

PERMIT ISSUED

Location of Construction: 0 Nicholas St. GDI		Owner Name: Glickman Albert B &		Owner Address: 9864 Wilshire Blvd		CITY OF PORTLAND		Phone: 774-1030	
Business Name:		Contractor Name: Taggart Construction		Contractor Address: PO Box 255 Freeport				Phone:	
Lessee/Buyer's Name		Phone:		Permit Type: Additions - Dwellings					Zone: IR-I
Past Use: Single Family		Proposed Use: Single Family w/addition, garage & covered walk		Permit Fee: \$3,711.00		Cost of Work: \$410,000.00		CEO District: 1	
Proposed Project Description: 30 x 30 two story addition, 14' x 15'-4" garage & 38' covered walkway				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: 5B BOCA 1999			
				Signature: _____		Signature: <i>JMB 6/9/04</i>			
				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)					
				Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied					
Permit Taken By:		Date Applied For: 06/09/2004		Zoning Approval					

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 6/9/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0769	Date Applied For: 06/09/2004	CBL: 083C A001001
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Location of Construction: 0 Nicholas St. GDI	Owner Name: Glickman Albert B &	Owner Address: 9864 Wilshire Blvd	Phone: () 774-1030
Business Name:	Contractor Name: Taggart Construction	Contractor Address: PO Box 255 Freeport	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Single Family w/addition, garage & covered walk	30' x 30' two story addition, 14' x 15'-4" garage & 38' covered walkway
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/09/2004

Note: **Ok to Issue:**

- 1) This permit approves an exchange of footprint within the 75' HWM. The existing shed will be removed and replaced with a portion of the covered walkway. Credit of 63 s.f. From the shed will go toward the walkway, which will be a total of 44 s.f. In the HWM setback area, therefore being a total net 19 s.f. less in that area.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 06/09/2004

Note: **Ok to Issue:**

- 1) A copy of the chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 2) An engineers stamped plan must be submitted to this office for the structural design of the roof trusses.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.


All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Nicholas Street, Great Diamond Island</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>B3C</u> Block# <u>A</u> Lot# <u>1</u>	Owner: <u>Albert & Judy Clickman</u>	Telephone: <u>(207) 774-1030</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>T. Scott Teas, NCARB, AIA TFH Architects, Portland 775-6141</u>	cost Of Work: \$ <u>410,000</u> Fee: \$ <u>\$3,711</u>
<u>Residential</u>		
Approximately how long has it been vacant: _____		
Proposed use: <u>Residential</u>		
Project description: <u>Addition 30x30 2 story w/ 14x15'-4" Garage & covered walkway</u>		
Contractor's name, address & telephone: <u>Taggart Construction, Freeport, ME 865-2281</u>		
Who should we contact when the permit is ready: <u>T. Scott Teas</u>		
Mailing address: <u>100 Commercial Street Portland, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>775-6141</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

enter all areas covered

Signature of applicant: 	Date: <u>6/9/04</u>
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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Fr. = 30'
Rr = 30'
Sd = 20'

Card Number 1 of 1
Parcel ID 083C A001001
Location A
Land Use SEASONAL
Owner Address GLICKMAN ALBERT B 8 JUDITH L JTS
7864 WILSHIRE BLVD
BEVERLY HILLS CA 90210

Zone IR-1

Book/Page
Legal 83C-A-1-3-8-9-11-13-14
83C-B-2 TO 7-10-11
83D-A-1 GT DIA ISLAND
4089459 SF Nicholas

Valuation Information

Land	Building	Total
\$417,170	\$156,550	\$573,720

Property Information

Year Built 1895	Style Old Style	Story Height 2	Sq. Ft. 4412	Total Acres 93.88
Bedrooms 4	Full Baths 2	Half Baths	Total Rooms 8	Attic None
				Basement Pier/slab

Outbuildings

Type BOAT DOCK-HVY	Quantity 1	Year Built 1930	Size 6x85	Grade C	Condition A
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Sales Information

Date	Type	Price	Book/Page
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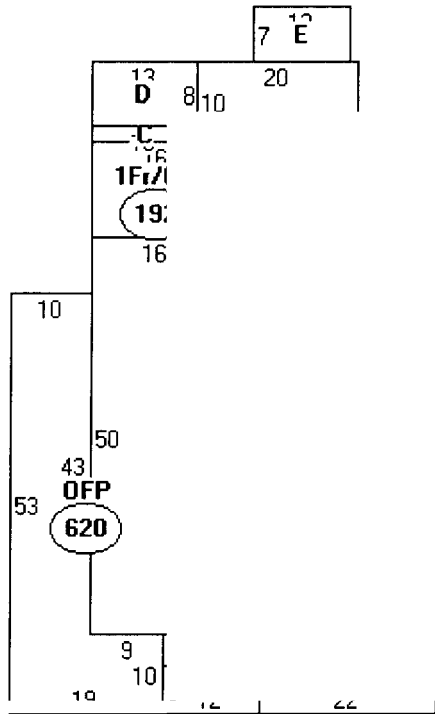
Picture and Sketch

Picture Sketch

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.





Descriptor/Area

- A 2Fr
2110 sqft
- B 1Fr/OP
192 sqft
- C OPF
26 sqft
- D FUB
104 sqft
- E FUB
84 sqft
- F EP
528 sqft
- G WD
48 sqft
- H OPF
72 sqft
- I OPF
620 sqft

3,784
 1,200 SF

 4,984
 190 walkway

 5,174 SF

4,089,459
 x 20%

 817,891

OK



Memorandum

Project: Addition to the Glickman Residence **Project No.** 0115

Date: February 26, 2004

To: Jeannie Bourke **Phone No.** (207)874-8715
Inspections Department **Fax No.** (207)874-8716
City of Portland
389 Congress Street
Portland, ME 04101

From: Will Tinkelenberg **Phone No.** (207) 775-6141
TFH Architects **Fax No.** (207) 773-0194

Re: Preliminary Code Review **Copy to:** File

Hi Jeannie:

Included here is a copy of Alan Burnell's memo regarding the septic disposal system. Please let me know if any further information will be required, or if you have any questions.

I spoke with Scott regarding the Garage, and have the following to share with you:

- 1.) According to Scott, the golf carts are battery powered.
- 2.) The Owner has expressed an interest in possibly increasing the length of the Garage to accommodate kayaks.
- 3.) Evidently there is no compelling need for a wood finish inside the Garage, such that if GWB is required, it will serve as the finish. So, please don't feel it necessary to review the possibility of installing wood beadboard over the GWB.

Please let me know what you determine regarding whether or not a 4" step will be required.

Thank you!

Will



170 U.S. Route One
Falmouth, Maine 04105
Tel: 207.781.5242
Fax: 207.781.4245

MEMORANDUM

TO: Scott Teas, TFH Architects

FROM: Alan Bunnell

DATE: 2/2/04

RE: Glickman cottage septic disposal system, Great Diamond Island

FILE: 03190

RECEIVED
FEB 4 2004
TFH ARCHITECTS

Dear Scott:

As requested, I visited *Great Diamond Island* on January 23, 2004 for the purpose of examining the septic system at the Glickman Cottage. I was accompanied by Rodney Booth, caretaker for Mr. Glickman. The ground was frozen so I was unable to **definitively determine** the extent of the existing disposal system. I would recommend a return trip in **the spring** after the frost has dissipated. I was, however, able to **gain some facts** on this trip.

I was able to **locate** the area of both the **septic tank** and the **disposal field** although I was not able to **determine the size** of either one. I **did discover** an electrical line leading to the tank and an interior breaker circuit labeled "pump tank", indicating that there **is some type of effluent pump** and associated force main. This would lead me to believe that the **tank is probably concrete** and serviceable. It **appears** that the **tank may have been modified** when the upstairs bathroom was installed. If the **contractor who installed** it could be located they may be able to **supply additional information regarding size and age**.

Rodney Booth had talked to **someone on the island** who indicated that the **leach field was on the right** as you **approach the house** from the road. It **appeared** from above ground evidence that it was **located in this area**. I was **unable to determine the size** due to **frozen ground conditions**. **Neither the tank nor the field showed any signs of failure**.

As I have **indicated** in our prior **conversations**, the **expansion** of more than one bedroom **constitutes** a major **expansion and must meet first time system regulations**. I believe this would **be possible** if **this is what is proposed**. I have



enclosed a copy of Chapter 17 of the **Subsurface Disposal Regulations** which deals with expansions both inside and outside the **Shoreland Zone**.

Rodney Booth mentioned that **discontinuing one of the bedrooms** in the **existing house** might be an option as opposed to building a new **disposal system**. I think this would meet the intent of the **regulations**.

Please let me know if you **need additional** information or **assistance**. I would be glad to **schedule another trip** to the **island** when the weather **breaks** if it would be useful.

Sincerely,

Alan L. Burnell
LSE #267

CHAPTER 17

ALTERATION, REPAIR AND EXPANSION OF EXISTING DISPOSAL SYSTEMS

SECTION 1700.0 GENERAL

1700.1 Scope: This Chapter governs the alteration, repair or expansion of existing systems.

SECTION 1701.0 ALTERATIONS OR REPAIRS OF EXISTING DISPOSAL SYSTEMS

1701.1 General: Alterations or repairs made to existing disposal systems, excluding those required for an expansion or change in use may be approved by the local plumbing inspector provided that all requirements of this Section are met.

1701.1.1 Application for alteration or repair of an existing disposal system: Any modification, repair or alteration of the disposal field, other than the addition of fill, requires the determination of the Local Plumbing Inspector as to whether or not a permit is required. If a permit is required, such modification, repair or alteration shall be as prescribed by a Maine Registered Professional Engineer or a Maine Licensed Site Evaluator and shall be considered a disposal field for permitting purposes.

1701.1.2 Conformity with this code: Approved alterations or repairs shall be limited to those systems that are in compliance with this code or that will come into compliance with this code as a result of the alteration or repair.

1701.2 Existing overboard discharge: Any structure(s) licensed to discharge treated or untreated waste water or any property to which a valid license has been issued to discharge waste water to the waters of the state may install a disposal system using replacement system criteria.

SECTION 1702.0 EXPANSION OR CHANGE IN USE OF EXISTING STRUCTURES

1702.1 General: Any expansion or change in use of a structure which results in an increase in design flow and which requires larger disposal system components than are present in the existing disposal system must first obtain a permit in accordance with this section and any municipal ordinances governing subsurface wastewater disposal systems. Expansions of a structure, such as a porch, living room or sun room, which do not increase the design flow are exempt from the requirements of this section.

1702.2 Minor expansion: The initial expansion of a single family home after May 1, 1995 by the addition of no more than one bedroom or, if the home is served by pressurized water, the replacement of an alternative toilet by a conventional water closet. For other structures, a minor expansion is the initial expansion since May 1, 1995, which results in an increase in design flow of no more than 25 percent.

1702.3 Major expansion: Any expansion which results in a greater design flow and larger disposal system components than allowed for minor expansions, the introduction of pressurized water to a structure formerly served by hand pumped or hand carried water, the addition of a second dwelling unit to the property, any second or subsequent minor expansion of a structure since May 1, 1995, or an expansion for a nonresidential use or structure resulting in an increase of more than 25 percent of the existing design flow.

SECTION 1703.U EXPANSIONS OUTSIDE OF THE SHORELAND ZONE OF MAJOR WATERBODIES/COURSES

1703.1 Minor expansions design criteria: Minor expanded disposal systems shall meet first time system design criteria as set forth in this code, except as otherwise authorized in this section.

1703.2 Reduction in design criteria for minor expansions outside of the shoreland zone of major waterbodies/courses: If a site evaluator determines that an expanded disposal system can not be installed in accordance with first time system criteria, there is no practical alternative and reductions are minimized, the local plumbing inspector may approve the reduced criteria as set forth in Tables 600.3 and 700.3.

1703.3 Minor expanded systems located outside of the shoreland zone of major waterbodies/courses not upgraded at the time of expansion: If a minor expanded system is located outside of the shoreland zone of a major waterbody/course, the owner may elect to not install the expanded disposal system at the time of expansion, provided the existing disposal system is functioning properly, by utilizing the following procedure. This procedure must be met prior to the expansion:

1703.3.1 Application (HHE-200): The applicant shall provide a completed application to the local plumbing inspector demonstrating that if the existing disposal system malfunctions in the future, it can be replaced or enlarged in accordance with this code and any municipal ordinances that apply to systems. The application shall show the location of the existing system, the replacement or enlarged system, lot lines and all wells within applicable setback distances.

1703.3.2 Registry of deeds: A copy of the documentation required in 1703.3.1 shall be recorded in the appropriate registry of deeds. The Department shall prescribe the form of the

notice to be recorded in the County Registry of Deeds.

1703.3.3 Notify abutters: The person seeking to expand a structure shall send a copy of the notice of documentation, by certified mail, return receipt requested, to all owners of abutting lots.

1703.3.4 Protection of future installation: After the documentation required in 1703.3.1 has been recorded in the appropriate registry of deeds and all abutters have been notified, no owner of abutting property may install a well in a location that would prevent the installation of the expanded disposal system. The owner of the lot on which the expanded disposal system is to be installed may not erect any structure on the proposed site of the expanded disposal system or conduct any activity that would prevent the use of the designated site for the expanded disposal system.

1703.4 Major expanded systems located outside the shoreland zone of major waterbodies/courses: Major expanded disposal systems shall meet first time system design criteria as set forth in this code and must be installed prior to the expansion, except as otherwise authorized in this section.

1703.4.1 Reduction in design criteria for major expansions outside of the shoreland zone of major waterbodies/courses for single family dwellings; If a site evaluator determines that a major expanded disposal system for a single family dwelling can not be installed in accordance with first time system criteria, there is no practical alternative and reductions are minimized, the local plumbing inspector may approve the reduced criteria as set forth in Tables 600.3 and 700.3.

SECTION 1704.0 EXPANSIONS INSIDE OF THE SHORELAND ZONE OF MAJOR WATERBODIES/COURSES

1704.1 Minor expanded systems located within the shoreland zone of major waterbodies/courses: Minor expanded systems located within the shoreland zone of major waterbodies/courses must be installed prior to the expansion.

1704.1 Reduced criteria for minor expanded systems located within the shoreland zone of major waterbodies/courses: For minor expanded disposal systems located within the shoreland zone of major waterbodies/courses, the local plumbing inspector may authorize the reduced criteria as set forth in Tables 600.4 and 700.4.

1704.2 Major expanded systems located within the shoreland zone of major waterbodies/courses: Major expanded disposal systems shall meet first time system design criteria as set forth in this code and must be installed prior to the expansion.



U.S. Route One
 Falmouth, ME
 04105
 Tel: (207) 781-5242
 Fax: (207) 781-4245

June 8, 2004
 File: 03190

TFH Architects
 100 Commercial Street
 Portland, Maine
 Attn: Will Tinkelenberg

RE: Septic System Inspection
 Glickman Residence
 Great Diamond Island

Dear Will:

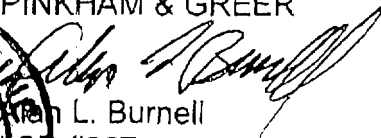
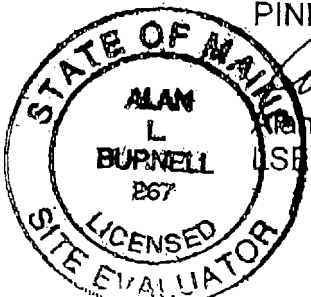
As requested I have visited the above captioned property for the purpose of inspecting the subsurface disposal system in order to determine location and size and additionally to determine if it is functioning properly.

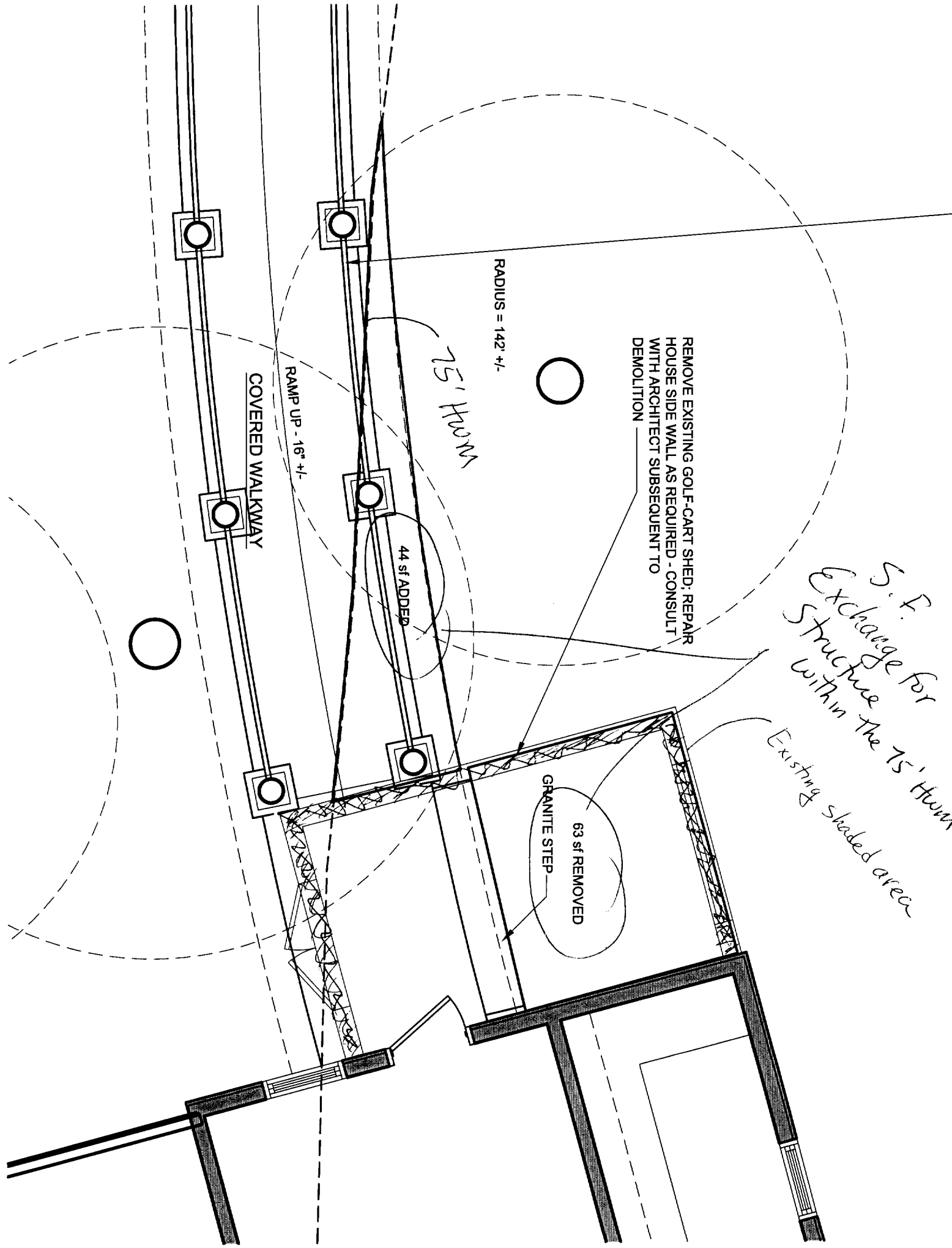
I determined that the system components consist of a 1000 gallon septic tank, an effluent pump station and a disposal field of approximately 900 sq. ft. The system components appeared to be functioning properly on the days I inspected them and it is my opinion the new addition will have no adverse effect on the existing system.

I also examined the area for possible replacement system locations and determined that there is sufficient area to install a new disposal field should the existing system malfunction.

Please don't hesitate to contact me should you require additional information.

Sincerely,

PINKHAM & GREER

 Alan L. Burnell
 License #267




REMOVE EXISTING GOLF-CART SHED; REPAIR HOUSE SIDE WALL AS REQUIRED - CONSULT WITH ARCHITECT SUBSEQUENT TO DEMOLITION

RADIUS = 142' +/-

75' HUM

RAMP UP - 16' +/-

COVERED WALKWAY

44 sf ADDED

GRANITE STEP
63 sf REMOVED

S.F. Exchange for Structure within the 75' Hum
Existing shaded area

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

**OF WORK
PERMIT ISSUED**

JUN 09 2004

Permit Number: 040769

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Glickman Albert B &/Taggart Construction
 has permission to 30' x 30' two story addition, 15'-4" wide covered walkway
 AT 0 Nicholas St. GDI 083C A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is loaded or otherwise used-in. **NO OTHER NOTICES REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
 Health Dept. _____
 Appeal Board _____
 Other _____
Department Name

Jeanie Bourke 6/9/04
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

NA Re-Bar Schedule Inspection: Prior to pouring concrete

NA Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee _____ Date 6.9.04
Signature of Inspections Official Arnie Bonta _____ Date 6/9/04

CBL: 83CA-001 Building Permit #: 04-769