



CHANGES THIS ISSUE	ID	DESCRIPTION

ISSUE NUMBER	DATE	DESCRIPTION

SUBMISSIONS:	DATE	ISSUE

CONSULTANTS:	DATE	DESCRIPTION
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DRAFTSPERSON:	DATE	DESCRIPTION
James & Katherine Luedke 3711/1 PROJECT STATUS: Permit Set		

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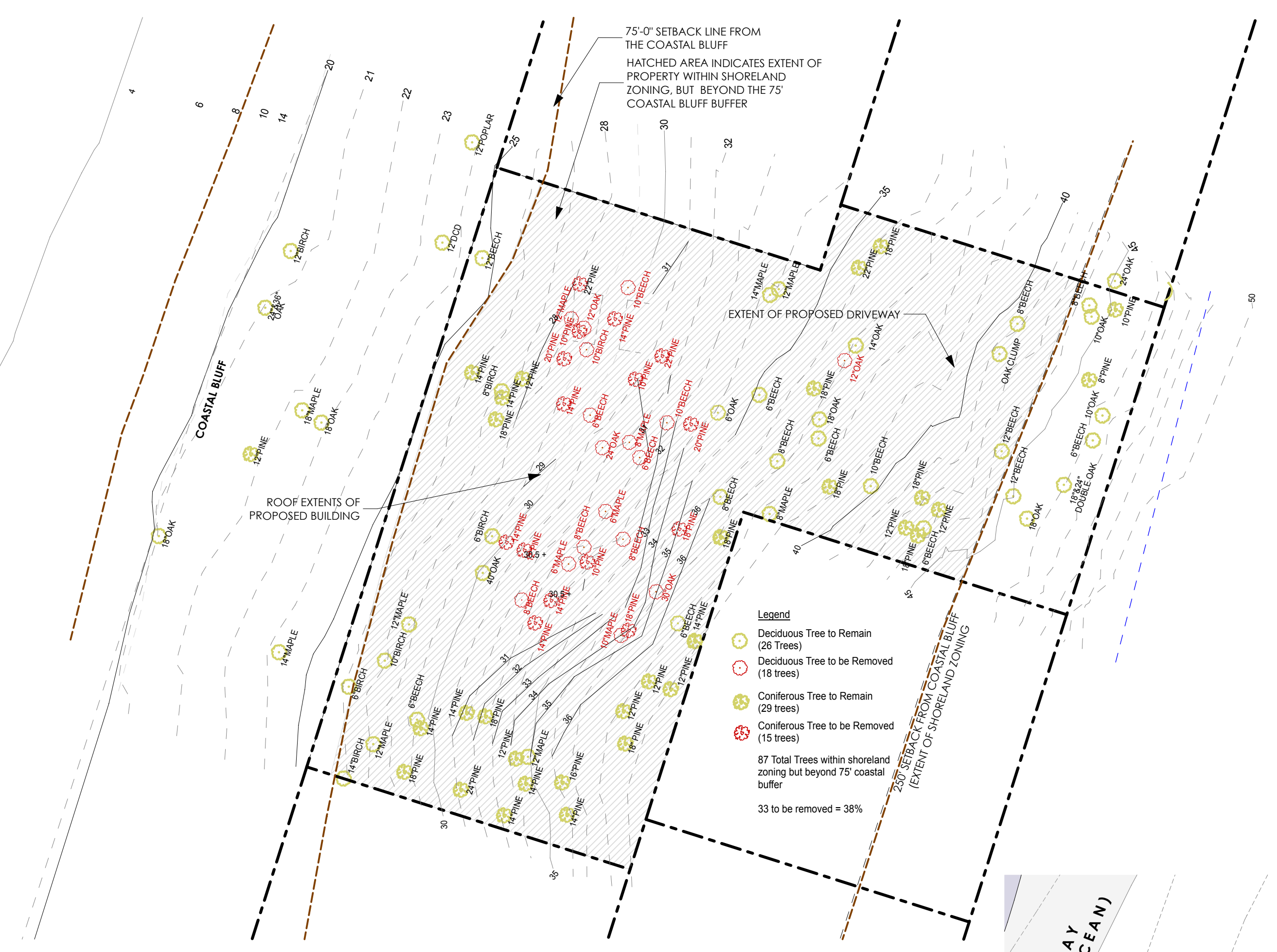
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PERMIT SET

Clearing or Removal of Vegetation Within 75'-0" buffer of Coastal Bluff (Sec. 14-449 (c) 1-4):
None proposed.

Clearing or Removal of Vegetation Beyond 75'-0" buffer of Coastal Bluff (Sec. 14-449 (c) 2 (pg. 14-575):
Selective cutting of not more than forty (40%) percent of the volume of trees four (4) inches or more in diameter, measured four and one-half (4 1/2) feet above ground level, shall be allowed within any ten-year period at distances greater than seventy-five (75) feet, horizontal distance, from the normal high water line of any other water body, tributary stream, or the upland edge of a wetland, except to allow for the development of permitted uses. Tree removal in conjunction with the development of permitted uses shall be included in the forty (40) percent calculation.

Allowed: 40% of trees greater than 4" may be removed
Proposed: 38% (See Existing Site / Tree Diagram)



E EXISTING SITE / TREE CLEARING DIAGRAM
SCALE: 1" = 30'

ZONING ANALYSIS

Project Address: Crescent Ave Great Diamond Island ME 04109
Map: 083B Lots: 6,10,11
Local Zoning Ordinance: Portland Maine Zoning Ordinance (Rev. 6-1-2015)
Zone: IR-2, Island Residential
Special Zone Considerations: Shoreland Zoning Overlay
Allowable Use: Single Family Residential, et al.

Project is located near a Coastal Bluff indicated as "Highly Unstable"

Dimensional Requirements (Sec 14-145.11):

Minimum Lot Size: 20,000sf Actual Lot Size:
Minimum Street Frontage: 70' Actual Lot Width: 83.13'
Lot Size is Conforming

Min. Front Yard Setback: 25' Proposed Min Front Yard Setback: 25'
Min Side Yard Setback: 20' Proposed Min Side Yard Setback: 20'

Min. Rear Yard Setback: 25' Proposed Min Rear Yard Setback: 25'
Maximum Building Height: 35' Proposed Building Height: See South Elevation 1/A-2.2. Less than 35'

Height Definition: "The vertical measurement from grade, or the predevelopment grade on the islands, to the highest point of the roof beams in flat roofs; to the highest point of the roof beams or the highest point on the deck of mansard roofs; to a level midway between the level of the eaves and highest point of pitched roofs or hip roofs; or to a level two-thirds of the distance from the level of the eaves to the highest point of gambrel roofs. For this purpose the level of the eaves shall be taken to mean the highest level where the plane of the roof intersects the plane of the outside wall on a side containing the eaves."

Proposed Building Setbacks and Height are Conforming

Developed Area Requirements:

Maximum Lot Coverage = 20% of lot area
Lot Area = 33,324sf
Maximum Lot Coverage = 6665 sf

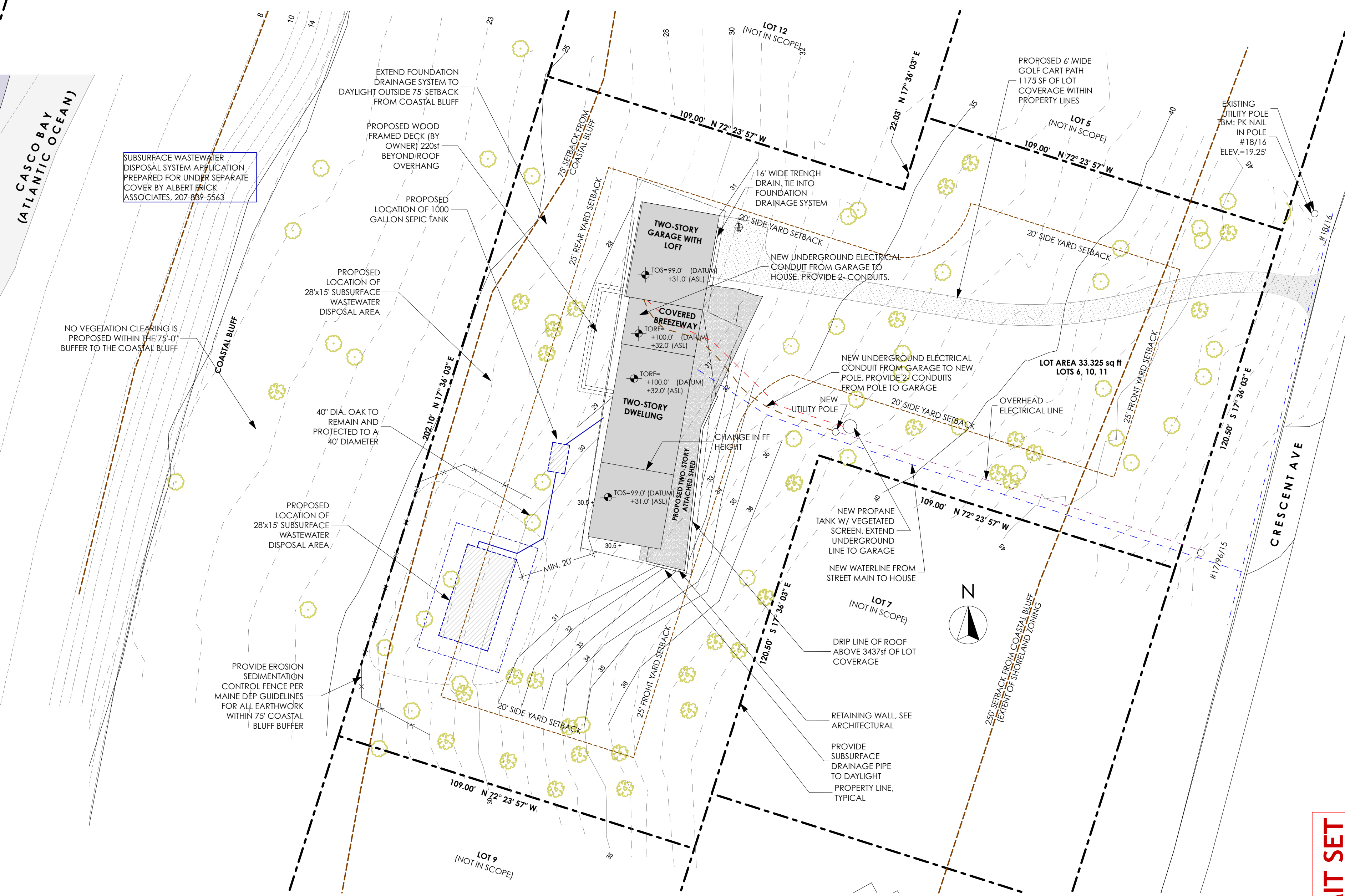
Proposed:

Proposed 2 Story Dwelling = 3437sf
(including area under eave overhang)
Proposed Driveway = 1175sf
Proposed Deck (To Be Built By Owner) = 220sf

Proposed Developed Area: 4832sf
Proposed Developed Area as % of Lot: 14.5%
Area of Land Remaining with Lot Coverage = 1833sf



PORTLAND GIS MAP
NOT TO SCALE



1 PROPOSED SITE PLAN
SCALE: 1" = 20'