

**City of Portland, Maine – Building or Use Permit Application** - 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <i>Summit &amp; Willis St., Great Diamond Island</i>	Owner: <i>Keely Maher</i>	Phone:	Permit No: <b>000810</b>
Owner Address: <i>1 Grove Pl., Melrose, MA 02176</i>	Lessee/Buyer's Name: <i>1 Grove Pl., Melrose, MA 02176</i>	Phone:	Business Name:
Contractor Name: <i>**Steven Berube</i>	Address: <i>28 Vaille St., Portland 04103</i>	Phone: <i>772-2541</i>	<div style="border: 2px solid red; padding: 5px; text-align: center;"> <b>RECEIVED</b>                  DEPT. OF CONSTRUCTION                  CITY OF PORTLAND, ME  <b>Permit Issued:</b>  <b>JUL 25 2000</b> </div>
Past Use: <i>Single House</i>	Proposed Use: <i>Single House</i>	<b>COST OF WORK:</b> \$ <i>60,000.00</i> <b>PERMIT FEE:</b> \$ <i>300.00</i>	
Proposed Project Description: <i>Build a 20 x 24 summer cottage</i>		<b>FIRE DEPT. INSPECTION:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: _____	<b>INSPECTION:</b> Use Group: _____ Type: _____ Signature: _____
Permit Taken By: <i>R</i>		Date Applied For: <i>June 5, 2000 G</i>	<b>Zone:</b> <i>195</i> <b>CBL:</b> <i>0838-C-004</i> Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm

1. This application does not preclude the Applicant(s) from meeting applicable State and Federal rules.  
 2. Built for electrical work.  
 3. Built within (6) months of the date of issuance. False information is a violation of the Code of Ordinances.

*Done*

*Needs Scanning*

**EXPIRED**

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**  
 I, the undersigned, certify that the property, or that the proposed work is authorized by the owner of record and that I have been authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, I certify that the code official's authorized representative shall have the authority to enter all premises to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS:	DATE: <i>June 5, 2000</i>	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

**Historic Preservation**  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**Action:**  
 Approved  
 Approved with Conditions  
 Denied

Date: *9*

**PERMIT ISSUED WITH REQUIREMENTS**  
 CEO DISTRICT

COMMENTS

11/15/00 Set backs OK. Subsurface OK. Home has been  
framed and on concrete piers without pier inspection!  
Framing OK. Ground nails 36", must be 42" in some  
stone pits 30". OK

3/00/09 No final inspection scheduled requested. Good  
with out benefit of final inspection, 65

Type Inspection Record

Date

Foundation: \_\_\_\_\_  
Framing: \_\_\_\_\_  
Plumbing: \_\_\_\_\_  
Final: \_\_\_\_\_  
Other: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

#1 083B-C-004

D

**SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION**

APPLICANTS COPY

**PROPERTY LOCATION**  
 City, Town, or Pincation: **PORTLAND, GREAT DIAMOND ISLAND**  
 Street or Road: **WILLIS STREET, LOTS C4 & C5**  
 Subdivision, Lot #:

**OWNER/APPLICANT INFORMATION**  
 Name (incl. first, MI): **MAIER**  
 Working Address: **1 GROVE PLACE**  
 at: **MELROSE, MA 02176**  
 Owner: **KELLY**  
 Applicant: **KELLY**  
 Phone: Tel.: **781-664-6977 X. 453**

**PORTLAND PERMIT # 7314 APPLICANTS COPY**

Date Permitted: **6/5/00** Fee: **\$1000**

**THE WORK SPECIFIED IN THIS PERMIT APPLICATION IS HEREBY AUTHORIZED TO BE PERFORMED IN ACCORDANCE WITH THE RULES. THIS PERMIT EXPIRES AFTER TWO YEARS FROM DATE ISSUED UNLESS WORK HAS COMMENCED.**

**Caution: Inspections Required**

Local Plumbing Inspector Signature: **A. J. ...** Date Approved: **11/15/00**

**Owner or Applicant Statement**  
 I state that the information submitted is correct to the best of my knowledge and understanding and that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.

Signature of Owner: **Kelly A. Maier** Date: **6/5/00**

**PERMIT INFORMATION**  
 Local Plumbing Inspector Signature: \_\_\_\_\_ Date Approved: \_\_\_\_\_

<p><b>TYPE OF APPLICATION</b></p> <p>1. <input checked="" type="checkbox"/> First Time System          2. <input type="checkbox"/> Replacement System          Type Replaced: _____          Year Installed: _____</p> <p>3. <input type="checkbox"/> Expanded System          a. <input type="checkbox"/> One-time exemplified          b. <input type="checkbox"/> Non exemplified          4. <input type="checkbox"/> Existing/Conversion          5. <input type="checkbox"/> Separate Conversion</p> <p><b>SIZE OF PROPERTY</b>          21,000 +/- <input type="checkbox"/> sq. ft. <input type="checkbox"/> acres  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><b>SPRO-BELAND ZONING</b>  <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>	<p><b>TIER APPLICATION REQUIRES</b></p> <p>1. <input type="checkbox"/> No Rule Variance          2. <input type="checkbox"/> First Time System Variance          a. <input type="checkbox"/> Local Plumbing Inspector Approval          b. <input type="checkbox"/> State &amp; Local Plumbing Inspector Approval          3. <input type="checkbox"/> Replacement System Variance          a. <input type="checkbox"/> Local Plumbing Inspector Approval          b. <input type="checkbox"/> State &amp; Local Plumbing Inspector Approval          4. <input type="checkbox"/> Minimum 1 of Site Variance          a. <input type="checkbox"/> Sewer/Conversion Approval</p> <p><b>DISPOSAL SYSTEM TO BE USED</b></p> <p>1. <input type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: <b>3</b>          2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____          3. <input type="checkbox"/> Other: _____          SPECIFY _____</p>	<p><b>DISPOSAL SYSTEM COMPONENTS</b></p> <p>1. <input checked="" type="checkbox"/> Complete Non-Engineered System          2. <input type="checkbox"/> Primitive System/gravel or water &amp; oil (toilets)          3. <input type="checkbox"/> Alternative Toilet, specify: _____          4. <input type="checkbox"/> Non-Engineered Treatment Tank (only)          5. <input type="checkbox"/> Holding Tank, _____ Gallons          6. <input type="checkbox"/> Non-Engineered Disposal Field (only)          7. <input type="checkbox"/> Separated Laundry System          8. <input type="checkbox"/> Complete Engineer of System (2000/gpd)          9. <input type="checkbox"/> Engineered Treatment Tank (only)          10. <input type="checkbox"/> Engineered Disposal field (only)          11. <input type="checkbox"/> Pre-treatment, specify: _____          12. <input type="checkbox"/> Miscellaneous components</p> <p><b>TYPE OF WATER SUPPLY</b>          1. <input type="checkbox"/> Ground Water 2. <input type="checkbox"/> Dug Well 3. <input type="checkbox"/> Private          4. <input type="checkbox"/> Public 5. <input type="checkbox"/> Other: <b>SEASONAL</b></p>
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**DESIGN DETAIL SYSTEM LAYOUT SHOWN ON PAGE 3!**

<p><b>TREATMENT TASK</b></p> <p>1. <input checked="" type="checkbox"/> Concrete          a. <input checked="" type="checkbox"/> Regular          b. <input type="checkbox"/> Low Fraible          2. <input type="checkbox"/> Plastic          3. <input type="checkbox"/> Other: _____          CAPACITY: <b>1000</b> gallons</p>	<p><b>DISPOSAL FIELD TYPE &amp; SIZE</b></p> <p>1. <input type="checkbox"/> Stone Bed 2. <input type="checkbox"/> Stone Trench          3. <input checked="" type="checkbox"/> Proprietary Device          a. <input type="checkbox"/> Cluster or tray c. <input type="checkbox"/> Linear          b. <input checked="" type="checkbox"/> Regular d. <input type="checkbox"/> H-20 loaded          4. <input type="checkbox"/> Other: _____          SIZE: <b>600</b> <input type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft.  <b>PLASTIC CHAMBERS</b></p>	<p><b>GARBAGE DISPOSAL UNIT</b></p> <p>1. <input checked="" type="checkbox"/> No 3. <input type="checkbox"/> Maybe          2. <input type="checkbox"/> Yes &gt;&gt; Specify one below:          a. <input type="checkbox"/> Multi-compartment tank          b. <input type="checkbox"/> Tank in series          c. <input type="checkbox"/> Increase in tank capacity          d. <input type="checkbox"/> Filter on tank outlet</p>	<p><b>DESIGN FLOW</b>          BPD gallons per day          BASED ON:          1. <input checked="" type="checkbox"/> Table S01 (dwelling units) 11          2. <input type="checkbox"/> Table S01.2 (other facilities)          SHOW CALCULATIONS          - for other facilities -</p> <p><b>2 BEDROOMS AT 90 GALLONS PER DAY EACH= 180 GPD</b></p>
<p><b>SOIL DATA &amp; DESIGN CLASS</b>          PROFILE: <b>COMMINON</b> DESIGN: <b>DESIGN</b></p> <p><b>AT</b> Observation Hole # <b>TP 1</b>          Depth: <b>20</b> Elevation: _____          OF MOST LIMITING SOIL FACTOR</p>	<p><b>DISPOSAL FIELD BEDDING</b></p> <p>1. <input type="checkbox"/> Small - 2.0 sq.ft./gpd          2. <input type="checkbox"/> Medium - 2.6 sq.ft./gpd          3. <input type="checkbox"/> Medium-Large - 3.3 sq.ft./gpd          4. <input type="checkbox"/> Large - 4.1 sq.ft./gpd          5. <input type="checkbox"/> Extra-Large - 5.0 sq.ft./gpd</p>	<p><b>RUMPHO</b></p> <p>1. <input type="checkbox"/> Not required          2. <input checked="" type="checkbox"/> May be required          3. <input type="checkbox"/> Required &gt;&gt; specify only for engineered or experimental systems</p> <p>005E: _____ gallons</p>	<p><b>SECTION S03 D (meter readings) ATTACH WATER-METER DATA</b></p>

**SITE EVALUATION STATEMENT**

I certify that on **6/28/00** (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules (80-144A CMR 2411).

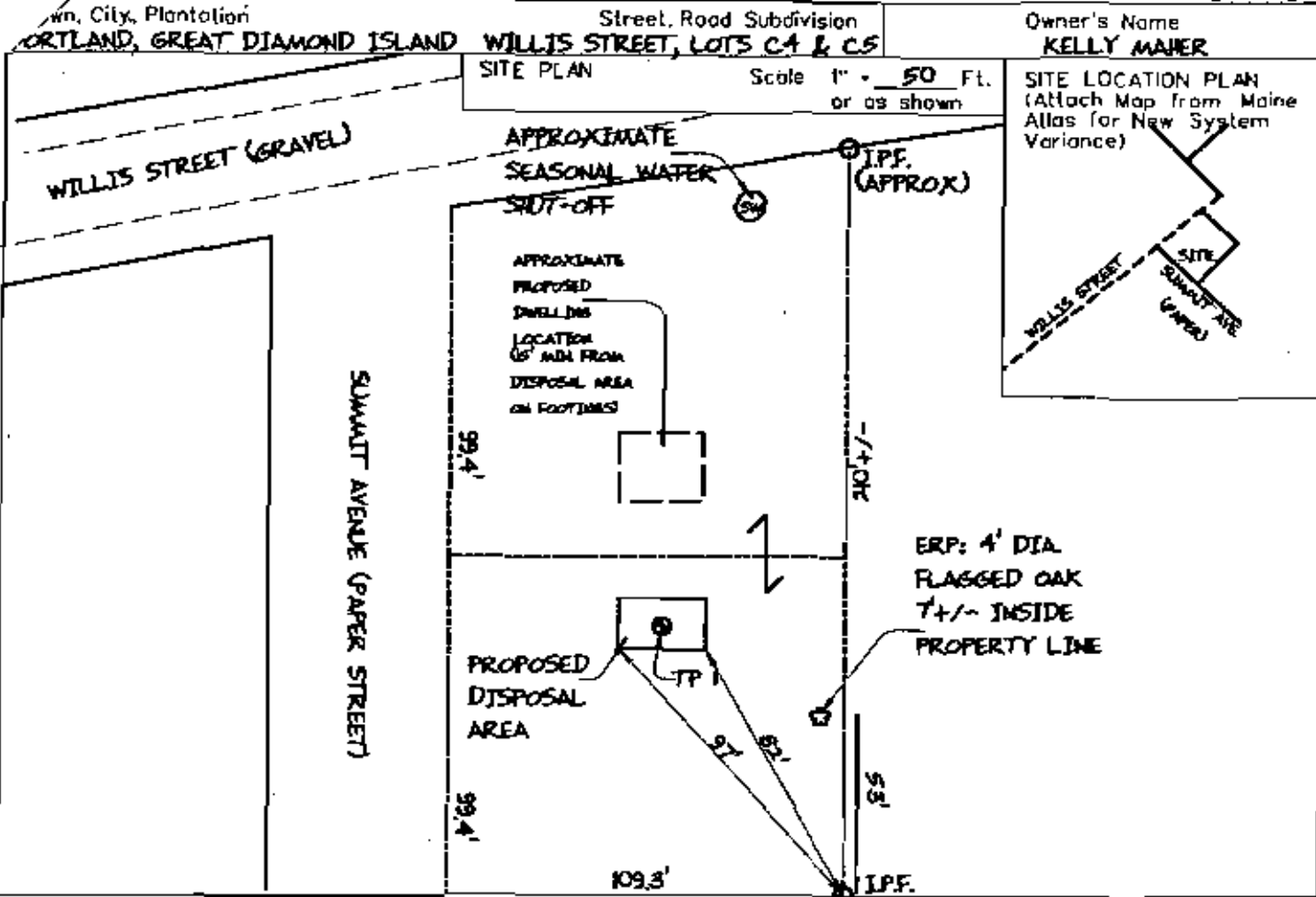
Site Evaluator Signature: **Alfred Smith**

SE # **63**

Date: **4/28/2000**

# SURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering



## SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 1       Test Pit       Boring  
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0			DARK BROWN	
5	SANDY LOAM	FRIABLE	DARK YELLOWISH BROWN	
10			YELLOWISH BROWN	FEW FINE
20			OLIVE BROWN	FEW DISTINCT
30	SANDY LOAM & LOAMY SAND	SOMEWHAT FIRM	BROWN	
40		LIMIT OF EXCAVATION		
50				

Soil Classification: **3 C**      Slope: \_\_\_\_\_ %      Limiting Factor: **20**       Ground Water  
 Restrictive Layer       Bedrock       Pit Depth

Profile: \_\_\_\_\_      Condition: \_\_\_\_\_

Observation Hole \_\_\_\_\_       Test Pit       Boring  
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (Inches)	Texture	Consistency	Color	Mottling
0				
10				
20				
30				
40				
50				

Soil Classification: \_\_\_\_\_      Slope: \_\_\_\_\_ %      Limiting Factor: \_\_\_\_\_       Ground Water  
 Restrictive Layer       Bedrock       Pit Depth

Profile: \_\_\_\_\_      Condition: \_\_\_\_\_

*Albert Frick*  
 Site Evaluator Signature

K3  
 SE

4/28/2000  
 Date

# SURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services  
Division of Health Engineering

Town/City/Plantation

Street/Road/Subdivision

Owner's Name

LAND, GREAT DIAMOND ISLAND

WILLIS STREET, LOTS C4 & C5

KELLY MAHER

APPROX. PROPOSED DWELLING LOCATION (WITH 15' TO DISPOSAL AREA, ON FOOTINGS)

## SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20' FT

1000 GALLON CONCRETE SEPTIC TANK LOCATE WHERE FEASIBLE 8' MIN. FROM DWELLING

4" DIA. SDR-35 SOLID PVC

DISTRIBUTION BOX

ERP: 4' DIA FLAGGED OAK

PROPOSED DISPOSAL AREA (3 ROWS OF 4 PLASTIC CHAMBERS)

5' SHOULDER

15'

-58"

-63"

CROSS SECTION

-62"

-64"

EXISTING GRADE AT CORNER

APPROXIMATE TOE OF FILL

97' TO I.P.F.

82' TO I.P.F.

53' TO I.P.F.

APPROXIMATE PROPERTY LINE

### FILL REQUIREMENTS

Depth of F1 (Shoulder) \_\_\_\_\_  
Depth of F2 (Shoulder) \_\_\_\_\_

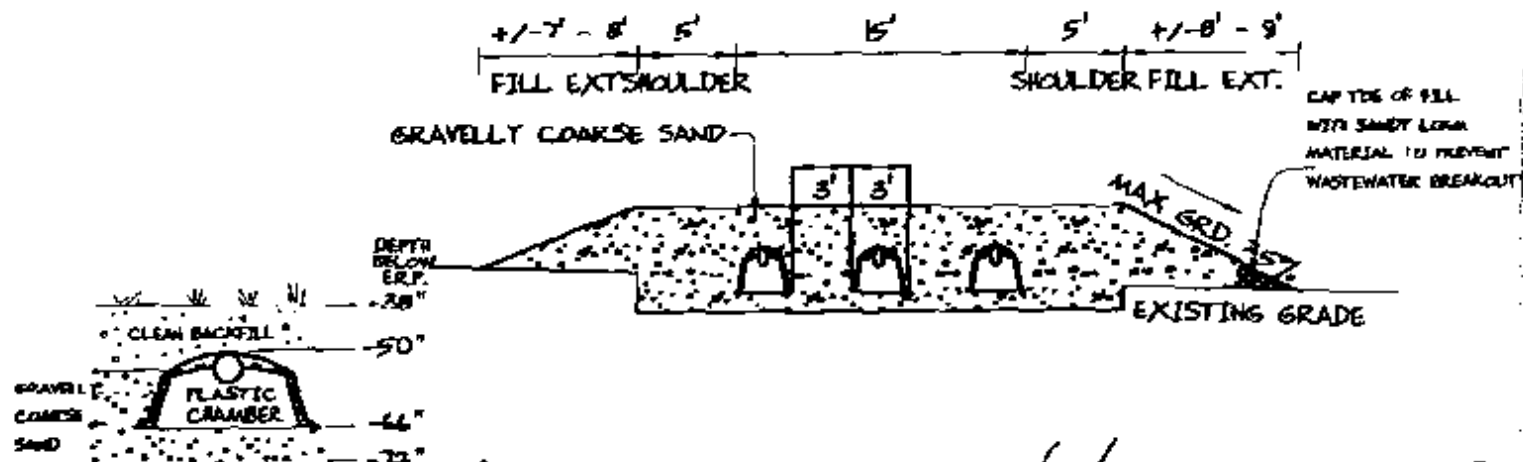
± 20" - 24" Finished Grade Elevations  
Top of Distribution Box or Proprietary Device  
Bottom of Disposal Area

### CONSTRUCTION ELEVATIONS

ELEVATION REFERENCE POINT  
Location & Description MAX. 48" ABOVE  
BASE OF 4" DIA. FLAGGED OAK  
Reference Elevation 00"

SCALE:  
VERTICAL 1" = 5 FT  
HORIZONTAL 1" = 10 FT

### DISPOSAL AREA CROSS SECTION



*Albert Frick*  
Site Evaluator Signature

SE

4/28/2000  
Date



**Albert Frick Associates, Inc.**

Soil Scientists & Site Evaluators

95A County Road Cartham, Maine 04034

(207) 839-3363

<u>PORTLAND (GREAT DIAMOND ISLAND)</u>	<u>HILLS STREET</u>	<u>KELLY MAHER</u>
TOWN	LOCATION	APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-3363, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations.

Prior to the commencement of construction/installation, the local plumbing inspector shall inform the owner/applicant and Albert Frick Associates, Inc. of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as, utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter should be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment) and controlled or hazardous substances shall not be disposed of in this system.

PORTLAND (GREAT DIAMOND ISLAND) WILLIS STREET KELLY MAHER  
 TOWN LOCATION APPLICANT'S NAME

- 6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than once every three years.
- 7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu. ft.)  $\times$  7.48 cu. ft. (gallons per cu. ft.)  $\div$  # of days in period).
- 8) The general minimum setback between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: **BEFORE CONSTRUCTION/INSTALLATION BEGINS**, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirements. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station. An alarm device warning of a pump failure shall be installed. Also, when pumping is required to a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact thoroughly before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chances of leakage). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off the chambers. Divert the surface water away from the disposal area by ditching or shallow swales.
- 11) Unless noted otherwise, fill shall be gravelly coarse sand which contains no more than 5% fines (silt and clay).
- 12) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion.



Applicant: Steven Berube (contractor)

Date: 6/8/08

Address: Summer & Willis St  
Great O Island

C-B-I: 83B-C-4:5

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - IR-2

Interior of corner lot -

Proposed Use/Work - construct Summer Cottage 20' x 24' with

Sevage Disposal - Private

10' x 20' porch & 4' x 10' porch

Lot Street Frontage - 70' min

Front Yard - 25' req. - 40' shown

Rear Yard - 25' req. - 130' shown

Side Yard - 20' req. - 30' & 48' shown

Projections - 2 porches shown -

Width of Lot - 80' req. - 108' scaled

Height - 35' max allowed x 30' scaled

Lot Area - 20,000 sq ft min - 22,690.46 sq ft

Lot Coverage/ Impervious Surface - 20% -

4538.092 sq ft

Area per Family - 20,000 sq ft

Off-street Parking - 2 req

Loading Bays - N/A

Site Plan - minor/minor

\$20000.00

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - zone 9, zone C in middle of island

20 x 24 = 480

10 x 20 = 200

4 x 10 = 40

= 720

720 sq ft



**CITY OF PORTLAND, ME  
BOCA 1999 Plan Review Record  
One and Two Family Dwelling**

Valuation: ~~\$60,000.00~~ Plan Review # 0859-2K

Fee: \$384.00 Date: 6 June 2000

Building Location: Summit's Wills St. G.P.T. CBL: 083R-C-004

Building Description: 20'x24' Summer Cottage

Reviewed By: S. Hoffses

Use or Occupancy: R-3 Type of Construction: 5-B

\*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan and building Code requirements shall be completed before a Certificate of occupancy can or will be issued.	111.0
2.	A Subsurface Waste water disposal system shall be approved before work is started.	
3.	Chimneys and vents shall comply with NFPA 241 & BOCA Mech. 93 Chapter 12 -	USFP 2305.12 C. 12
4.	Guadrails shall comply with section 1021.0	1021.0
5.	Handrails shall comply with section 1022.0	1022.0
6.	Stair construction shall comply with section 1014.0	1014.0
7.	Winders shall comply section 1014.6.3	1014.6.3
8.	Carry, Cutting and Notching shall comply with sections 2305.3, 2305.2.1, 2305.4.4 & 2305.5.1	see
9.	All Fastenings shall comply with Table 2305.2	2305.2
10.	All Glass or glazing shall comply with Chapter 24 Safety glazing section 2406.0	2406.0
11.	Sleeping room egress or rescue windows shall comply with section 1010.4	1010.4
12.	Small detectors shall comply with section 920.3.2	920.3.2

REV: PHIL-7-99



## Foundations (Chapter 18)

### Wood Foundation (1808)

- ~~NA~~ Design
- ~~NA~~ Installation

### Footings (1807.0)

- X Depth below (outside) grade 4' minimum; but below frost line except for insulated footings.
- ~~NA~~ Insulated footing provided
- X Soil bearing value (table 1804.3)
- X Footing width
- A Concrete footing (1810.0) 3.1, 3.2  
*piens*
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Foundation Walls

- X Design (1812.1)
- X Minimum thickness Tables 1812.3.2 (1) & 1812.3.2 (2)
- ~~NA~~ Water proofing and damp proofing Section 1813
- A Sill plate (2305.17)
- A Anchorage bolting in concrete (2305.17)
- ~~NA~~ Columns (1912)
- ~~NA~~ Crawl space (1210.2) Ventilation
- ~~NA~~ Crawl opening size (1210.2.1)
- ~~NA~~ Access to crawl and attic space ( 1211.0 )
- \_\_\_\_\_

### Floors (Chapter 16-23)

- X Joists - Non sleeping area LL40PSF (Table - 1606)
- X Joists - Sleeping area LL30PSF (Table - 1606)
- X Grade
- X Spacing
- X Span
- X Girder 4" bearing 2305.6.1

### Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3") 2305.2
- ~~NA~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFANDS Chapter 35)
- ~~NA~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~NA~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

### Wall Construction (Chapter 2300)

- ~~X~~ Design (1609) wind loads
- ~~X~~ Load requirements
- ~~X~~ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~X~~ Wind bracing (2305.7)
- ~~X~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~X~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

### Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~MA~~ Roof trusses (2313.3.1)
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Roof Coverings (Chapter 15)**

- ~~X~~ Approved materials (1404.1)
- ~~S~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~A~~ Material and installation requirements (1507)
- ~~MA~~ Roof structures (1510.0)
- ~~△~~ Type of covering (1507)

**Chimneys and Fireplaces  
BOCA Mechanical/1993**

- ~~SA~~ Masonry (1206.0)
- \_\_\_\_\_ Factory - built (1205.0)
- \_\_\_\_\_ Masonry fireplaces (1404)
- \_\_\_\_\_ Factory - built fireplace (1403)
- \_\_\_\_\_ NFPA 211

**Mechanical  
1993 BOCA Mechanical Code**

- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
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- \_\_\_\_\_
- \_\_\_\_\_

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 \_\_\_\_\_  
 \_\_\_\_\_

**Load Design Criteria**

Floor live load sleeping	<u>30 PSE</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSE</u>	<u>X</u>
Roof live load	<u>42 PSE</u>	<u>X</u>
Roof snow load	<u>40 PSE</u>	<u>1</u>
Seismic Zone	<u>2</u>	<u>3</u>
Weathering area	<u>S</u>	<u>1</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

**Glazing (Chapter 24)**

- SR Labeling (2402.1)
- SR Louvered window or jalousies (2402.5)
- SR Human impact loads (2405.0)
- SR Specific hazardous locations (2405.2)
- SR Slanted glazing and skylights (2404)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Private Garages (Chapter 4)**

- NA General (407)
- NA Beneath rooms (407.3)
- NA Attached to rooms (407.4)
- NA Door sills (407.5)
- NA Means of egress (407.8)
- NA Floor surface (407.9)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Egress (Chapter 10)**

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~SA~~ Treads (1014.6) 10" min.
- ~~SA~~ Riser (1014.6) 7 3/4" max.
- ~~SA~~ Solid riser (1014.6.1)
- ~~SA~~ Winders (1014.6.3)
- \_\_\_\_\_ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

**Smoke Detectors (920.3.2)**

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation  
Table 602**

~~NA~~

**Electrical  
NEPA #**

~~70~~

## QUITCLAIM DEED

Maine Statutory Short Form

James H. Freundlich and Catherine M. Brzezowski, of Portland, County of Cumberland, and State of Maine, for valuable consideration grants to Kelly Maber of Melrose, Massachusetts, her heirs and assigns forever, with Quitclaim Covenant, the following property situated in Great Diamond Island, Portland, Cumberland County, Maine:

Two certain lots or parcels of land described as follows:

PARCEL ONE: Such land on Summit Avenue, described by the city of Portland Tax Assessor's Map 81D of Great Diamond Island, as Lot C-5, as is, where is, containing 11,716 square feet, and being further identified as Lot 252 on a Plan of "Diamond Island Association" on Great Diamond Island, Casco Bay, Maine, recorded in the Cumberland County Registry of Deeds in Plan Book 4, Page 42.

PARCEL TWO: Such land on Summit Avenue, described by the city of Portland Tax Assessor's Map 81B of Great Diamond Island, as Lot C-5, as is, where is, containing 10,903 square feet, and being further identified as Lot 254 on a Plan of "Diamond Island Association" on Great Diamond Island, Casco Bay, Maine, recorded in the Cumberland County Registry of Deeds in Plan Book 4, Page 42.

Being the same premises conveyed to Grantors herein by James M. Gross and Colleen M. Gross by deed dated October 26, 1988, and recorded in the Cumberland County Registry of Deeds in Book 13612, Page 77.

Witness our hands this 23<sup>rd</sup> day of October, 1988.

Jeanne M. Smith  
Witness

James H. Freundlich  
James H. Freundlich

Jeanne M. Smith  
Witness

Catherine M. Brzezowski  
Catherine M. Brzezowski

State of Maine  
Cumberland, ss.

Personally appeared before me the above named James H. Freundlich and Catherine M. Brzezowski and acknowledged the foregoing instrument to be their free act and deed.

Dated: 10/23/88

Charles R. Bear  
Notary Public Attorney at Law  
Charles R. Bear

RECEIVED  
REGISTRY OF DEEDS

1988 OCT 28 11:10:03

CUMBERLAND COUNTY

John B. O'Brien



**CITY OF PORTLAND, MAINE  
PUBLIC NOTICE**

To All Building Permit Applicants and/or Contractors:

Effective immediately all temporary erosion control measures as shown on submitted site plans or as made part of a conditional approval of a site plan shall be installed, maintained, and inspected for proper functioning. Erosion control measures include but are not limited to silt fencing hay bales, stone check dams, earthen berms, stone lined swales, riprap embankments, riprap inlet/outlets of any pipe channel or culvert, sodded or grass strips, hay mulch cover on exposed soils, jute matting or erosion control blanket/matting, geotextile grids or webbing, and any provision approved by the City Engineer or Development Review Coordinator to decrease erosion or sedimentation.

All temporary and permanent erosion control measures shall be in conformance with the Maine Erosion and Sediment Control Handbook for construction: Best Management Practices as published by Cumberland County SWCD and the Maine Department of Environmental Protection. Consistent failure to install, maintain, or construct in an acceptable manner will result in a stop work order on the building permit. All erosion control measures shall be established in proposed areas of disturbed soils resulting from construction activities prior to actual construction unless a specific deadline has been made a condition of approval or agreed to by a Public Works Engineer or the Development Review Coordinator.

Effective immediately any request for Certificate of Occupancy will be denied if the above measures have not been addressed or completed. Only under extreme conditions, due to weather, shall the omission of the erosion control standards be included on the conditions for a Certificate of Occupancy, otherwise the request for a Certificate will be refused.

The City of Portland Planning Department and Public Works Department consider Erosion and Sediment Control Planning to be an absolutely necessary initial construction activity that requires as much attention and enforcement as building construction. For the protection of sensitive waterbodies, undisturbed lands, neighboring properties, established vegetated areas, and municipal drainage systems please pay careful attention to erosion and sediment control measures and conform to the notes, details, and conditions of approval as noted on your approved site plan. These controls must be installed and maintained continuously throughout the construction period. The City may inspect the site at any time to ensure compliance, and violations could result in work stoppage orders as indicated above.

We appreciate your prompt compliance with these requirements.



CITY OF PORTLAND  
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (i.e. bulkheads, doorways and windows). As long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an area that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

20000100  
I. O. Number

Summit St & Willis St GDI  
Applicant  
1 Grove Place, Melrose, MA 02176  
Applicant's Mailing Address  
Stephen Berube  
Consultant/Agent  
772-2541  
Applicant or Agent Daytime Telephone, Fax

6/5/00  
Application Date  
Summit St/Willis St BT GDI  
Project Name/Description  
158 Willis St, Great Diamond Island ME  
Address of Proposed Site  
083B-C-004  
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) front & rear porches  
 990 22,890 IR-2 zone  
 Proposed Building square Feet or # of Units Acreage of Site Zoning

**Check Review Required:**

Site Plan (major/minor)  Subdivision # of lots  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other

Fees Paid: Site Plan \$200.00 Subdivision Engineer Review \$100.00 Date: 6/5/00

**DRC Approval Status:**

Reviewer Gordon Smith

Approved  Approved w/Conditions see attache  Denied

Approval Date 7/24/00 Approval Expiration 7/24/01 Extension to  Additional Sheets Attached  
 Condition Compliance Gordon Smith 7/24/00  
 signature date

Performance Guarantee  Required  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Inspections

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

20000100

I. D. Number

158 Willis St & Willis St GDI

5/5/00

Applicant

Application Date

1 Grove Place, Melrose, MA 02176

Summit St/Willis St GDI

Applicant's Mailing Address

Project Name/Description

Stephen Baruba

158 Willis St, Great Diamond Island ME

Consultant/Agent

Address of Proposed Site

7-2541

083B-C-004

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

**DRC Conditions of Approval**

Approved subject to site plan review condition of approval sheet.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 158 Summit Street.

A house number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days

prior to date required for final site inspection. Please make allowances for completion of site plan requirements

determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must

be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of

Occupancy. Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater

Department Drainage section of Public Works must be notified five (5) working days prior to sewer connection to

your site. Schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works

Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation

and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation

to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in

conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide

positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor

elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours,

drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices

and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage

improvements as necessary due to field conditions.

If on site septic is anticipated there for code enforcement LPI should review the location of proposed

septic system.

Prior to any certificate of occupancy the applicant must submit and receive approval of the drainage plan

which will show proposed grades, utility locations and driveway locations.

**Planning Conditions of Approval**

**Inspections Conditions of Approval**



CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM

20000100

I. D. Number

Summit St & Wills St. GDI

8/9/00

Applicant

Application Date

1 Grove Place, Melrose, MA 02176

Summit St/Wills ST GDI

Applicant's Mailing Address

Project Name/Description

Stephen Barube

Wills St, Great Diamond Island ME

Consultant/Agent

Address of Proposed Site

772-2841

0836-C-004

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

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**DRC Conditions of Approval**

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**Planning Conditions of Approval**

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**Inspections Conditions of Approval**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
  2. The maximum building height from grade is 35'.
  3. Separate permits shall be required for future decks, shade, pool, and/or garage.
-

BUILDING PERMIT REPORT

DATE: June 2000 ADDRESS: Summit & Wilks St. Great Dan. Ia. CBL: 0838-C-004

REASON FOR PERMIT: To Construct a 20'x24' Summer Cottage.

BUILDING OWNER: Keely Maher

PERMIT APPLICANT: \_\_\_\_\_ CONTRACTOR: Steven Barube.

USE GROUP: R-3 CONSTRUCTION TYPE: 5-B CONSTRUCTION COST: 6000.00 / PERMIT FEES: 30400

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)  
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)


CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met: \*1, \*2, \*4, \*9, \*11, \*13, \*15, \*19, \*22, \*28, \*29, \*32, \*33, \*34, \*36, # 31

- \*1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \*2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **\*ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING.\***
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- \*4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2105.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- \*9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- \*11. **Guardrails & Handrails:** A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A,B,H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36" and not more than 42". Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/2" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- \*13. **Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise.** All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- \*15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

6/5

- \*19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- \*27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- \*28. All requirements must be met before a final Certificate of Occupancy is issued.
- \*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *All requirements on the attached site Development Review sheets shall be met.*
- \*32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code *met*.
33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- \*36. No work is to be started until an approved subsurface waste water disposal system is approved
- \*37. Windows shall comply with section 1014.0.2

 Samuel Hoffner, Building Inspector  
Lt. McDougall, PFD  
Marge Schumackal, Zoning Administrator

PSH 1/26/00

\*\*On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.

**\*\*\*THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

**\*\*\*\*CERTIFICATE OF OCCUPANCY FEE \$50.00**

**\*\*\*\* ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL,(AS PER SECTION 114.0 OF THE BUILDING CODE ) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT.2000, OR EQUIVALENT.**





**THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED**

**Minor/Minor Site Review, Building or Use Permit Pre-Application  
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

**NOTE\*\*If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>Corner of Summit St + Willis St. Great Diamond Isl.</i>			
Total Square Footage of Proposed Structure <i>960</i>		Square Footage of Lot <i>22,640</i>	
Tax Assessor's Chart, Block & Lot Number <i>Chart 83 D Block C Lot 475</i>		Owner: <i>Kelly Maher</i>	Telephone: 
Lessor/Buyer's Name (If Applicable) 		Owner's/Purchaser/Lessee Address <i>02176 1 Grove Pl. Melrose, Mass.</i>	Cost of Work <i>\$60,000</i> Fee <i>\$340.00</i>
Proposed Project Description: (Please be as specific as possible) <i>Build a 20 x 24 summer cottage</i> <span style="float: right;"><i>Site 300</i> <i>1024-00</i></span>			
Contractor's Name, Address & Telephone <i>Stephen Berube 28 Vaill St Portland 04103 777-2541</i>			Rec'd By: <i>(Signature)</i>

*Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation*

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Certification**

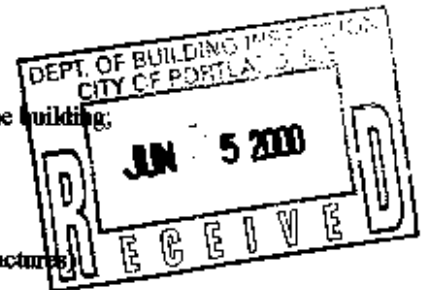
I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Stephen Berube</i>	Date: <i>June 4, 00</i>
---	-------------------------

Site Review Fee: \$300.00/Building Permit Fee: ~~\$25.00~~ for the 1st \$1000 cost plus \$5.00 per \$1,000.00 construction cost thereafter.

*30-*

*6000*



# ELECTRICAL PERMIT

## City of Portland, Me.



S/F # AR

To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 11/22/00  
 Permit # 1023  
 CBL# 838 C-4-5

LOCATION: Lot 4 Willis St - Grant District METER MAKE & #  
 CMP ACCOUNT # Summit Ave OWNER KELLY MAHER  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

					TOTAL EACH FEE	
OUTLETS	Receptacles	Switches	Smoke Detector			.20
FIXTURES	Incandescent	Fluorescent	Strips			.20
SERVICES	Overhead <sup>100ft</sup>	Underground	TTL AMPS	<800		15.00
	Overhead	Underground		>800		25.00
Temporary Service	Overhead	Underground	TTL AMPS			25.00
						25.00
METERS	(number of)					1.00
NOTORS	(number of)					2.00
RESID/COM	Electric units					1.00
HEATING	oil/gas units	Interior	Exterior			5.00
APPLIANCES	Ranges	Cook Tops	Wall Ovens			2.00
	Insta-Hot	Water heaters	Fans			2.00
	Dryers	Disposals	Dishwasher			2.00
	Compactors	Spa	Washing Machine			2.00
	Others (denote)					2.00
	MISC. (number of)	Air Cond/win				3.00
		Air Cond/cent		Pools		10.00
	HVAC	EMS	Thermostat		5.00	
	Signs				10.00	
	Alarms/res				5.00	
	Alarms/com				15.00	
	Heavy Duty (GRKT)				2.00	
	Circus/Carnv				25.00	
	Alterations				5.00	
	Fire Repairs				5.00	
	E Lights				1.00	
	E Generators				20.00	
PANELS	Service	Remote	Main			4.00
TRANSFORMER	0-25 Kva					5.00
	25-200 Kva					8.00
	Over 200 Kva					10.00
					TOTAL AMOUNT DUE	
MINIMUM FEE/COMMERCIAL 45.00					MINIMUM FEE	35.00
						35.00

**EXPIRED**

INSPECTION: Will be ready 11/27 or will call

CONTRACTORS NAME DAVID MOON MASTER LIC # 3719  
 ADDRESS GORHAM LIMITED LIC # \_\_\_\_\_  
 TELEPHONE 834-4286

SIGNATURE OF CONTRACTOR [Signature]

0833-C-005  
 2099  
 69  
 City

**Trunk or Plantation:** St. Diamond Island  
**Street:** Emerald Lakes  
**Subdivision Lot #:**  
**Last:** Maher **First:** Kelly  
**Applicant Name:** Same  
**Mailing Address of Owner/Applicant (if different):** 1 Grove Place, Milwau, WI 53178

PORTLAND 7447 TOWN COPY  
 1913100 136100  
 Local Plumbing Inspector Signature  
 LPL # 01124  
 Fee  
 Digital Fee

**Owner/Applicant Statement:**  
 I certify that the information submitted is correct to the best of my knowledge and understanding and that my submission is in compliance with the Local Plumbing Code. 9/13/00  
 Signature of Owner/Applicant: Kelly Maher Date: 9/13/00

**Local Plumbing Inspector Statement:**  
 I have inspected the installation described above and found it to be in compliance with the Maine Plumbing Rules.  
 Local Plumbing Inspector Signature: Date Approved:

**This Application is for:**  
 1.  NEW PLUMBING  
 2.  RELOCATED PLUMBING

**Type of Structure To Be Served:**  
 1.  SINGLE FAMILY DWELLING  
 2.  MODULAR OR MOBILE HOME  
 3.  MULTIPLE FAMILY DWELLING  
 4.  OTHER - SPECIFY *Seasonal Cottage*

**Plumbing To Be Installed By:**  
 1.  MASTER PLUMBER  
 2.  OIL BURNER/MAN  
 3.  MFG'D. HOUSING DEALER/MECHANIC  
 4.  PUBLIC UTILITY EMPLOYEE  
 5.  PROPERTY OWNER  
 LICENSE # \_\_\_\_\_

Hook-Up & Fixing Method (Section of 1 Hook-Up)	Column 2 Type of Fixture		Column 1 Type of Fixture	
	Number	Type of Fixture	Number	Type of Fixture
<input checked="" type="checkbox"/> <b>HOO-K-UP:</b> to public sewer in those cases where this connection is not required and inspected by the local Sanitary District.  <b>OR</b> <input type="checkbox"/> <b>HOO-K-UP:</b> to an existing subsurface wastewater disposal system.  <input type="checkbox"/> <b>PERMISSED:</b> of sanitary lines, stacks, and piping without new fixtures.		Hosebib / Sillcock	1	Bathtub (and Shower)
		Floor Drain		Shower (Separate)
		Urinal	3	Sink
		Drinking Fountain		Wash Basin
		Indirect Waste		Water Closet (Toilet)
		Water Treatment Softener, Filter, etc.	1	Clothes Washer
		Grease / Oil Separator		Dish Washer
		Drinking Fountains		Garbage Disposal
		Basin		Sanitary Tub
		Other		Water Heater
		Fixtures (Subtotal, Column 2)		

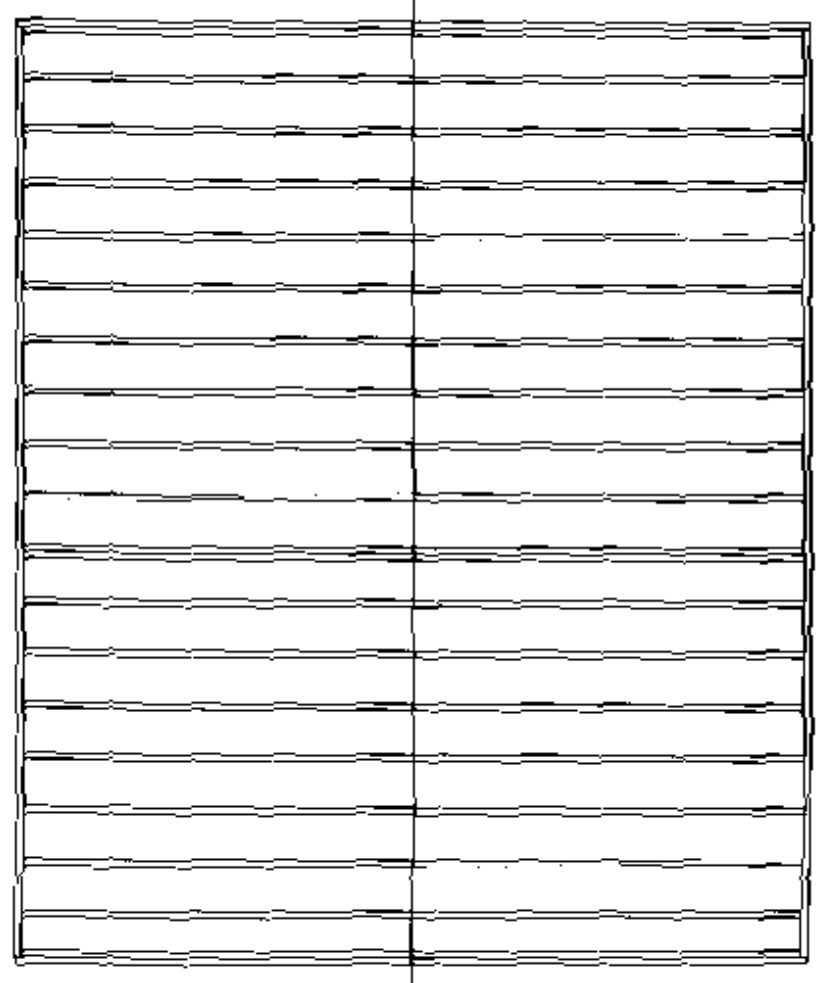
**EXPIRED**

SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE

Fee 3600  
 surch 10  
 TOWN COPY 4600  
 36

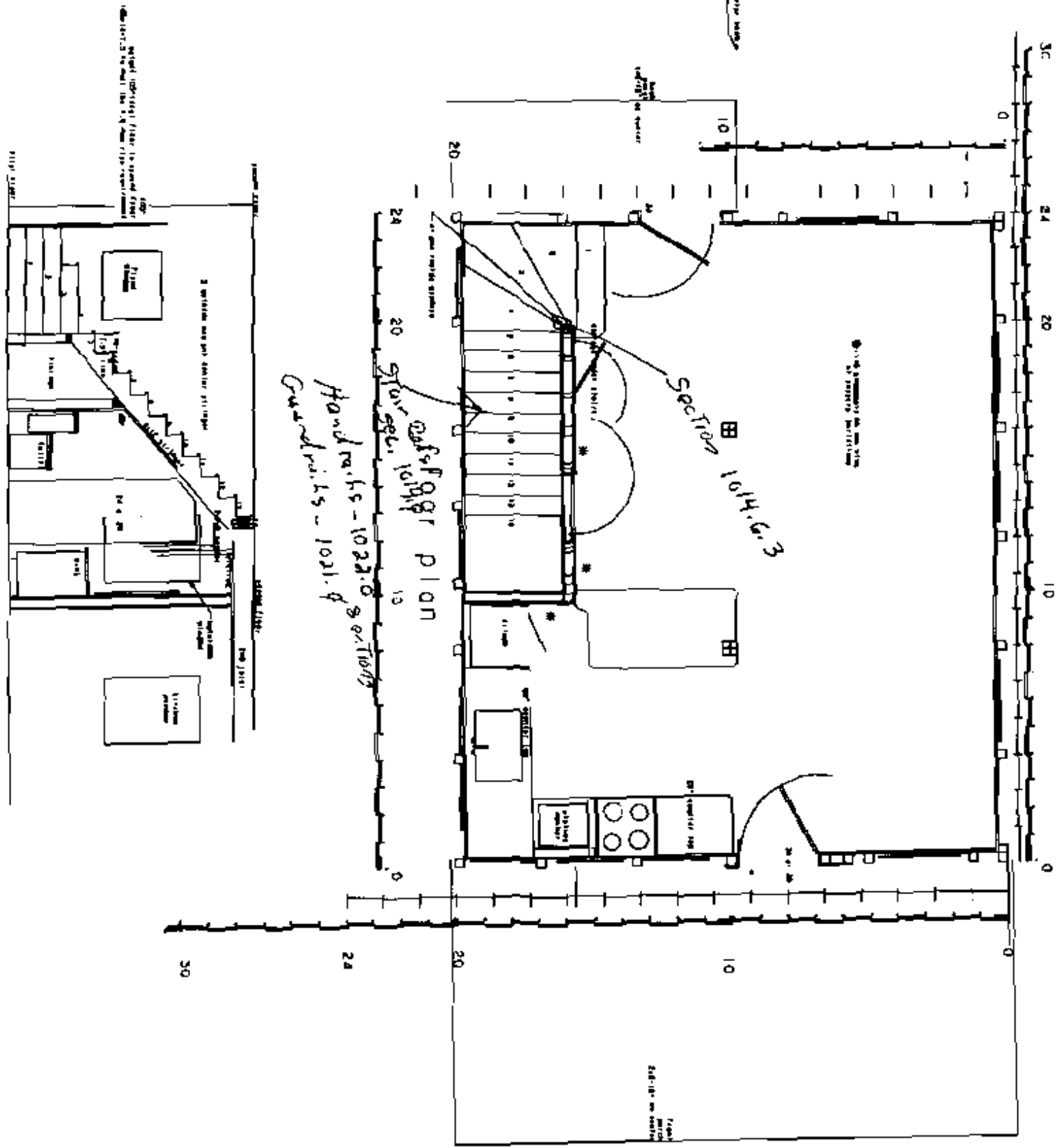






frame plan

FIRST FLOOR

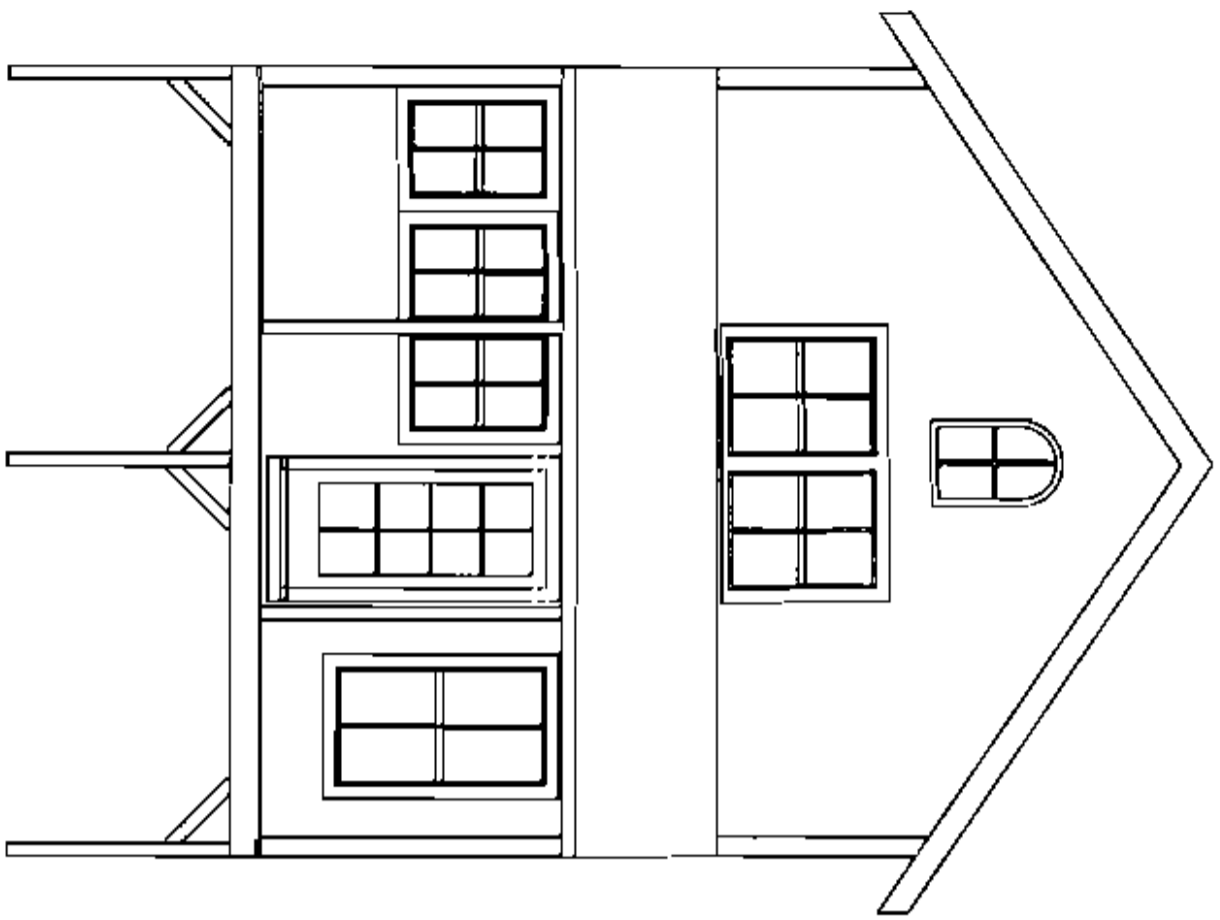


STAIRWAY SECTION VIEW

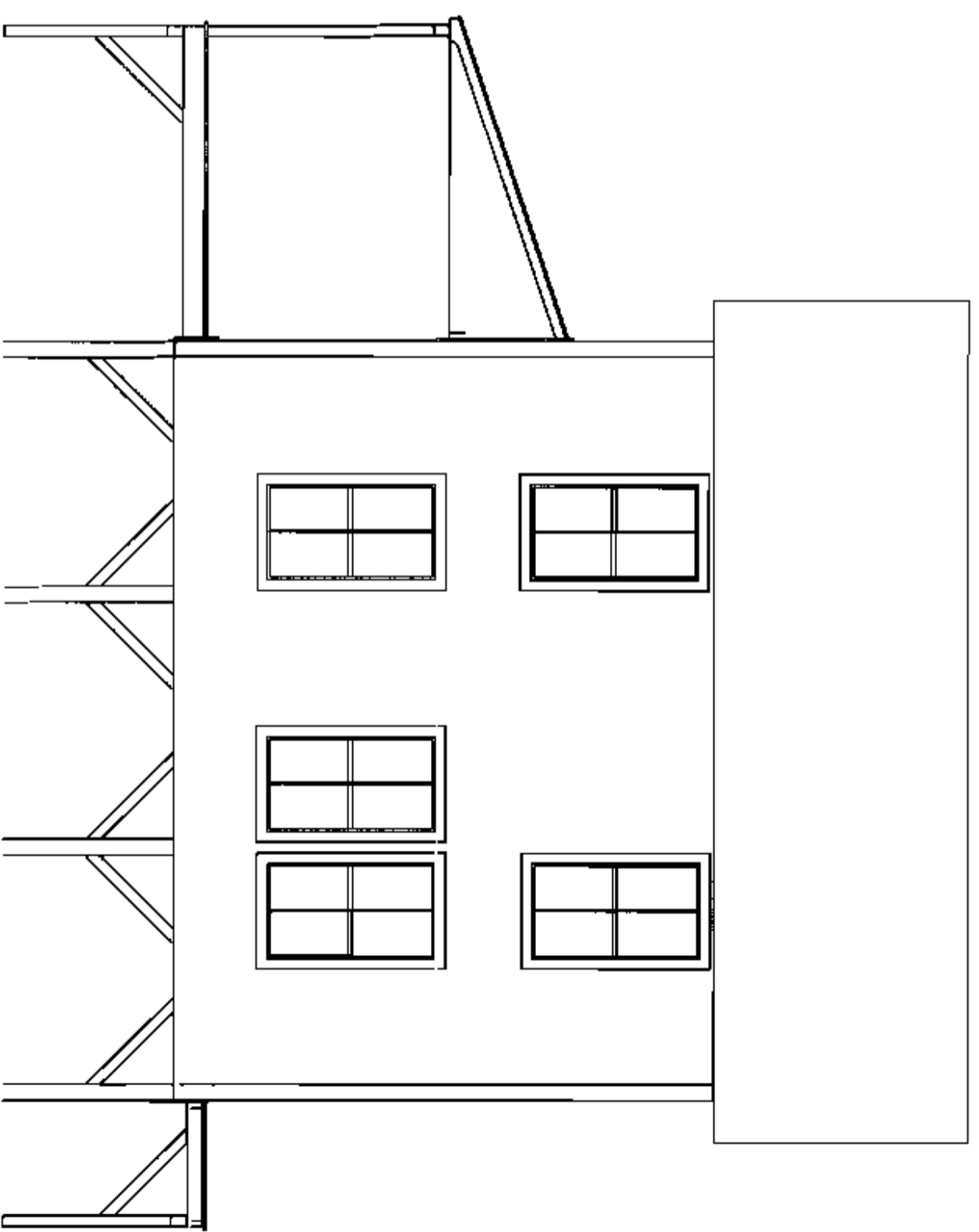
Red = Sam.



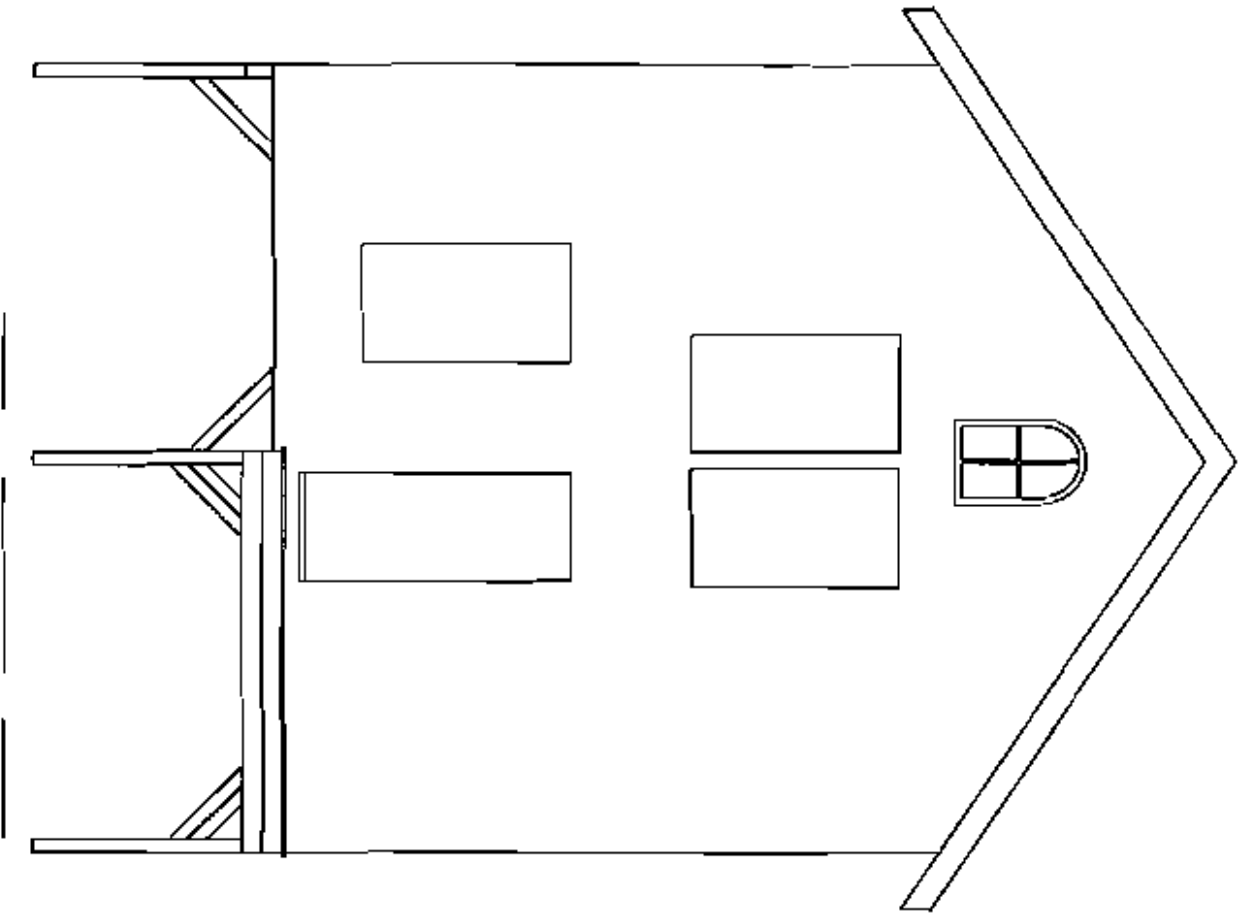




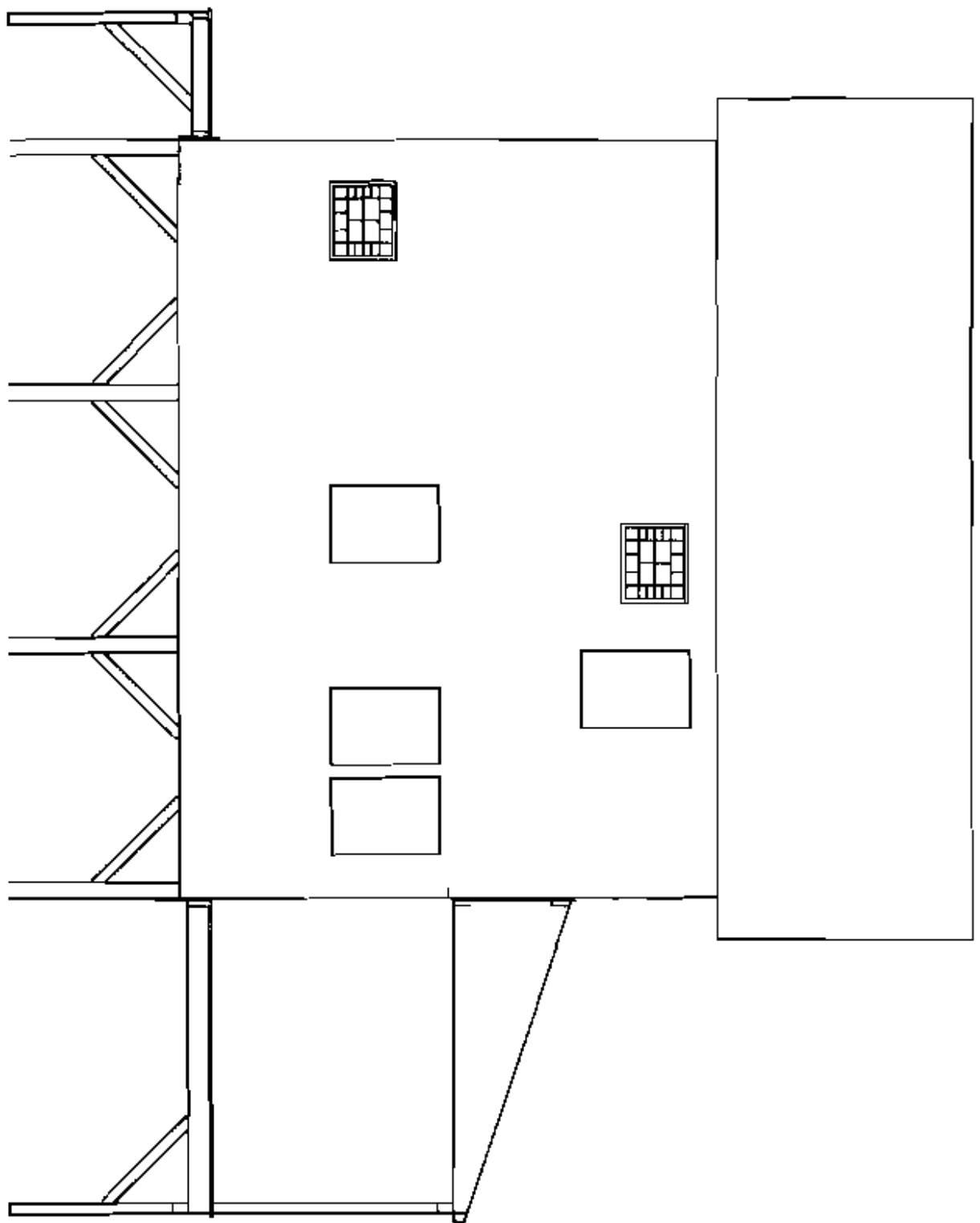
front



living side

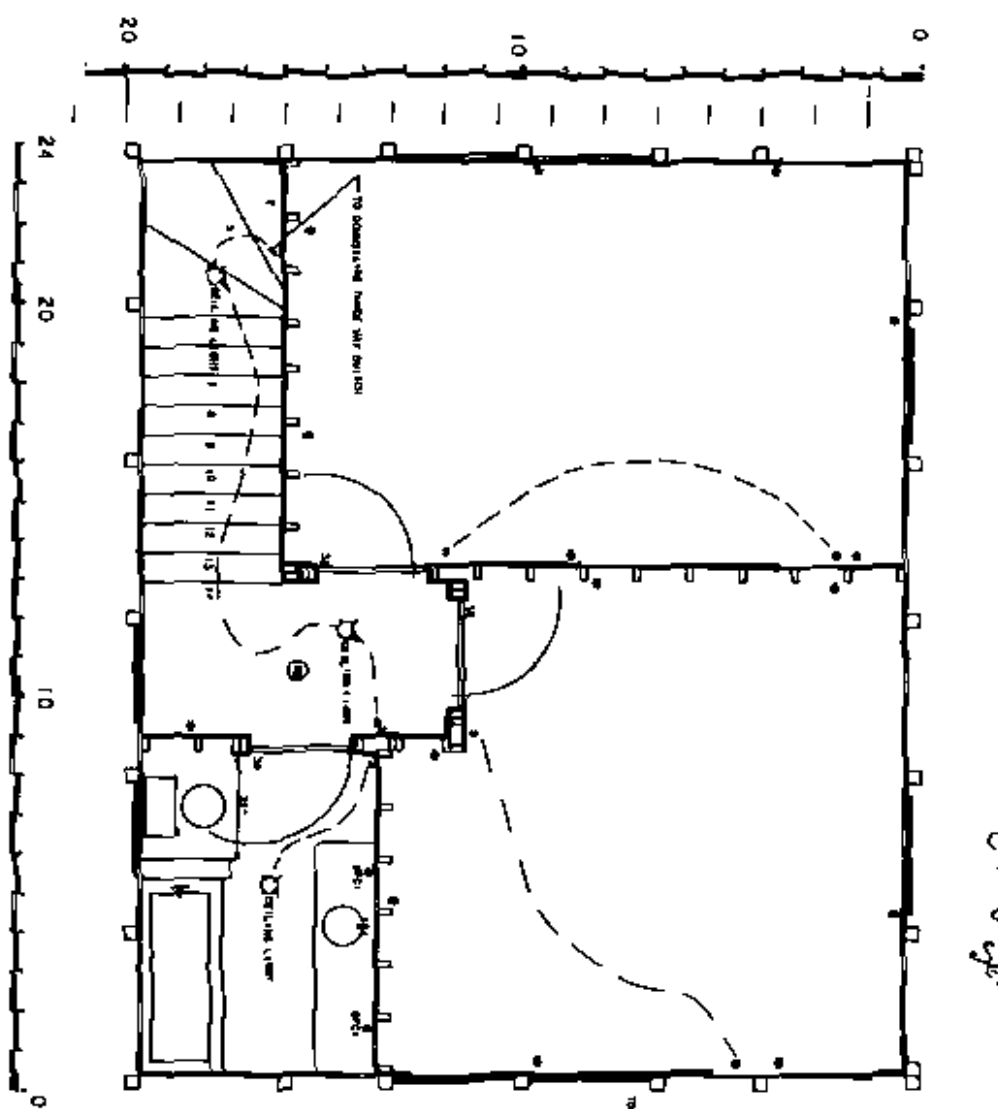


back



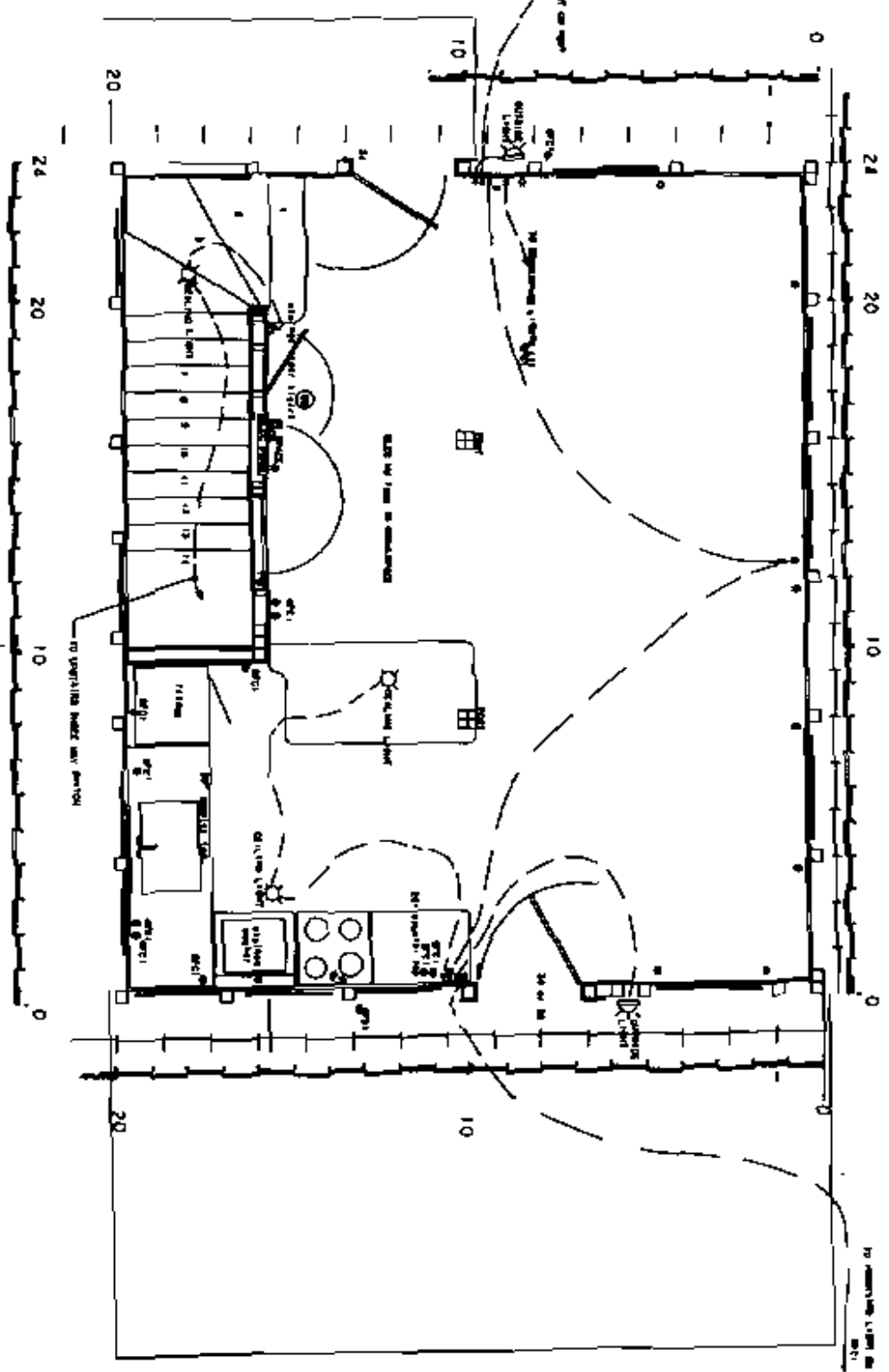
kitchen side

*Express or Resour  
Window  
Sec. 1010.4*

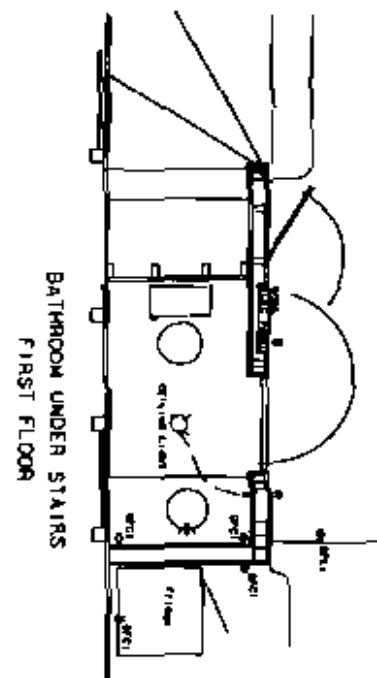


Second floor plan

SEE SHEET 1010.4 FOR ELECTRICAL SYMBOLS

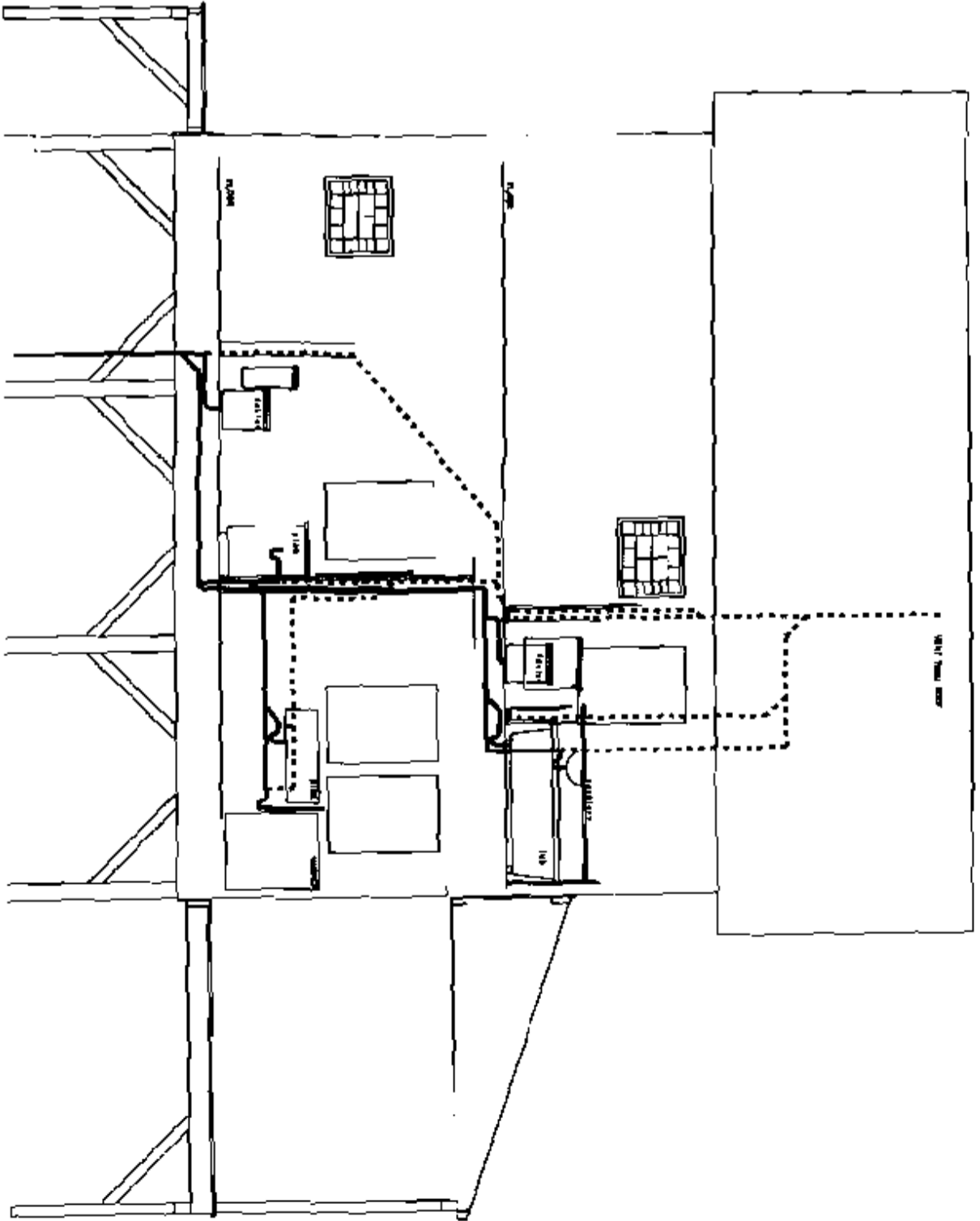


First floor plan



SEE SHEET 1010.4 FOR ELECTRICAL SYMBOLS

electrical



.....  
 .....  
 .....

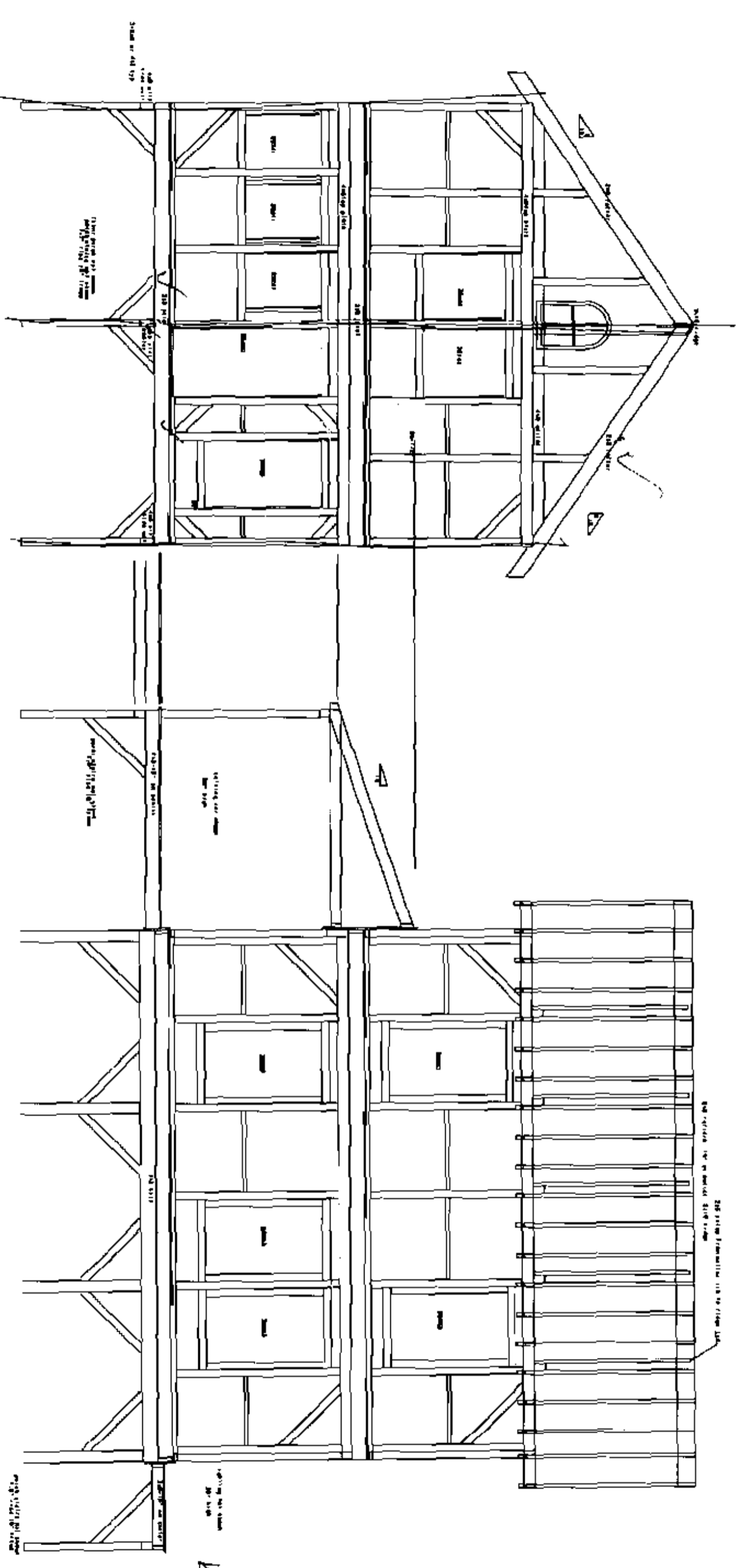
plumbing  
 kitchen side



front

living side

4x4 studs 4' o.c.



Revised  
Sec. 1021p