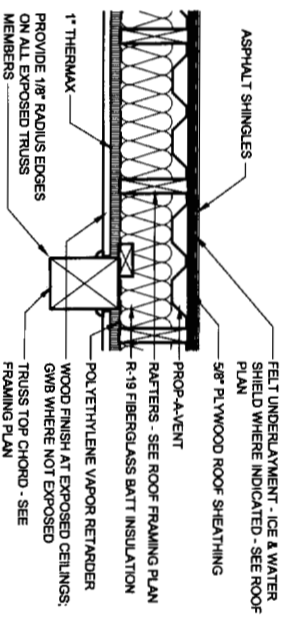


GENERAL NOTES

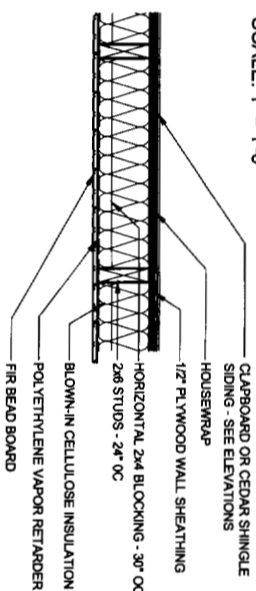
- 1: DRAWING NOTES: UNLESS THEY INDICATE OTHERWISE, REFER TO DRAWING NOTES, UNLESS THEY INDICATE OTHERWISE, REFER TO NEW CONSTRUCTION.
- 2: CODE COMPLIANCE: ALL WORK SHALL CONFORM TO THE LATEST EDITION OF STATE AND FEDERAL BUILDING CODES WHICH APPLY TO THIS PROJECT OR HAVE JURISDICTION.
- 3: COORDINATION: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL DISCIPLINES AND TRADES SO THAT ALL BUILDING SYSTEMS AND COMPONENTS CAN BE ASSEMBLED WITHOUT CONFLICTS. IN THE EVENT THAT THE CONSTRUCTION DOCUMENTS DEFINE CONDITIONS WHICH PROHIBIT, OR MAY PROHIBIT, SUCH ASSEMBLY, THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION IN WRITING AND IN A TIMELY FASHION, SUCH CONDITIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.
- 4: DISCREPANCIES OF CLARIFICATIONS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE DRAWINGS AND ANY ADDITIONAL TO, AND EXISTING BUILDING, DIMENSIONS SHOWN ON THE DRAWINGS ARE BELIEVED TO BE ACCURATE, BUT CANNOT BE GUARANTEED. MEASURE AND VERIFY DIMENSIONS IN FIELD PRIOR TO FABRICATION AND CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ARCHITECT'S ATTENTION IN WRITING ANY DISCREPANCIES OR AMBIGUITIES IN THE DRAWINGS AND/OR SPECIFICATIONS. THE CONTRACTOR SHALL NOT PROCEED WITH RELATED WORK WITHOUT A WRITTEN RESOLUTION OR CLARIFICATION FROM THE ARCHITECT.
- 5: LAYOUT: UNLESS INDICATED OTHERWISE, FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING, DOORS AND WINDOWS ARE DIMENSIONED TO CENTERLINES OR ROUGH OPENINGS.
- 6: CENTERING: UNLESS INDICATED OTHERWISE, CENTER BUILDING ELEMENTS WITHIN OR BETWEEN BUILDING ELEMENTS WHEN CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SUCH IS THE INTENT, WHETHER OR NOT DIMENSIONS ARE INCLUDED.
- 7: SYMMETRY: WHERE CONDITIONS OR THE DRAWINGS INDICATE OR IMPLY THAT SYMMETRY IS INTENDED, INFORMATION PROVIDED AT ONE SIDE APPLIES EQUALLY TO BOTH SIDES, UNLESS CONDITIONS CLEARLY PRECLUDE SUCH APPLICATION.
- 8: DRAWING SCALES: WORK FROM THE GIVEN DIMENSIONS ONLY. SCALE IS INDICATED ON THE DRAWINGS FOR CONVERSION ONLY. IT IS NOT INTENDED THAT INFORMATION BE DETERMINED BY SCALING THE DRAWINGS SINCE SOME ITEMS MAY NOT BE TO SCALE.
- 9: BUILDING INSULATION: PROVIDE AS INDICATED IN CONSTRUCTION AND PARTITION TYPES DRAWINGS, WHETHER OR NOT SHOWN IN DETAILS OR OTHER DRAWINGS. FOR CLARITY, INSULATION MAY NOT BE SHOWN IN SOME CASES, EVEN IF IT IS PROVIDED.
- 10: BLOCKING: INSTALL BLOCKING BEHIND ALL SURFACE-APPLIED FIXTURES, TRIM, CASEWORK, SHELVES, BRACKET, TOILET ACCESSORIES, CHAIR RAILS, PICTURE RAILS, GRAB BARS, BASE MOLDINGS, AND AS OTHERWISE REQUIRED. WHEN SUCH ITEMS ARE APPLIED ON STUD WALLS.
- 11: PENETRATIONS AT STRUCTURAL MEMBERS: BEFORE PENETRATING JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT.
- 12: DAMAGED WORK: BUILDING COMPONENTS WHICH ARE AFFECTED BY NEW WORK, DEMOLITION, OR WHICH MAY BE DAMAGED BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION AND COLOR TO MEET THE APPROVAL OF THE ARCHITECT.
- 13: RAFTER DOWNS & RUFOON: PROVIDE RATED CONSTRUCTION AS REQUIRED BY CODE AS SPECIFIED AND AS INDICATED ON DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE INSTALLATION OF ALL COMPONENTS REQUIRED TO CREATE SUCH RATED CONSTRUCTION, REGARDLESS OF WHETHER OR NOT SUCH COMPONENTS ARE INDICATED. PROVIDE CONTINUITY OF SUCH RATED CONSTRUCTION AROUND AND BETWEEN SPACES, INCLUDING AT CHASES AND AT FLOORS, TO MAINTAIN COMPLETE SEPARATIONS, EVEN IF NOT SPECIFICALLY INDICATED.
- 14: INTERIOR FINISHES: INTERIOR FINISHES - INCLUDING BASES, WAINSCOTS, CHAIRRAILS & CROWN MOLDINGS IF APPLICABLE - INDICATED FOR ONE WALL OR A SPACE OR ROOM ARE APPLICABLE FOR ALL WALLS OF THE SPACE OR ROOM UNLESS NOTED OTHERWISE.
- 15: CONSTRUCTION DOCUMENTS: THE CONSTRUCTION DOCUMENTS CONSIST OF THESE CONSTRUCTION DRAWINGS AND A PROJECT MANUAL, WHICH INCLUDES THE SPECIFICATIONS AND ANY ADDENDUM AND/OR CHANGE ORDERS AS MAY BE NECESSARY.

CONSTRUCTION & PARTITION TYPES



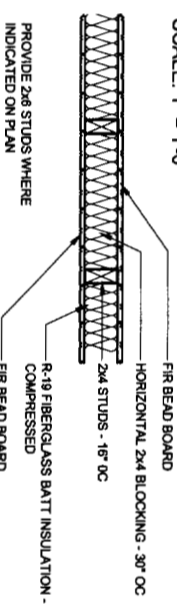
ROOF CONSTRUCTION

SCALE: 1" = 1'-0"



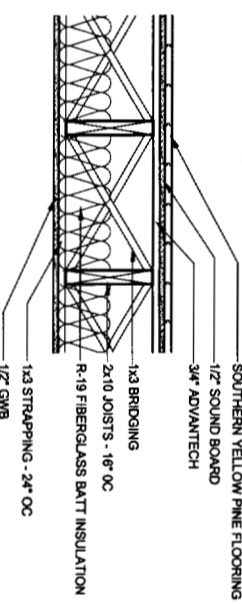
EXTERIOR WALL CONSTRUCTION

SCALE: 1" = 1'-0"



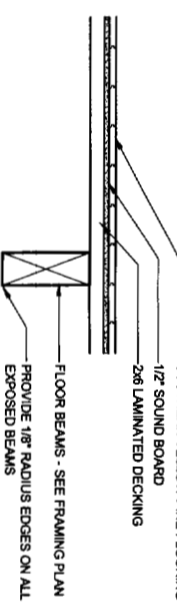
TYPICAL INTERIOR PARTITION

SCALE: 1" = 1'-0"



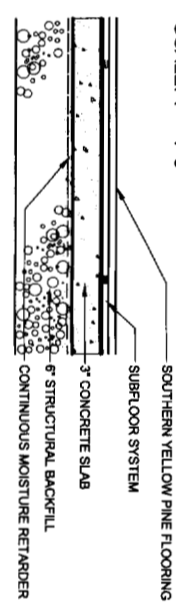
CLOSED FLOOR CONSTRUCTION

SCALE: 1" = 1'-0"



OPEN FLOOR CONSTRUCTION

SCALE: 1" = 1'-0"



FIRST FLOOR SLAB CONSTRUCTION

SCALE: 1" = 1'-0"

CODE SUMMARY

OCCUPANCY: RESIDENTIAL R-3, ONE-FAMILY DWELLING UNIT
 CONSTRUCTION TYPE: TYPE 5B, UNPROTECTED WOOD FRAME
 BUILDING SIZE:
 FIRST FLOOR: 733.6 GROSS SF (Excludes Porches & Garage)
 SECOND FLOOR: 999.0 GROSS SF (Excludes Porch; Includes Accessible Attic)
 TOTAL: 1,732.6 GROSS SF
 OCCUPANT LOAD: 9
 1 OCCUPANT PER 200 GROSS SF
 SPRINKLER SYSTEM: NO
 ACCESSIBILITY: NA

ABBREVIATIONS

AC AIR CONDITIONING
 AFF ABOVE FINISH FLOOR
 FF FINISH FLOOR
 GWB Gypsum Wall Board
 MDf MEDIUM DENSITY OVERLAY
 MIN MINIMUM
 METL METAL
 NIC NOT IN CONTRACT
 ON CENTER
 PE OVERHEAD ELECTRIC
 PFD PAINTED
 SIP STRUCTURAL INSULATED PANEL
 TOC TOP OF CONCRETE
 TYP TYPICAL
 UNF UNNOTED OTHERWISE
 VIF VERIFY IN FIELD

INDEX OF DRAWINGS

NOTE: THIS PROJECT INCLUDES A SEPARATE PROJECT MANUAL BOOK WHICH INCLUDES THE SPECIFICATIONS

G-1	GENERAL INFORMATION
C-1	SITE PLAN
C-2	SITE DETAILS
S-1	FOUNDATION PLAN & DETAILS
S-2	SECOND FLOOR FRAMING & CEILING FRAMING DETAILS
S-3	ROOF FRAMING PLAN & FRAMING SECTION
S-4	FRAMING SECTION & ROOF TRUSSES
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN & ROOF PLAN
A-2.1	BUILDING ELEVATIONS
A-3.1	SECTIONS & INTERIOR ELEVATIONS
A-3.2	SECTIONS & INTERIOR ELEVATIONS
A-3.3	SECTIONS & INTERIOR ELEVATIONS
A-4.1	DETAILS
A-4.2	DETAILS
A-4.3	DOORS & WINDOWS
A-5.1	FIRST FLOOR REFLECTED CEILING PLAN & ELECTRICAL
A-5.2	SECOND FLOOR REFLECTED CEILING PLAN & ELECTRICAL

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 Portland, Maine

TFI ARCHITECTS
 100 COMMERCIAL STREET
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 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:
 Civil Engineering
 170 ST. MARK ST.
 Portland, Maine 04101
 Structural Engineering - Consulting
 22 Ocean Ave., Portland, Maine 04101

REVISIONS:	
DATE:	June 9, 2004
PROJECT NO.	01-15
DRAWN BY:	WJT
CHECKED BY:	TST
SCALE:	As Noted
SHEET TITLE:	General

G-1

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CONSULTANTS:
Civil, Electrical & Mechanical Engineering
Portland, Maine 04102
22 Commercial Street
2000-2001
2002-2003
2004-2005
2006-2007
2008-2009
2010-2011
2012-2013
2014-2015
2016-2017
2018-2019
2020-2021
2022-2023
2024-2025

REVISIONS:

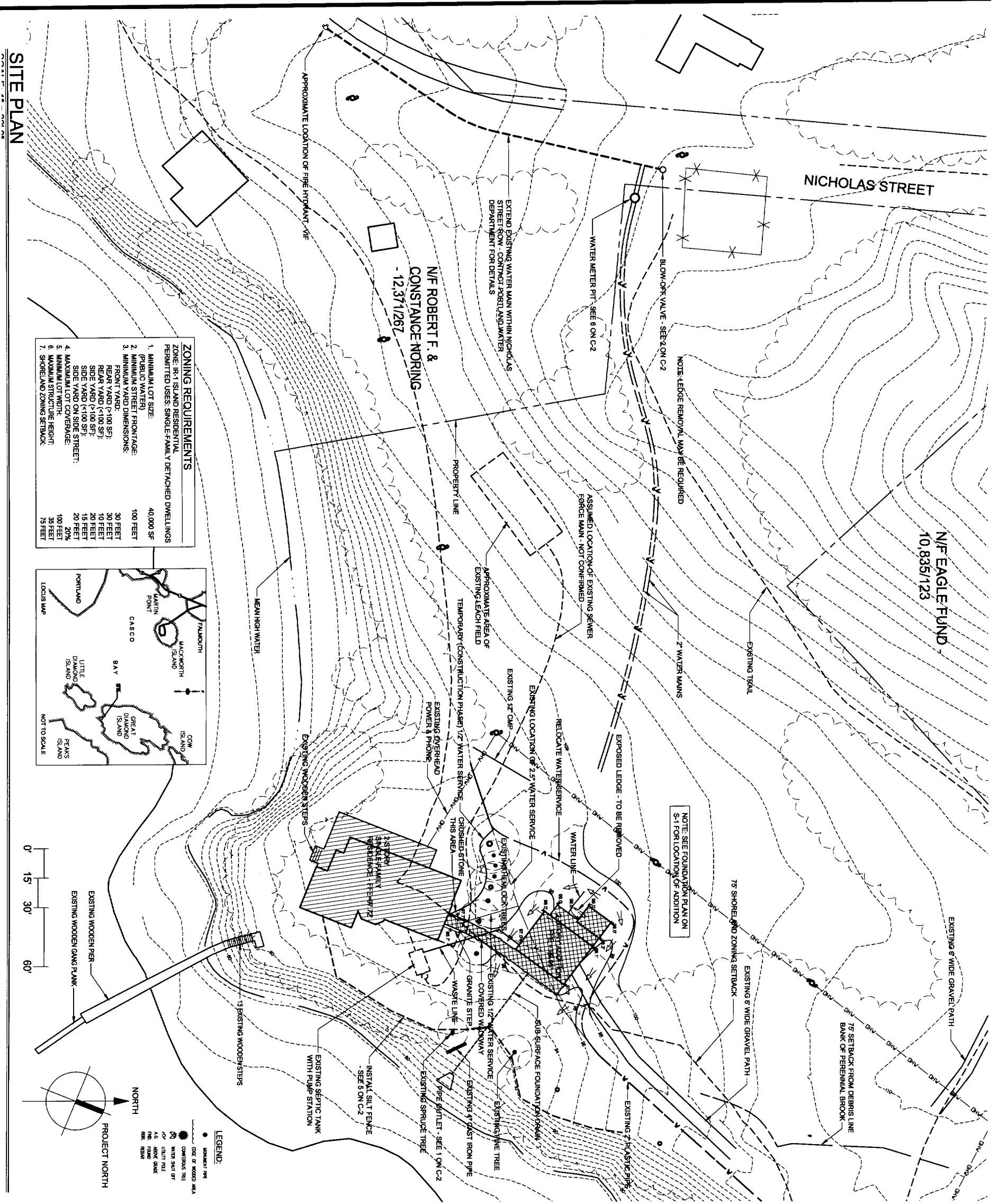
DATE: June 9, 2004
PROJECT NO.: 0115

DRAWN BY: WJT
CHECKED BY: TST

SCALE: As Noted
SHEET TITLE: Site Plan

PROJECT NORTH

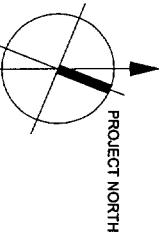
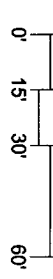
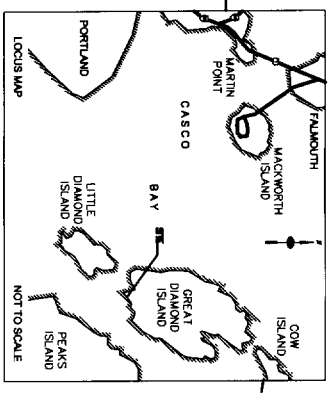
C-1



ZONING REQUIREMENTS

ZONE: R-1 ISLAND RESIDENTIAL
PERMITTED USES: SINGLE-FAMILY DETACHED DWELLINGS

1. MINIMUM LOT SIZE: (PUBLIC WATER)	40,000 SF
2. MINIMUM STREET FRONTAGE:	100 FEET
3. MINIMUM YARD DIMENSIONS:	
FRONT YARD:	30 FEET
REAR YARD (>100 SF):	30 FEET
REAR YARD (<100 SF):	10 FEET
SIDE YARD (>100 SF):	10 FEET
SIDE YARD (<100 SF):	15 FEET
SIDE YARD ON SIDE STREET:	20 FEET
4. MINIMUM LOT WIDTH:	20' 0"
5. MINIMUM LOT AREA:	100 FEET
6. MAXIMUM STRUCTURE HEIGHT:	38 FEET
7. SHOULDER AND ZONING SETBACK:	75 FEET



EROSION CONTROL

GENERAL NOTES:

THE DRAWINGS DEPICT THE REQUIRED SOIL EROSION CONTROL MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE CONSTRUCTION SITE IN SUCH A MANNER THAT:

1. SOIL EROSION IS KEPT TO A MINIMUM.
2. NO SEDIMENT LEAKS THE CONSTRUCTION SITE PROPER.
3. FROM ENTERING DRAINAGE COURSES AND WETLANDS EVEN BEYOND THE DETAILS SHOWN ON THIS PLAN IF NECESSARY.

ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991. THE CONTRACTOR IS RESPONSIBLE FOR ALL FINES RESULTING FROM EROSION OR SEDIMENTATION FROM THE SITE TO SURROUNDING PROPERTIES, WATERBODIES, OR WETLAND AS A RESULT OF THIS PROJECT.

LOAM AND SEED ALL DISTURBED AREAS AS SOON AS POSSIBLE AFTER DISTURBANCE, BUT NO LONGER THAN 7 DAYS. USE WINTER SEED RATES AND SPECIFICATIONS IF APPROPRIATE.

INSPECT SOIL EROSION MEASURES WEEKLY AND AFTER SIGNIFICANT STORM EVENTS. MAKE ALL NECESSARY REPAIRS TO FACILITIES AS SOON AS POSSIBLE, BUT NO LONGER THAN 2 DAYS. CLEAN AND RESET SILT FENCES AND STONE CHECK DAMS WHICH ACCUMULATE SEDIMENT AND DEBRIS.

PROTECT AND STABILIZE ALL AREAS NOT SCHEDULED FOR EROSION. NOTIFY PREVENTION OF STABILIZATION BUT THAT SHOW SIGNS OF EROSION. OWNER OF ANY SIGNIFICANT EROSION PROBLEM.

TEMPORARILY SEED WITHIN 7 DAYS ANY AREA WHICH WILL BE LEFT DISTURBED AND UNWORKED FOR MORE THAN 14 DAYS WITH THE TEMPORARY SEED MIX LISTED BELOW. PERMANENTLY SEED ANY AREA WHICH CAN BE LOAMED AS SOON AS POSSIBLE WITH THE PERMANENT SEED MIX LISTED BELOW. DO NOT USE PERMANENT SEED MIX AFTER SEPTEMBER 15.

MULCH ALL AREAS SEEDING SO THAT SOIL IS NOT VISIBLE THROUGH THE MULCH REGARDLESS OF THE APPLICATION RATE. DURING THE GROWING SEASON (APRIL 15 - SEPT. 30) USE MATS (OR MULCH AND NETTING) ON:

- THE BASE OF GRASSED WATERWAYS
- SLOPES STEEPER THAN 15%
- WITHIN 100 FT. OF STREAMS AND WETLANDS
- BETWEEN OCT. 1 AND APRIL 14 USE MATS (OR MULCH AND NETTING) ON:
 - SLOPES OF GRASSED WATERWAYS
 - SLOPES STEEPER THAN 8%

INSTALL MATS (OR NETTING) IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

INSTALL EROSION CONTROL MESH IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. MESH TO BE EQUAL TO NORTH AMERICAN GREEN PRODUCT C125BN.

FOLLOW SILT FENCE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR INSTALLATION OF SILT FENCE. SECURE ENTIRE BOTTOM OF FENCE EITHER BY BURYING BOTTOM OF FENCE IN A TRENCH OR BERMING WITH SOIL OR CHIPPED GRUBBINGS. REFER TO SILT FENCE DETAILS.

SEEDING:

USE PERMANENT SEED MIXES AND RATES BETWEEN 5/15 AND 9/30. USE TEMPORARY SEED MIXES FOR PERIODS LESS THAN 12 MONTHS. IF USING TEMPORARY SEED MIXES AND RATES BETWEEN 10/1 AND 5/14, RE-SEED WITH PERMANENT SEED MIX AFTER 5/15.

PERMANENT SEED:

MDOT 717.02(g) METHOD NUMBER 3

TEMPORARY SEED:

DAYS	ANNUAL REGRASS	ANNUAL REGRASS	ANNUAL REGRASS	WINTER RYE (w/ MULCH COVER)	WINTER RYE (w/ MULCH COVER)
4/01 - 5/14	80.00 LBS/ACRE	40.00 LBS/ACRE	80.00 LBS/ACRE	112.00 LBS/ACRE	10/01 - 5/31
5/15 - 8/14	40.00 LBS/ACRE	40.00 LBS/ACRE	80.00 LBS/ACRE	112.00 LBS/ACRE	
8/15 - 9/14	40.00 LBS/ACRE	80.00 LBS/ACRE	80.00 LBS/ACRE	112.00 LBS/ACRE	
9/15 - 9/30	80.00 LBS/ACRE	80.00 LBS/ACRE	80.00 LBS/ACRE	112.00 LBS/ACRE	

LIMING AND FERTILIZER RATES WILL BE BASED ON FIELD SOIL TESTING OF ONE-STEP TOPSOILS BY A CERTIFIED LABORATORY. SUBMIT TEST RESULTS TO THE ENGINEER.

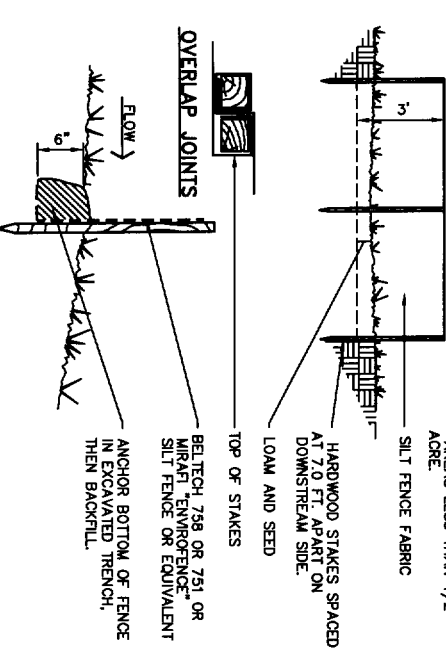
MULCH:

STRAW OR HAY (ANCHORED) 70 - 90 LBS
 STRAW OR HAY (ANCHORED) 185 - 275 LBS
 SHREDDED OR CHIPPED AS REQUIRED
 JUTE MESH AS REQUIRED

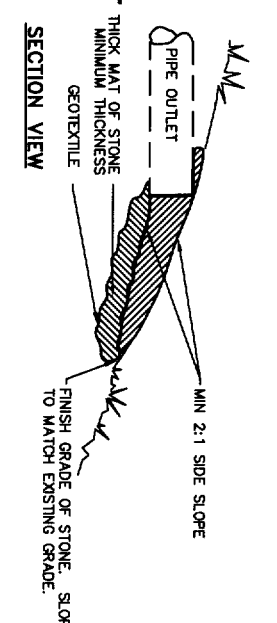
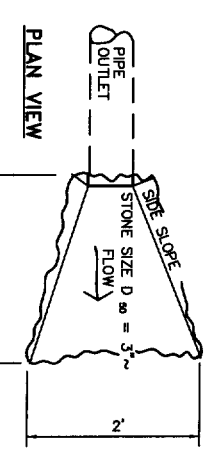
MULCH ANCHORING

PEG AND TWINE LIQUID ASPHALT
 MULCH NETTING WOOD CELLULOSE FIBER
 ASPHALT EMULSION CHEMICAL TACK

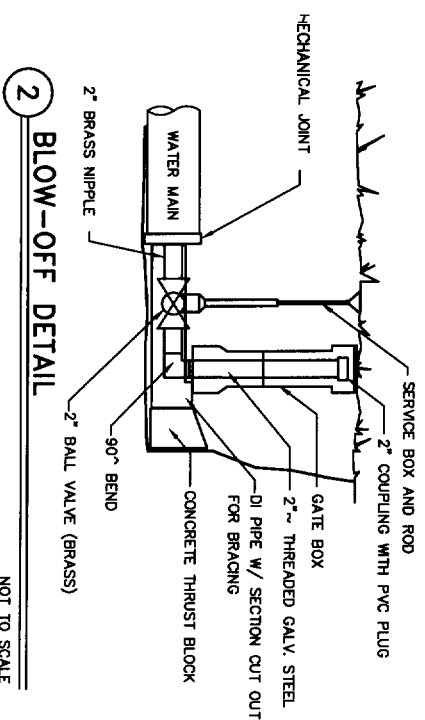
NOTE: SILT FENCE TO BE USED TO CONTROL SHEET FLOW IN AREAS LESS THAN 1/2 ACRE.



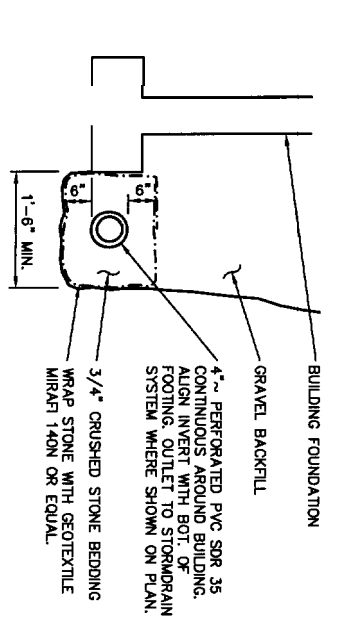
5 SILT FENCE DETAIL NOT TO SCALE



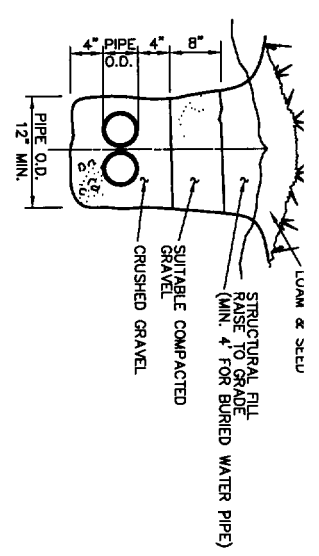
1 PIP-RAP PIPE OUTLET DETAIL NOT TO SCALE



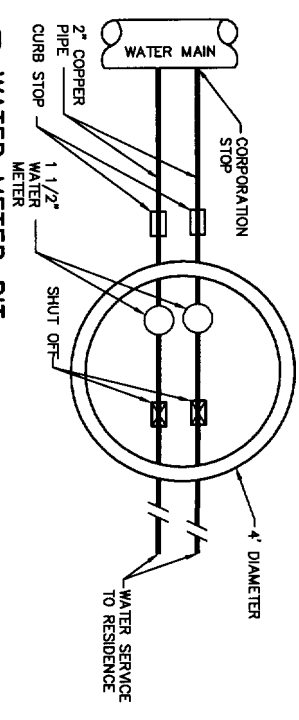
2 BLOW-OFF DETAIL NOT TO SCALE



3 FOUNDATION DRAIN BUILDING SECTION NOT TO SCALE



4 BEDDING DETAIL NOT TO SCALE



6 WATER METER PIT NOT TO SCALE

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 TELEPHONE 207 775 6141
 ARCHITECTURE PLANNING

CONSULTANTS:
 One Regional Office
 170 10 Road One
 Portland, Maine 04112
 22 Commercial Drive
 Old Orchard Beach, Maine 04054

REVISIONS:

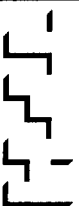
DATE:	June 9, 2004
PROJECT No.	0115
DRAWN BY:	
CHECKED BY:	
SCALE:	As Noted
SHEET TITLE:	Site Details

C-2

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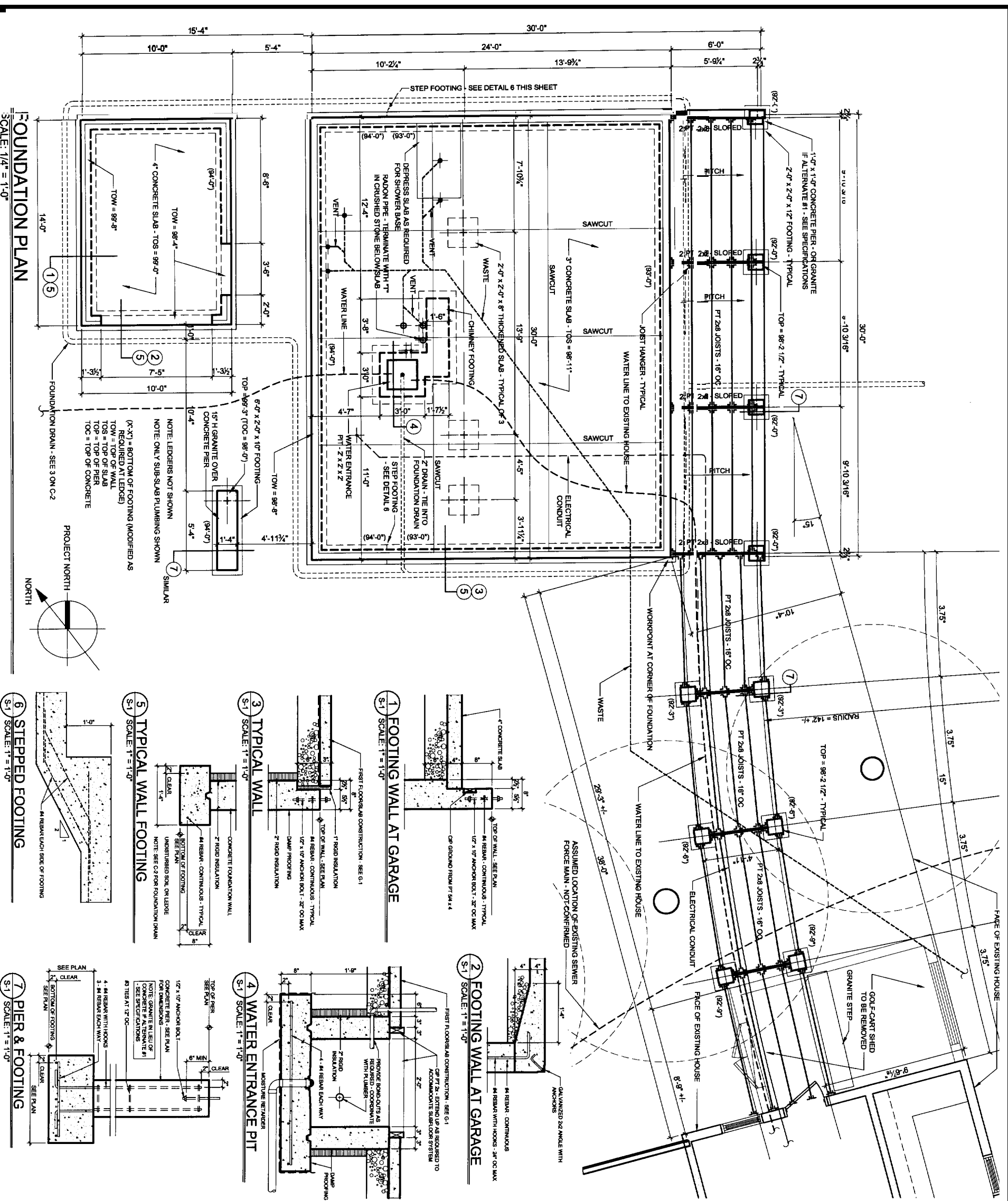
CONSULTANTS:
C&K Planning & Design
Portland, Maine 04101
Structural Engineering Design Consulting
20 Commercial Street, Suite 1000
Portland, Maine 04101

REVISIONS:

DATE: June 9, 2004
PROJECT NO.: 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted

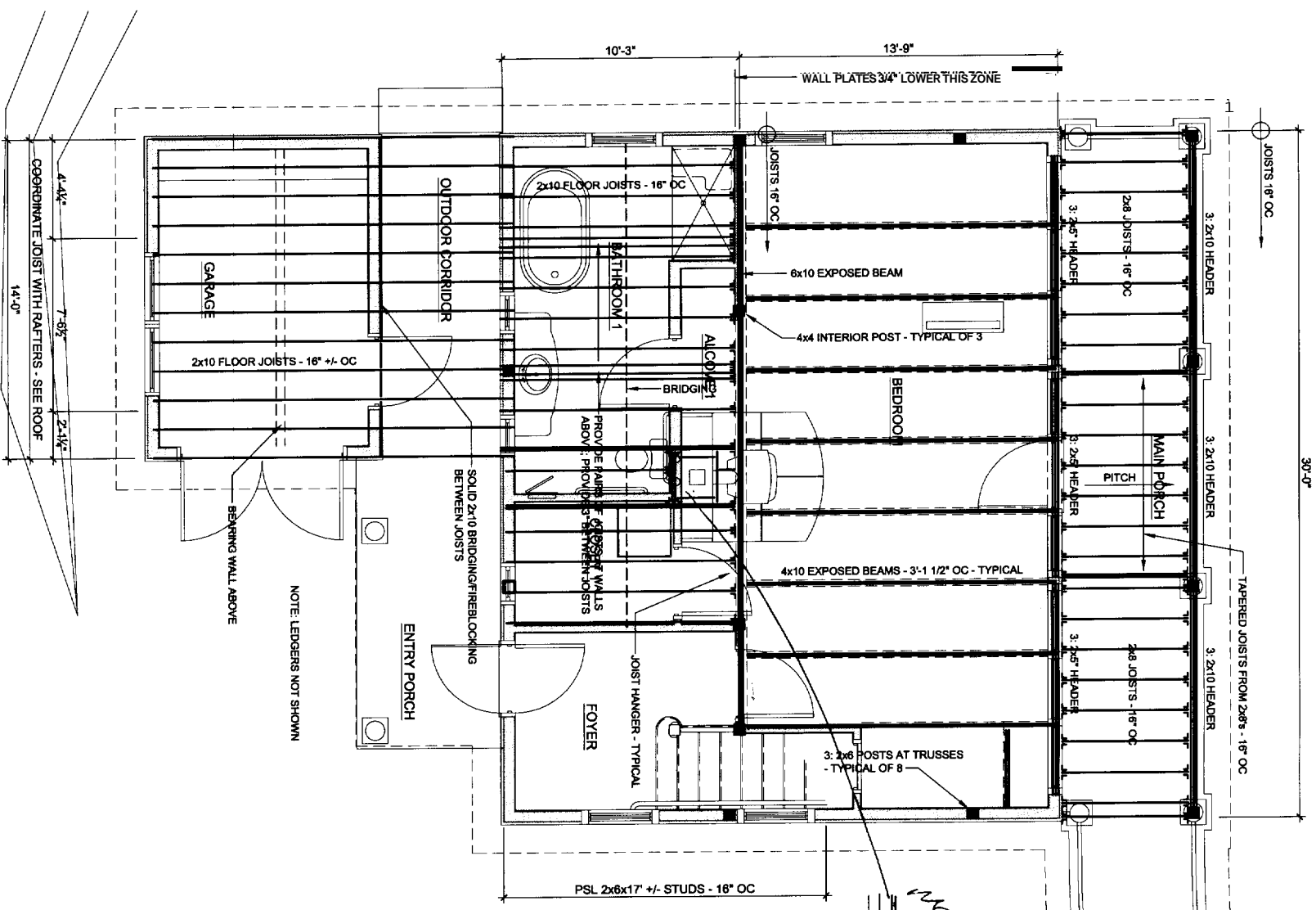
SHEET TITLE:
Foundation Plan

S-1



FOUNDATION PLAN

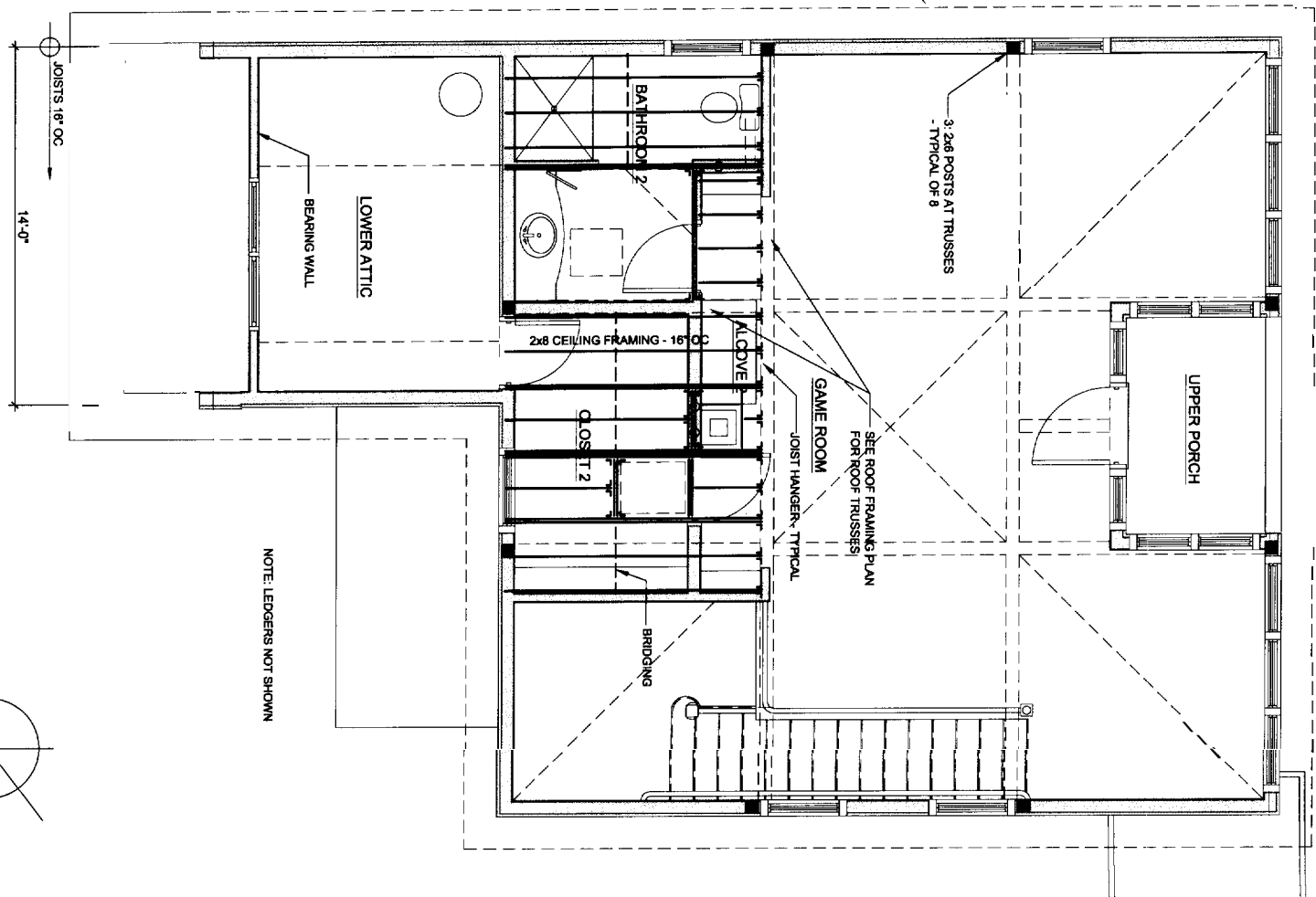
SCALE: 1/4" = 1'-0"



Main Beam Framing

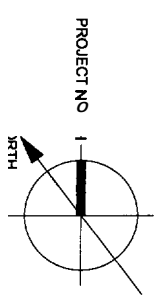
SECOND FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



SECOND FLOOR CEILING FRAMING PLAN

SCALE: 1/4" = 1'-0"



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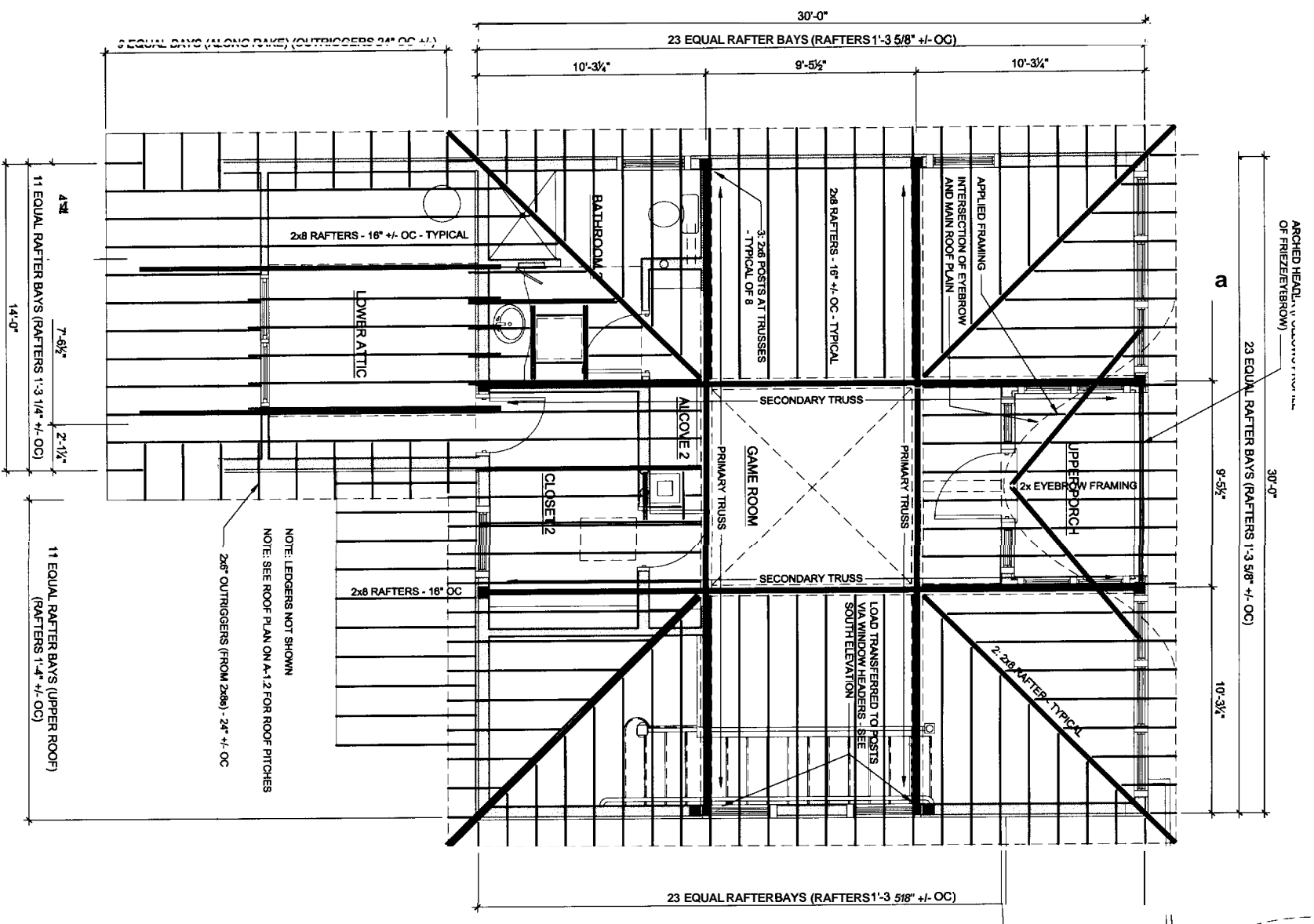
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Portland, Maine

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PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

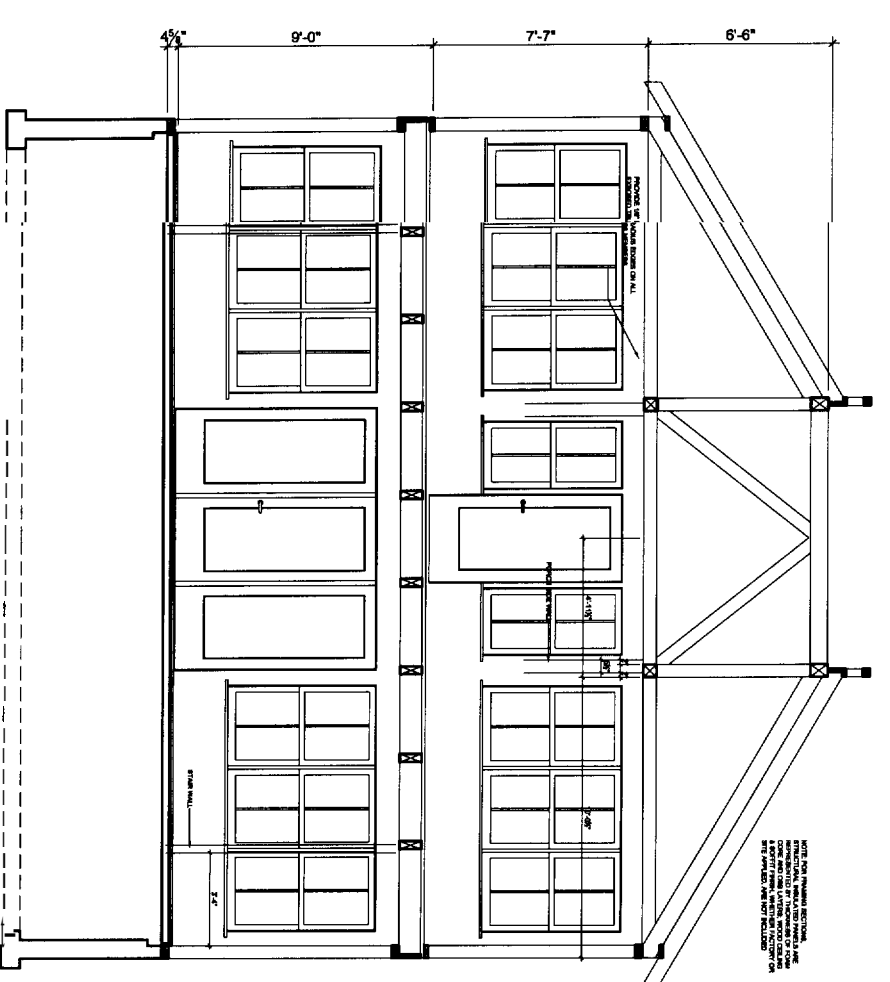
CONSULTANTS:
C/O: Pauline & Steve
170 1/2 River St
Portland, ME 04101
Structural: Raymond Strong Consulting
22 Oxford Street, Maine 04041

REVISIONS:	
DATE:	June 9, 2004
PROJECT NO.	0115
DRAWN BY:	WJT
CHECKED BY:	TST
SCALE:	As Noted
SHEET TITLE:	Framing Plans

S-2



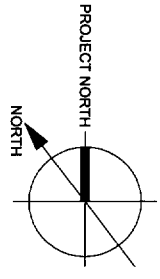
ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



FRAMING SECTION
SCALE: 1/4" = 1'-0"

STRUCTURAL DESIGN CRITERIA

BUILDING CODE:	BOCA NATIONAL BUILDING CODE/1999
LIVE LOAD:	40 PSF
SNOW LOAD:	60 PSF
GROUND SNOW LOAD, P _g	1.0
SNOW LOAD EXPOSURE FACTOR, C _e	1.0
ROOF THERMAL FACTOR, C _t	1.0
SNOW LOAD IMPORTANCE FACTOR, I	1.0
FLAT ROOF SNOW LOAD	42 PSF
WIND LOAD	85 MPH
BASIC WIND SPEED	18.5 PSF
BASIC WIND VELOCITY PRESSURE, P _v	1.10
WIND LOAD IMPORTANCE FACTOR, I	C
EXPOSURE CATEGORY	
EARTHQUAKE LOADS	
EXEMPT PER BOCA/1999, SECTION 1810.1	



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ARCHITECTURE PLANNING

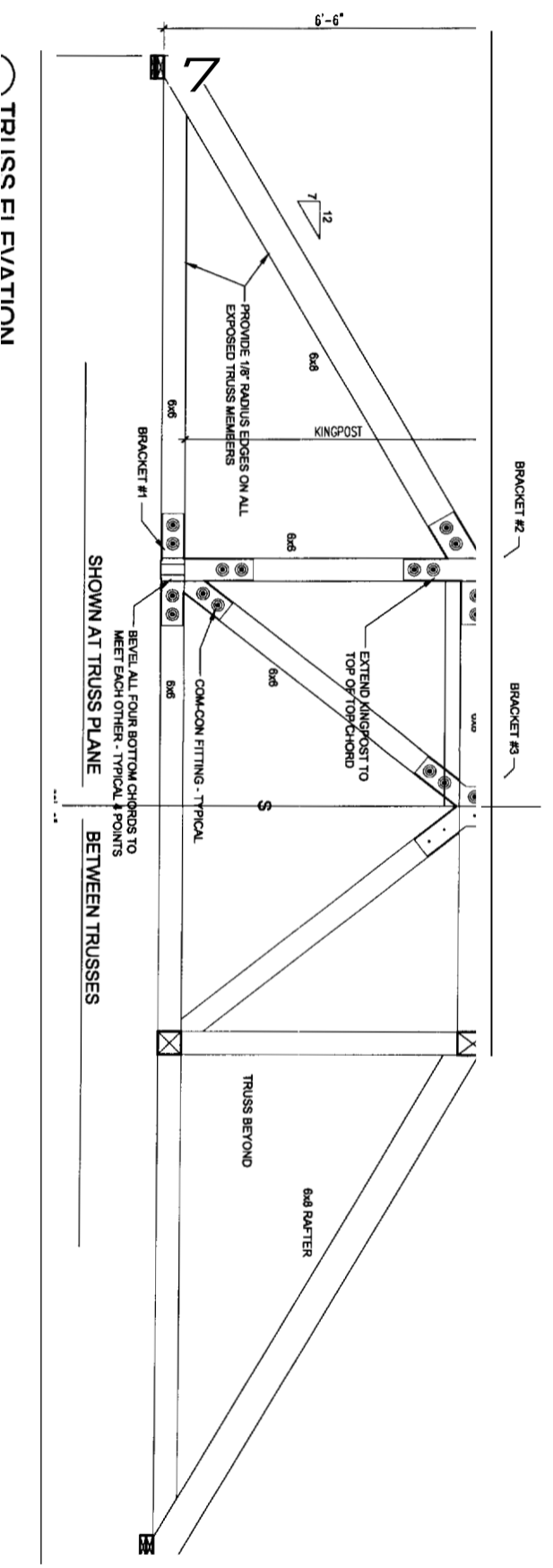
CONSULTANTS:
Civil Engineer & Surveyor
170 Oak Street, Suite 1110
Portland, Maine 04101
Structural Engineer/Design Consulting
22 Commercial Street, Suite 200A
Old Orchard Beach, Maine 04064

REVISIONS:

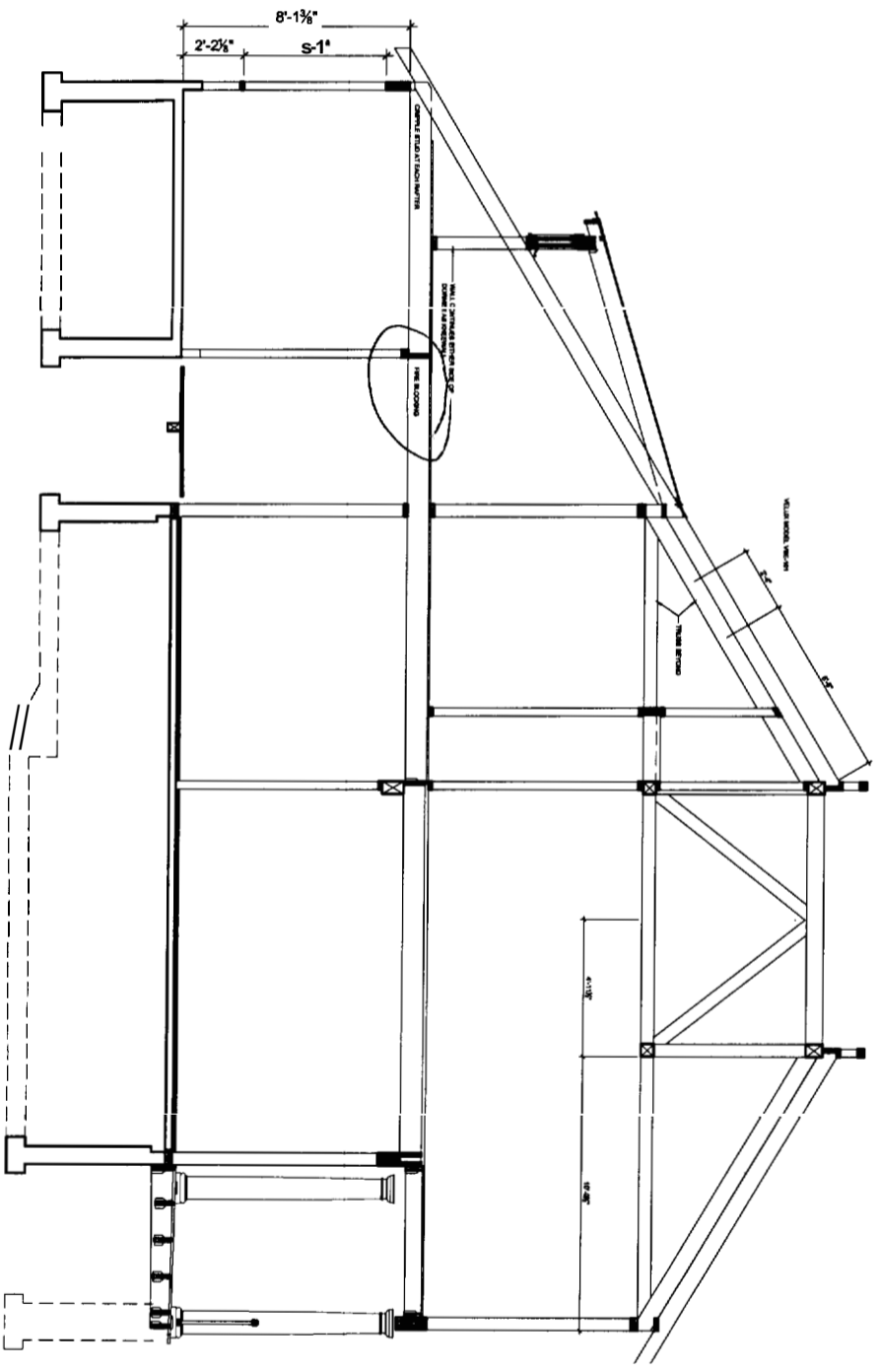
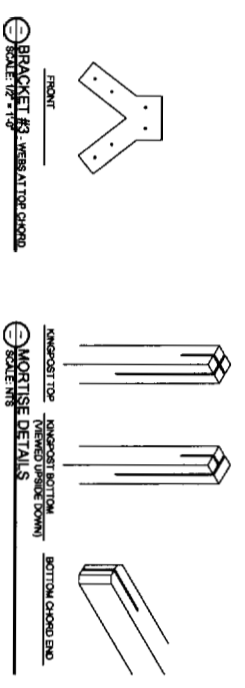
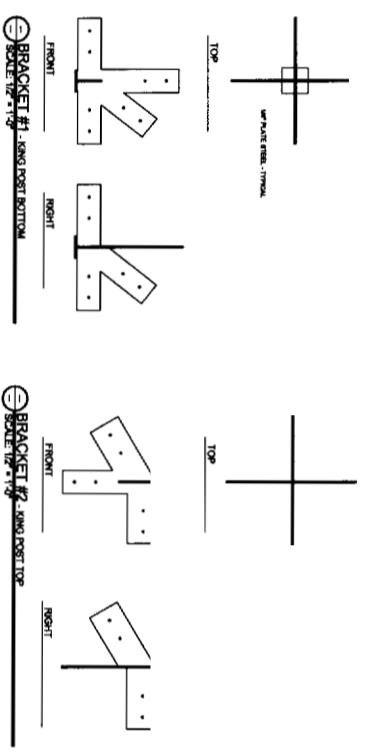
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PROJECT NO.:	0115
DRAWN BY:	WJT
CHECKED BY:	TST
SCALE:	As Noted

SHEET TITLE:
Framing Plan
Framing Section

S-3



TRUSS ELEVATION



FRAMING SECTION

TRUSS BRACKET DETAILS
SCALE: 1/2" = 1'-0"

FRAMING SECTION
SCALE: 1/4" = 1'-0"

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TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

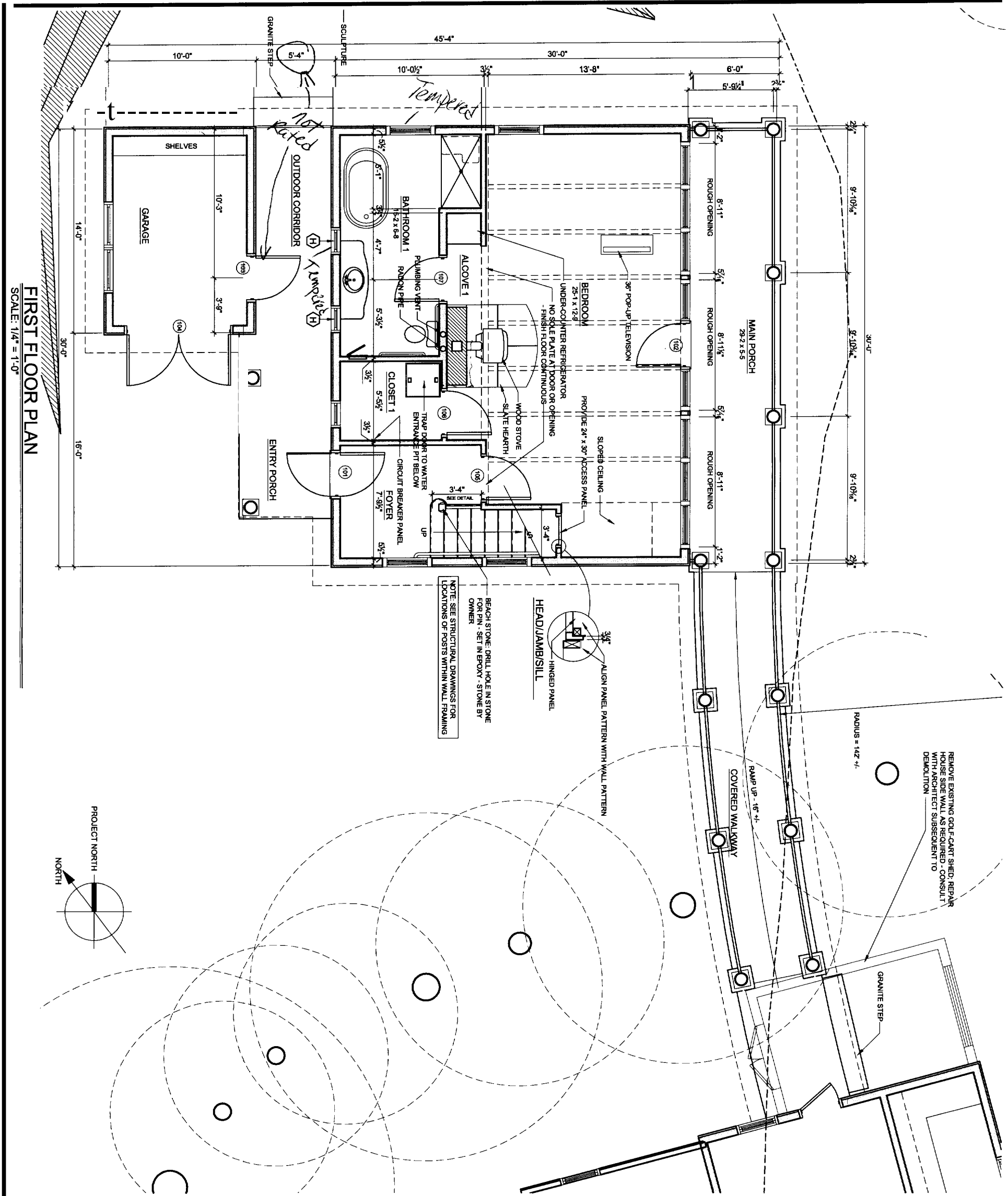
CONSULTANTS:
G&P Architects
171 1/2 Franklin St
Portland, Maine 04103
Structural Engineering
200 Commercial Street, Maine 04104

REVISIONS:

DATE: June 9, 2004
PROJECT No. 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted

SHEET TITLE:
Framing Sections
Roof Trusses

S-4



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Addition to the Glickman Residence

Great Diamond Island
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
D&B Engineers & Surveyors
170 US Road, One
Portland, Maine 04101
Structural, Mechanical, Plumbing Consulting
22 Oxford Drive, New York
Or Other Places, New York

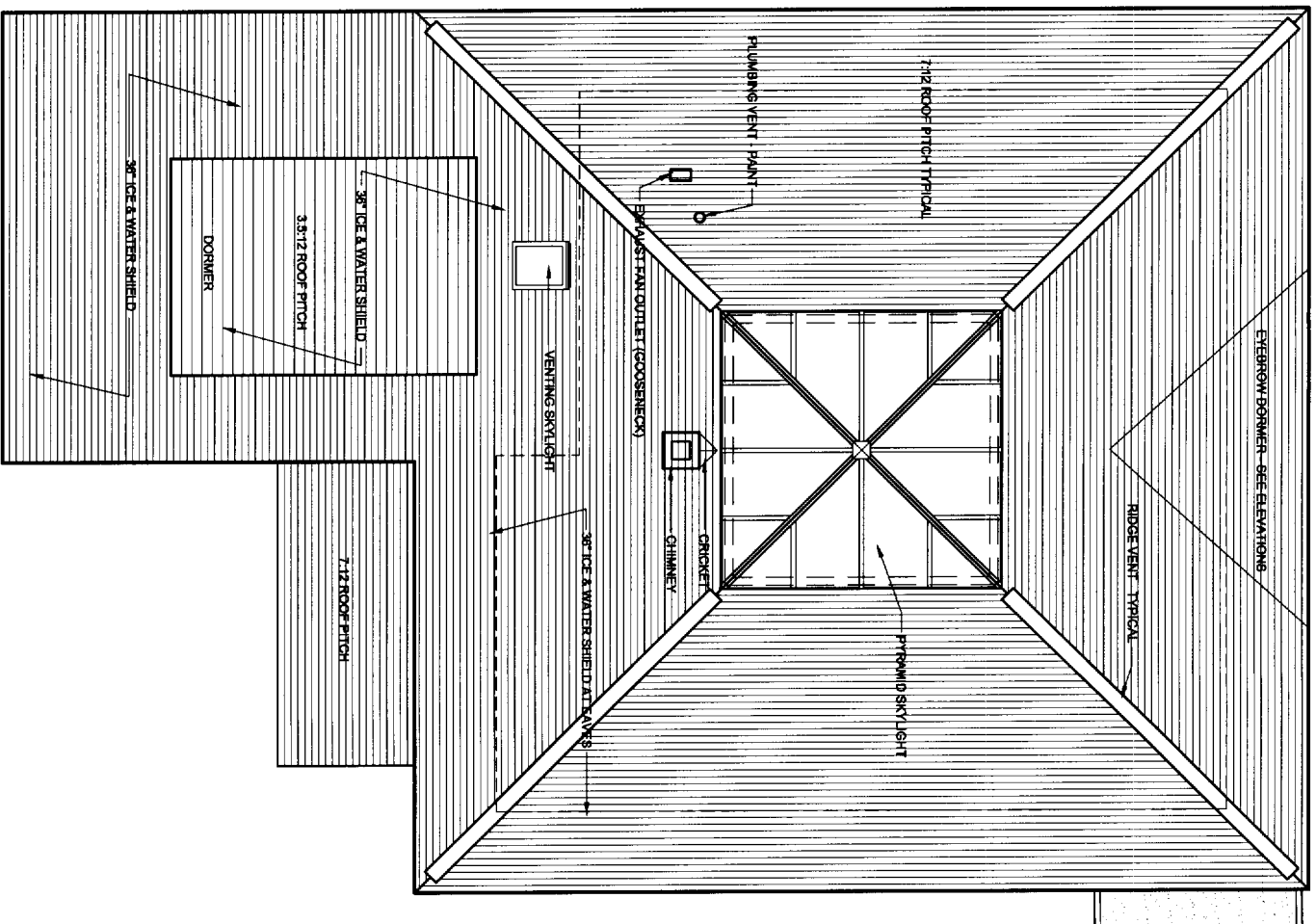
REVISIONS:

DATE: June 9, 2004
PROJECT No. 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted

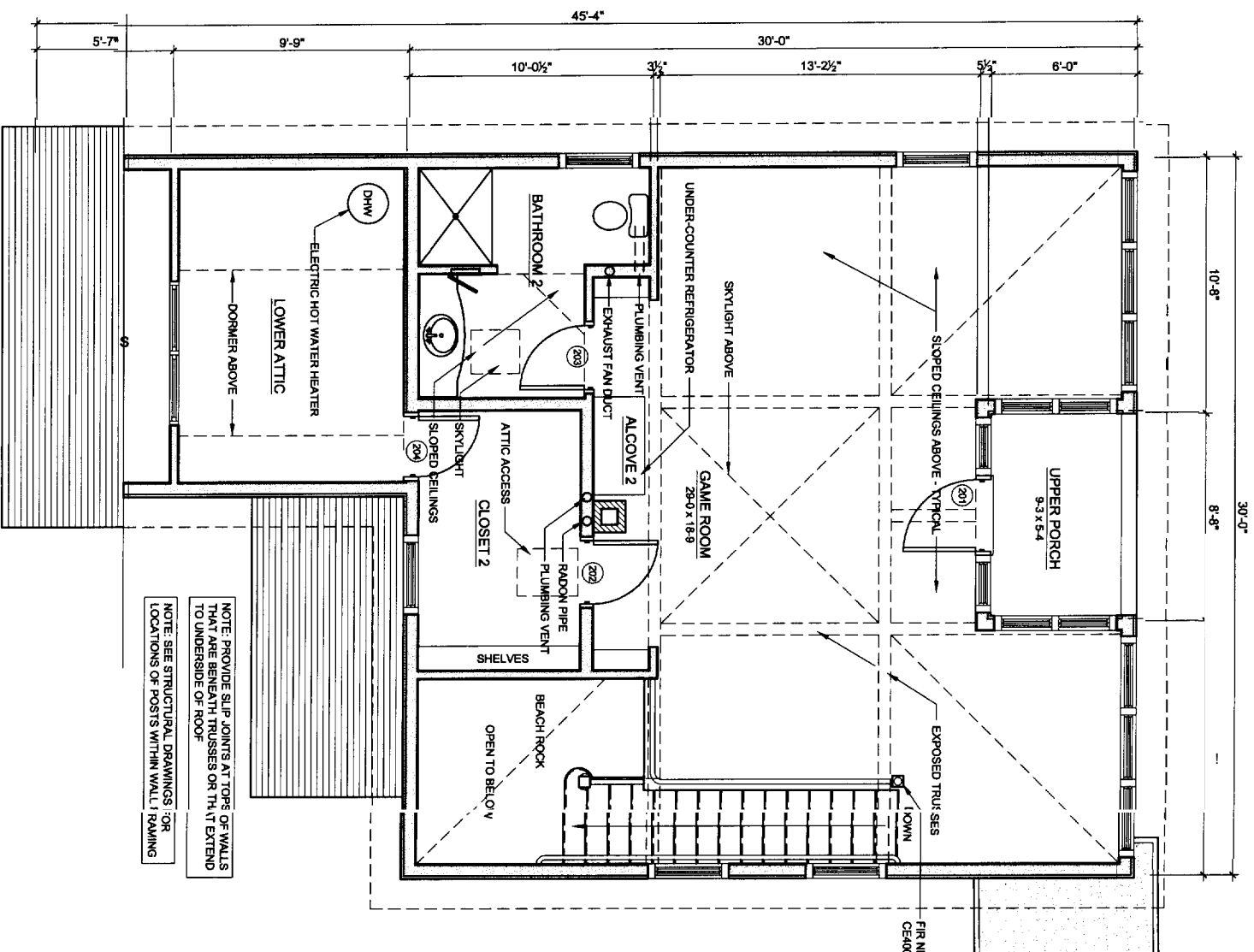
SHEET TITLE:
First Floor Plan

A-1.1

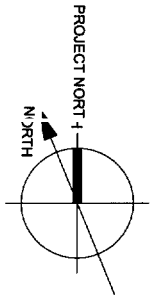
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



ROOF PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



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**Addition to the
Glickman Residence**
Great Diamond Island
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
ONE SYSTEMS & DESIGN
175 US ROAD ONE
PORTLAND, MAINE 04106
22 OCEANVIEW DRIVE
GREAT DIAMOND ISLAND, MAINE 04064

REVISIONS:

DATE: June 9, 2004
PROJECT No.: 0115

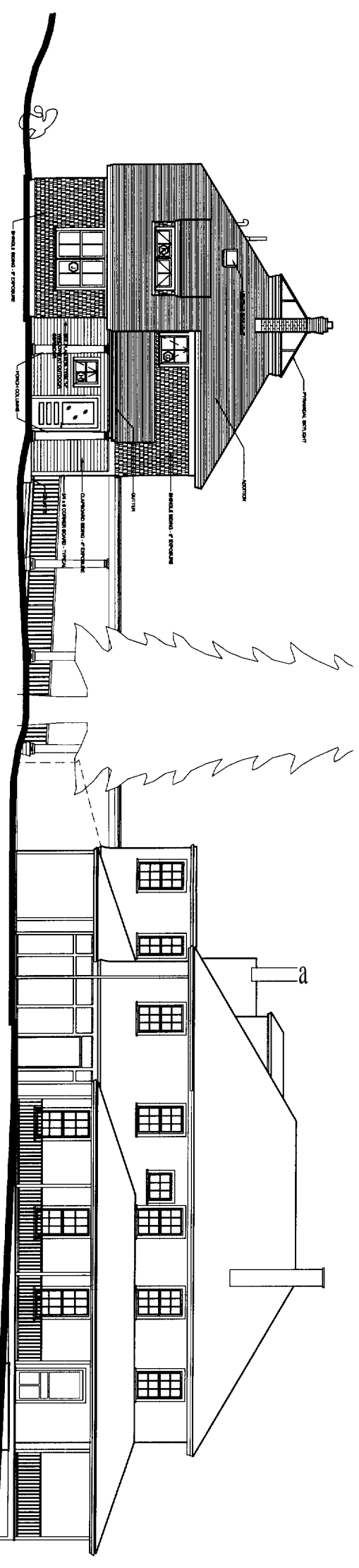
DRAWN BY: WJT

CHECKED BY: TST

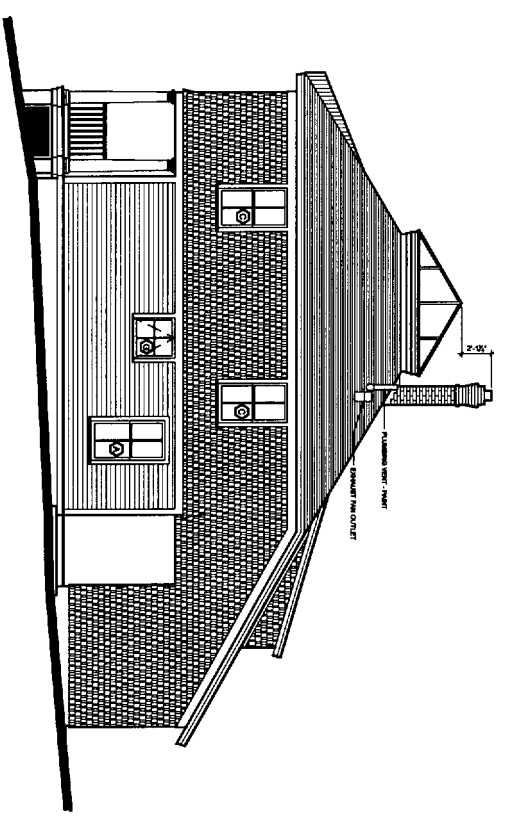
SCALE: As Noted

SHEET TITLE:
Second Floor Plan
Roof Plan

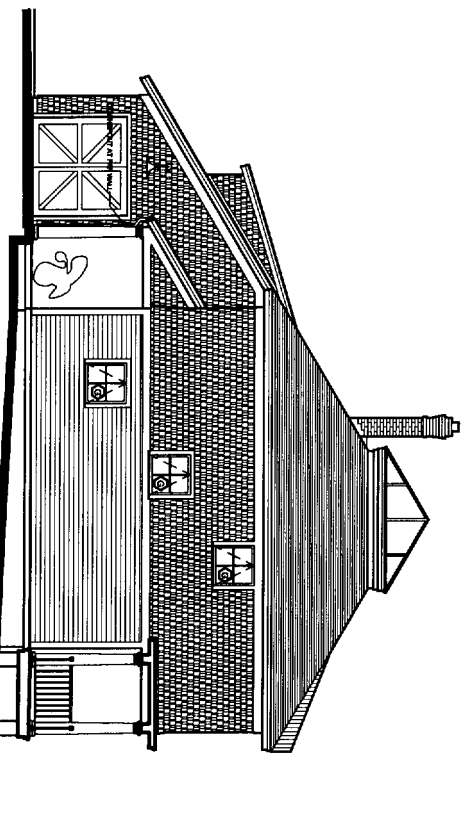
A-1.2



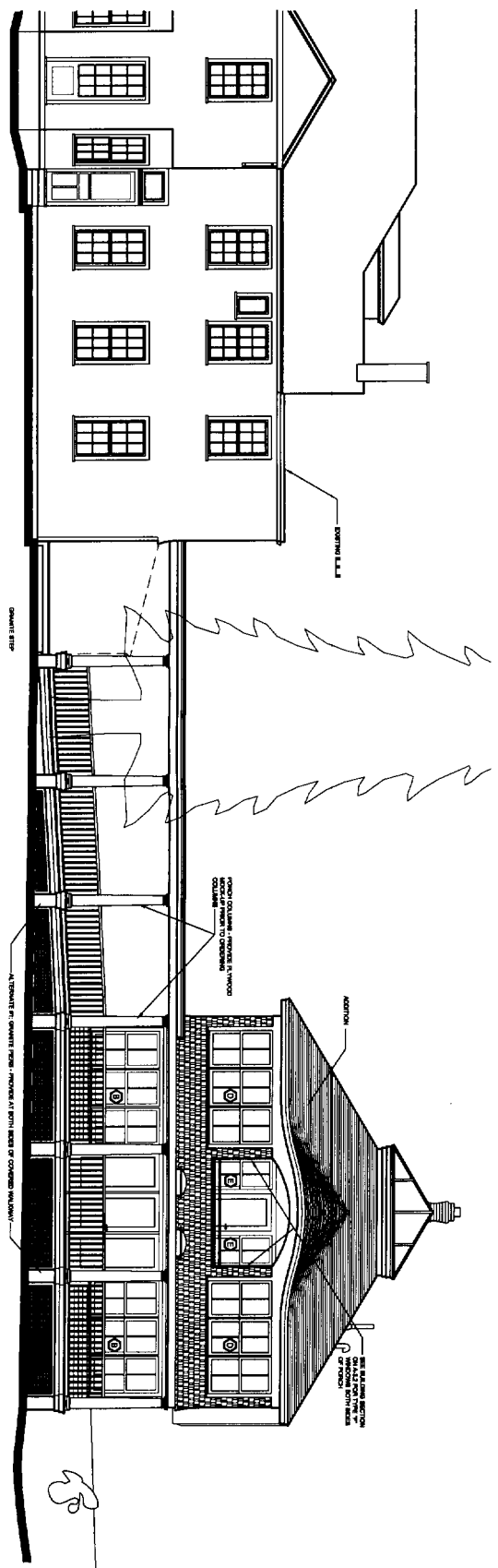
OVERALL WEST ELEVATION
SCALE: 1/8" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



OVERALL EAST ELEVATION
SCALE: 1/8" = 1'-0"

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Addition to the
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Great Diamond Island
Portland, Maine



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:
C&E Problem & Solve
170 US Road One
Portland, Maine 04106
Structural, Mechanical, Plumbing, Electrical
22 Commercial Drive
Old Orchard Beach, Maine 04054

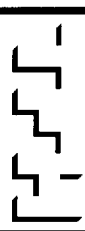
REVISIONS:

DATE: June 9, 2004
PROJECT No. 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted
SHEET TITLE:
Building Elevations

A-2.1

Addition to the Glickman Residence

Great Diamond Island
Portland, Maine



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:

ONE SYSTEMS & SERVICE
170 US Route One
Portland, Maine 04102
Professional Services and Design Consulting
25 Commercial Drive
Old Orchard Beach, Maine 04054

REVISIONS:

DATE: June 9, 2004

PROJECT No. 0115

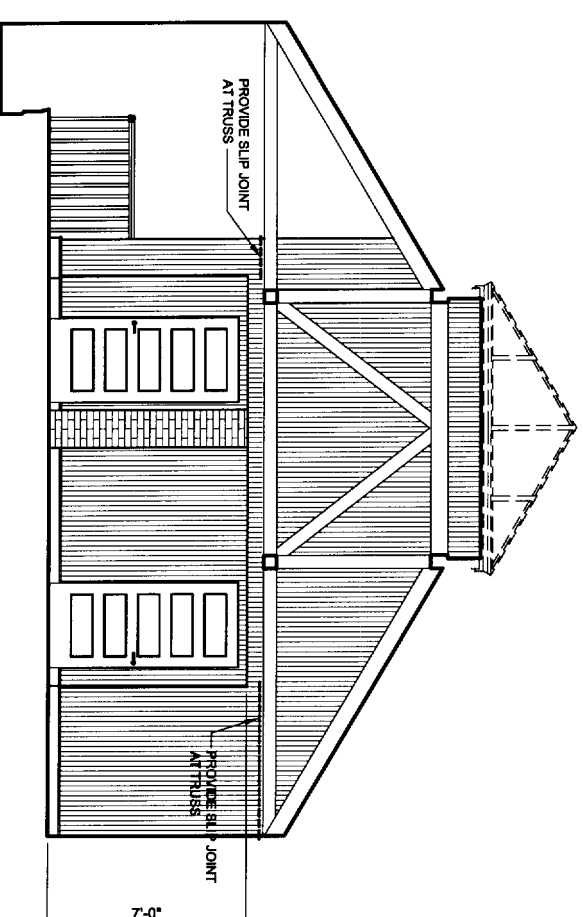
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CHECKED BY: TST

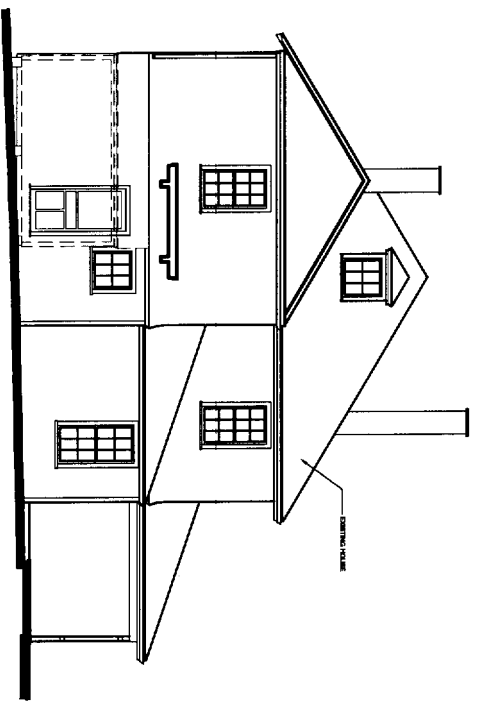
SCALE: As Noted

SHEET TITLE:
Sections &
Interior Elevations

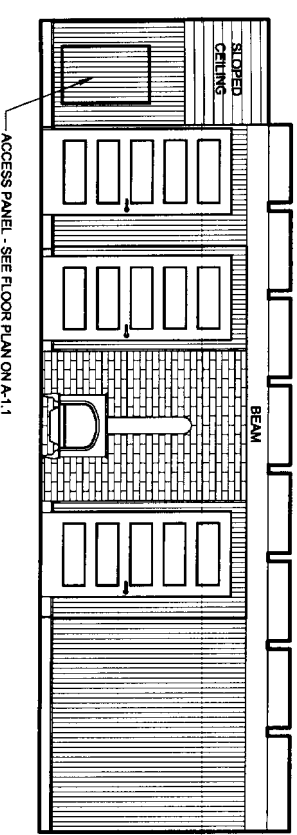
A-3.1



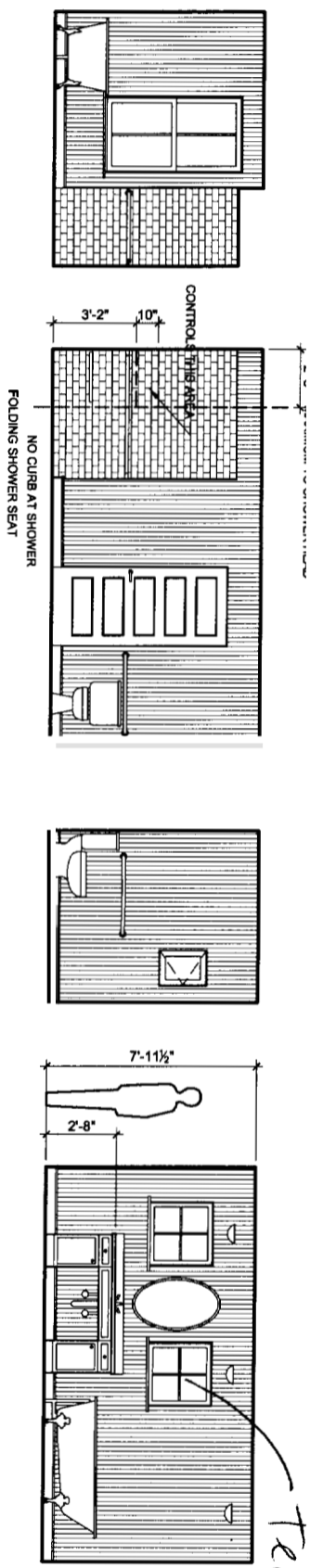
SECOND FLOOR WES
SCALE: 1/4" = 1'-0"



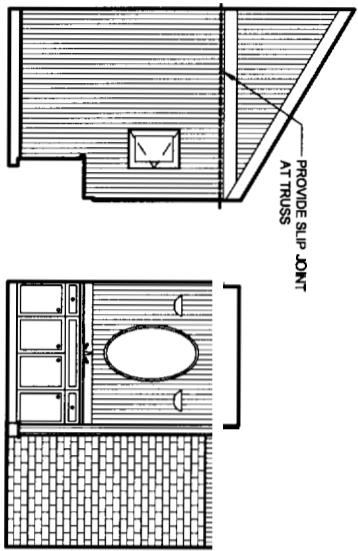
NORTH ELEVATION AT EXISTING
SCALE: 1/8" = 1'-0"



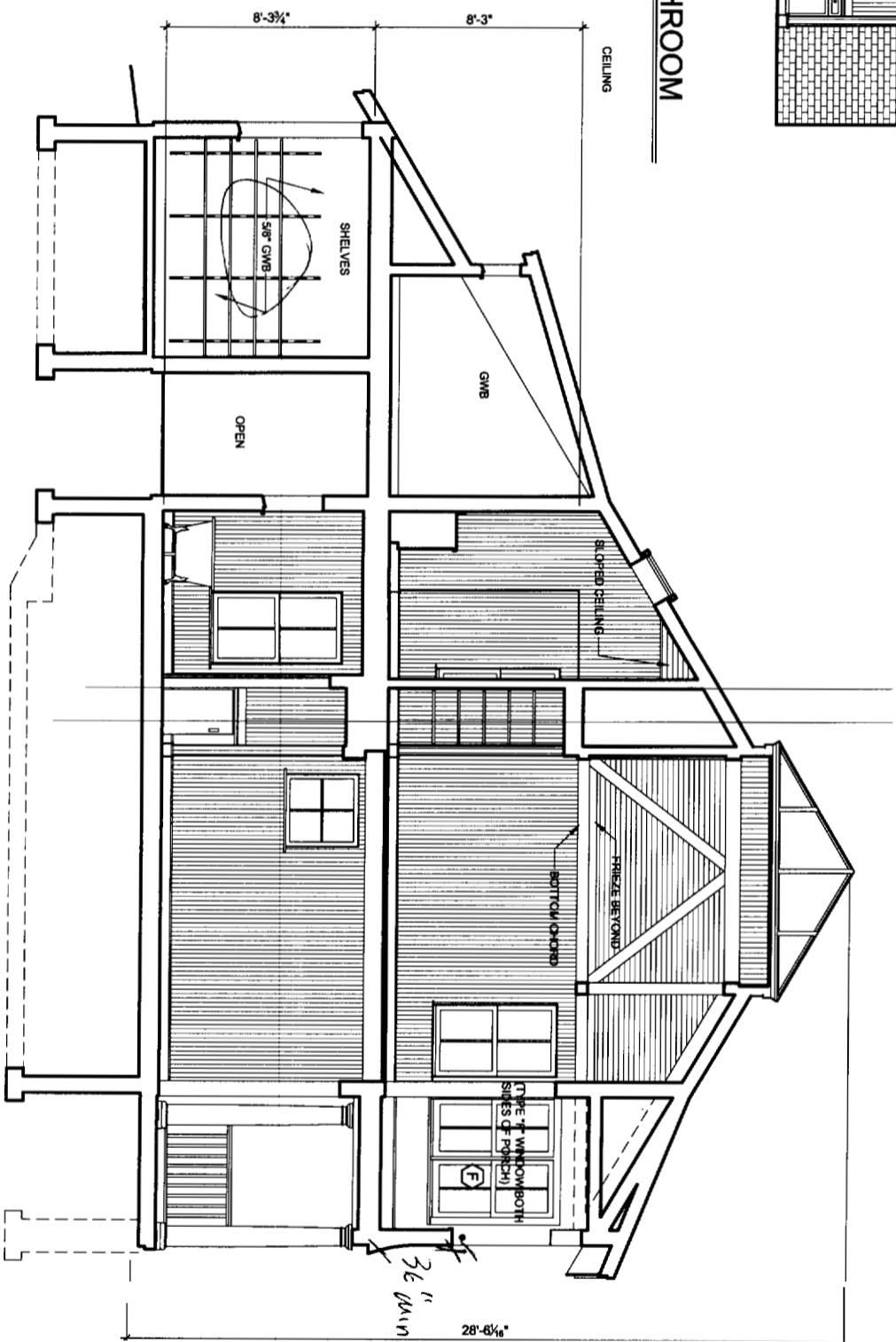
FIRST FLOOR - WEST
SCALE: 1/4" = 1'-0"



FIRST FLOOR BATHROOM
SCALE: 1/4" = 1'-0"



SECOND FLOOR BATHROOM
SCALE: 1/4" = 1'-0"



BUILDING SECTION
SCALE: 1/4" = 1'-0"

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Addition to the
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Great Diamond Island
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

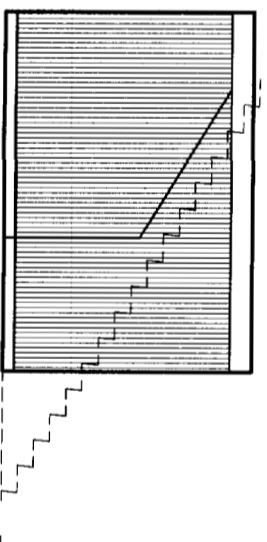
CONSULTANTS:
Civil Engineer & Surveyor
171 1/2 Main Street
Portland, Maine 04101
20 Commercial Street
20 Commercial Street, Suite 2000
Portland, Maine 04101

REVISIONS:

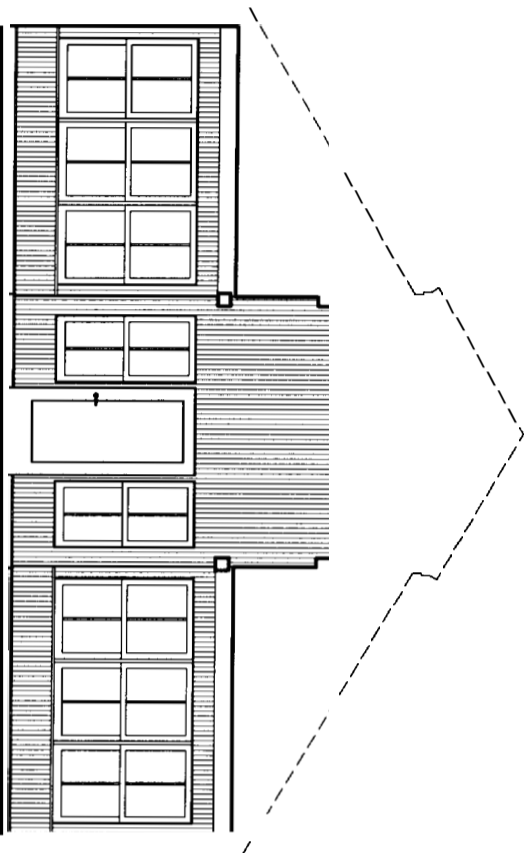
DATE: June 9, 2004
PROJECT No.: 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted

SHEET TITLE:
Sections &
Interior Elevations

A-3.2

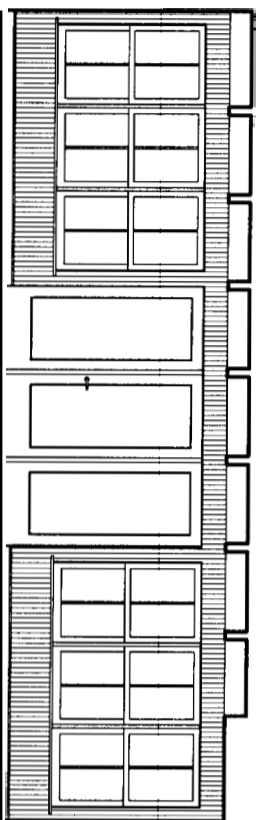


FIRST FLOOR - SOUTH
SCALE: 1/4" = 1'-0"

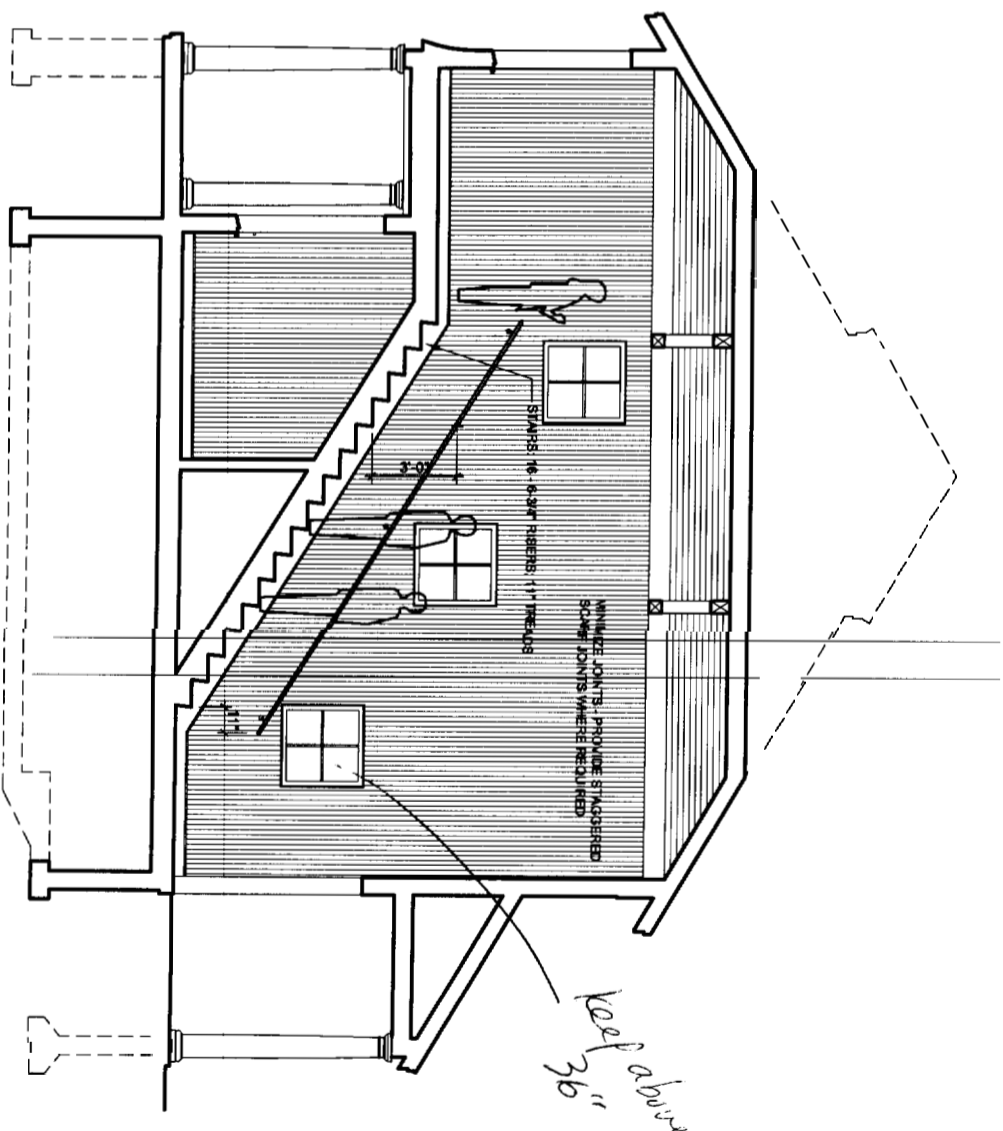


EXTEND WINDOW STOOLS TO SIDEWALLS
NO STOOLS AT WINDOWS IN WALLS
ENCLOSING UPPER PORCH

SECOND FLOOR - EAST
SCALE: 1/4" = 1'-0"



FIRST FLOOR - EAST
SCALE: 1/4" = 1'-0"



BUILDING SECTION
SCALE: 1/4" = 1'-0"

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Addition to the
Glickman Residence
Great Diamond Island
Portland, Maine



TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 8141
ARCHITECTURE PLANNING

CONSULTANTS:
ONE Partner & Partner
175 State Street, Suite 2000
Portland, Maine 04101
Structural: Structural Design Consulting
20 Orchard Street, Suite 202B

REVISIONS:

DATE: June 9, 2004

PROJECT No. 0115

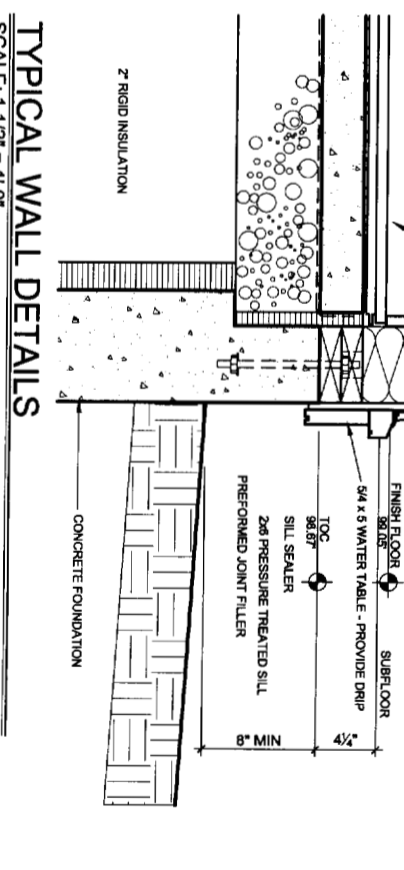
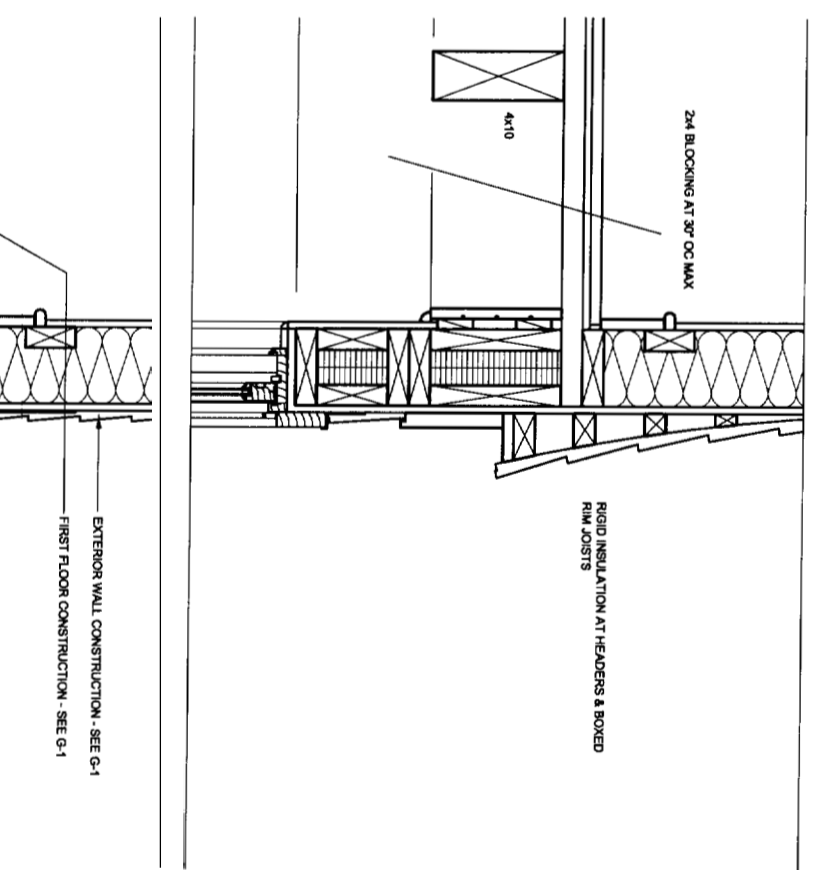
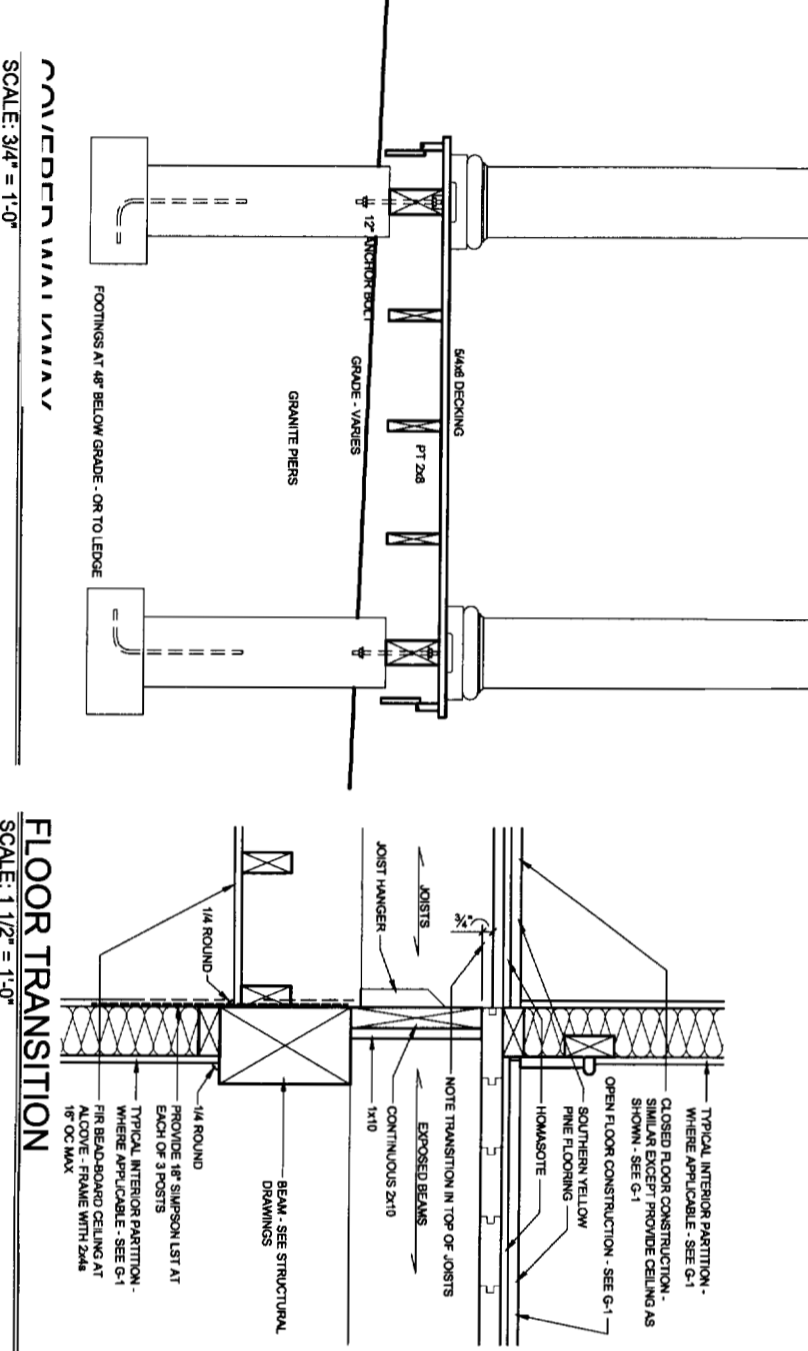
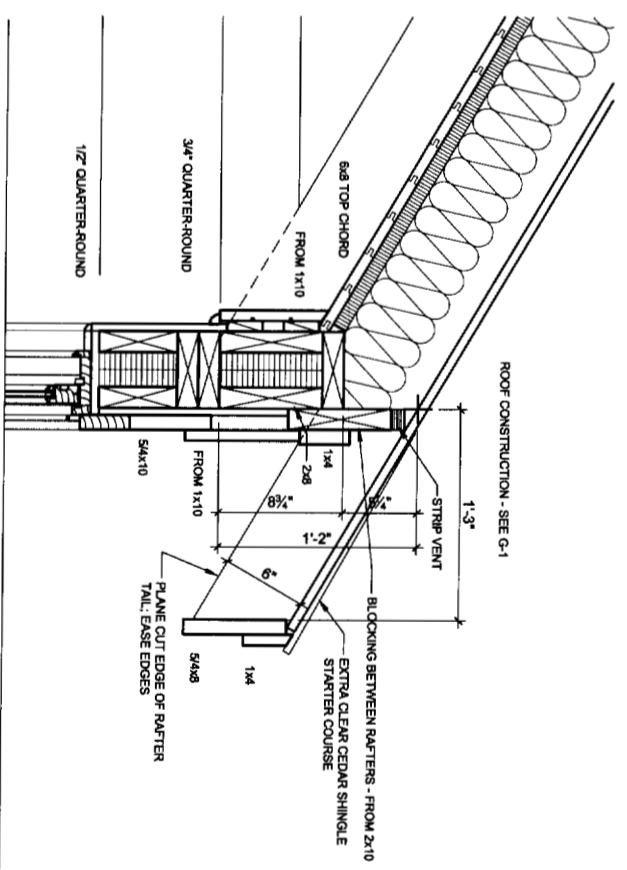
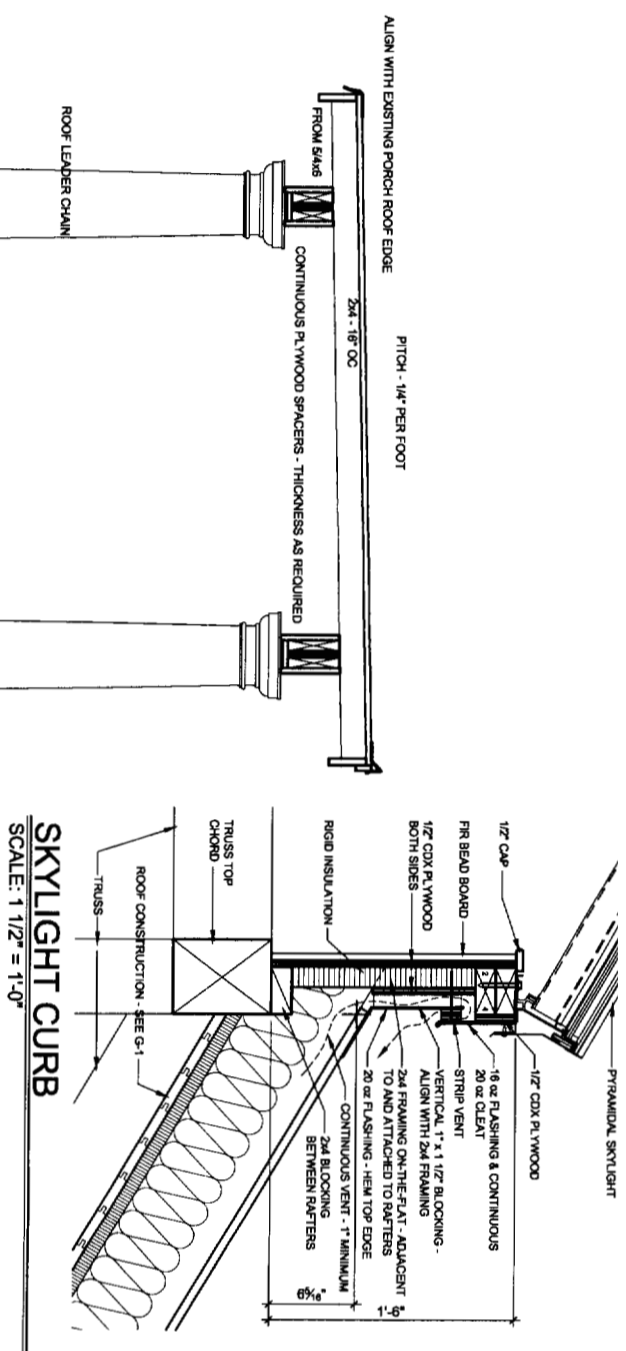
DRAWN BY: WJT

CHECKED BY: TST

SCALE: As Noted

SHEET TITLE:
Sections &
Interior Elevations

A-3.3



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Addition to the
Glickman Residence
Great Diamond Island
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
Civil Engineer & Surveyor
Professional Seal No. 1115
2000 State Boulevard
Old Orchard Beach, Maine 04064

REVISIONS:

DATE: June 9, 2004
PROJECT No.: 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted

SHEET TITLE:
Details

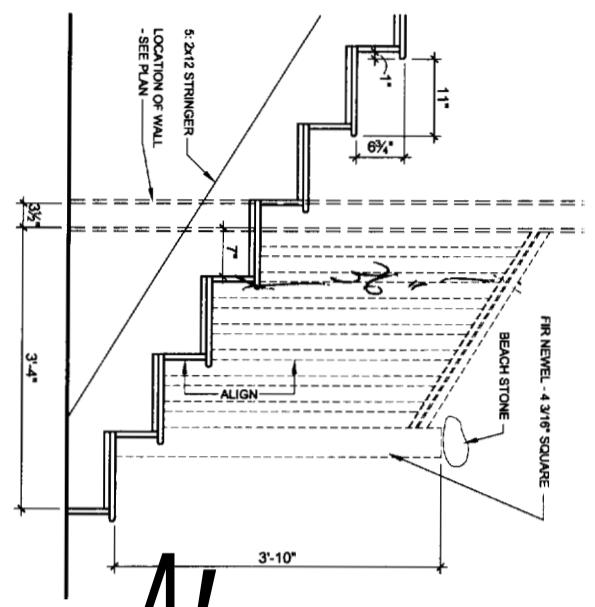
A-4.1

Addition to the
Glickman Residence
Great Diamond Island
Portland, Maine

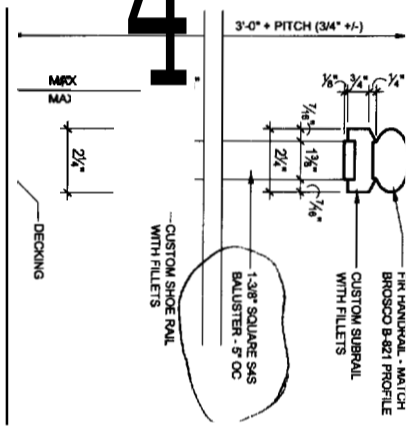
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 5141
ARCHITECTURE PLANNING

CONSULTANTS:
ONE PROBLEMS & DESIGN
175 18th Street, Suite 101
Portland, Maine 04115
22 Commercial Street
Old Orchard Beach, Maine 04054

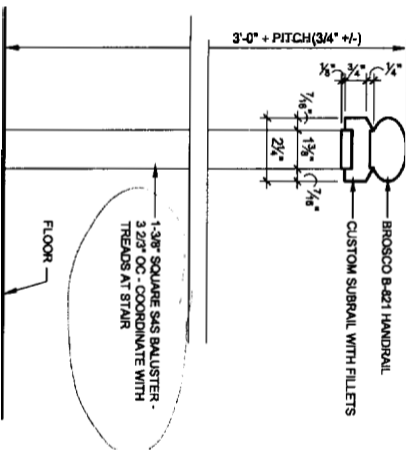
REVISIONS:	
DATE:	June 9, 2004
PROJECT No.	0115
DRAWN BY:	WJT
CHECKED BY:	TST
SCALE:	As Noted
SHEET TITLE:	Details



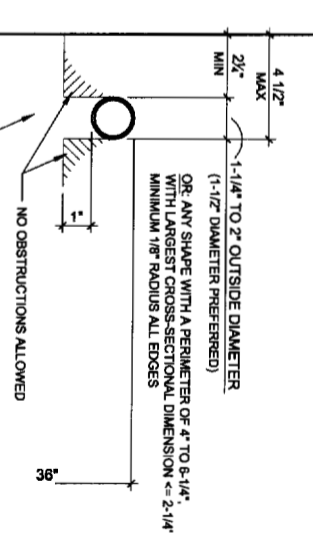
STAIR DETAILS
SCALE: 3/4" = 1'-0"



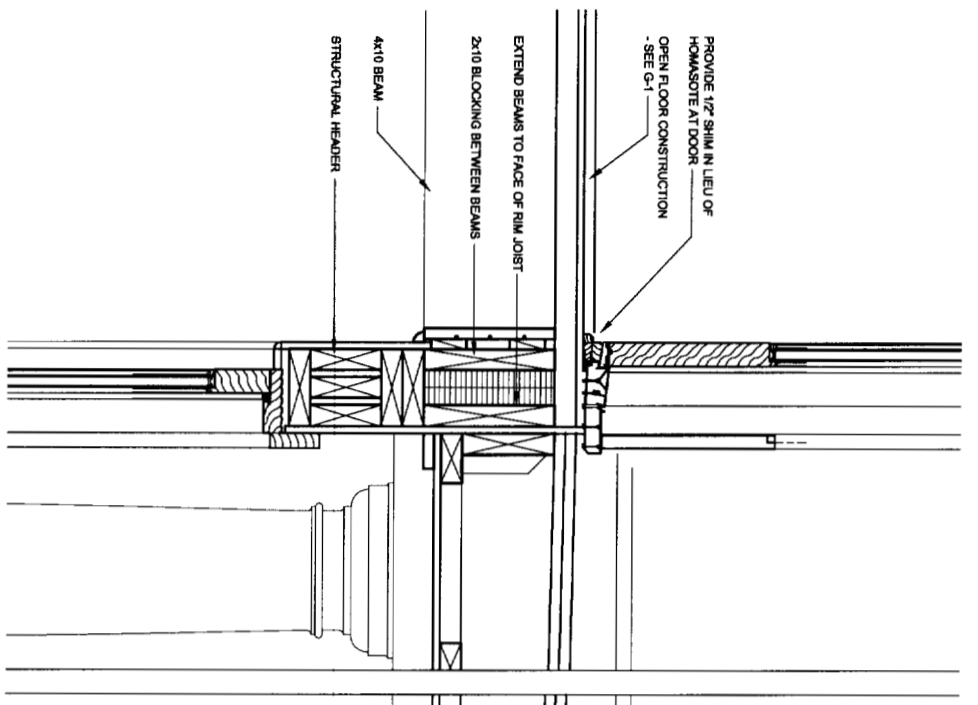
EXTERIOR GUARD
SCALE: 3" = 1'-0"



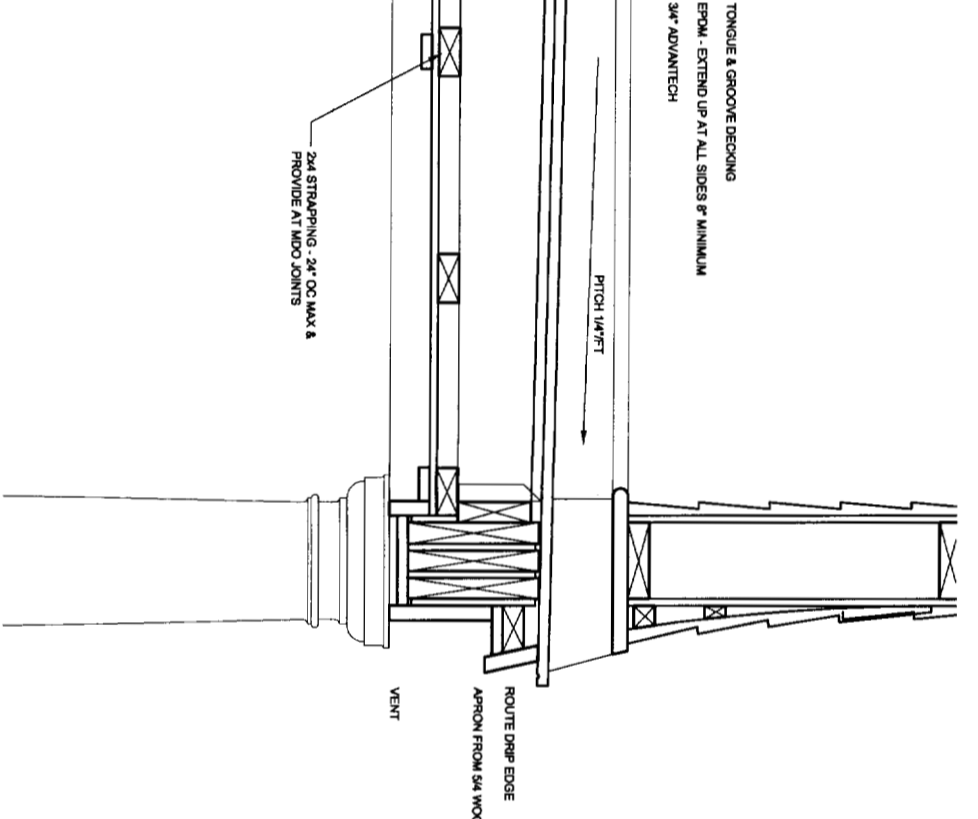
INTERIOR GUARD
SCALE: 3" = 1'-0"



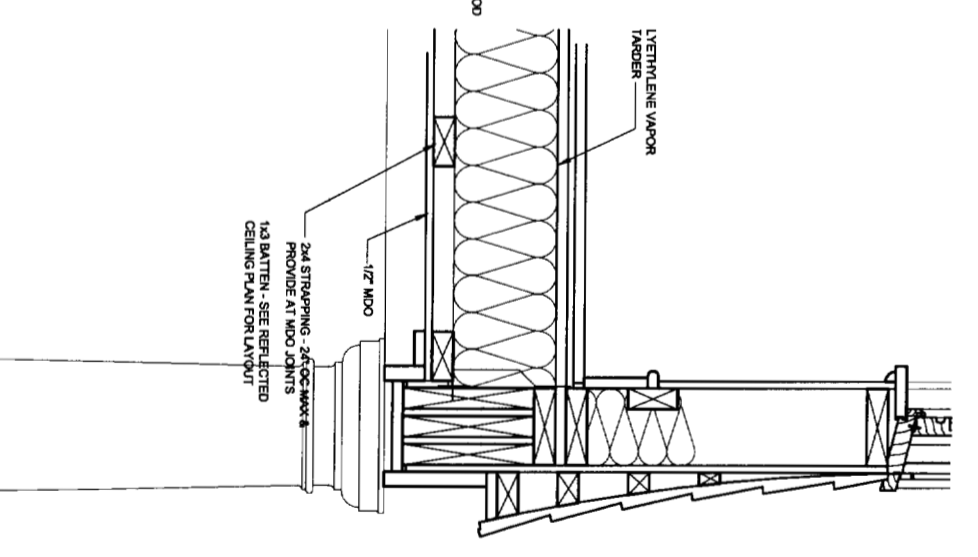
HANDRAIL DETAIL
SCALE: 3/4" = 1'-0"



UPPER PORCH
SCALE: 1 1/2" = 1'-0"



UPPER PORCH AT GAMEROOM
SCALE: 1 1/2" = 1'-0"



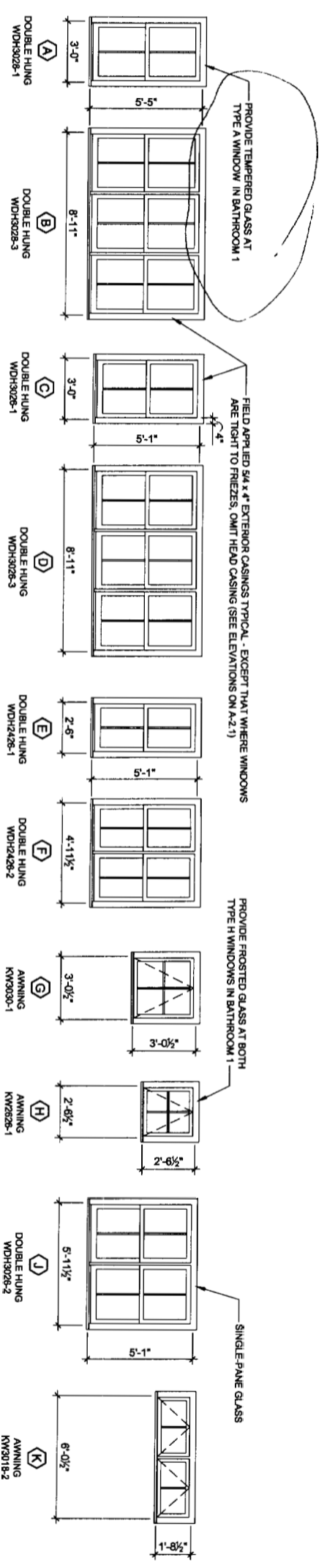
Addition to the
Glickman Residence
Great Diamond Island
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
C&K Planning & Design
1710 18th Street, Suite 210
Portland, Maine 04106
207 775 6141
22 Commercial Street
Old Orchard Beach, Maine 04054

REVISIONS:

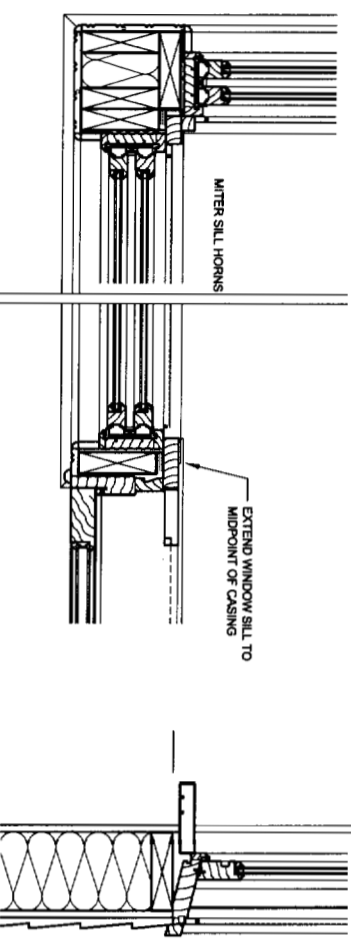
DATE:	June 9, 2004
PROJECT NO.:	0115
DRAWN BY:	WJT
CHECKED BY:	TST
SCALE:	As Noted
SHEET TITLE:	Doors & Windows



GENERAL NOTES:
1.) ROUGH OPENING DIMENSIONS SHOWN
2.) ALL EXTERIOR WINDOW CASINGS TO BE FIELD APPLIED - ORDER WINDOWS WITH SILL HORN EXTENSIONS AS REQUIRED
3.) INSULATED GLASS TYPICAL - LINO

WINDOWS

SCALE: 1/4" = 1'-0"

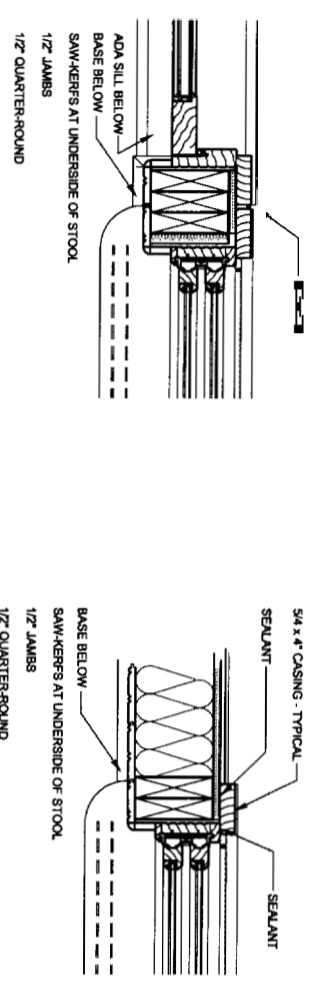


DOOR WINDOW JAMBS - UPPER PORCH

SCALE: 1 1/2" = 1'-0"

TYPICAL SILL

SCALE: 1 1/2" = 1'-0"

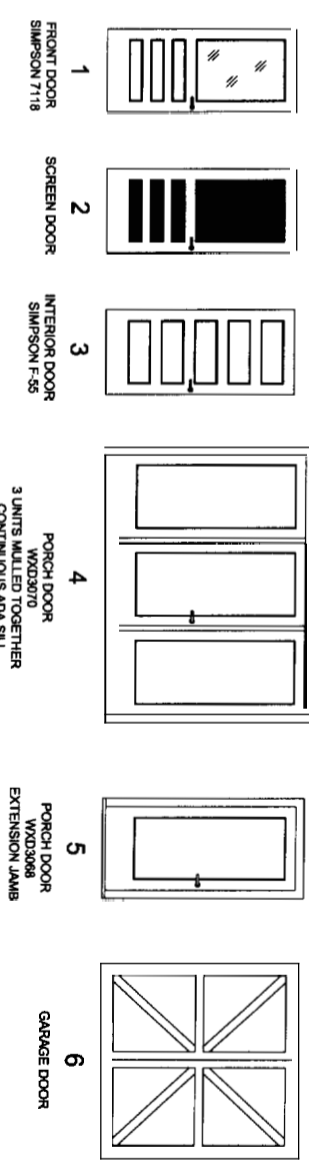


DOOR WINDOW JAMB - MAIN PORCH

SCALE: 1 1/2" = 1'-0"

TYPICAL WINDOW JAMB

SCALE: 1 1/2" = 1'-0"



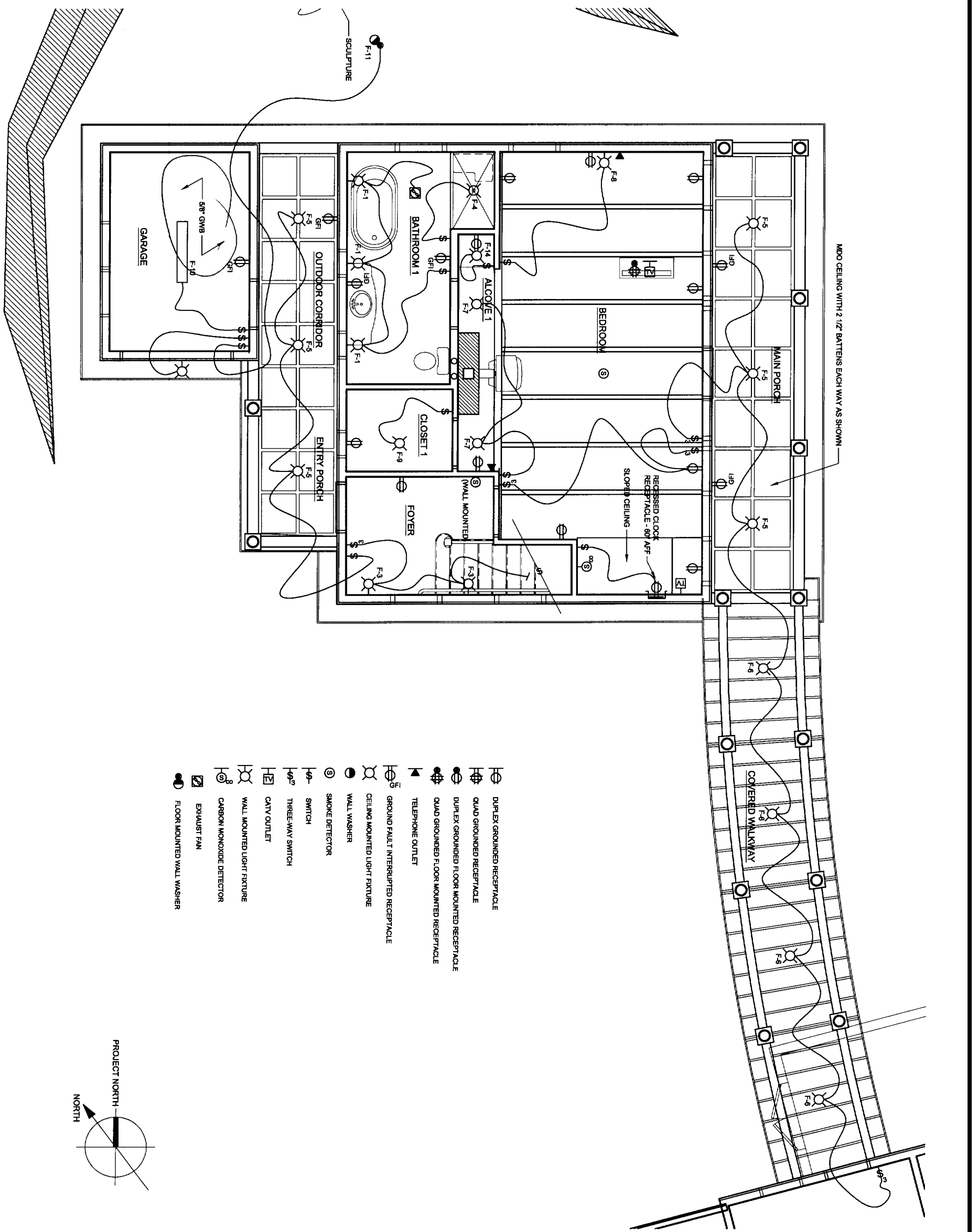
DOOR SCHEDULE

DOOR NO.	DOOR			FRAME				DETAILS				GENERAL				
	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH	INSULATED	TYPE	MATERIAL	THRESHOLD	HEAD	JAMB	SILL	CLOSER	FIRE RATING	HARDWARE	REMARKS
101	12	3'-0"	6'-8"	WD	PTICLA IG	GC	WD	ADA	-	-	-	-	-	-	-	WEATHER STRIP- TEMPERED, CUSTOM SCREEN DOOR
102	4	3'-3/4"	7'-0"	WD	PTICLA IG	MFR	WD	ADA	-	-	-	-	-	-	-	WEATHER STRIP- TEMPERED, HINGED SCREEN DOOR
103	1	3'-0"	6'-8"	WD	PT	GC	WD	ADA	-	-	-	-	-	-	-	TEMPERED
104	6	7'-0"	6'-8"	WD	PT	GC	WD	ADA	-	-	-	-	-	-	-	HINGED PWR. CUSTOM
106	3	3'-0"	6'-8"	WD	CLR	GC	WD	NONE	-	-	-	-	-	-	-	-
106	3	3'-0"	6'-8"	WD	CLR	GC	WD	NONE	-	-	-	-	-	-	-	-
107	3	3'-0"	6'-8"	WD	CLR	GC	WD	NONE	-	-	-	-	-	-	-	-
106	3	3'-0"	6'-8"	WD	CLR	GC	WD	NONE	-	-	-	-	-	-	-	-
201	5	3'-0"	6'-8"	WD	PTICLA IG	MFR	WD	MFR	-	-	-	-	-	-	-	WEATHER STRIP- TEMPERED, HINGED SCREEN DOOR
202	3	2'-6"	6'-8"	WD	CLR	GC	WD	NONE	-	-	-	-	-	-	-	-
203	3	2'-6"	6'-8"	WD	CLR	GC	WD	NONE	-	-	-	-	-	-	-	-
204	3	2'-6"	6'-8"	WD	PT	GC	WD	WOOD	-	-	-	-	-	-	-	-

ADA ACCESSIBLE (AMERICANS WITH DISABILITIES ACT)
CLR CLEAR FINISH
GC GENERAL CONTRACTOR TO FABRICATE
IG INSULATED GLASS
MFR MANUFACTURER'S STANDARD
PT PAINTED
WD WOOD
Y CLOSER

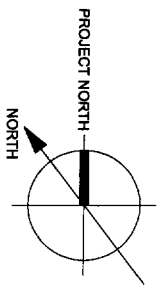
DOORS

SCALE: 1/4" = 1'-0"



MDO CEILING WITH 2 1/2" BATTENS EACH WAY AS SHOWN

- DUPLEX GROUNDING RECEPTACLE
- QUAD GROUNDING RECEPTACLE
- DUPLEX GROUNDING FLOOR MOUNTED RECEPTACLE
- QUAD GROUNDING FLOOR MOUNTED RECEPTACLE
- TELEPHONE OUTLET
- GROUND FAULT INTERRUPTED RECEPTACLE
- CEILING MOUNTED LIGHT FIXTURE
- WALL WASHER
- SMOKE DETECTOR
- SWITCH
- THREE-WAY SWITCH
- CNTY OUTLET
- WALL MOUNTED LIGHT FIXTURE
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN
- FLOOR MOUNTED WALL WASHER



FIRST FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

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**Addition to the
Glickman Residence**
Great Diamond Island
Portland, Maine

TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
Curt Phillips & Son
170 1/2 Reed Ave
Portland, Maine 04102
Specialty Mechanical Design Consulting
22 Central Street, Bangor, ME 04401

REVISIONS:

DATE: June 9, 2004
PROJECT No. 0115
DRAWN BY: WJT
CHECKED BY: TST
SCALE: As Noted

SHEET TITLE:
First Floor
Reflected Ceiling
Electrical

A-5.1

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Addition to the Glickman Residence

Great Diamond Island
Portland, Maine

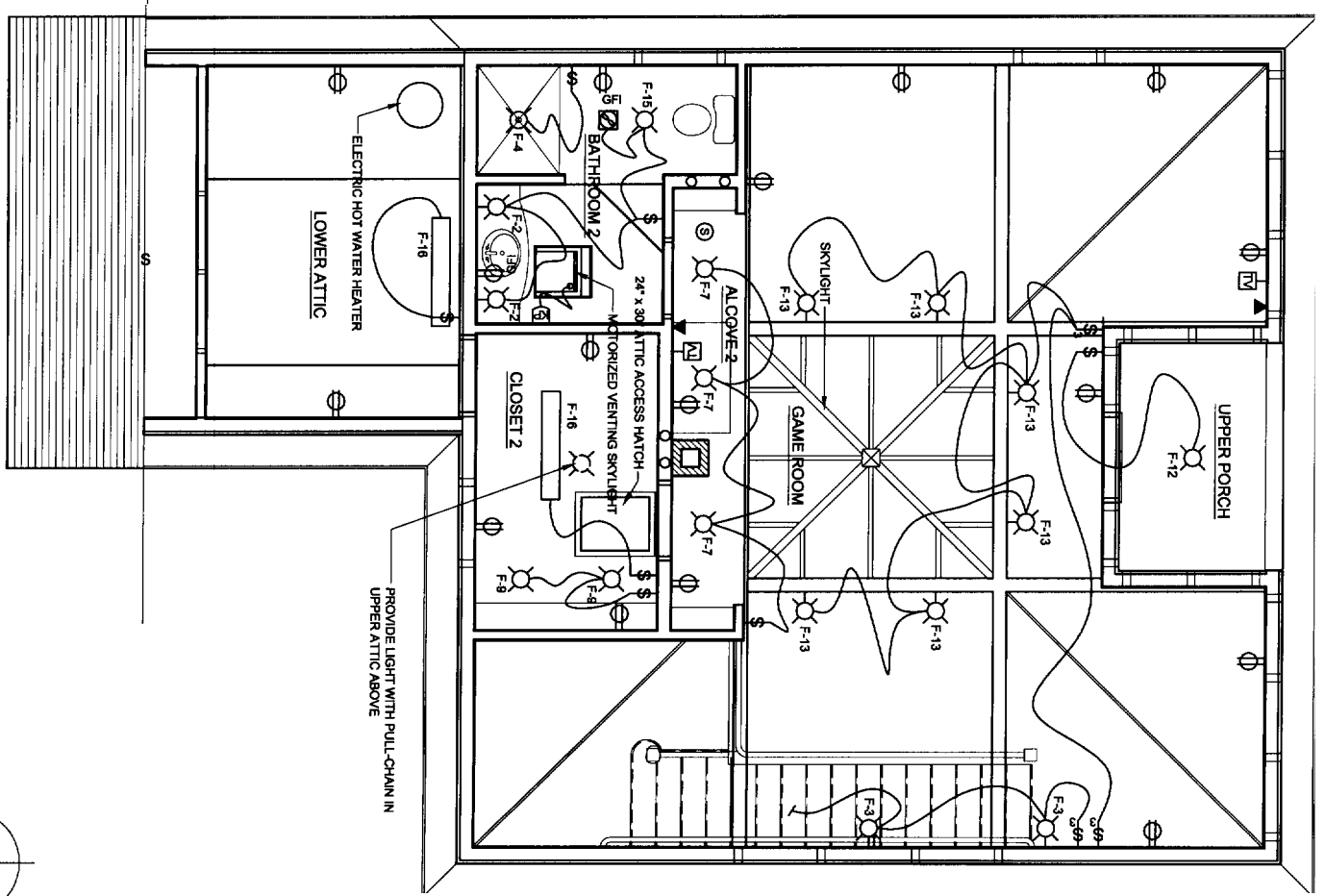
TFH ARCHITECTS
100 COMMERCIAL STREET
PORTLAND MAINE 04101
TELEPHONE 207 775 6141
ARCHITECTURE PLANNING

CONSULTANTS:
CPL Planning & Design
715 US Route One
Raymond, Maine 04076
207 833 2222
20 Commercial Street
Old Orchard Beach, Maine 04064

REVISIONS:

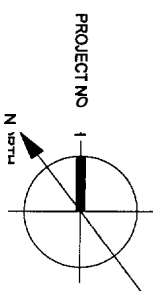
DATE:	June 9, 2004
PROJECT No.	0115
DRAWN BY:	WJT
CHECKED BY:	TST
SCALE:	As Noted

SHEET TITLE:
Second Floor Plan
Reflected Ceiling
Electrical



SECOND FLOOR REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"



PROJECT NO. 1
A-5.2