Zoning Board, David Dore

(Printed or Typed Name)

STATE OF MAINE  
Cumberland, ss.

Then personally appeared the above-named DAVID Dore and acknowledged the above certificate to be his free act and deed in his capacity as Chairman of the Portland Board of Appeals, with his signature witnessed on 8/20/2007.

  
(Printed or Typed Name)  
Notary Public  
Margaret Schmuckal

my term expires 6/28/2012

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.

# CITY OF PORTLAND, MAINE

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## ZONING BOARD OF APPEALS

### APPEAL AGENDA

The Board of Appeals will hold a public hearing on Thursday, August 16, 2007 at 6:30 p.m. on the second floor, Room 209, City Hall, 389 Congress Street, Portland, Maine to hear the following appeals:

To: City Clerk  
From: Marge Schmuckal, Zoning Administrator  
Date: August 17, 2007  
RE: Action taken by the Zoning Board of Appeals on August 16, 2007.

The meeting was called to order at 6:40pm.

Roll call as follows:

Members Present: David Dore, Philip Saucier, Gordon Smith, Jill Hunter and Peter Coyne.

Members Absent: Kate Knox and Peter Thornton.

1. **New Business:**

**A. Interpretation Appeal:**

69 George Street, Janet Kantz, owner, Tax Map #157 Block A Lot 004 in the R3 Residential Zone. The Appellants are seeking an Interpretation Appeal concerning the construction of a new house located at 69 George Street in regards to sections 14-47, the definitions of front and side setbacks; 14-86, the purpose statement of the R-3 zone; 14-87 (a) 5 - single family, single component manufactured housing placement on the lot; and 14-90 (f) the minimum lot width requirement of 65 feet. Representing the appeal is the applicant / abutter, Dale and Pricilla Doucette located at 79 George Street. **Continued to the next meeting (September 6, 2007) to discuss retaining wall issues.**

**B. Conditional Use Appeal:**

90 Congress Street, Luke Macfadyen, owner Tax Map #016 Block A Lot #006 in the B1 Neighborhood Business Zone. The Appellant is seeking a Conditional Use Appeal under section 14-163 of the City of Portland Zoning Ordinance. Appellant is requesting a change of use from an art studio to a restaurant (Hill Top Coffee Shop). Representing the Appeal is the owner. **Board voted 5-0 and granted the Conditional Use Appeal.**

**C. Miscellaneous Appeal:**

90 Congress Street, Luke Macfadyen, owner Tax Map #016 Block A Lot #006 in the B1 Neighborhood Business Zone. The Appellant is seeking a Miscellaneous Appeal under section 14-334 of the City of Portland Zoning Ordinance. Appellant is asking for three off street parking spaces, which is approximately a two hundred (200') foot distance, located at 115 Congress Street (Donatelli's), instead of the 100 maximum allowed. Representing the Appeal is the owner. **Board voted 5-0 and granted the Miscellaneous Appeal.**

**D. Practical Difficulty Variance Appeal:**

101 Central Avenue, Peaks Island, Christopher and Michele Alves, owners, Tax Map # 087 Block P Lot #010 and 011, in the IR2 Island Residential Zone. The appellant is seeking a

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Practical Difficulty Variance Appeal under section 14- 145.11(d) of the City of Portland Zoning Ordinance. Appellant is requesting a six foot (6') by eighteen foot (18') expansion. The appellant is already over the maximum lot coverage by 30.5 square feet. Representing the Appeal are the owners. **Board voted 5-0 to continue to the next meet ( September 6, 2007).**

**E. Disability Variance Appeal:**

Diamond Shore Road (lot #3), Great Diamond Island, The Glickman Family Trust, owners, Tax Map #083C Block A Lot #001 in the IR1 Island Residential Zone. The appellant is seeking a Disability Variance Appeal under section 14-145.11(C) 3 of the Portland Zoning Ordinance. Appellant is requesting a side yard set back of 12.5' instead of the required 20' for an accessible ramp to provide wheelchair access. Representing the appeal is applicant Scott Teas ( TFH Architects). **Board voted 5-0 and granted the Disability Variance Appeal.**

**2. Other Business: None**

**3. Adjournment: 8:30pm**

**Enclosure:**

Agenda of August 16, 2007  
Copy of Board's Decision  
CC: Joseph Gray, City Manager  
Alex Jaegerman, Planning Department  
Lee Urban, Planning & Development Director  
T.J Martzial, Housing & Neighborhood Services



Applicant: Albert Glickman

Date: 7/23/07

Address: Nicholas St (Diamond Shaz Rd)

C-B-L: 083C-A-001 (split from #13)

Lot #3 Great Diamond

permit # 07-0627

CHECK-LIST AGAINST ZONING ORDINANCE

Date - new

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - build 2 story house 24x44.

Sevage Disposal - private

Lot Street Frontage - 100' min. - length = 110.77' given

Front Yard - 30' min. 196' scaled

Rear Yard - 30' min. - 43' scaled

-> Side Yard - 20' min. - 39.5' scaled  
26' scaled ok ramp.

Projections - porch 36' x 10', deck ~~12.75~~ 12.75 x 12.5, ramp 17.75 x 6.75, steps 10.25 x 3.75,  
steps 3.75 x 4.75, bulthead 4.25 x 4.75, chimney 2 x 3.75.

Width of Lot - 100' min. - 109' scaled

Height - 35' max - 21' feet scaled

Lot Area - 40,000 $\Phi$  w/public water / 60,000 $\Phi$  w/out public water - 64,461 $\Phi$  given.

Lot Coverage Impervious Surface - 20% = 12,892.2 $\Phi$

Area per Family - Ok.

-> x Off-street Parking - 2 spaces required for 2 golf carts.  
5' x 9'

Loading Bays - N/A

Site Plan - mins / mins. 2007 - 0013

Shoreland Zoning/ Stream Protection - located in shoreland but house is passed 75' setback  
from highest spring tide

Flood Plains - panel 9 - zone C  
flood zone stops 35' from staz line

36 x 10	=	360
24 x 44	=	1056
12.75 x 12.5	=	159.375
17.75 x 6.75	=	119.8125
10.25 x 3.75	=	38.4375
3.75 x 4.75	=	17.8125
4.25 x 4.75	=	20.1875
2 x 3.75	=	7.5
		<hr/>
		175363

Ok



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <b>Nicholas Street, Great Diamond Island - Glickman Family Cottage Lot # 3</b>		
Total Square Footage of Proposed Structure <b>1,800 sf</b>	Square Footage of Lot <b>64,461 sq ft.</b>	
Tax Assessor's Chart, Block & Lot Chart# <b>83C</b> Block# <b>A</b> Lot# <b>001</b>	Owner: <b>GLICKMAN ALBERT B</b> <b>9864 Wilshire Boulevard</b> <b>Beverly Hills, CA 90210</b>	Telephone: <b>310-274-8222</b>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <b>GLICKMAN ALBERT B</b> <b>9864 Wilshire Boulevard</b> <b>Beverly Hills, CA 90210</b> <b>310-274-8222</b>	Cost Of Work: \$ <b>200,000</b> Fee: \$ <b>2,020</b> C of O Fee: \$ <b>75</b>
Current Specific use: <u><b>Vacant land</b></u> If vacant, what was the previous use? <u><b>Yard</b></u> Proposed Specific use: <u><b>Residence</b></u>		
Project description: <b>Construct a new 1,800 sf residential Cottage on the site with new utilities</b>		
Contractor's name, address & telephone: <b>Rodney Booth</b> Who should we contact when the permit is ready: _____ Mailing address: <b>259 Main St</b> Phone: <b>(207) 831-0591</b> <b>Cumberland, Maine 04021</b>		

Please submit all of the information outlined in the Commercial Application Checklist.  
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: *Albert B Glickman* Date: 5.22.07

**This is not a permit; you may not commence ANY work until the permit is issued.**

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2007-0093**  
Application I. D. Number  
**5/29/2007**  
Application Date

**Glickman Albert B &**  
Applicant  
**9864 Wilshire Blvd, Beverly Hills, CA 90210**  
Applicant's Mailing Address  
**Rodney Booth**  
Consultant/Agent  
**Agent Ph: (207)831-0591      Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**Marge Schmuckal**  
**Glickman Lot#3 GDI**  
Project Name/Description  
**Diamond Shore Rd , Portland, Maine**  
Address of Proposed Site  
**083C A001001**  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Apt 0  Condo 0  Other (specify)

Proposed Building square Feet or # of Units	Acreage of Site	Zoning
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**Check Review Required:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       |
|   |   | <input type="checkbox"/> DEP Local Certification     |
|   |   | <input type="checkbox"/> Site Location               |
|   |   | <input type="checkbox"/> Other _____                 |

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **5/29/2007**

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

Diamond Shore Rd Lot # 3

Scott Trase

775-6141

OB3C A-001-001

#07-0627

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
<b>STRUCTURAL</b>				
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	OK A3.1 detail			
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	" "			
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	OK see SZ			
Anchor Bolts/Straps, spacing (Section R403.1.6)	OK			
Lally Column Type (Section R407)	4 1/2 x 1 1/2" LAM Beams			
Girder & Header Spans (Table R 502.5(2))	" "			
Built-Up Wood Center Girder Dimension/Type	" "			
Sill/Band Joist Type & Dimensions	2x6 PT			
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	4 1/2" x 9 1/4" Joists 43" OC			
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2) )	" "			
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	N/A			

Stamped  
by engineer  
OK

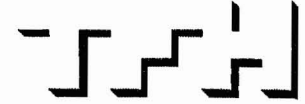
07-0627

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	4 1/2" x 9 1/4" Rafter 43" OC	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	28/32 T+G Floor - 1 1/2" T+G	- Sec S 1
Fastener Schedule (Table R602.3(1) & (2))		
<b>Private Garage</b> (Section R309) Living Space? (Above or beside)  Fire separation (Section R309.2)  Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	Not noted	Condition
Roof Covering (Chapter 9)	Asphalt OK	
Safety Glazing (Section R308)	Not noted	
Attic Access (Section R807)	?	OK
Chimney Clearances/Fire Blocking (Chap. 10)	OK Sec A3.1	
Header Schedule (Section 502.5(1) & (2))	Sec S1 OK	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	U-value A.I.1 - OK Need R-values for Building walls, floors, ceilings	OK

07-0627

<p>⑤ Type of Heating System</p>	<p>not shown</p>	<p>OK</p>
<p>⑥ Means of Egress (Sec R311 &amp; R312)</p> <p>Basement <del>— need code compliant stair out of crawl space.</del></p> <p>OK</p> <p>Number of Stairways 3</p> <p>Interior 1</p> <p>Exterior 2</p> <p>Treads and Risers A3.1 - 9 (Section R311.5.3) 10T 7 7/16 R</p> <p>Width (Section R311.5.1) 3-6</p> <p>Headroom (Section R311.5.2) 6' 8"</p>		
<p>⑦ Guardrails and Handrails (Section R312 &amp; R311.5.6 - R311.5.6.3)</p>	<p>— need better guard detail</p>	<p>OK</p>
<p>⑧ Smoke Detectors (Section R313) Location and type/Interconnected</p>	<p>note -</p>	<p>OK</p>
<p>Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)</p> <p>Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)</p>	<p>N/A</p>	
<p>Deck Construction (Section R502.2.1)</p>	<p>OK-S2</p>	

want full cross section



July 17, 2007

Tammy Munson  
Inspections Department  
City of Portland  
380 Congress St  
Portland Maine 04101

Dear Tammy,

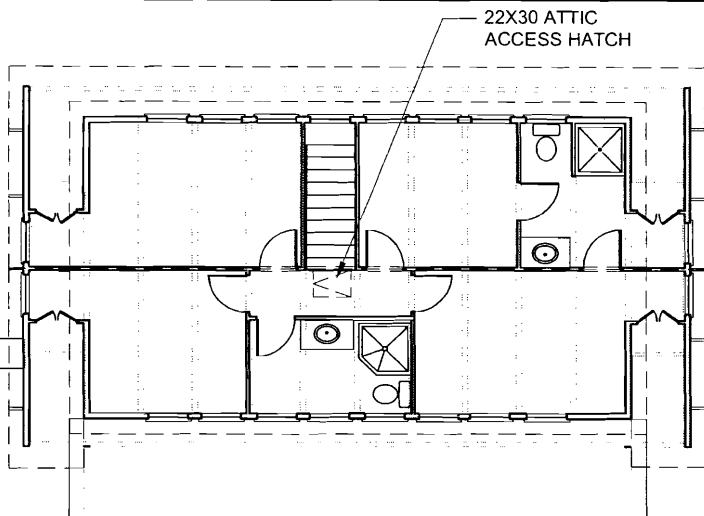
Please see the attached list addressing the issues you raised with the Glickman Permit Submission with Scott via a phone conversation.

- 1.) Locations of Safety glass, Safety (tempered) Glass will be located in windows flanking any doors where the window is within 24 inches of the door.
- 2.) Attic access – see the attached Cross section and plan indicating attic access.
- 3.) The insulation values are as follows: R-20 exterior walls, R-32 roof, R-32 floor above crawl space.
- 4.) The house is a seasonal use but there will be a direct vent **Rannai** propane fired unit heater in the main living space.
- 5.) The stair balusters will be 4" o.c. therefore leaving a 3" space between them. The interior stair balusters will go down to the stair treads, the exterior ballustes will attach to a sloping bottom rail, the triangle formed between the bottom rail an the riser and tread will be located as to not allow a 6" sphere to pass through it.
- 6.) Interconnected Hard wired Smoke detectors will be provided per code in each bedroom, in the hallways on both floors out side the bedrooms.

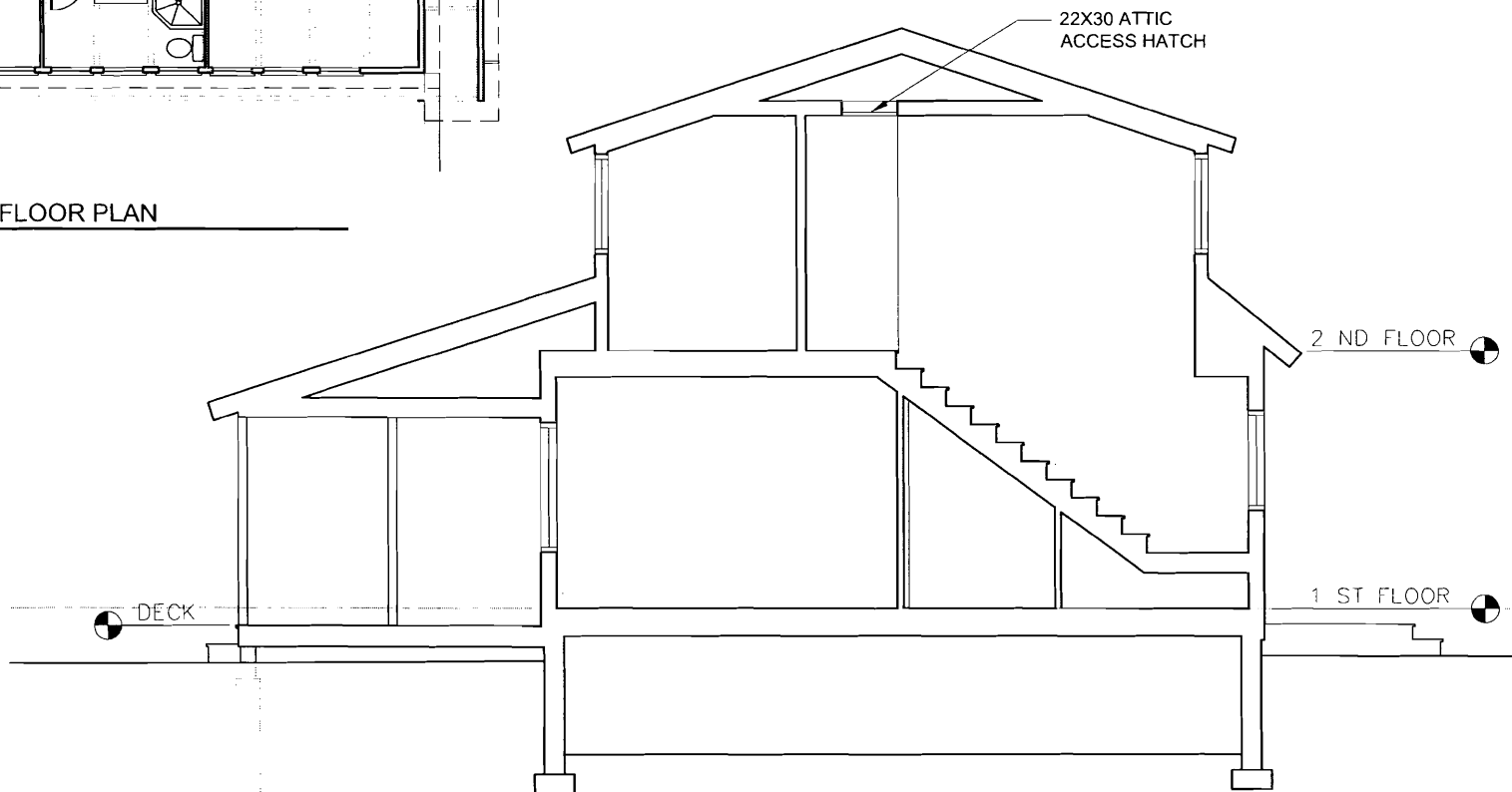
Please review the above and call with any question or concerns.

Sincerely,

Ryan Senatore



2 SECOND FLOOR PLAN  
1/8" = 1'-0"



1 CROSS SECTION  
1/4" = 1'-0"

© 2007 TFH ARCHITECTS

GLICKMAN COTTAGE  
GREAT DIAMOND ISLAND  
PORTLAND, MAINE

TFH ARCHITECTS  
100 COMMERCIAL STREET  
PORTLAND MAINE 04101  
TELEPHONE 207 775 6141  
ARCHITECTURE PLANNING

CONSULTANTS

DATE: 07/17/07

PROJECT No: 0617

DRAWN BY: SARJUS

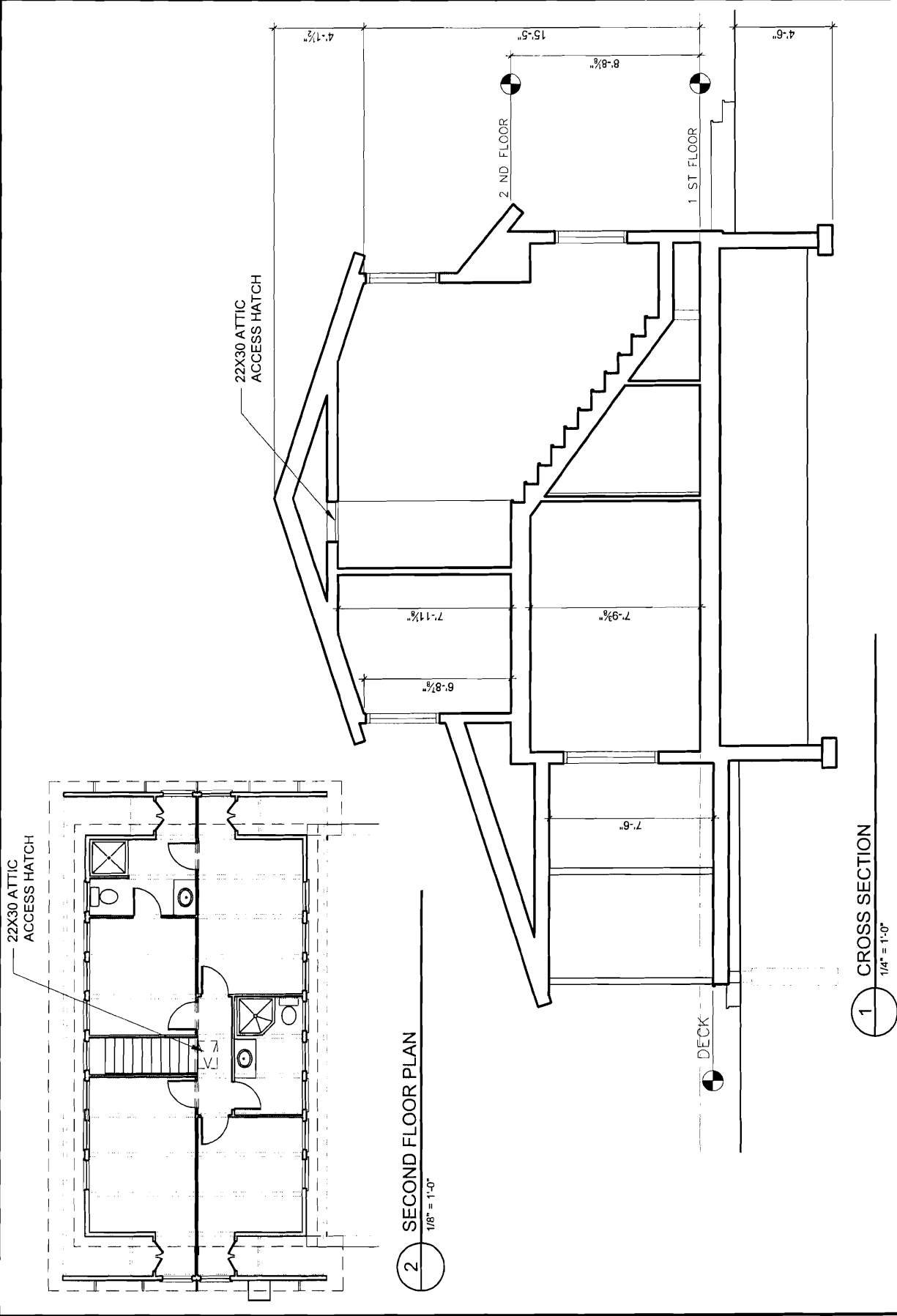
CHECKED BY: TST

SCALE: As Shown

SHEET TITLE

1  
ASK





2 SECOND FLOOR PLAN  
1/8" = 1'-0"

1 CROSS SECTION  
1/4" = 1'-0"



Generated by REScheck Package Generator  
**Compliance Certificate**

Project Title: Untitled

Report Date: 07/23/07

Energy Code: **2003 IECC**  
Location: **Portland, Maine**  
Construction Type: **Single Family**  
Glazing Area Percentage: **15%**  
Heating Degree Days: **7378**

Construction Site:

Owner/Agent:

Designer/Contractor:

**Compliance: Passes**

Assembly	Cavity R-Value	Cont. R-Value	Glazing or Door U-Factor
Ceiling:	32.0		
Wall:	20.0	0.0	
Window:			0.350
Door:			0.350
Floor:	32.0		

*Compliance Statement:* The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2003 IECC requirements in the REScheck Package Generator and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

\_\_\_\_\_  
Name - Title

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

# SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services  
Division of Health Engineering, 10 SHS  
(207) 287-5672 Fax: (207) 287-3165

PROPERTY LOCATION		>> CAUTION: PERMIT REQUIRED - ATTACH IN SPACE BELOW <<	
City, Town, or Plantation	PORTLAND	PORTLAND PERMIT # 10343 TOWN COPY Date Permit Issued: <u>7/23/07</u> \$ <u>1110.00</u> <input type="checkbox"/> If Double Fee Charged L.P.I. # _____ Local Plumbing Inspector Signature _____	
Street or Road	GREAT DIAMOND ISLAND		
Subdivision, Lot #			
OWNER/APPLICANT INFORMATION		Municipal Tax Map # <u>83CA</u> Lot # <u>1</u>	
Name (last, first, MI)	GLICKMAN, AL <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	<b>CAUTION: INSPECTION REQUIRED</b> I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application. _____ (1st) date approved _____ (2nd) date approved Local Plumbing Inspector Signature _____	
Mailing Address of Owner/Applicant	888 SHORE RD CAPE ELIZABETH ME		
Daytime Tel. #	207-899-6700		
OWNER OR APPLICANT STATEMENT			
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a Permit.			
Signature of Owner or Applicant _____ Date _____			
PERMIT INFORMATION			
<b>TYPE OF APPLICATION</b> <input checked="" type="checkbox"/> 1. First Time System <u>3 each</u> <input checked="" type="checkbox"/> 2. Replacement System Type replaced: _____ Year installed: _____ <input checked="" type="checkbox"/> 3. Expanded System   <u>each</u> a. Minor Expansion b. Major Expansion <input checked="" type="checkbox"/> 4. Experimental System <input checked="" type="checkbox"/> 5. Seasonal Conversion   <u>each</u>	<b>THIS APPLICATION REQUIRES</b> <input checked="" type="checkbox"/> 1. No Rule Variance <input type="checkbox"/> 2. First Time System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 3. Replacement System Variance a. Local Plumbing Inspector Approval b. State & Local Plumbing Inspector Approval <input type="checkbox"/> 4. Minimum Lot Size Variance <input type="checkbox"/> 5. Seasonal Conversion Permit	<b>DISPOSAL SYSTEM COMPONENTS</b> <input checked="" type="checkbox"/> 1. Complete Non-engineered System <input type="checkbox"/> 2. Primitive System (graywater & alt. toilet) <input type="checkbox"/> 3. Alternative Toilet, specify: _____ <input type="checkbox"/> 4. Non-engineered Disposal Area <input type="checkbox"/> 5. Holding Tank, _____ gallons <input type="checkbox"/> 6. Non-engineered Disposal Field (only) <input type="checkbox"/> 7. Separated Laundry System <input type="checkbox"/> 8. Complete Engineered System (2000 gpd or more) <input type="checkbox"/> 9. Engineered Treatment Tank (only) <input type="checkbox"/> 10. Engineered Disposal Field (only) <input type="checkbox"/> 11. Pre-treatment, specify: _____ <input type="checkbox"/> 12. Miscellaneous Components	<b>DISPOSAL SYSTEM TO SERVE</b> <input checked="" type="checkbox"/> 1. Single Family Dwelling Unit, No. of Bedrooms: <u>22</u> <input type="checkbox"/> 2. Multiple Family Dwelling, No. of Units: _____ <input type="checkbox"/> 3. Other: _____ (specify) Current Use <input checked="" type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped
<b>SIZE OF PROPERTY</b> <u>10±</u> <input type="checkbox"/> SQ. FT. <input checked="" type="checkbox"/> ACRES	<b>SHORELAND ZONING</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<b>TYPE OF WATER SUPPLY</b> <input type="checkbox"/> 1. Drilled Well <input type="checkbox"/> 2. Dug Well <input type="checkbox"/> 3. Private <input checked="" type="checkbox"/> 4. Public <input type="checkbox"/> 5. Other	
DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
<b>TREATMENT TANK</b> <input checked="" type="checkbox"/> 1. Concrete a. Regular b. Low Profile <input checked="" type="checkbox"/> 2. Plastic <u>3 @ 1000</u> 3. Other: <u>1 EXISTING</u> CAPACITY: _____ GAL.	<b>DISPOSAL FIELD TYPE &amp; SIZE</b> <input type="checkbox"/> 1. Stone Bed <input type="checkbox"/> 2. Stone Trench <input checked="" type="checkbox"/> 3. Proprietary Device a. cluster array <input checked="" type="checkbox"/> c. Linear <input checked="" type="checkbox"/> b. regular load <input type="checkbox"/> d. H-20 load <input type="checkbox"/> 4. Other: _____ SIZE: <u>6534</u> <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.	<b>GARBAGE DISPOSAL UNIT</b> <input checked="" type="checkbox"/> 1. No <input type="checkbox"/> 2. Yes <input type="checkbox"/> 3. Maybe If Yes or Maybe, specify one below: <input type="checkbox"/> a. multi-compartment tank <input type="checkbox"/> b. _____ tanks in series <input type="checkbox"/> c. increase in tank capacity <input type="checkbox"/> d. Filter on Tank Outlet	<b>DESIGN FLOW</b> <u>1980</u> gallons per day BASED ON: <input checked="" type="checkbox"/> 1. Table 501.1 (dwelling unit(s)) <input type="checkbox"/> 2. Table 501.2 (other facilities) SHOW CALCULATIONS for other facilities <b>4 SINGLE FAM UNITS</b> <b>1 @ 4 BEDS 3 @ 6 BEDS</b> <input type="checkbox"/> 3. Section 503.0 (meter readings) ATTACH WATER METER DATA <b>LATITUDE AND LONGITUDE</b> at center of disposal area Lat. <u>44</u> d <u>05</u> m <u>43</u> s Lon. <u>70</u> d <u>40</u> m <u>21</u> s if g.p.s, state margin of error: <u>±10'</u>
<b>SOIL DATA &amp; DESIGN CLASS</b> PROFILE CONDITION DESIGN <u>3 / C / 1</u> at Observation Hole # _____ Depth <u>18</u> " of Most Limiting Soil Factor	<b>DISPOSAL FIELD SIZING</b> <input type="checkbox"/> 1. Small---2.0 sq. ft. / gpd <input type="checkbox"/> 2. Medium---2.6 sq. ft. / gpd <input checked="" type="checkbox"/> 3. Medium---Large 3.3 sq. ft. / gpd <input type="checkbox"/> 4. Large---4.1 sq. ft. / gpd <input type="checkbox"/> 5. Extra Large---5.0 sq. ft. / gpd	<b>EFFLUENT/EJECTOR PUMP</b> <input type="checkbox"/> 1. Not Required <input type="checkbox"/> 2. May Be Required <input checked="" type="checkbox"/> 3. Required Specify only for engineered systems: DOSE: _____ gallons	
SITE EVALUATOR STATEMENT			
I certify that on <u>6/11/06</u> (date) I completed a site evaluation on this property and state that the data reported are accurate and that the proposed system is in compliance with the State of Maine Subsurface Wastewater Disposal Rules (10-144A CMR 241).			
Site Evaluator Signature _____ <b>ALAN L. BURNELL</b> Site Evaluator Name Printed		SE # <u>267</u> Telephone Number <u>781-5242</u>	Date <u>3/12/07</u> E-mail Address <u>ABURNELL@PINKHAMANDGREER.COM</u>
Note: Changes to or deviations from the design should be confirmed with the Site Evaluator. HHE-200 Rev. 8/01			

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
 Division of Health Engineering  
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

Street, Road, Subdivision

Owner's Name

PORTLAND

GREAT DIAMOND ISLAND

AL GLICKMAN

SITE PLAN

Scale 1" = 100 ft. or as shown

SITE LOCATION PLAN  
 (map from Maine Atlas  
 recommended)

SEE ATTACHED

SEE ATTACHED

**SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)**

Observation Hole # 4  Test Pit  Boring  
4 " Depth of Organic Horizon Above Mineral Soil

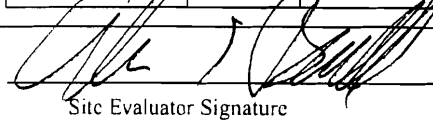
Depth Below Mineral Soil Surface (inches)	Texture	Consistency	Color	Mottling
	0-10	SANDY LOAM	FRIABLE	DK. BROWN
10-20			LGT. BROWN	
20-30	LOAMY SAND		LGT. OLIVE	COMMON
30-40		FIRM	OLIVE	
40-50				

Soil Classification <u>3</u> <u>C</u> Profile Condition	Slope <u>4</u> %	Limiting Factor <u>18</u> "	<input checked="" type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
---	---------------------	--------------------------------	--

Observation Hole \_\_\_\_\_  Test Pit  Boring  
 \_\_\_\_\_ " Depth of Organic Horizon Above Mineral Soil

Depth Below Mineral Soil Surface (inches)	Texture	Consistency	Color	Mottling
	0-10			
10-20				
20-30				
30-40				
40-50				

Soil Classification _____ Profile Condition	Slope _____%	Limiting Factor _____ "	<input type="checkbox"/> Ground Water <input type="checkbox"/> Restrictive Layer <input type="checkbox"/> Bedrock <input type="checkbox"/> Pit Depth
---	-----------------	----------------------------	---

  
 Site Evaluator Signature

267  
 SE #

3/12/07  
 Date

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

Department of Human Services  
 Division of Health Engineering  
 (207) 287-5672 Fax: (207) 287-3165

Town, City, Plantation

Street, Road, Subdivision

Owner's Name

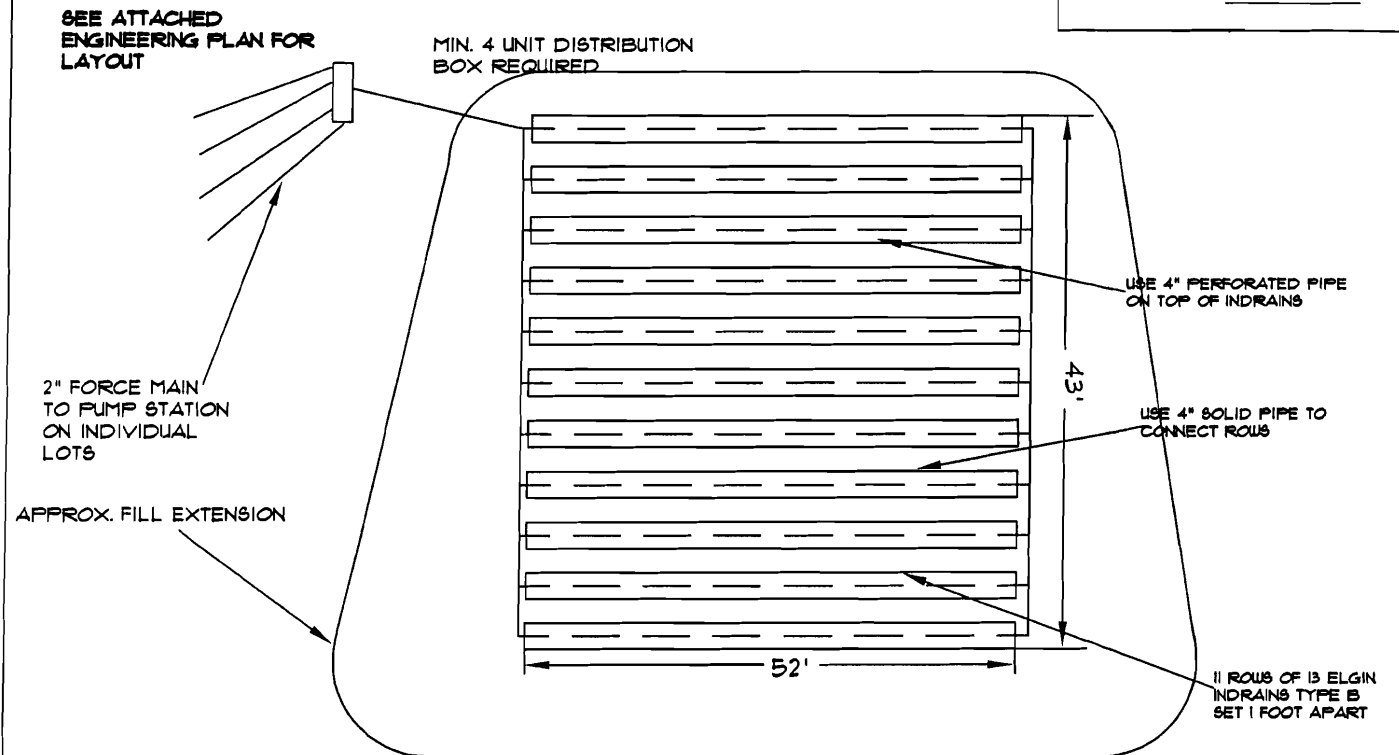
PORTLAND

GREAT DIAMOND ISLAND

AL GLICKMAN

**SUBSURFACE WASTEWATER DISPOSAL PLAN**

SCALE: 1" = 20 FT.



**FILL REQUIREMENTS**

**CONSTRUCTION ELEVATIONS**

**ELEVATION REFERENCE POINT**

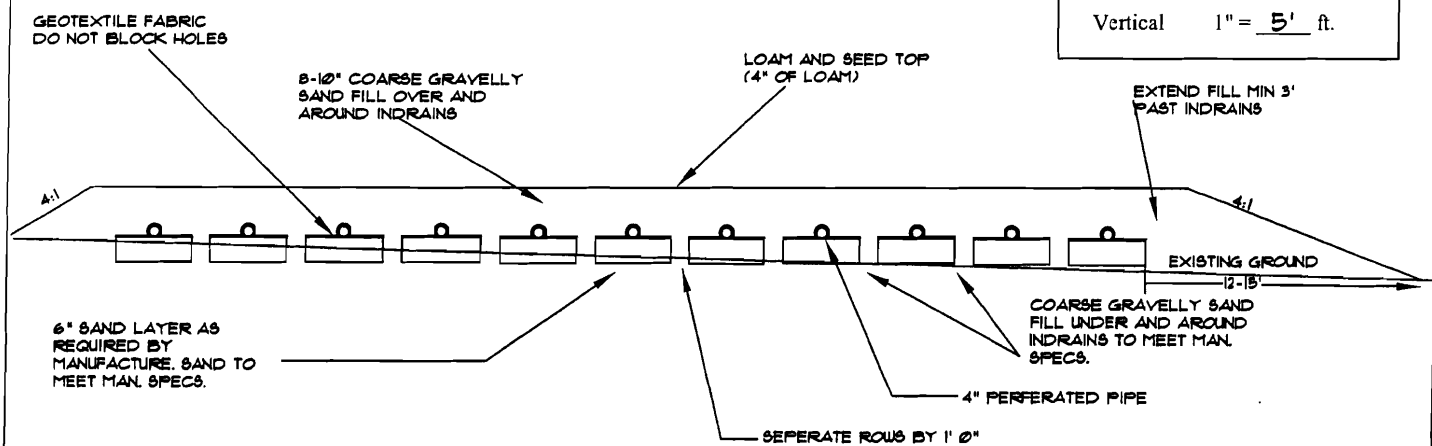
Depth of Fill (Upslope)	24"	Finished Grade Elevation	48'	Location & Description:	PROJECT BENCH MARK
Depth of Fill (Downslope)	24-36"	Top of Distribution Pipe or Proprietary Device	46.9'	Reference Elevation:	0"
		Bottom of Disposal Area	46'		

**DISPOSAL AREA CROSS SECTION**

Scale

Horizontal 1" = 10' ft.

Vertical 1" = 5' ft.



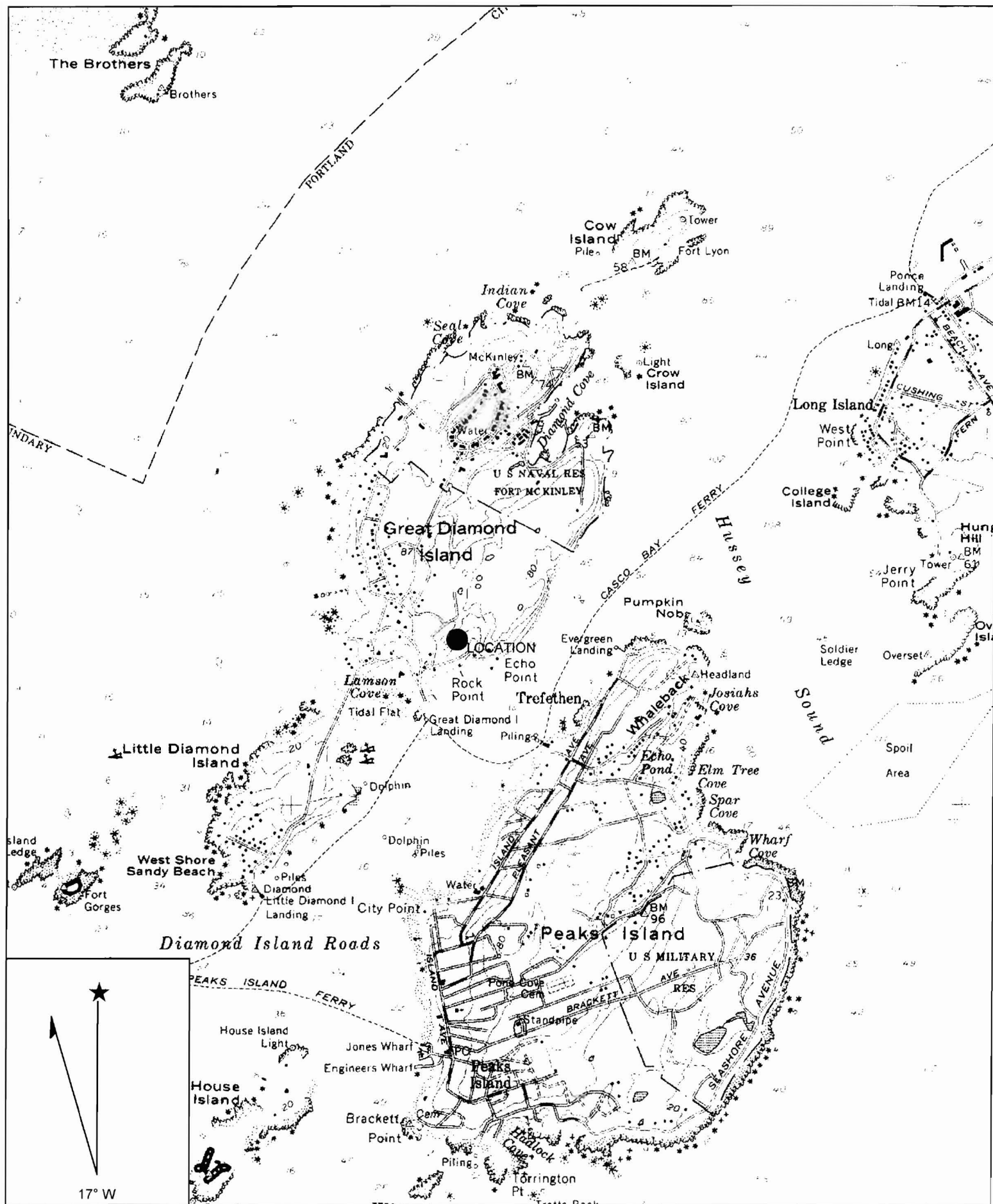
*[Signature]*  
 Site Evaluator Signature

267

SE #

3/12/07

Date



Name: PORTLAND EAST  
 Date: 6/21/2007  
 Scale: 1 inch equals 2000 feet

Location: 043° 40' 31.7" N 070° 11' 43.1" W  
 Caption: GLICKMAN PROPERTY  
 GREAT DIAMOND ISLAND  
 PORTLAND, MAINE

# Transmittal Letter

**Project:** Glickman Family Subdivision Lot #3  
Great Diamond Island  
Portland, Maine

**Project No.:** 617

**Date:** 05/29/07

**To:** **Jeanne Bourke**  
Inspections Department  
City of Portland  
Portland, Maine 04101

**Phone No.:**

**Fax No.:**

If enclosures are not as noted, please  
inform us immediately.

**We transmit:**

Herewith  Under separate cover via \_\_\_\_\_  
 In accordance with your request \_\_\_\_\_

**For your:**

Approval  Distribution to Parties  Information  
 Record  Review and Comment  
 Use  Review

**The following:**

Drawings  Shop Drawing Prints  Samples  
 Specifications  Shop Drawing Reproducible  Product Literature  
 Change Order  Other:

Copies	Date	Rev. No.	Description	Action
1 set			24x36 Permit Drawings	
1 set			11x17 Reduced Drawings	
4sets			Boundary Survey and Site Plans	
1			Permit Application	
1			Permit Fee Check	

**Action Code:**

A. Action indicated on item transmitted  
B. No action required  
C. For signature and return to this office  
D. For signature and forwarding as noted below under Remarks  
E. See Remarks below

**Remarks:**

Jeanne,

See the attached Permit Submission for the Cottage as part of the  
Glickman Family Subdivision on Lot # 3

Thanks,

Ryan

**Copies to:**

Denny Jacobus

X

Rodney Booth

X

X

X

X

X

File

**TFH Architects, P. A.**

100 Commercial Street

Portland Maine 04101

Telephone 207-775-6141

Fax No.: 207-773-0194

By: Ryan Senator

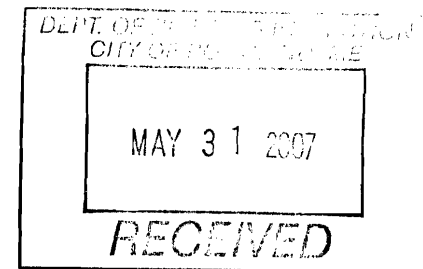
# Transmittal Letter

**Project:** Glickman Family Subdivision Lot #4  
Great Diamond Island  
Portland, Maine

**Project No.:** 617  
**Date:** 05/31/07

**To:** Jeanne Bourke  
Inspections Department  
City of Portland  
Portland, Maine 04101

**Phone No.:**  
**Fax No.:**



If enclosures are not as noted, please  
inform us immediately.

**We transmit:**

Herewith  Under separate cover via \_\_\_\_\_  
 In accordance with your request \_\_\_\_\_

**For your:**

Approval  Distribution to Parties  Information  
 Record  Review and Comment  
 Use  Review

**The following:**

Drawings  Shop Drawing Prints  Samples  
 Specifications  Shop Drawing Reproducible  Product Literature  
 Change Order  Other:

Copies	Date	Rev. No.	Description	Action
2	5/31/07		C1.1 Family Subdivision Plan	
1	5/31/07		11x17 Reduction	

**Action Code:**

A. Action indicated on item transmitted  
B. No action required  
C. For signature and return to this office  
D. For signature and forwarding as noted below under Remarks  
E. See Remarks below

**Remarks:**

Jeanne,

**See the attached revised plan indicating the 100 year flood elevation. Please replace the old version for both cottages.**

Thanks,

Ryan

**Copies to:** Denny Jacobus

X

Rodney Booth

X

X

X

X

File

X

**TFH Architects, P. A.**

100 Commercial Street

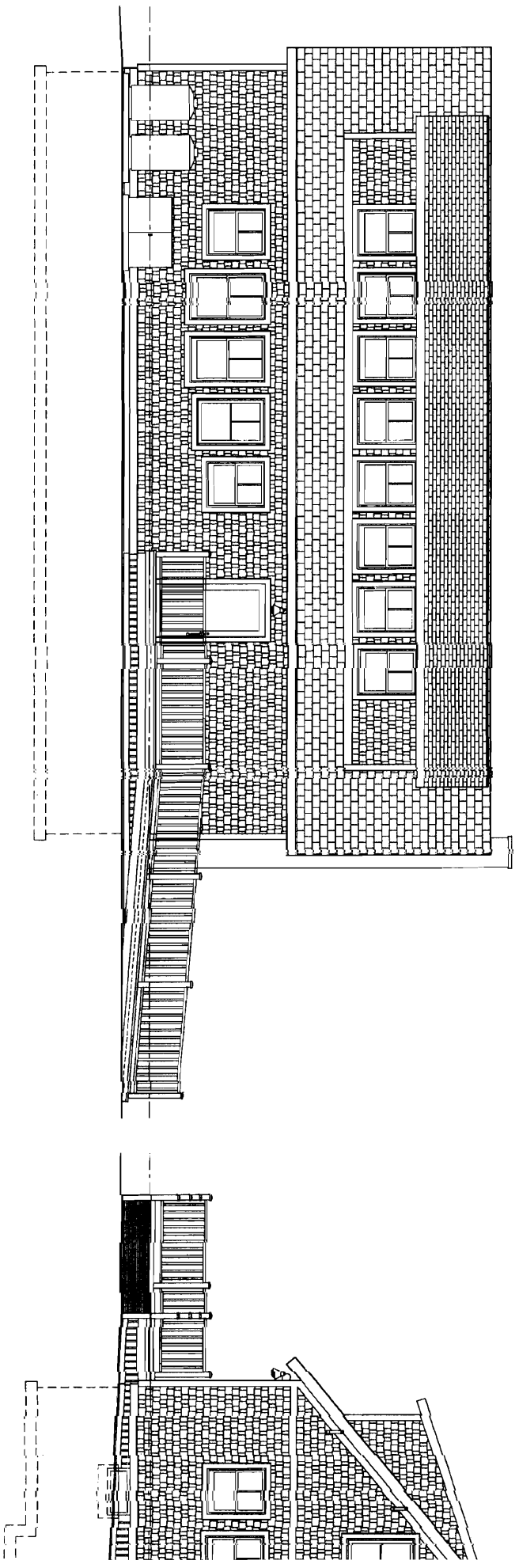
Portland Maine 04101

Telephone 207-775-6141

Fax No.: 207-773-0194

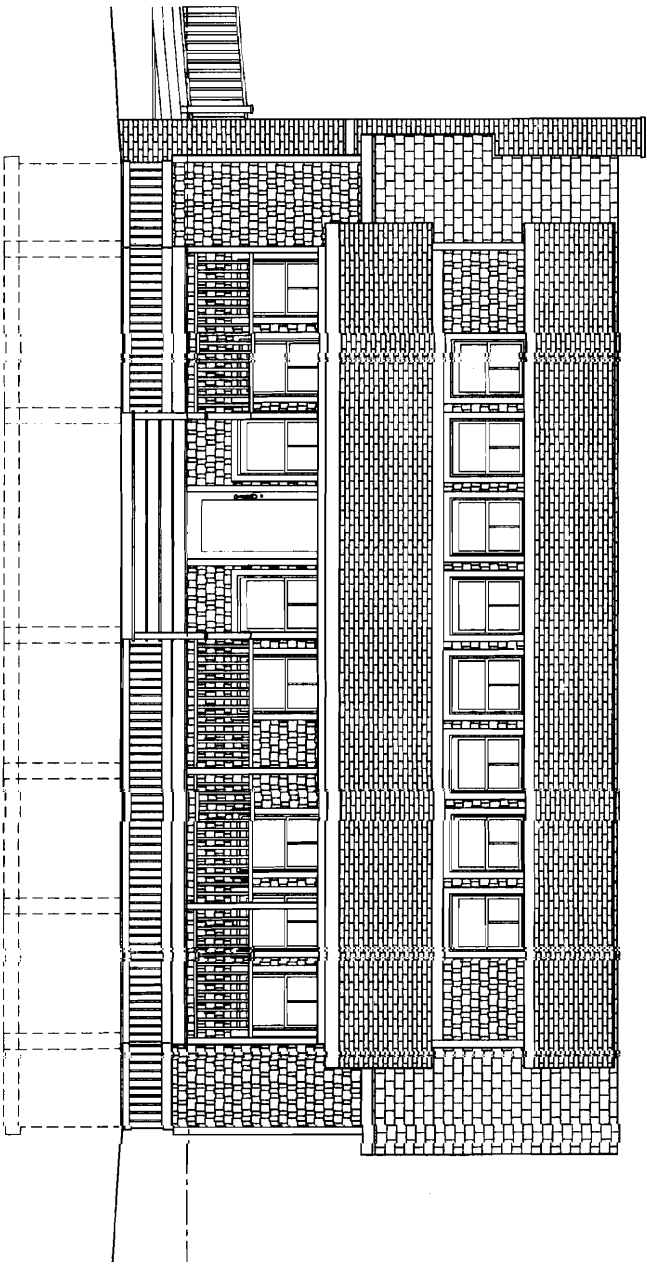
By: Ryan Senator



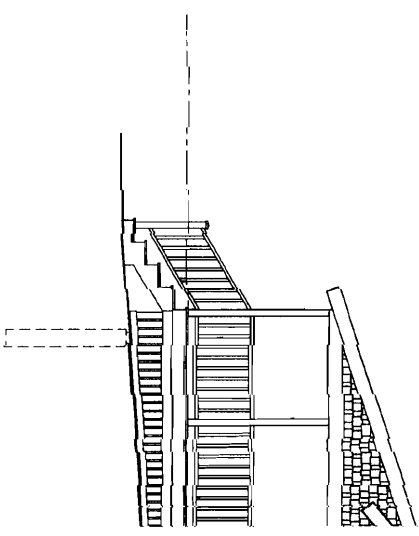


4 NORTH ELEVATION  
1/8" = 1'-0"

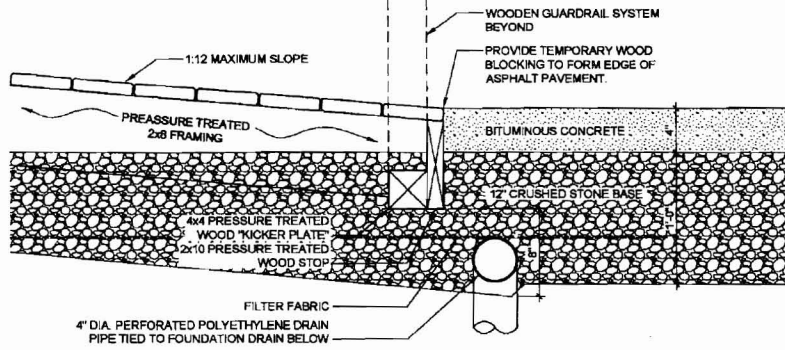
2 WEST ELEVATION  
1/8" = 1'-0"



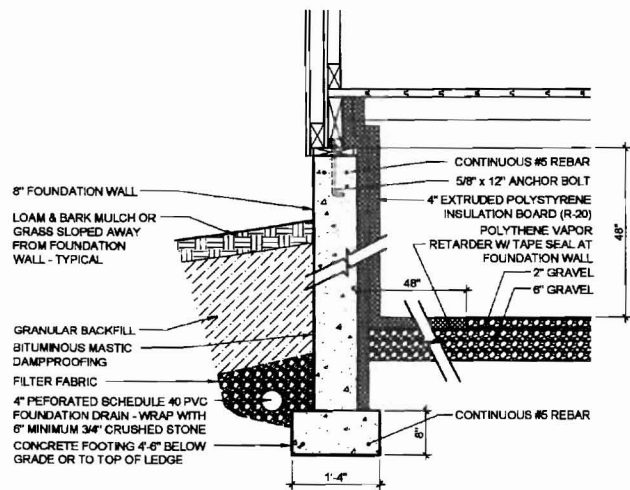
3 SOUTH ELEVATION  
1/8" = 1'-0"



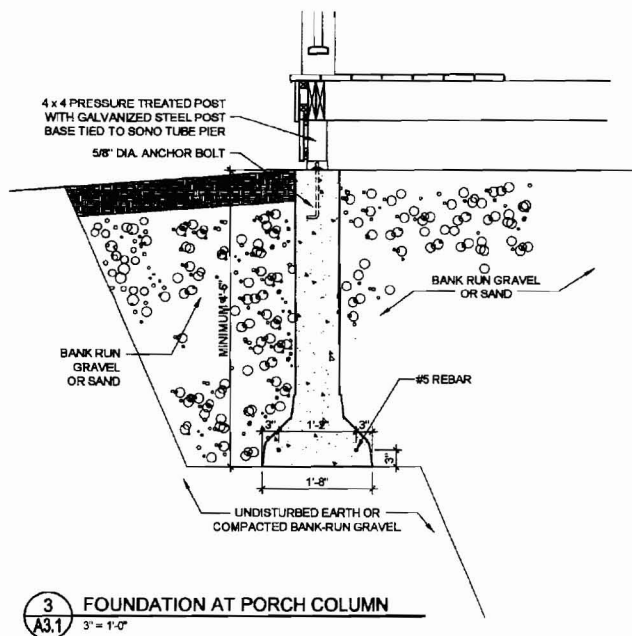
1 EAST ELEVATION  
1/8" = 1'-0"



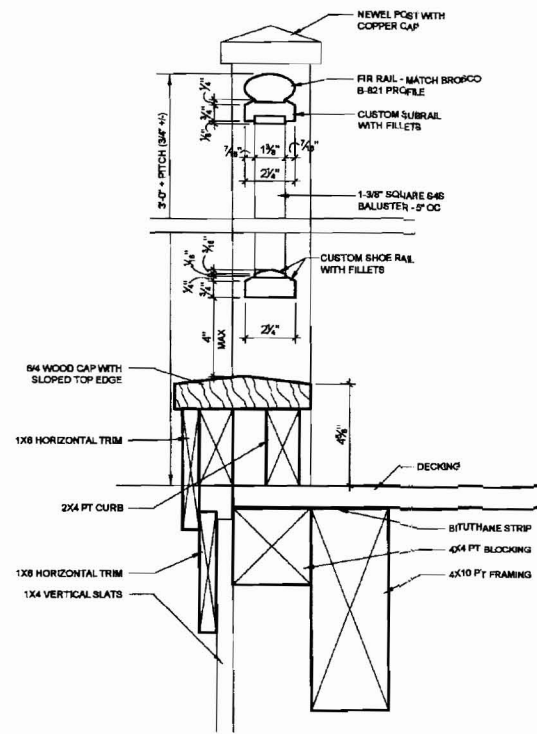
1 RAMP AT GRADE DETAIL  
A3.1 3" = 1'-0"



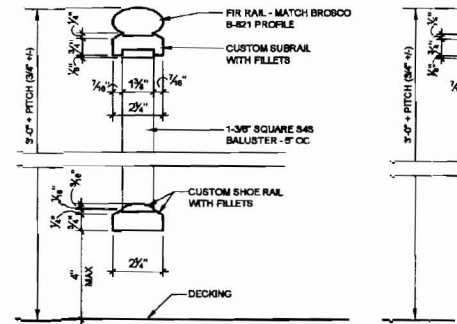
2 TYP. FOUNDATION DETAIL  
A3.1 3" = 1'-0"



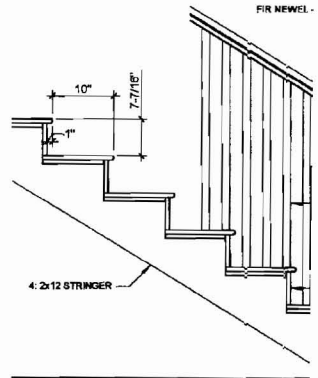
3 FOUNDATION AT PORCH COLUMN  
A3.1 3" = 1'-0"



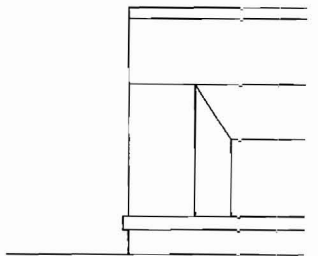
4 EXTERIOR GUARD DETAIL AT RAMP  
A3.1 3" = 1'-0"



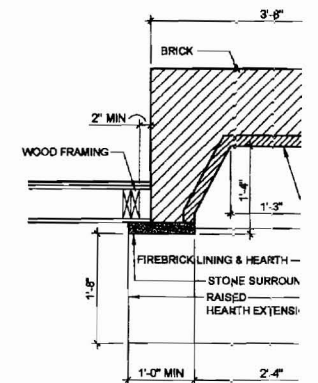
6 TYP. EXTERIOR GUARD DETAIL  
A3.1 3" = 1'-0"



9 TYPICAL STAIR DETAIL  
A3.1 3/4" = 1'-0"



11 FIREPLACE ELEVATION  
A3.1 3/4" = 1'-0"



12 FIREPLACE PLAN  
A3.1 3/4" = 1'-0"

**GENERAL NOTES:**  
**GENERAL:**

- ALL WORK SHALL CONFORM TO THE FOLLOWING REFERENCE STANDARDS:
  - "INTERNATIONAL RESIDENTIAL CODE" - 2003 EDITION.
  - "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES" - ASCE 7-10.
  - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" - ACI 301-99.
  - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" - ACI 318-99.
  - "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - AF&PA NDS-97.
- ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS RELATED TO THIS PROJECT. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED WORK. ANY CHANGES OR SUBSTITUTIONS OF MATERIALS OR DETAILS FROM THOSE INDICATED ON THE CONTRACT DOCUMENTS MAY BE MADE ONLY WITH PRIOR APPROVAL OF THE PROJECT ENGINEER.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, COORDINATION OF OTHER TRADES AND THE TECHNIQUES TO PRODUCE A SOUND AND QUALITY PROJECT.
- ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION INCLUDING BUT NOT LIMITED TO SHEETING, SHORING, AND GUYING STRUCTURES, BARRIERS AND SIGNAGE.
- ALL DETAILS AND NOTES SHOWN ON THE CONTRACT DOCUMENTS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE.
- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL OF THE PROJECT ENGINEER.
- REFER TO OWNER'S ARCHITECTURAL PLANS FOR ADDITIONAL INFORMATION.

**STRUCTURAL LOADS:**

- LIVE LOADS
  - PER INTERNATIONAL RESIDENTIAL CODE - 2003 EDITION
  - LIVING SPACE.....40 PSF
  - ATTICS AND SLEEPING AREAS.....30 PSF
  - ATTICS W/ LIMITED STORAGE.....20 PSF
  - ATTICS W/ NO STORAGE.....10 PSF
- WIND LOADS
  - PER INTERNATIONAL RESIDENTIAL CODE - 2003 EDITION AND MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES - ASCE 7-10
  - EXPOSURE.....B
  - BASIC WIND SPEED.....100 MPH
- SNOW LOADS
  - PER INTERNATIONAL RESIDENTIAL CODE - 2003 EDITION AND MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES - ASCE 7-10
  - EXPOSURE.....B
  - GROUND SNOW LOAD.....50 PSF
  - FLAT ROOF SNOW LOAD.....30.5 PSF (ADDITIONAL ALLOWANCES FOR DRIFTING AND SLIDING SNOW)
  - UNBALANCED SNOW LOAD.....57.0 PSF (LEEWARD SIDE, WINDWARD SIDE IS CONSIDERED FREE OF SNOW)

**FOUNDATIONS:**

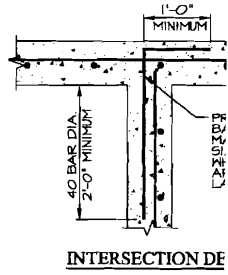
- FOUNDATION DESIGN IS BASED ON AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF. VARYING CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER PRIOR TO WORK BEING CARRIED OUT. IT IS RECOMMENDED THAT THE OWNER HIRE A CONSULTANT TO PERFORM SOIL BORINGS AND ASSOCIATED TESTING TO VERIFY THE ASSUMED VALUES. THE CONTRACTOR OR OWNER SHALL ASSUME ALL RESPONSIBILITY IF A GEOTECHNICAL ENGINEER IS NOT RETAINED.
- FOUNDATIONS SHALL BE FOUNDED ON NATURALLY UNDISTURBED SOIL OR CONTROLLED STRUCTURAL FILL HAVING AN ALLOWABLE BEARING CAPACITY OF 3000 PSF.
- MAINTAIN CONTINUOUS CONTROL OF SURFACE AND SUBSURFACE WATER DURING CONSTRUCTION SUCH THAT FOUNDATION WORK IS IN DRY AND UNDISTURBED SUBGRADE MATERIAL, AS APPLICABLE.
- ALL FOOTINGS EXPOSED TO FROST TO BE PLACED AT A MINIMUM DEPTH OF 4'-0" BELOW FINISH GRADE. SEE PLANS AND ELEVATIONS FOR THE ESTIMATED BOTTOM OF FOOTING ELEVATION. ANY DISCREPANCIES OR ADJUSTMENTS TO THE FOOTING ELEVATIONS TO BE BROUGHT TO THE PROJECT ENGINEER PRIOR TO PLACEMENT OF CONCRETE.
- ALL FOOTINGS SHALL BE CENTERED UNDER SUPPORTED STRUCTURAL MEMBERS UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- PROVIDE TEMPORARY OR PERMANENT SUPPORTS, SHORING, SHEETING OR BRACING SO THAT NO HORIZONTAL MOVEMENT OR VERTICAL SETTLEMENT OCCURS IN THE STRUCTURE OR ITS SURROUNDINGS.
- BACKFILL THE EXCAVATION WITH APPROVED GRANULAR MATERIAL PLACED IN 6 INCH LIFTS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT, AS DEFINED BY ASTM D1557, METHOD D AFTER BOTTOM OF EXCAVATION HAS BEEN APPROVED BY THE PROJECT ENGINEER.

**CONCRETE NOTES:**

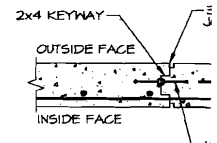
- CONCRETE WORK SHALL CONFORM TO THE FOLLOWING REFERENCE STANDARDS:
  - "INTERNATIONAL BUILDING CODE" - 2003 EDITION.
  - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS" - ACI 301-99.
  - "COLD WEATHER CONCRETING" - ACI 306-99.
  - "DETAILING REINFORCING STEEL" - ACI 315-99.
  - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" - ACI 318-99.
  - "BUILDING CODE REQUIREMENTS FOR PLAIN CONCRETE" - ACI 322-99.
  - "FORMWORK" - ACI 347-99.
- COMPRESSIVE STRENGTH OF CONCRETE SHALL BE 4000 PSI AFTER 28 DAYS WITH A SLUMP SHALL OF 4" TO 6" AND IN ACCORDANCE WITH ASTM C148.
- REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ASTM A615 GRADE 60 EXCEPT TIES AND STRIPPS MAY BE GRADE 40, WELDED WIRE FABRIC (W.W.F.) SHALL BE SHEETS ONLY, IN ACCORDANCE WITH ASTM A185. LAP TWO SQUARES AT ALL JOINTS AND TIE AT 3'-0" ON CENTER.
- CEMENT MIXTURE FOR CONCRETE SHALL CONTAIN TYPE II CEMENT CONFORMING WITH ASTM-C 150. THE WATER CEMENT RATIO SHALL NOT EXCEED 0.45.
- AGGREGATE SHALL BE SOUND AND CONFORM TO THE PROVISIONS OF ASTM C33. COARSE AGGREGATE SIZE SHALL NOT EXCEED 3/4" (NO. 61)
- PLACINGS OF CONCRETE SHALL BE IN ACCORDANCE WITH ACI 304-99 AND SHALL BE A CONTINUOUS OPERATION AVOIDING ANY HORIZONTAL JOINTS. FORMWORK SHALL BE SMOOTH PLYWOOD FORMS FOR EXPOSED SLABS OR VERTICAL SURFACES. BOARD FORMS FOR FOOTINGS OR UNEXPOSED CONCRETE SURFACES. NO EARTH FORMS SHALL BE PERMITTED. ALL CONCRETE SHALL BE VIBRATED.
- PLACE REINFORCING USING STANDARD BAR SUPPORTS TO PROVIDE PROPER CLEARANCE AND PREVENT DISPLACEMENT DURING CONCRETE OPERATIONS. LAP CONTINUOUS BARS 40 DIAMETERS.
- REINFORCING BARS SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".
- PROPERLY BRACE AND SHORE FORMWORK TO MAINTAIN ALIGNMENT AND TOLERANCES IN ACCORDANCE WITH ACI 347-99.
- PROVIDE TWO #5 BARS EACH SIDE OF ALL OPENINGS IN WALLS AND SLABS. BARS TO EXTEND 24" BEYOND EDGE OF OPENINGS. (FOR SIZE AND LOCATION OF OPENINGS, SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS).
- MINIMUM CONCRETE COVER REQUIREMENTS OVER REINFORCING STEEL ARE AS FOLLOWS:
  - FORMED CONCRETE EXPOSED TO EARTH, WEATHER, OR WATER - 2"
  - UNFORMED CONCRETE PLACED AGAINST THE EARTH - 3"
  - UNFORMED CONCRETE PLACED AGAINST VAPOR BARRIER - 2"
  - SLABS ON GRADE - 1" FROM TOP
- DETAILS NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH THE ACI DETAILING MANUAL (ACI 315-99).
- CONTRACTOR TO NOTIFY THE OWNER'S ENGINEER 48 HOURS IN ADVANCE OF CONCRETE PLACEMENT SO THAT THE FORMWORK AND REINFORCING MAY BE INSPECTED PRIOR TO BEING COVERED.
- CONSULT PROJECT OWNER FOR SURFACE FINISHES REQUIRED FOR CONCRETE SLAB.
- MOISTOP UNDERSLAB VAPOR BARRIER SHALL BE AS MANUFACTURED BY PORTLANDER OR EQUAL CONSISTING OF 2 LAYERS OF EXTRUDED POLYETHYLENE WITH A MEMBRANE OF KRAFT AND GLASS REINFORCING STEEL. SEAMS SHALL BE OVERLAPPED A MINIMUM OF 6" AND TAPED WITH MOISTOP VAPOR BARRIER TAPE OR EQUAL AS REQ'D.
- QUALITY CONTROL SPECIFICATIONS ARE AS FOLLOWS:
  - CONTRACTOR SHALL MAKE PROVISIONS TO HAVE FOUR CYLINDERS CAST FOR EACH 50 CUBIC YARDS OR FOR ANY ONE DAYS OPERATION.
  - TESTING LABORATORY SHALL BE RESPONSIBLE FOR MAKING AND CURING SPECIMENS IN CONFORMANCE TO ASTM C31 AND TESTING SPECIMENS IN ACCORDANCE WITH ASTM C29.
  - ALL TESTING ASSOCIATED WITH CONCRETE SHALL BE IN ACCORDANCE WITH CHAPTER 17 OF "INTERNATIONAL BUILDING CODE" - 2003 EDITION.
  - THE COSTS OF ALL TESTS AND INSPECTIONS SHALL BE THE RESPONSIBILITY OF THE OWNER.

**WOOD FRAMING:**

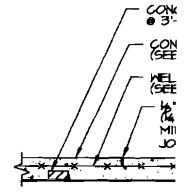
- ALL WOOD FRAMING SHALL CONFORM TO THE FOLLOWING REFERENCE STANDARDS:
  - "INTERNATIONAL BUILDING CODE" - 2003 EDITION
  - "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - AF&PA NDS-99
- ALL FRAMING MEMBERS SHALL BE NO. 1 OR 2 OR BETTER SURFACE-FINE-FIR WITH A MAXIMUM MOISTURE CONTENT OF 19% UNLESS NOTED OTHERWISE.
  - BASE DESIGN VALUES:  
F<sub>b</sub>=875 (1,200 REP) PSI, F<sub>v</sub>=70 PSI, E=1,400 KSI
- ALL LUMBER AND PLYWOOD SHALL BE GRADE-STAMPED BY THE APPROPRIATE MANUFACTURER'S ASSOCIATION FOR THE APPROPRIATE USE.
  - ROOF: 5/8" SQUARE EDGE PLYWOOD W/ FRAMING CLIPS
  - FLOORS: 7/8" TONGUE & GROOVE PLYWOOD
  - WALLS: 5/8" PLYWOOD
- ROOF AND WALL SHEATHING SHALL COMPLY WITH THE FOLLOWING:
  - APA RATED SHEATHING, EXPOSURE 1 OR 2
  - ROOF SHEATHING SHALL HAVE A 40/20 SPAN RATING
  - ROOF SHEATHING SHALL HAVE (1) PANEL EDGE CLIP BETWEEN EACH SUPPORT
  - A 1/8" EXPANSION GAP SHALL BE LEFT BETWEEN ALL PANELS AS REQUIRED BY APA
  - SHEETS SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR EARTH SHALL BE PRESSURE TREATED (PT) WITH A CCA-C 0.40 PROCESS.
- ALL FRAMING SHALL BE PLUMB, TRUE, AND ADEQUATELY BRACED SUCH THAT THE STRUCTURE IS RIGID AND BEARS FULLY WITHOUT THE USE OF SHIMS.
- SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT UP WITH 16d NAILS AT 16" O.C. MAX UNLESS NOTED OTHERWISE. PROVIDE PLYWOOD FILLERS BETWEEN 2x MEMBERS TO MATCH WALL THICKNESS.
- PROVIDE A MINIMUM OF TWO 2x STUDS AT THE END OF ALL BUILT-UP 2x BEAMS AND LVL BEAMS, UNLESS NOTED OTHERWISE. (FOR SPANS 6'-0" OR GREATER)
- CORNERS OF EXTERIOR WALLS SHALL HAVE A MINIMUM OF (8) 2x STUDS.
- PROVIDE SOLID BLOCKING UNDER ALL CONCENTRATED LOADS. PROVIDE CONTINUITY TO TOP OF FOUNDATION WALL OR FOOTING.
- PROVIDE A DOUBLE TOP PLATE FOR ALL EXTERIOR WALLS W/ SPLICES STAGGERED BY 4'-0" MIN.
- NON-STRUCTURAL INTERIOR WALLS SHALL BE CONSTRUCTED W/ 2x4 STUDS.
- ENGINEERED LUMBER PRODUCTS SHALL BE MANUFACTURED BY BOISE CASCADE OR APPROVED EQUAL INCLUDING ALL BCI JOISTS AND LVL'S. ALL BOISE CASCADE PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS AND STANDARD DETAILS AS PUBLISHED BY BOISE CASCADE.
  - BASE DESIGN VALUES:
  - 1 1/2" WIDE VERSA-LAM BEAMS GRADE 3100 Fd 5P  
F<sub>b</sub>=3100 PSI, F<sub>v</sub>=290 PSI, E=2,000 KSI
  - 3/4" AND WIDER VERSA-LAM BEAMS GRADE 3080 Fd 5P  
F<sub>b</sub>=3,080 PSI, F<sub>v</sub>=285 PSI, E=2,000 KSI
  - VERSA-LAM COLUMNS GRADE 2200 Fd 5P  
F<sub>b</sub>=2,200 PSI, F<sub>c</sub>=3,000 PSI, E=1,800 KSI
- FASTENERS SHALL COMPLY WITH THE FOLLOWING:
  - NAILS SHALL BE COMMON WIRE NAILS
  - BOLTS, NUTS AND WASHERS SHALL BE ASTM A-307, HOT DIP GALVANIZED AT EXTERIOR EXPOSED FRAMING CONFORMING TO ASTM A185
  - METAL CONNECTORS SHALL BE AS MANUFACTURED BY SIMPSON OR APPROVED EQUAL
  - STAINLESS STEEL NAILS FOR ATTACHING EXTERIOR TRIM AND SIDING
  - ALL WOOD MEMBERS TO BE NAILED IN ACCORDANCE WITH THE "INTERNATIONAL BUILDING CODE" - 2003 EDITION - TABLE 2304.9.1
- PLYWOOD SHALL BE NAILED AT 6" OC AT ALL JOINTS AND EDGES & AT 10" OC AT OTHER SUPPORTS. PLYWOOD SUB-FLOORS SHALL BE GLUED TO JOISTS, BEFORE NAILING WITH CONSTRUCTION ADHESIVE.
- LIGHTWEIGHT RESIDENTIAL LALLY COLUMNS - 4" OUTER DIAMETER 16 GAGE STEEL PIPE CONFORMING TO ASTM A513 FILLED WITH CONCRETE HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS. (UNLESS OTHERWISE NOTED)
- DOUBLE JOISTS SHALL BE PROVIDED DIRECTLY UNDER PARALLEL PARTITION WALLS.



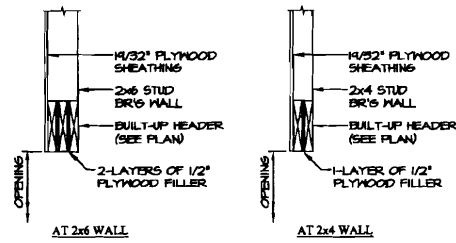
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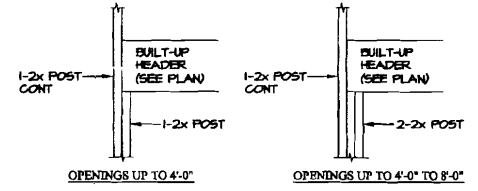
CONSTRUCT AT CONCRE



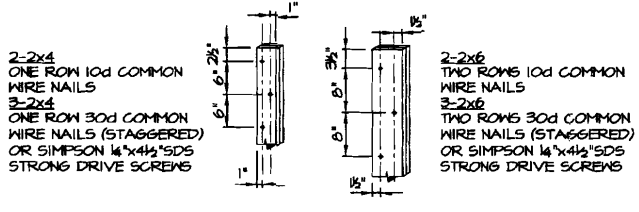
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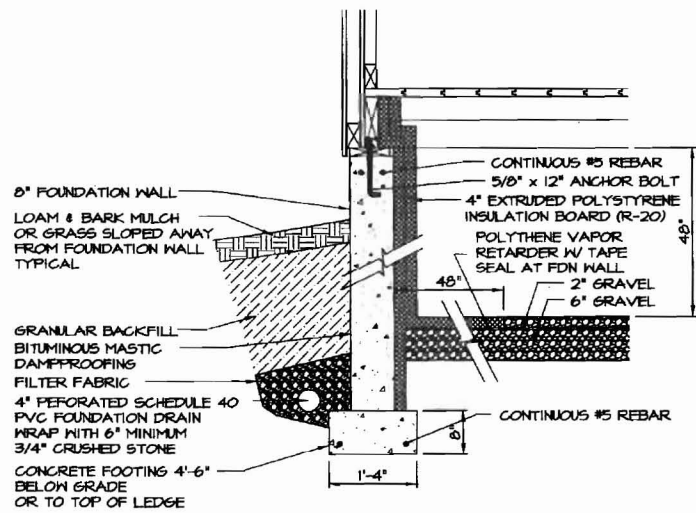
TYPICAL BUILT-UP HEADER



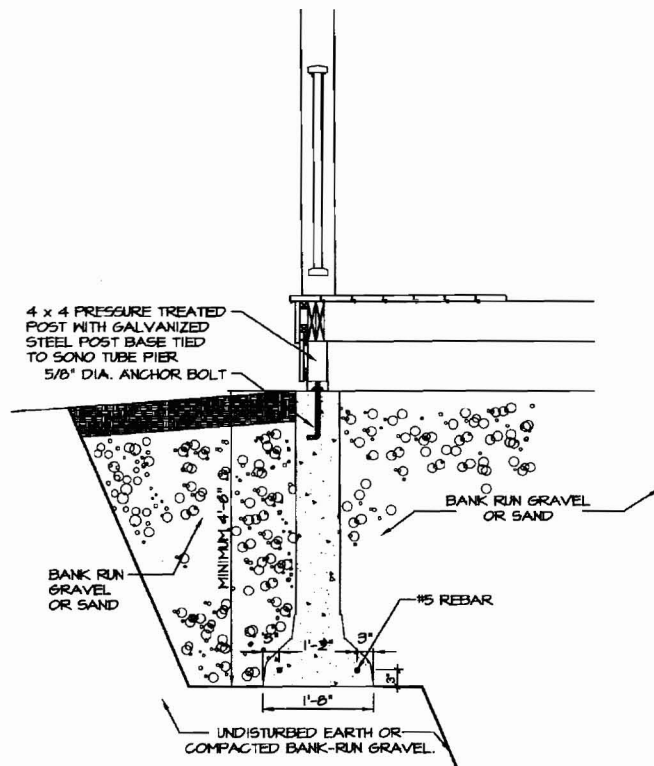
TYPICAL POST @ BUILT-UP HEADER



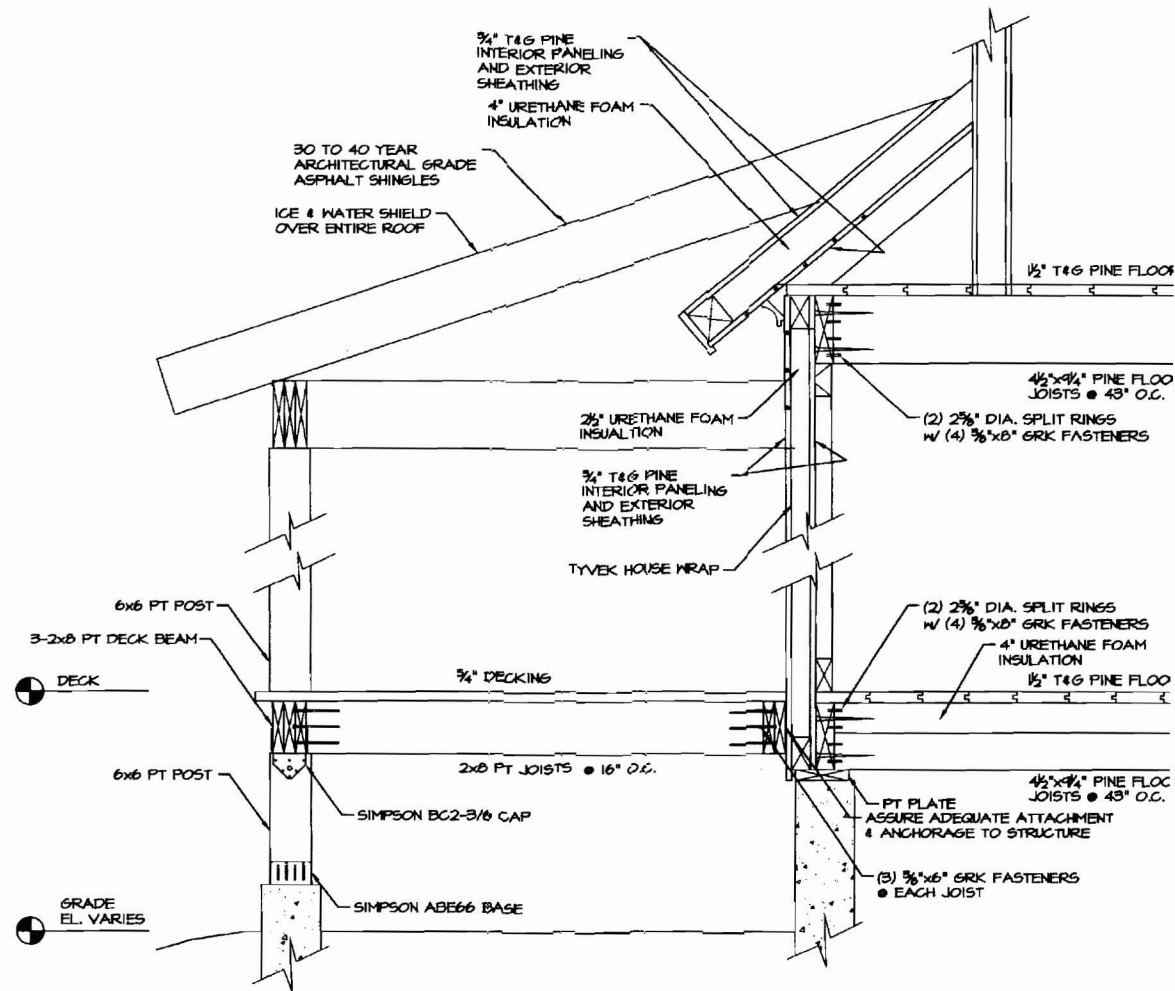
TYPICAL BUILT-UP POST



SECTION 1  
Scale: 3/4"=1'-0"



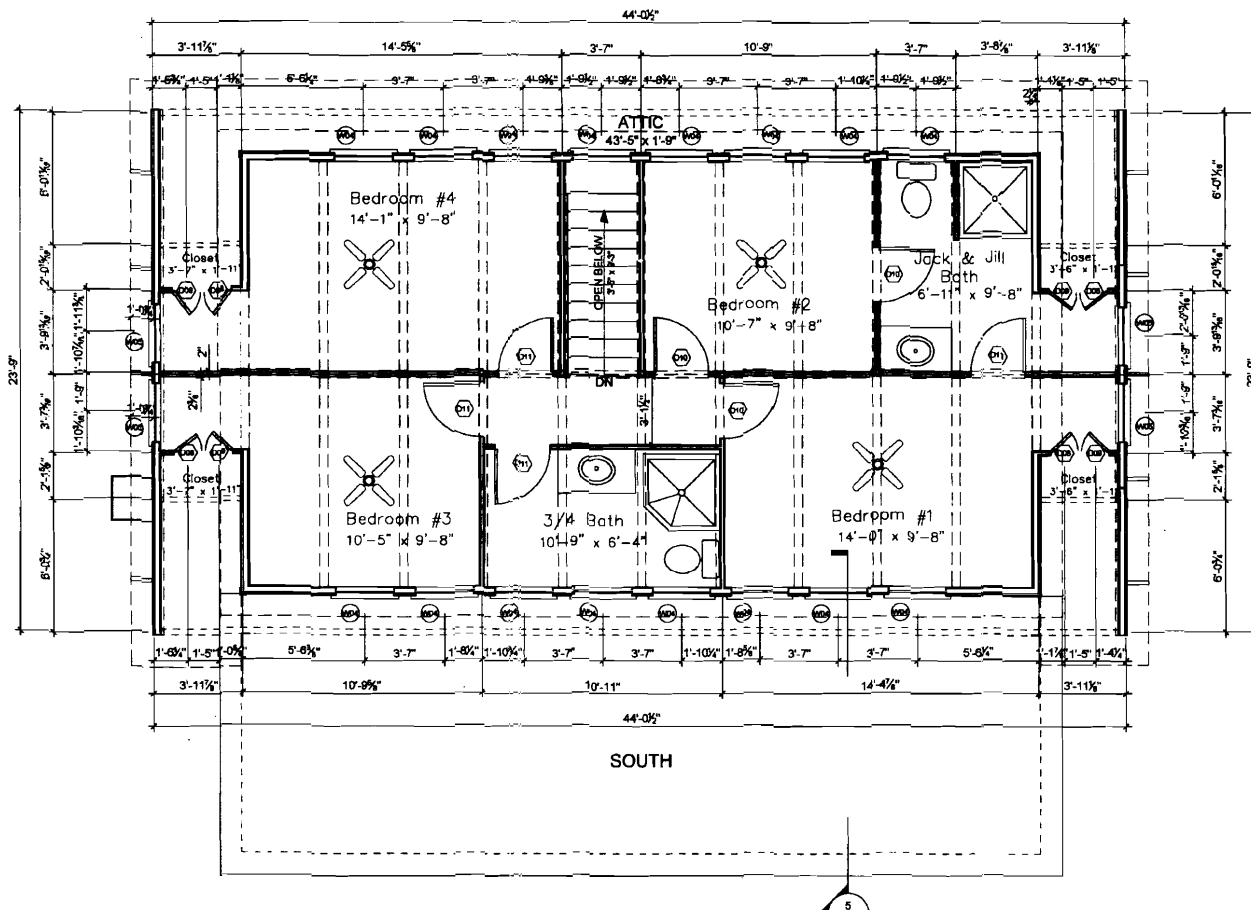
SECTION 2  
Scale: 3/4"=1'-0"



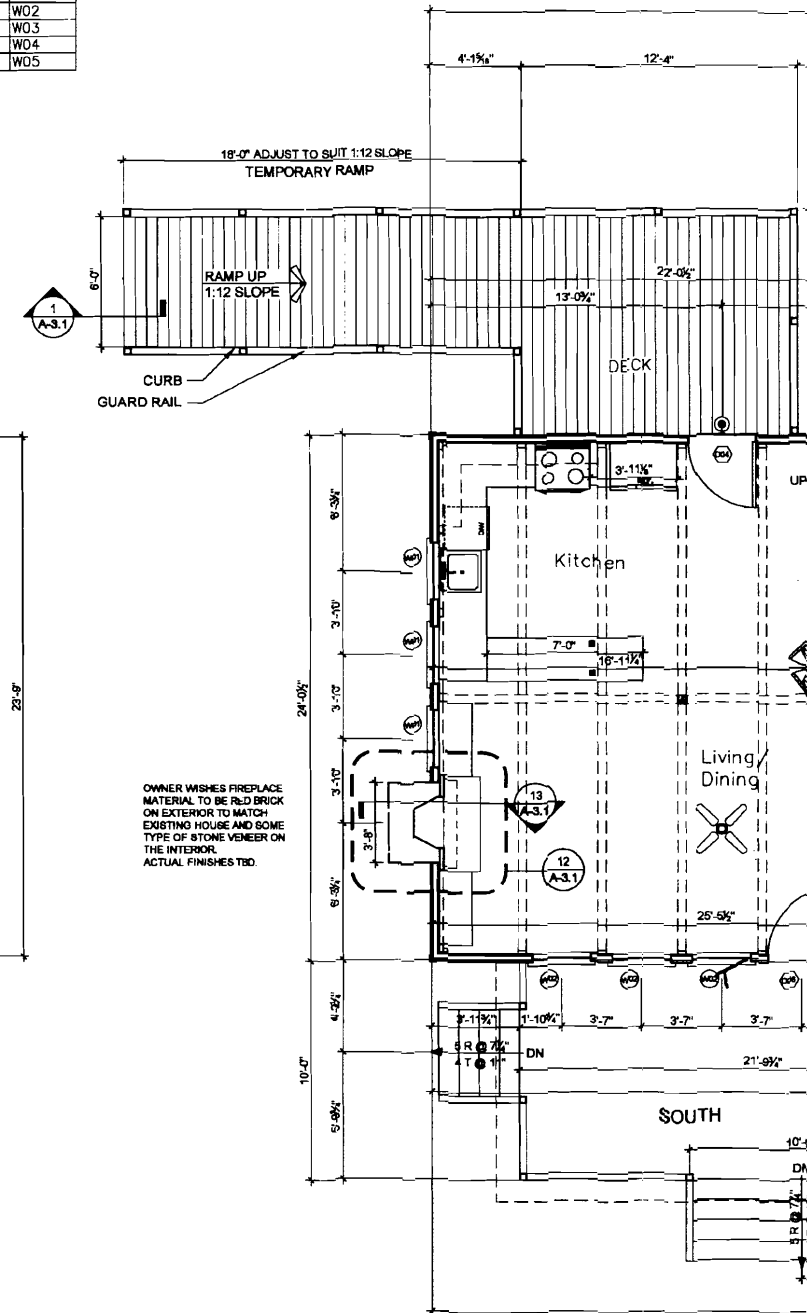
SECTION 3  
Scale: 1"=1'-0"

DOOR SCHEDULE							
NUMBER	QTY	FLOOR	SIZE	MANUFACTURER	COMMENTS	QTY	NUMBER
D01	1	1	1368 L IN	CUSTOM		1	D01
D02	1	1	1368 R IN	CUSTOM		1	D02
D03	1	1	2668 L IN	CUSTOM		1	D03
D04	1	1	3068 L EX	MARVIN	CUIPD3068	1	D04
D05	3	1	3068 L IN	CUSTOM		3	D05
D06	1	1	3068 R EX	MARVIN	CUIPD3068	1	D06
D07	1	1	4068 L/R IN	CUSTOM		1	D07
D08	4	2	1368 L IN	CUSTOM		4	D08
D09	4	2	1368 R IN	CUSTOM		4	D09
D10	3	2	2668 L IN	CUSTOM		3	D10
D11	4	2	2668 R IN	CUSTOM		4	D11

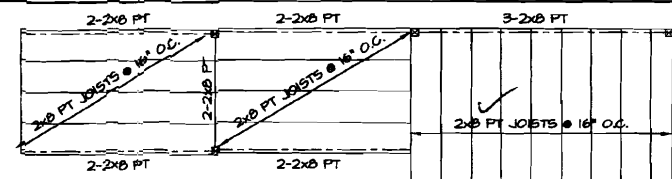
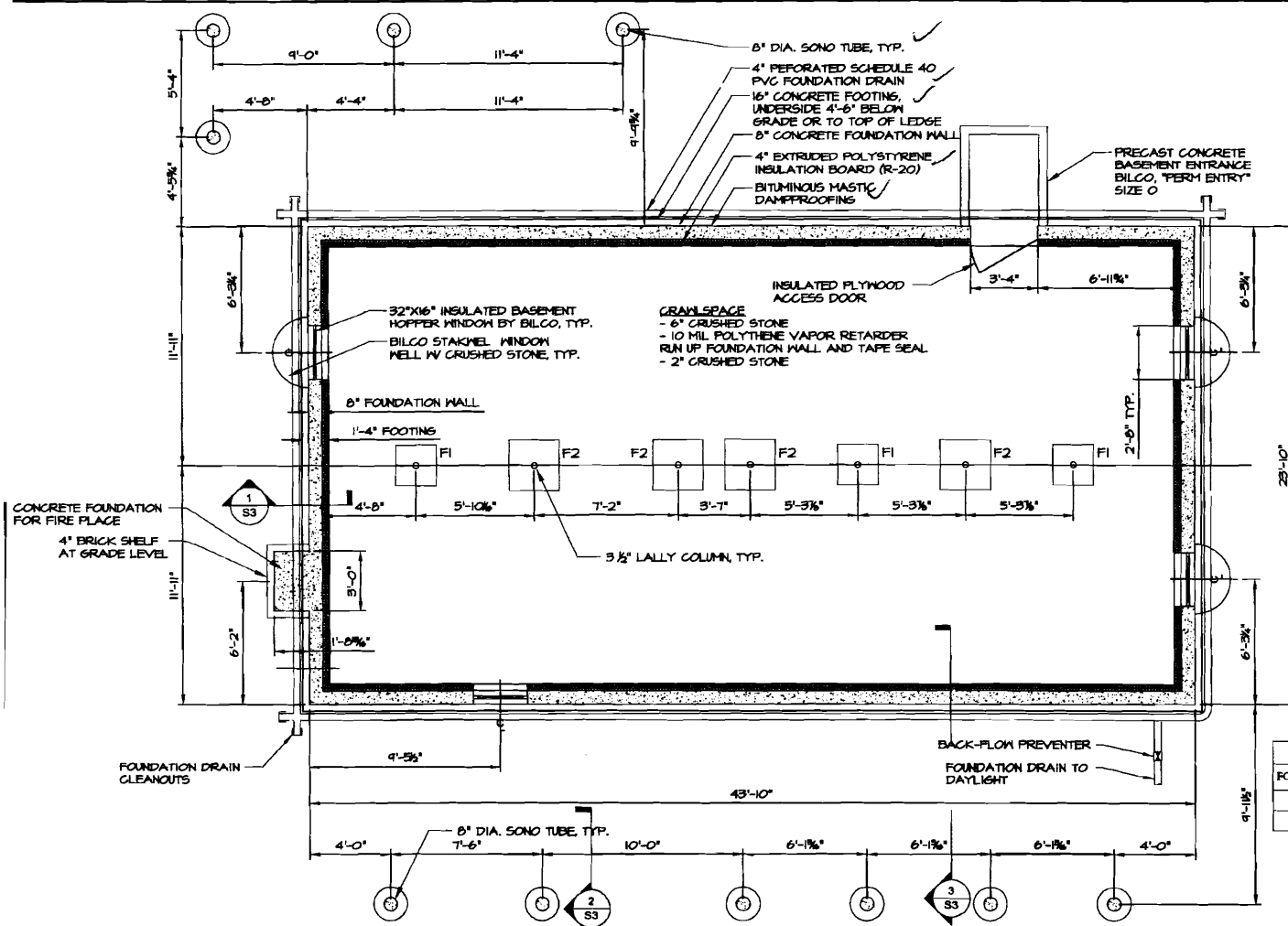
WINDOW SCHEDULE												
NUMBER	QTY	FLOOR	SIZE	DIMENSIONS	WIDTH	HEIGHT	R/O	MANUFACTURER	COMMENTS	QTY	U-Value	NUMBER
W01	6	1	2734	31 3/8" x 40 3/8"	31 3/8"	40 3/8"	32 3/8" x 40 7/8"	MARVIN	CUDH 2616	6	0.32	W01
W02	12	1	2744	31 3/8" x 52 3/8"	31 3/8"	52 3/8"	32 3/8" x 52 7/8"	MARVIN	CUDH2622	12	0.32	W02
W03	2	1	28311	32" x 47 1/8"	32"	47 1/8"	33" x 47 5/8"	MARVIN	CCM 3248	2	0.33	W03
W04	16	2	2734	31 3/8" x 40 3/8"	31 3/8"	40 3/8"	32 3/8" x 40 7/8"	MARVIN	CUDH 2616	16	0.32	W04
W05	4	2	28311	32" x 47 1/8"	32"	47 1/8"	33" x 47 5/8"	MARVIN	CCM 3248	4	0.33	W05



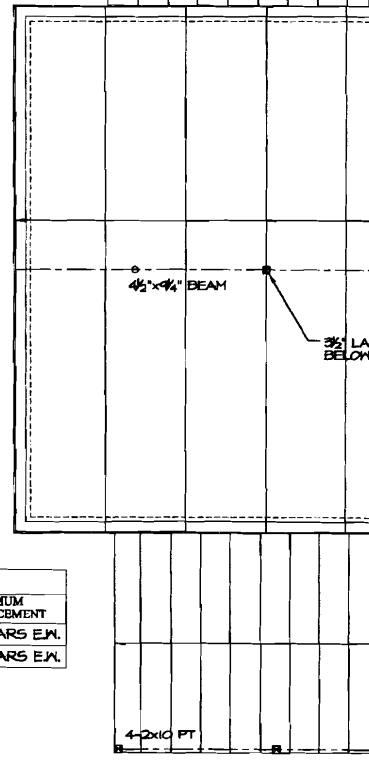
2 SECOND FLOOR PLAN  
A1.1 1/4" = 1'-0"



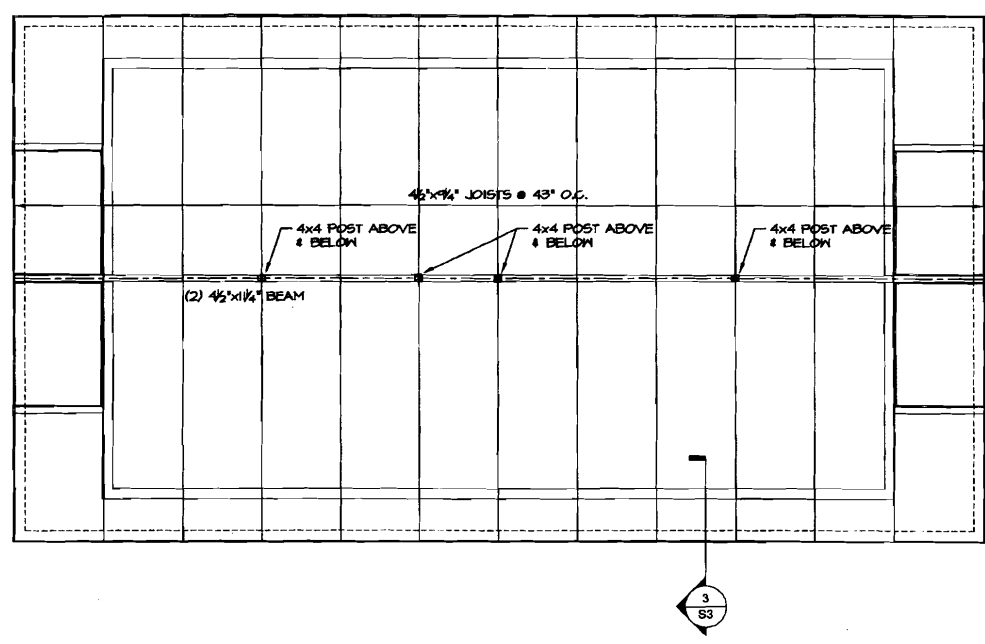
1 FIRST FLOOR PLAN  
A1.1 1/4" = 1'-0"



FOOTING SCHEDULE			
FOOTING	SIZE	THICKNESS	MINIMUM REINFORCEMENT
F1	2'-0" x 2'-0"	12"	(3) #4 BARS E/W
F2	2'-6" x 2'-6"	12"	(4) #4 BARS E/W

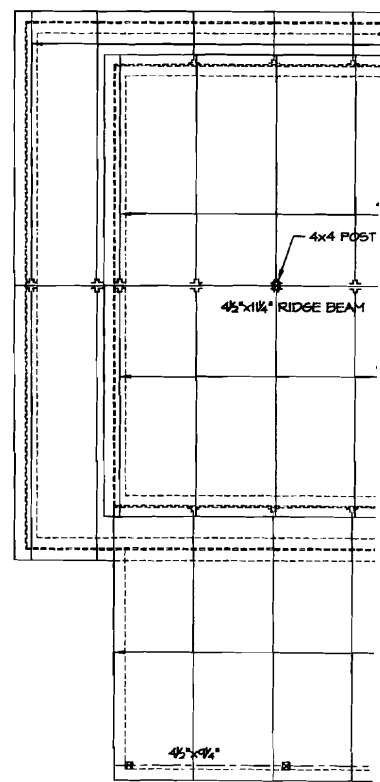


**FOUNDATION PLAN**  
Scale: 1/4"=1'-0"



**2nd FLOOR FRAMING PLAN**  
Scale: 1/4"=1'-0"

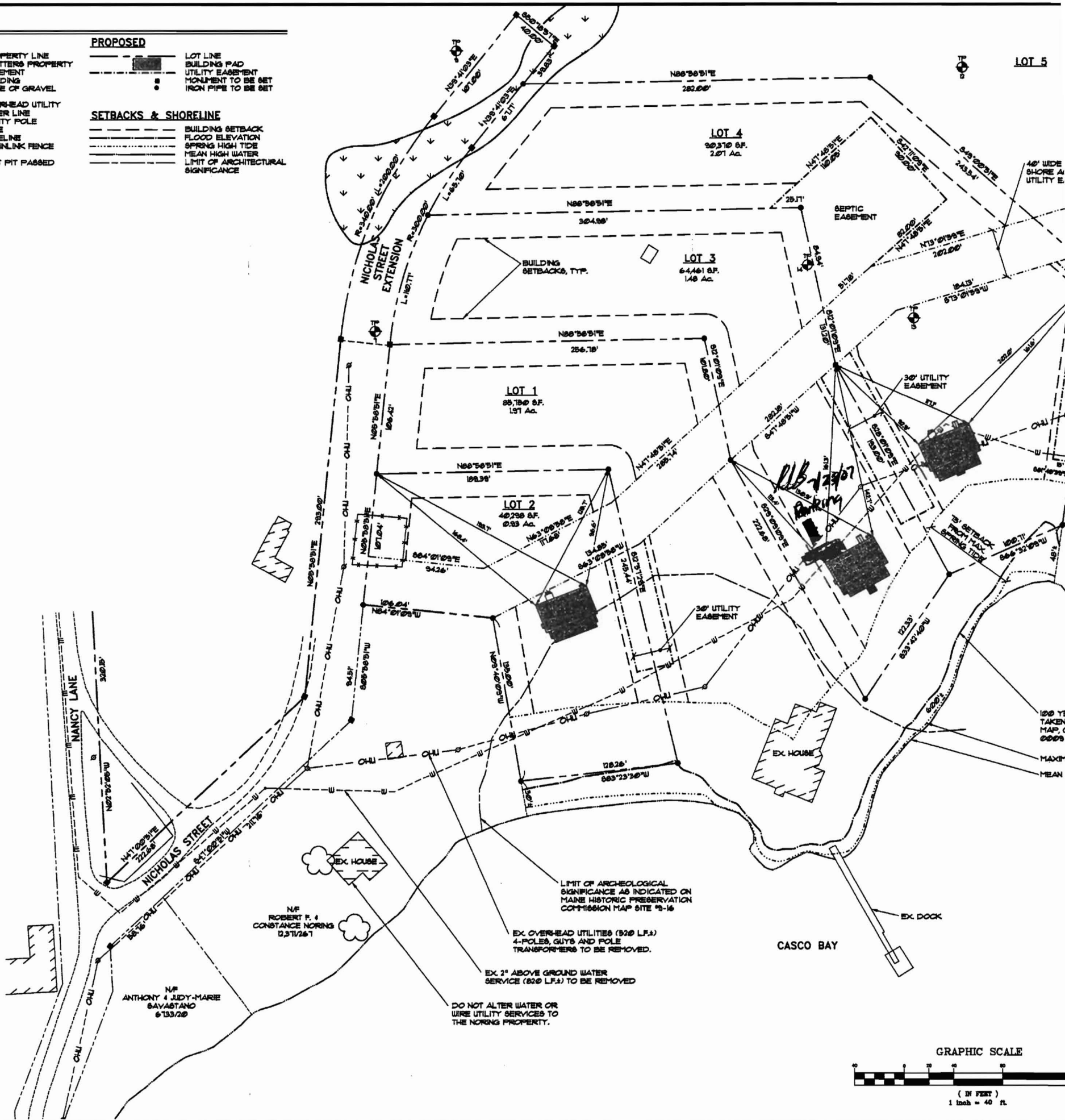
**1st FL**  
Scale: 1/4"=1'-0"

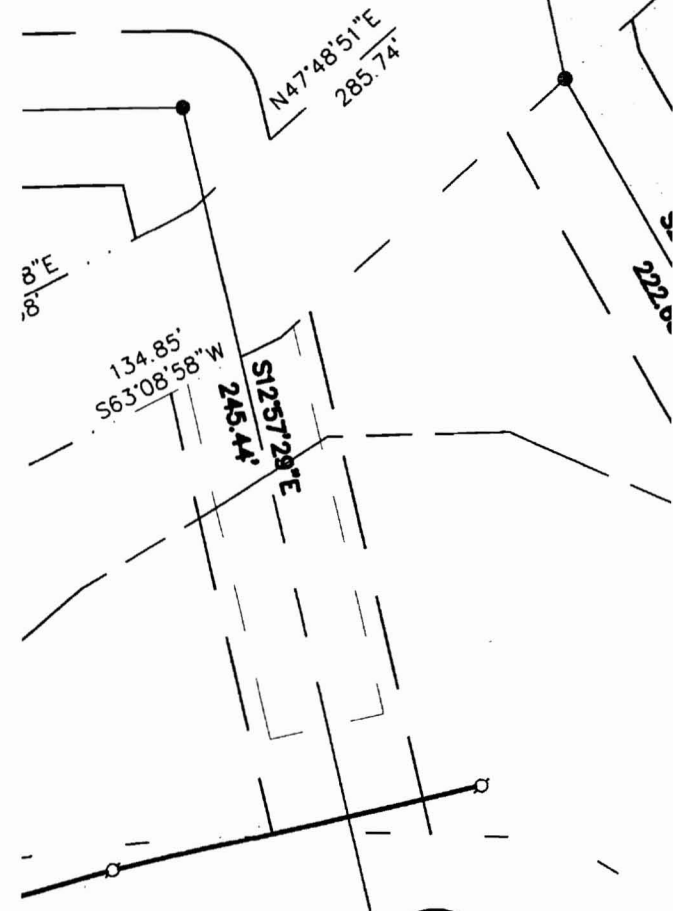
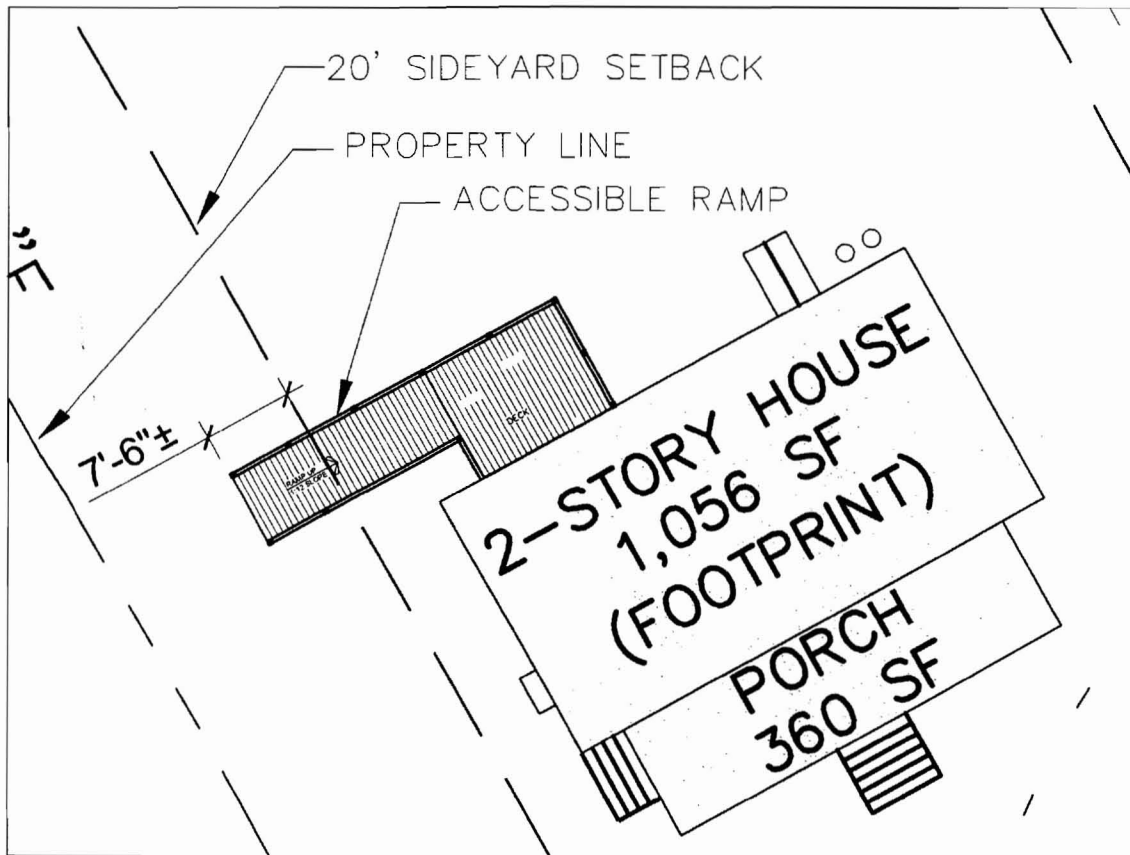
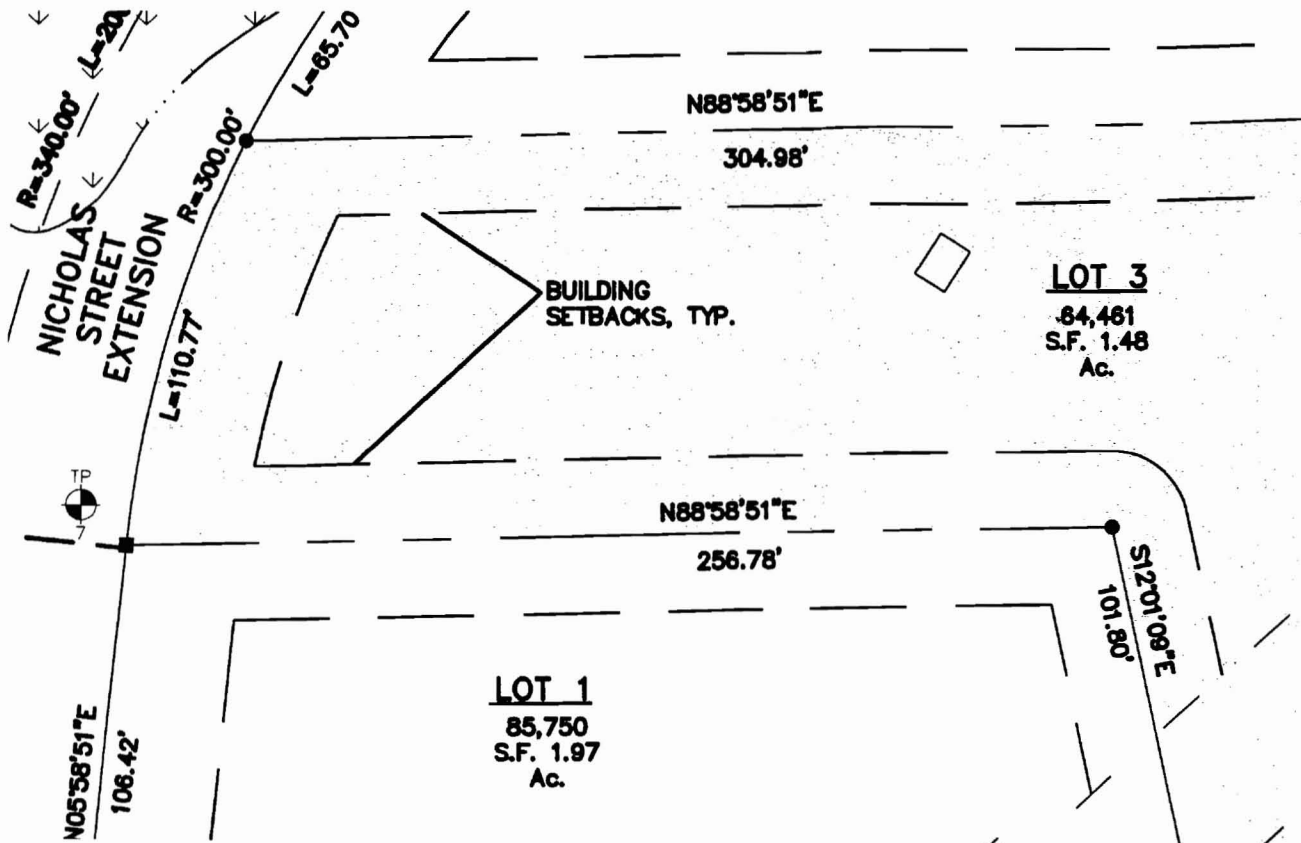
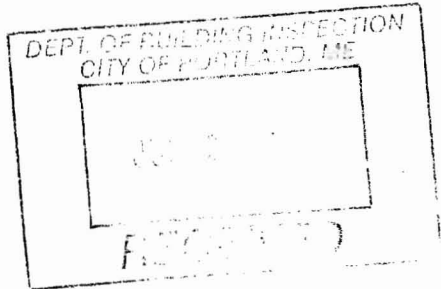


**ROOF**  
Scale: 1/4"=1'-0"

# LEGEND

EXISTING		PROPOSED	
	PROPERTY LINE		LOT LINE
	ADJUTERS PROPERTY EASEMENT		BUILDING PAD
	BUILDING		UTILITY EASEMENT
	EDGE OF GRAVEL		MONUMENT TO BE SET
	OVERHEAD UTILITY		BUILDING SETBACK
	WATER LINE		FLOOD ELEVATION
	UTILITY POLE		SPRING HIGH TIDE
	TREE		MEAN HIGH TIDE
	TREELINE		LIMIT OF ARCHITECTURAL SIGNIFICANCE
	CHAINLINK FENCE		
	TEST PIT PASSED		





2 ENLARGED PLAN  
1/16" = 1'-0"

1 LOT PLA  
1" = 50'-0"