

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 44 West Shore Dr GDI Lot 3 West Shore Drive		Owner: John & Frances Harper	Phone:	Permit No. 980165
Owner Address:	Lessee/Buyer's Name:	Phone:	Business Name:	<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED PERMIT ISSUED: MAR - 4 1998 CITY OF PORTLAND </div>
Contractor Name: Eric Weinschenk Builders	Address: 91 Summer Place	Phone: 828-3900		
Past Use: Vacant Lot	Proposed Use: 1-fam dwelling	COST OF WORK: \$ 168,000	PERMIT FEE: \$ 889.00	Zone: CBL: B-A-003 Zoning Approval: Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>
Proposed Project Description: Single Family Dwelling		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type: Signature: <i>[Handwritten]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <i>[Handwritten]</i>
Permit Taken By: Sherry Pinard	Date Applied For: January 22, 1998			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

call for p/u

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: <i>[Handwritten Signature]</i> Paul Niehoff	ADDRESS: <i>[Handwritten Address]</i>	DATE: January 22, 1998	PHONE: <i>[Handwritten Phone]</i>
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

CEO DISTRICT

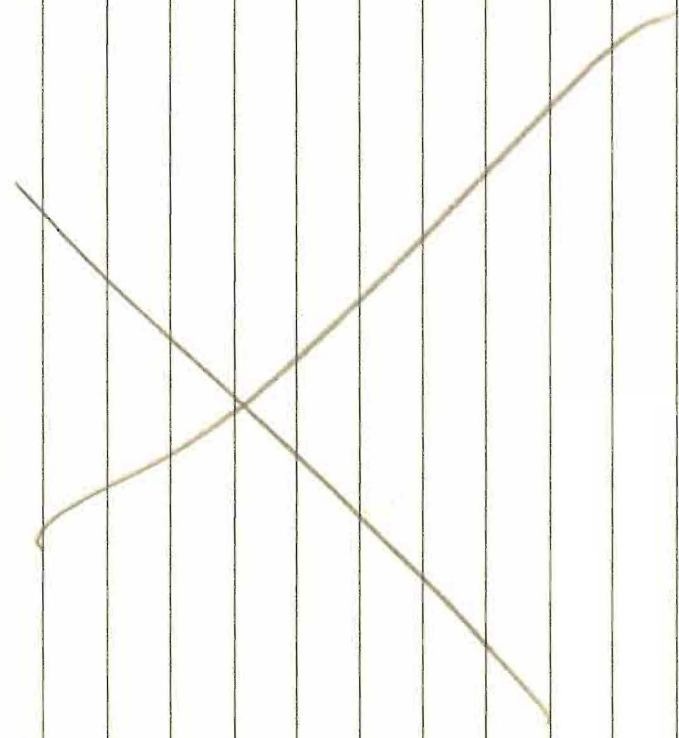


COMMENTS

3-16-98 Starts with Nail Guns etc. This work
is starting in 3 days

4-28-9 Foundation is being poured today. Set back 0.5

Framing OK Allow
9/23/98 C of O OK Allow



Inspection Record

Type OK M Date 11-28-98
Foundation: _____
Framing: _____
Plumbing: _____
Final: _____
Other: _____

RE: 44 West Shore Drive
Great \diamond Island
E3B-A-3

City of Portland
SHORELAND ZONING REQUIREMENTS

WITHIN 75' OF NORMAL HIGH-WATER LINE:

NO CONSTRUCTION

- There shall be no cleared openings.
- A well-distributed stand of trees and other vegetation, including existing ground cover, shall be maintained.
- Clearing of vegetation for development is not allowed, except to remove safety hazards.
- No cleared opening greater than 250 square feet in the forest canopy as measured from the outer limits of the tree crown is allowable. However a footpath not to exceed 10' in width as measured between tree trunks is permitted provided that a clear line of sight to the water through the buffer strip is not created.
- There shall be no accessory structures constructed, such as piers, docks, wharves, bridges, stairways, parking areas, and retaining walls without permits and review.

BEYOND THE 75' SETBACK, WITHIN SHORELAND ZONE:

- There shall be permitted on any lot in any 10 year period, selective cutting of not more than 40% of the volume of trees 4" or more in diameter, measured 4.5 feet above ground level. Tree removal in conjunction with the development of permitted uses shall be included in the 40% calculations. Pruning of tree branches on the bottom 1/3 of the tree is permitted.
- In no event shall cleared openings for development, including but not limited to, principal and accessory structures, driveways, and sewage disposal areas, exceed in the aggregate, 25% of the lot area or 10,000 square feet, which ever is greater.

RE: Timber Harvesting:

- There can be no single clear cut openings greater than 10,000 square feet in the forest canopy (measured from the edge of the crown of trees).
- Clear cut openings greater than 5,000 square feet must be 100' apart.
- Clear cut openings must be included in the calculations of total volume removal.

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19980003
I. D. Number

Harper, Frances & John - Withdrawn

Applicant

1805 Chrystal Dr apt 217, Arlington, VA 22202

Applicant's Mailing Address

Ric Weinschenk Builders Inc

Consultant/Agent

828-3900

Applicant or Agent Daytime Telephone, Fax

1/22/98

Application Date

Great Diamond Island - Lot #3

Project Name/Description

44 West Shore Dr, Great Diamond Island, Lot 3

Address of Proposed Site

083-b-a-003

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to Site Plan Review (Addendum) Conditions of Approval:

Your new street address is now 44 West Shore Drive, Great Diamond Island, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on site.

In the event trees required to be preserved are damaged or removed during construction, the applicant shall submit a tree replacement plan that shall be reviewed and approved by the City Arborist and Planning Staff. Said trees shall be planted prior to the issuance of a certificate of occupancy.

Tree preservation on the site shall comply with the requirements of "Visual Assessment for Potential High Impact Lots (attached).

Development shall comply with the letter dated 2-19-98 from Tom Green to Richard Knowland.

Site construction in regards to erosion and sedimentation control, shall comply with Best Management practices. The catchbasin on West Shore Drive shall be protected from sedimentation.

Staging area for the slope work shall be shown on the plan.

Planning Conditions of Approval

Inspections Conditions of Approval

1. Separate permits shall be required for future decks, sheds, pools, and/or garage.
 2. The attached "Shoreland Zoning Requirements" shall be met during and after construction.
 3. This office shall require a "home occupation" permit for the area shown as "office" on the plans. See enclosed information on such an application.
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BUILDING PERMIT REPORT

(83-B-A-003)

DATE: 3 March 98 ADDRESS: 44 West Shore Dr. G.D. Island
REASON FOR PERMIT: To Construct a single family dwelling
BUILDING OWNER: John & Frances Harper
CONTRACTOR: Ric Weischenk Bldg.
PERMIT APPLICANT: Paul Neuhoff
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 503

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: 1, 2, 5, 6, 8, 9, 10, 12, 16, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces...
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces...
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling.
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- X 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code.
- X 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- X 25. All requirements must be met before a final Certificate of Occupancy is issued.
- X 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
- X 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
28. Please read and implement the attached Land Use-Zoning report requirements.
- X 29. Please read and implement all Site Plan Review requirement
- + 30. All glazing shall be done in accordance with chapter 24 of The building
- X 31. ALL wood products use for joists, studs, and Rafters shall meet The attached U.S. spans for Canadian Species-
- X 32. Notching & boring of Framing shall comply with Chapter 23 of The building Code 1996 BOCA
- + 33. Asphalt Shingles shall be installed as per section 1507.4.3 of The bldg. Code


P. Samuel Hobbes, Code Enforcement

cc: Lt. McDougall, PFD
Marge Schmuckal



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 44 West Shore Dr G.D.I. (083-B-A-003)

Issued to John W. Harper

Date of Issue 23 October 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980165, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family Dwelling

Limiting Conditions:

This certificate supersedes certificate issued

Approved:

10/23/98 [Signature]

(Date)

Inspector

[Signature]

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

AK/PC

TO: Rick Knowland, Senior Planner
Kandi Talbot, Planner
Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: September 16, 1998

SUBJECT: Certificate of Occupancy
44 West Shore Drive (lot) Diamond Cove, Great Diamond Island

A site visit on 9-16-98 was made to review the completion of the conditions of the site plan approval; my comments are:

1. A large earthen berm was constructed along a portion of the frontage of West Shore Drive. This was not on the site plan.
2. A walking path has been constructed down to the water; this required a significant cut through the embankment facing the water. This was not on the site plan.
3. The riprap and grading of the embankment facing the water does not conform to the site plan. The designed location of the 5' high riprap and the associated grading provided for placement of fill to create, for the most part, a 2:1 slope for the embankment facing the water and to slope around the 10" pine. It appears that the riprap was placed along the existing embankment toe of slope; consequently the slope of the embankment represents the existing eroded face with a slope of approximately 1:1. As constructed it was not possible to riprap the base of the 10" pine at the top of the slope. The base of the tree is currently jutting out into space over the embankment.
4. Replacement planting of the two nearly fallen trees on the face of the slope that were approved to be removed has not occurred. They were intended to be planted on the 2:1 slope. Since the embankment is now approximately 1:1 should the trees be planted on this steepness of a slope? Recommend that the City Arborist be contacted to answer this question.
5. A new outfall for the existing 12" cast iron storm drain has been constructed within the existing 30' drainage easement. It appears the work included the installation of a drain manhole just behind the top of the slope. The new outfall is PVC. This work was not on the site plan and may have been coordinated between the Diamond Cove Association and this project. It is unknown if any permits were needed or obtained.

6. A cover to an existing meter pit is significantly out of place and is likely a safety hazard; it should be appropriately closed up.
7. The street number needs to be placed on the house.

It is my opinion that all of the conditions of the site plan approval have not been satisfactorily completed and **a Permanent Certificate of Occupancy should not be issued until the items above are satisfactorily resolved.**

10-1-98

TO: MIKE NUGENT

FROM: RICK KNOWLAND

RE: 44 WEST SHORE DRIVE (LOT 3) - DIAMOND COVE,
GREAT DIAMOND ISLAND

WE WOULD RECOMMEND THAT A TEMPORARY CERTIFICATE OF
OCCUPANCY BE GIVEN FOR THE ABOVE REFERENCED HOUSE.
THIS SHOULD BE CONDITIONED UPON THE APPLICANT MEETING
THE REQUIREMENTS OF THE SITE PLAN APPROVAL. JIM WENDELL
IS ON VACATION AND WILL NEED TO VERIFY THAT HIS
COMMENTS IN THE ATTACHED MEMO HAVE BEEN ADDRESSED
(9-16-98) WHEN HE COMES BACK.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement
Rick Knowland, Senior Planner

FROM: Jim Wendel, Development Review Coordinator

DATE: October 22, 1998

SUBJECT: Certificate of Occupancy
44 West Shore Drive (Lot 3) Diamond Cove, Great Diamond Island

Based on clarifications of the design plans, submission of photographs and a revised site plan, and planning of required trees on the embankment it is my opinion that all of the conditions of the site plan approval have been satisfactorily completed and a **permanent Certificate of Occupancy could be issued** assuming Code Enforcement has no outstanding issues.

Table 24.1 SNOW REGION, MEDIUM ROOF COVERING, NO CEILING; 40 PSF LIVE, 15 PSF DEAD

Rafters

Maximum Allowable Horizontal Span (ft.-in.)

Species	Spacing (in.)	2 x 4			2 x 6			2 x 8			2 x 10		
		Sel. Str.	No.1/ No.2	No.3	Sel. Str.	No.1/ No.2	No.3	Sel. Str.	No.1/ No.2	No.3	Sel. Str.	No.1/ No.2	No.3
Spruce-Pine-Fir	12	8-5	8-0	6-1	13-3	11-9	8-11	17-5	14-10	11-3	21-9	18-2	13-9
	16	7-8	6-11	5-3	12-0	10-2	7-8	15-5	12-11	9-9	18-10	15-9	11-11
	19.2	7-2	6-4	4-10	11-1	9-3	7-0	14-1	11-9	8-11	17-2	14-4	10-10
	24	6-8	5-8	4-3	9-11	8-4	6-3	12-7	10-6	7-11	15-4	12-10	9-9
D.Fir-L(N)	12	9-1	7-11	5-11	14-4	11-7	8-8	18-6	14-8	10-11	22-7	17-11	13-5
	16	8-3	6-10	5-1	12-8	10-0	7-6	16-0	12-8	9-6	19-7	15-6	11-7
	19.2	7-9	6-3	4-8	11-6	9-2	6-10	14-7	11-7	8-8	17-10	14-2	10-7
	24	6-11	5-7	4-2	10-4	8-2	6-1	13-1	10-4	7-9	15-11	12-8	9-6
Hem-Fir(N)	12	8-9	8-7	6-6	13-9	12-7	9-6	18-2	15-11	12-1	22-2	19-5	14-9
	16	8-0	7-5	5-8	12-5	10-10	8-3	15-8	13-9	10-5	19-2	16-10	12-9
	19.2	7-6	6-9	5-2	11-4	9-11	7-6	14-4	12-7	9-6	17-6	15-4	11-8
	24	6-11	6-1	4-7	10-1	8-11	6-9	12-10	11-3	8-6	15-8	13-9	10-5
Northern Species	12	7-7	6-8	5-1	11-11	9-9	7-5	15-9	12-4	9-5	19-5	15-1	11-6
	16	6-11	5-9	4-5	10-10	8-5	6-5	13-9	10-8	8-2	16-10	13-0	9-11
	19.2	6-6	5-3	4-0	9-11	7-8	5-10	12-7	9-9	7-5	15-4	11-11	9-1
	24	6-0	4-8	3-7	8-11	6-11	5-3	11-3	8-8	6-8	13-9	10-8	8-1



Table 24.2 SNOW REGION, MEDIUM ROOF COVERING, NO CEILING; 40 PSF LIVE, 15 PSF DEAD

Rafters

Maximum Allowable Horizontal Span (ft.-in.)

Species	Spacing (in.)	2 x 4			2 x 6			2 x 8			2 x 10		
		2400f-2.0E	2250f-1.9E	2100f-1.8E	2400f-2.0E	2250f-1.9E	2100f-1.8E	2400f-2.0E	2250f-1.9E	2100f-1.8E	2400f-2.0E	2250f-1.9E	2100f-1.8E
MSR Lumber	12	9-3	9-1	8-11	14-7	14-4	14-1	19-2	18-10	18-6	24-6	24-1	23-8
	16	8-5	8-3	8-1	13-3	13-0	12-9	17-5	17-2	16-10	22-3	21-10	21-6
	19.2	7-11	7-9	7-8	12-5	12-3	12-0	16-5	16-1	15-10	20-11	20-7	20-2
	24	7-4	7-3	7-1	11-7	11-4	11-2	15-3	15-0	14-8	19-5	19-1	18-9
MSR Lumber	12	8-9	8-7	8-5	13-9	13-6	13-3	18-2	17-10	17-5	23-2	22-9	22-3
	16	8-0	7-10	7-8	12-6	12-3	12-0	16-6	16-2	15-10	21-1	20-8	20-2
	19.2	7-6	7-4	7-1	11-9	11-7	11-2	15-6	15-3	14-9	19-10	19-5	18-10
	24	6-11	6-8	6-4	10-10	10-5	10-0	14-4	13-9	13-2	18-3	17-7	16-10

The availability of sizes and grades should be confirmed before specifying.

Table 4.1

(ALL ROOMS) 1.5" OR LESS CONCRETE FLOOR FILL, 40 PSF LIVE, 20 PSF DEAD

Floor Joists**Maximum Allowable Span (ft.-in.)**

Species	Spacing (in.)	2 x 6			2 x 8			2 x 10			2 x 12		
		Sel. Str.	No. 1/ No. 2	No. 3	Sel. Str.	No. 1/ No. 2	No. 3	Sel. Str.	No. 1/ No. 2	No. 3	Sel. Str.	No. 1/ No. 2	No. 3
Spruce-Pine-Fir	12	10-6	10-3	7-11	13-10	13-3	10-0	17-8	16-3	12-3	21-6	18-10	14-3
	16	9-6	9-1	6-10	12-7	11-6	8-8	16-0	14-1	10-7	19-6	16-3	12-4
	19.2	9-0	8-3	6-3	11-10	10-6	7-11	15-1	12-10	9-8	17-9	14-10	11-3
	24	8-4	7-5	5-7	11-0	9-5	7-1	13-8	11-6	8-8	15-11	13-4	10-1
D.Fir-L(N)	12	11-4	10-4	7-9	15-0	13-1	9-9	19-1	16-0	11-11	23-3	18-6	13-10
	16	10-4	8-11	6-8	13-7	11-4	8-6	17-4	13-10	10-4	20-3	16-1	12-0
	19.2	9-8	8-2	6-1	12-10	10-4	7-9	15-11	12-8	9-5	18-6	14-8	10-11
	24	9-0	7-4	5-6	11-5	9-3	6-11	14-3	11-4	8-5	16-6	13-1	9-10
Hem-Fir(N)	12	10-11	10-9	8-6	14-5	14-2	10-9	18-5	17-4	13-2	22-5	20-1	15-3
	16	9-11	9-8	7-4	13-1	12-4	9-4	16-9	15-0	11-5	19-10	17-5	13-2
	19.2	9-4	8-10	6-9	12-4	11-3	8-6	15-8	13-8	10-5	18-1	15-11	12-1
	24	8-8	7-11	6-0	11-5	10-0	7-7	14-0	12-3	9-4	16-3	14-3	10-9
Northern Species	12	9-6	8-8	6-8	12-6	11-0	8-5	15-11	13-5	10-3	19-4	15-7	11-11
	16	8-7	7-6	5-9	11-4	9-6	7-3	14-6	11-8	8-11	17-5	13-6	10-4
	19.2	8-1	6-10	5-3	10-8	8-8	6-8	13-7	10-7	8-1	15-11	12-4	9-5
	24	7-6	6-2	4-8	9-11	7-9	5-11	12-3	9-6	7-3	14-3	11-0	8-5

56

**Table 4.2**

(ALL ROOMS) 1.5" OR LESS CONCRETE FLOOR FILL, 40 PSF LIVE, 20 PSF DEAD

Floor Joists**Maximum Allowable Span (ft.-in.)**

Species	Spacing (in.)	2 x 6			2 x 8			2 x 10			2 x 12		
		2400f-2.0E	2250f-1.9E	2100f-1.8E	2400f-2.0E	2250f-1.9E	2100f-1.8E	2400f-2.0E	2250f-1.9E	2100f-1.8E	2400f-2.0E	2250f-1.9E	2100f-1.8E
MSR Lumber	12	11-7	11-4	11-2	15-3	15-0	14-8	19-5	19-1	18-9	23-7	23-3	22-10
	16	10-6	10-4	10-2	13-10	13-7	13-4	17-8	17-4	17-0	21-6	21-1	20-9
	19.2	9-10	9-8	9-6	13-0	12-10	12-7	16-7	16-4	16-0	20-2	19-10	19-6
	24	9-2	9-0	8-10	12-1	11-11	11-8	15-5	15-2	14-11	18-9	18-5	18-1
MSR Lumber	12	10-11	10-9	10-6	14-5	14-2	13-10	18-5	18-0	17-8	22-5	21-11	21-6
	16	9-11	9-9	9-6	13-1	12-10	12-7	16-9	16-5	16-0	20-4	19-11	19-6
	19.2	9-4	9-2	9-0	12-4	12-1	11-10	15-9	15-5	15-1	19-2	18-9	18-4
	24	8-8	8-6	8-4	11-5	11-3	11-0	14-7	14-4	14-0	17-9	17-5	17-0

57

The availability of sizes and grades should be confirmed before specifying.

Applicant: Paul Niehoff

Date: 3/2/98

Address: 44 West Shore Dr, Great Island

C-B-L: 003B-A-003

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - construct new single family dwelling with attached garage

Sewage Disposal - Private -

Lot Street Frontage - 100' req - 220'+ shown

Front Yard - 30' req - 60'+ shown

Rear Yard - 30' req - 101' shown

Side Yard - 20' req - 35'+ shown

Projections - Porches

Width of Lot - 100' req - 218.5' shown

Height - 35' MAX 2 story - 32' → 34' to the ridge which is higher than the allowed measuring point 1/2 way between ridge & where the roof meets the wall

Lot Area - 40,000 sq ft req. - 40,954 sq ft per cert

Lot Coverage/ Impervious Surface - 20% of lot area → 8190.8 sq ft MAX

Area per Family -

Off-street Parking - 2 shown

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - within 250' - shows 101' at shortest point to high water mark

Flood Plains - MAP 8 of 17 outside Flood Zone Zone C

office area needs home occupation permit shows a 20' US Gov right of way → APPROVED SITE PLAN (RECORDED) SHOWS THE US GOV. TO BE GONE

OPEN SPACE
PARKING AREA

1554 SF +-

30.00' DRAINAGE &
UTILITY EASEMENT

30.00' +-

30.00' DRAINAGE
EASEMENT

30.00' ACCESS &
UTILITY EASEMENT

LOT 7
85,552 SF

LOT 5
47,881 SF +-

HOMEOWNERS
RESERVE AREA
100,125 SF

LOT 4
54,312 SF +-

LOT 3
40,954 SF +-

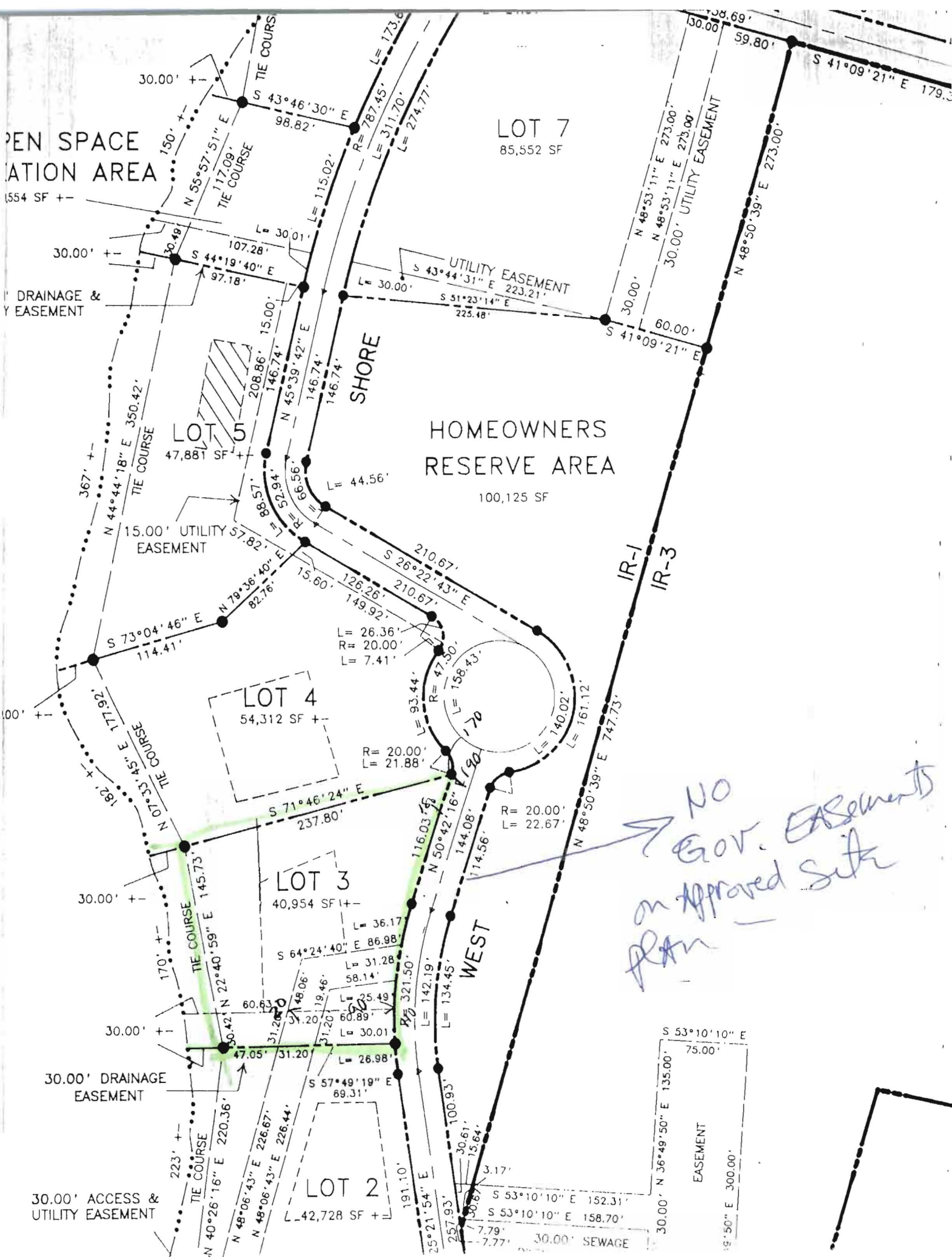
LOT 2
42,728 SF +-

SHORE

WEST

IR-1
IR-3

*NO
Gov. Easements
on approved site
plan*



30.00'

150'

30.00'

367'

30.00'

30.00'

223'

30.00'

150'

30.00'

367'

30.00'

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223'

117.09'

107.28'

97.18'

15.00'

57.82'

82.76'

114.41'

179.2'

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**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980003

I. D. Number

Harper, Frances & John - Withdrawn

Applicant

1805 Chrystal Dr apt 217, Arlington, VA 22202

Applicant's Mailing Address

Ric Weinschenk Builders Inc

Consultant/Agent

828-3900

Applicant or Agent Daytime Telephone, Fax

1/22/98

Application Date

Great Diamond Island - Lot #3

Project Name/Description

44 West Shore Dr, Great Diamond Island, Lot 3

Address of Proposed Site

083-b-a-003

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify)

2800 sq ft Proposed Building square Feet or # of Units 40,954 sq. ft. Acreage of Site IR-1 zone Zoning

Check Review Required:

- Site Plan (major/minor)
- Flood Hazard
- Zoning Conditional Use (ZBA/PB)
- Subdivision # of lots _____
- Shoreland
- Zoning Variance
- PAD Review
- Historic Preservation
- 14-403 Streets Review
- DEP Local Certification
- Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$100.00 Date: 1/22/98

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved
- Approved w/Conditions**
see attached
- Denied

Approval Date 3/2/98 Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____
signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980003
I. D. Number

Harper, Frances & John - Withdrawn
Applicant
805 Chrystal Dr apt 217, Arlington, VA 22202
Applicant's Mailing Address
Ric Weinschenk Builders Inc
Consultant/Agent
28-3900
Applicant or Agent Daytime Telephone, Fax

1/22/98
Application Date
Great Diamond Island - Lot #3
Project Name/Description
West Shore Dr, Great Diamond Island, Lot 3
Address of Proposed Site
083-b-a-003
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
Proposed Building square Feet or # of Units **800 sq ft** Acreage of Site **40,964 sq. ft.** Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$100.00** Date: **1/22/98**

JRC Approval Status:

Reviewer **Jim Wendel**

Approved Approved w/Conditions see attached Denied
Approval Date **2/23/98** Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance **Jim Wendel** **2/28/98**
signature date

Performance Guarantee Required* Not Required

No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	



170 U.S. Route One
Falmouth, Maine 04105
Tel: 207 781 5242
Fax: 207 781 4245

February 19, 1998
File: 97193

Mr. Richard Knowland
Senior Planner
CITY OF PORTLAND
389 Congress Street
Portland, ME 04101-3503

RE: LOT 3, GREAT DIAMOND ISLAND. JOHN HARPER

Dear Rick:

On Wednesday, Ric Weinschenk and I met with Jim Cassida of the DEP to review the construction of stabilization on Lot 3, Great Diamond Island. We agreed to the following:

1. No trees greater than 4" at chest height will be cut in the 75' buffer, other than the two oaks that are protruding horizontally out of the bank.
2. These two oaks will be replaced by two- 2 1/2" to 3" caliper oaks in about the same locations, as close to the beach as practicable. We have shown them on Sheet C-4, just above the riprap.
3. The grading above the riprap will vary in pitch. It will match each end and slope around the 10" pine tree. Small stones will be used to protect the pine tree. We have modified Sheets 2/4 and 3/4 to reflect the grading.
4. The foundation drain pipe needs to be lower than the existing storm drain outlet to protect the slope. This installation will be as shown on Ric Weinschenk's plan and will vary in the actual location to avoid trees. This installation and the transport of rock to the shore must be done without cutting trees.
5. The exposed earth above the riprap will be seeded and covered with a jute mat that is biodegradable. In addition to the two oaks, small shrubs may be installed in some locations through the matting.
6. The existing 4" pipe and 12" storm drain will be extended through the riprap. The existing pipe and headwall will not be disturbed.
7. The alignment of the riprap is to be along contour 6 and not in a straight line. The intent is to make the appearance as natural as possible.



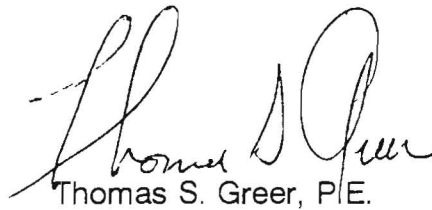
Mr. Richard Knowland
Senior Planner
CITY OF PORTLAND
February 19, 1998
Page 2

With these modifications, I believe we have a plan that meets DEP's wishes, keeps the existing Permit by Rule valid, responds to Jim Wendell's comments, meeting the City's requirements and Great Diamond Island's covenants.

Please let me know if your have any questions.

Sincerely,

PINKHAM AND GREER



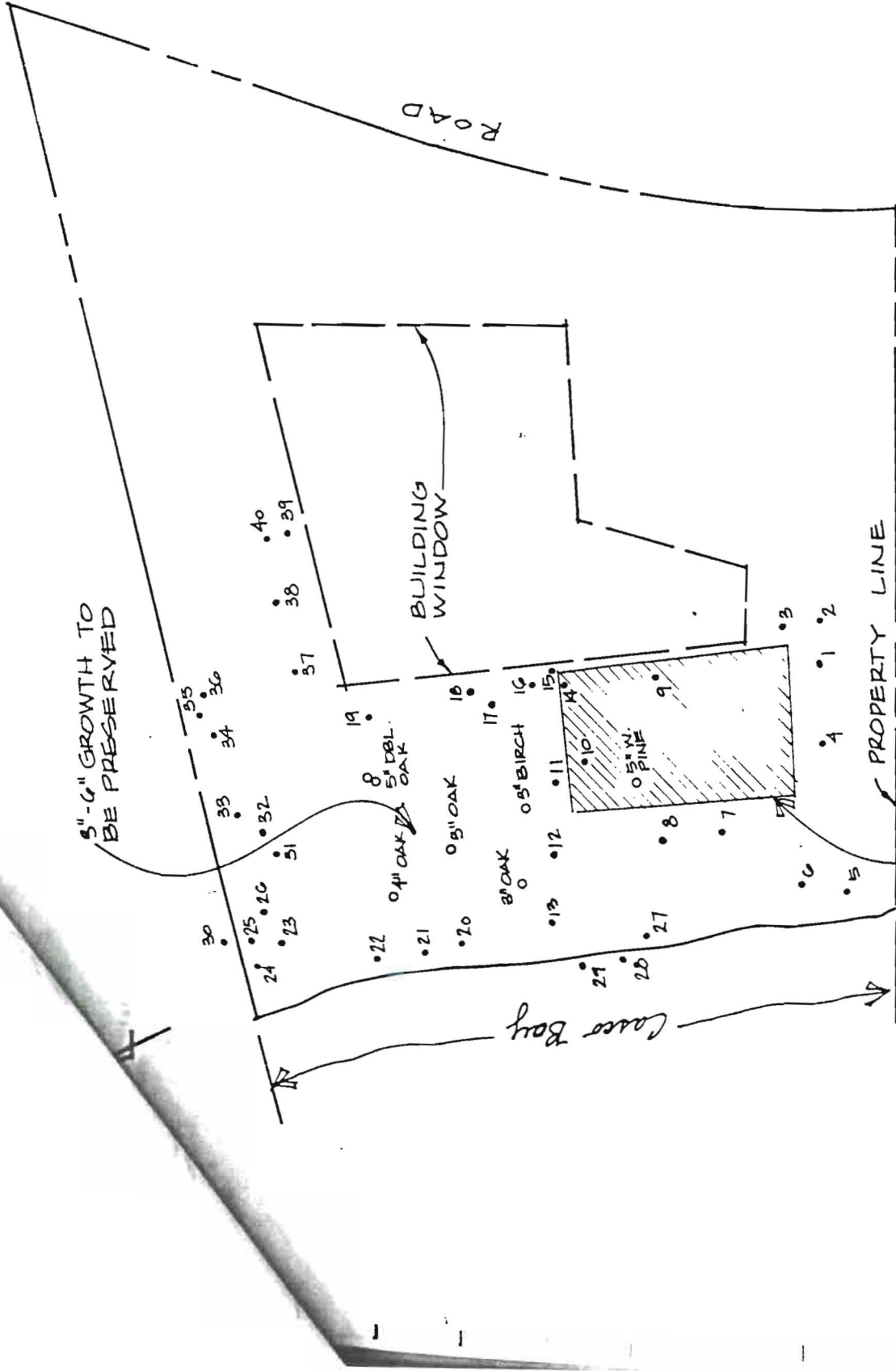
Thomas S. Greer, P.E.

TSG/dp

Enclosure

Copy: Jim Cassida - Maine Department of Environmental Protection
Jim Wendell - DeLuca Hoffman
Ric Weinschenk - Builder

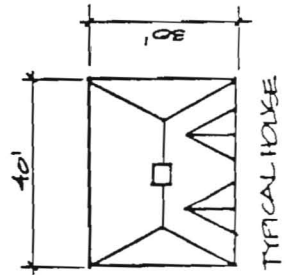
FROM DIAMOND COVE
USUAL ADJUSTMENT FOR POTENTIAL
HIGH IMPACT LOTS

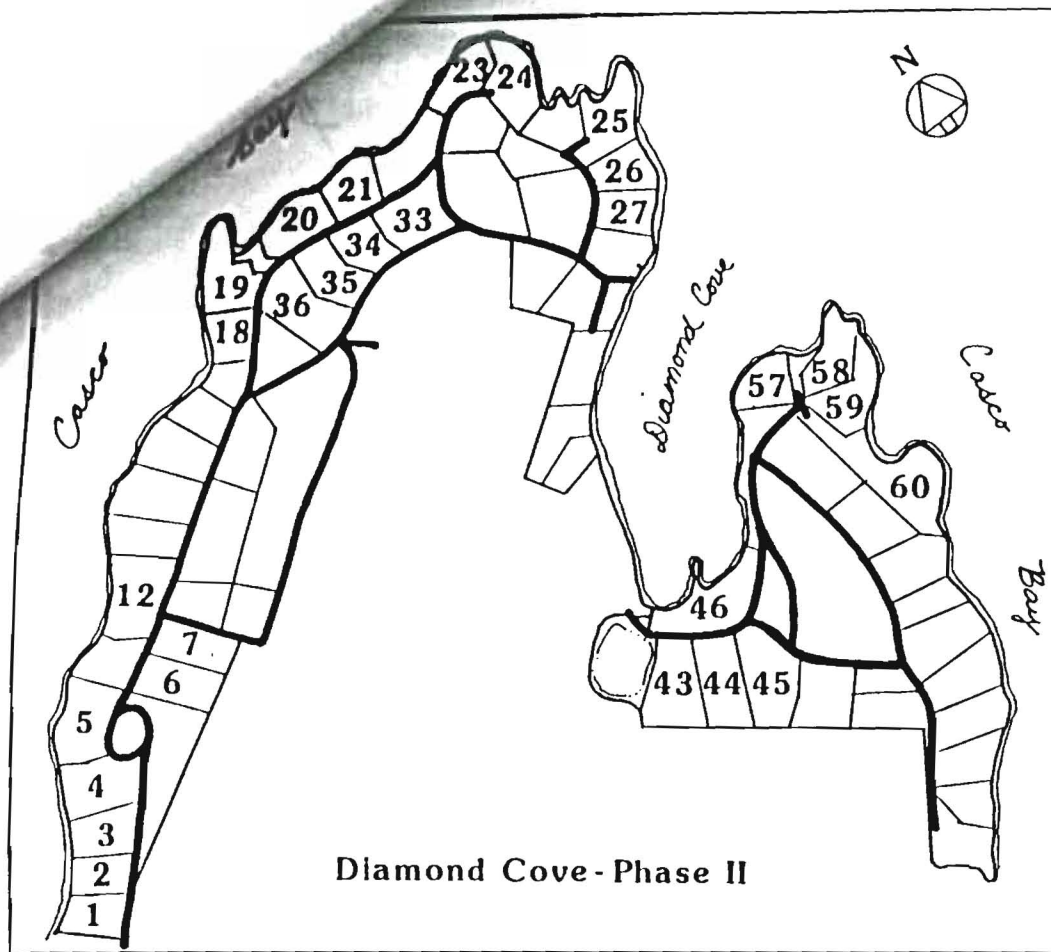


LEGEND
 ○ 4"-6" DBH
 ● 6"+ DBH

PRESERVE ALL GROWTH
 4" and UP IN THIS ZONE

LOT 3 - 0.962 AC. ±
 DIAMOND COVE - PHASE II
 SEPT. 1988 11' x 40' ±





Description/Recommendations

LOT 3

- Moderately to heavily wooded site with medium growth (6" average caliper) evergreen and deciduous trees
- Existing topography which rises towards the shore screens building window
- Additional preservation area restrictions placed on lot to preserve growth 4" and up between building window and shore in designated zone
- Additional 5 trees 3" to 5" caliper (oak and birch) flagged to be preserved for screening

NOTE: Entries to this Plan Review Record that require a field check or inspection of the installation require coordination with the inspection phase of the project.

BUILDING PLANNING (Chapter 3)

LOCAL DESIGN CRITERIA (301) / 606

Floor live load 40/30 psf
 Roof live load 4/2 psf
 Roof snow load 4/6 psf
 Wind pressure N/A psf
 Seismic zone 2
 Weathering area S
 Frost line depth 41
 Termite area N/A

LOCAL DESIGN CRITERIA (cont'd.)

Decay area N/A
 Winter design temp. -2
 Radon N/A

LOCATION ON LOT (302)

N/A 1-hour rating for exterior walls located less than 3 feet from property line
N/A Exterior wall openings

ROOM PLANNING REQUIREMENTS (303 through 305) Chapter 12

Use	Area (ft ²)	Width	Average ceiling	Minimum ceiling	Natural* light	Natural ventilation*
Living	150	7'	7'6"	5'0"	8% floor area	4% floor area
Dining	70	7'	7'6"	5'0"	8% floor area	4% floor area
Kitchen	50	N.A.	7'0"	5'0"	8% floor area	4% floor area
Bedroom	70	7'	7'6"	5'0"	8% floor area	4% floor area
Bathroom	N.A.	N.A.	7'0"	5'0"	3 square feet	1½ square feet

* See Sections 303.1 & 303.3 for mechanical ventilation

yes Required heating (303.6)

SANITATION (306 & 307) STATE PLBC

OK Water closet in compartment with privacy; minimum 30" wide with 21" clear in front of water closet
OK Lavatory
OK Tub or shower in compartment with privacy
OK Kitchen area with sink
 Sanitary sewer/private disposal

GLAZING (308) Chapter 24

2422 Labeling
OK Louvered windows or jalousies
 Human impact loads/hazardous locations
 Wind loads
 Skylights and sloped glazing

PRIVATE GARAGES (309) 4/7

see Rep No opening between garage and sleeping room
OK Other openings (garage to residence); 1⅜" solid wood doors, 20-minute fire-rated doors or equivalent
OK Garage-dwelling separation; ½" gypsum board or equivalent on garage side

PRIVATE GARAGES (cont'd.)

1 Floor surface noncombustible

EGRESS (310 through 315)

OK One exit from each dwelling unit (310.1)
OK Sleeping room window for emergency escape: opening 5.7 square feet (grade floor, 5 square feet), 22" net clear height, 20" net clear width; maximum sill height = 44" (310.2)
OK Under stair protection (310.3)
OK Exit door ≥ (3'0" × 6'8") (311.1)
OK Exit access or hallway ≥ 3' (311.1)
OK Landings; minimum 3' × 3' (312.1)
OK Ramp slope (1:8 maximum) (313.1)
OK Ramp handrails; one required if slope > 1:12 (313.2)
OK Ramp landing, minimum 3' × 3' (313.3)
OK Stairways; minimum width = 3'0"; maximum stair rise = 7¾"; minimum tread = 10" with ¾"-1¼" nosing; minimum headroom = 6'8" (314)
OK Winders (314.4)
OK Winders, spiral, and circular stairways (314.4 through 314.6)
OK Stairway illumination (314.7)
OK Handrails; required on one side of stair if three or more risers; handrail height = 30" to 38"; grip size 1¼" to 2" (315.1 & 315.2)

BUILDING PLANNING (cont'd.)

EGRESS (cont'd.)

See repa Guardrails; required for porches, balconies, open sides of stairs, or raised floor surfaces > 30" above floor
 Minimum guardrail height = 36" (315.3)
 Opening limitations; < 4" (315.4)

SMOKE DETECTORS ~~(316)~~ 920.3.2.

 Location and interconnection
 Power source

FOAM PLASTIC (317)

N/A Approved
 Requirements
 Location

WALL AND CEILING FINISH (318)

OK Flame spread
 Smoke density

INSULATION (319)

OK Flame spread
 Smoke density
 Attic

DWELLING UNIT SEPARATION (320)

N/A Construction (1-hour minimum)
 Floor/ceiling and wall continuity
 Sound transmission
 Townhouse exception (2 hours)*
 Townhouse parapet*
 Townhouse structural independence*

*Not applicable to structures classified in accordance with the BOCA National Building Code as Use Group R-4.

MOISTURE VAPOR RETARDERS (321.1)

N/A Required

DECAY AND TERMITE AREAS (322 & 323)

N/A Location required (Table 301.2a)
 Adequate protection

RADON PROTECTION (324)

N/A Required (Table 301.2a) (If required see page 12)

FOUNDATIONS (Chapter 18)

WOOD FOUNDATIONS ~~(402.1)~~

N/A Design
 Installation

FOOTINGS ~~(403)~~ 1808

4 m.a. Depth below (outside) grade = 12" minimum; but below frost line except for insulated footings
 Insulated footing provided
 Soil bearing value
 Footing width (see page 5) Table 1804.3
 Footing edge thickness = 6" minimum; footing projection = 2" minimum, but ≤ to footing thickness

FOUNDATION WALLS ~~(404 through 406)~~ Table 1804.3

8" Footing required under foundation wall (403.1)
 Minimum wall thickness/maximum depth of unbalanced fill (see page 5)

FOUNDATION WALLS (cont'd.)

1817.0 Drains required if habitable or usable spaces are below grade* (405)
1817.4 Dampproofing if basements are below grade* (406)
 Waterproofing if high water table* (406.2)
✓ Sill plate (222) 2305.17 8"
 Bolting in concrete = 1/2" diameter bolts at 8" o.c. and within 12" from corner, 7" embedment
 Bolting in masonry = 1/2" diameter bolts at 6' o.c. and within 12" from corner, 15" embedment

FOUNDATION INSULATION ~~(407)~~

 Protective covering (extend minimum 6" below grade)

* If uninhabitable, see crawl space (409)

FOUNDATIONS (cont'd.)

Table 403.1
MINIMUM WIDTH OF CONCRETE OR MASONRY FOOTINGS (inches)

	LOAD-BEARING VALUE OF SOIL (psf)					
	1,500	2,000	2,500	3,000	3,500	4,000
Conventional Wood Frame Construction						
1-story	16	12	10	8	7	6
2-story	19	15	12	10	8	7
3-story	22	17	14	11	10	9
4-Inch Brick Veneer over Wood Frame or 8-Inch Hollow Concrete Masonry						
1-story	19	15	12	10	8	7
2-story	25	19	15	13	11	10
3-story	31	23	19	16	13	12
8-Inch Solid or Fully Grouted Masonry						
1-story	22	17	13	11	10	9
2-story	31	23	19	16	13	12
3-story	40	30	24	20	17	15

For SI: 1 inch = 25.4 mm, 1 psf = 0.0479 kN/m².

Table No. 404.1.1a
MINIMUM THICKNESS AND ALLOWABLE DEPTH OF UNBALANCED FILL FOR UNREINFORCED MASONRY AND CONCRETE FOUNDATION WALLS WHERE UNSTABLE SOIL OR GROUNDWATER CONDITIONS DO NOT EXIST IN SEISMIC ZONES 0, 1 OR 2^{1,2}

FOUNDATION WALL CONSTRUCTION	NOMINAL THICKNESS ³ (inches)	MAXIMUM DEPTH OF UNBALANCED FILL ¹ (feet)
Masonry of Hollow Units, UngROUTed	8	4
	10	5
	12	6
Masonry of Solid Units	6	3
	8	5
	10	6
	12	7
Masonry of Hollow or Solid Units, Fully Grouted	8	7
	10	8
	12	8
Plain Concrete	6 ⁴	6
	8	7
	10	8
	12	8
Rubble Stone Masonry	16	8
Masonry of hollow units reinforced vertically with No. 4 bars and grout at 24 inches on center. Bars located not less than 4½ inches from pressure side of wall.	8	7

For SI: 1 inch = 25.4 mm, 1 psf = 0.0479 kN/m².

¹ Unbalanced fill is the difference in height of the exterior and interior finish ground levels. Where an interior concrete slab is provided, the unbalanced fill shall be measured from the exterior finish ground level to the top of the interior concrete slab.

² The height between lateral supports shall not exceed 8 feet.

³ The actual thickness shall not be more than ½ inch less than the required nominal thickness specified in the table.

⁴ Six-inch plain concrete walls shall be formed on both sides.

FOUNDATIONS (cont'd.)

Table No. 404.1b
REQUIREMENTS FOR MASONRY OR CONCRETE FOUNDATION WALLS SUBJECTED TO NO MORE PRESSURE THAN WOULD BE EXERTED BY BACKFILL HAVING AN EQUIVALENT FLUID WEIGHT OF 30 POUNDS PER CUBIC FOOT LOCATED IN SEISMIC ZONE 3 OR 4 OR SUBJECTED TO UNSTABLE SOIL CONDITIONS

MATERIAL TYPE	HEIGHT OF UNBALANCED FILL ¹ (feet)	LENGTH OF WALL BETWEEN SUPPORTING MASONRY OR CONCRETE WALLS (feet)	MINIMUM WALL THICKNESS ^{2,3} (inches)	REQUIRED REINFORCING	
				HORIZONTAL BAR IN UPPER 12 INCHES OF WALL	SIZE AND SPACING OF VERTICAL BARS
Hollow Masonry	4 or less	unlimited	8	not required	not required
	more than 4	design required	design required	design required	design required
Concrete or Solid Masonry ⁴	4 or less	unlimited	8	not required	not required
	more than 4	less than 8	8	2-No. 3	No. 3 @ 18" O.C.
	8 or less	8 to 10	8	2-No. 4	No. 3 @ 18" O.C.
	8 or less	10 to 12	8	2-No. 5	No. 3 @ 18" O.C.
	more than 8	design required	design required	design required	design required

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per cubic foot (pcf) = 0.1572kN/m³.

¹ Backfilling shall not be commenced until after the wall is anchored to the floor.

² Thickness of concrete walls may be 6 inches, provided reinforcing is placed not less than 1 inch or more than 2 inches from the face of the wall not against the earth.

³ The actual thickness shall not be more than 1/2 inch less than the required thickness specified in the table.

⁴ Solid masonry shall include solid brick or concrete units and hollow masonry units with all cells grouted.

COLUMNS ~~(400)~~ 1912

- Protection from decay or corrosion
- Structural requirements
- Anchorage
- Wood columns (minimum 4" square)
- Steel columns (minimum 3" diameter, standard weight)

CRAWL SPACE (409)

- Ventilation
- Access (18" x 24")
- Removal of debris
- Finished grade

see report

FLOORS (Chapter 16-23)

WOOD JOISTS AND GIRDERS ~~(502)~~ 16-23

- Joists — Nonsleeping areas, LL = 40 psf (Table 502.3.1a)
- Joists — Sleeping areas, LL = 30 psf (Table 502.3.1b)
- Grade; E = _____ F_b = _____
- Girder supporting one floor only (Table 502.3.3a)
- Girder supporting more than one floor (Table 502.3.3b)
- Column supporting girder (Table 502.3.3b)
- Footing supporting column (Table 502.3.3b)

WOOD JOISTS AND GIRDERS (cont'd.)

- Joists under bearing partitions
- Bearing (1 1/2" minimum on wood or steel; 3" on masonry) and lapped joists (3")
- Lateral restraint and bridging
- Drilling and notching
- Bored holes
- Fastening
- Framing of openings
- Floor trusses
- Draftstopping

FLOORS (cont'd.)

LUMBER FLOOR SHEATHING (503.1)

_____ Allowable span
 _____ End joints

PLYWOOD FLOOR SHEATHING (503.2)

_____ Grade
3/4 Thickness T&G
 _____ Allowable spans (Tables 503.2.1.1a & 503.2.1.1b)
 _____ Installation (Table 602.3a)

PARTICLEBOARD FLOOR UNDERLAYMENT (503.3)

_____ Grade
 _____ Thickness
 _____ Installation (Table 602.3a)

TREATED-WOOD FLOORS (ON GROUND) (504)

_____ Base course: 4" thick with maximum 3/4" gravel or 1/2" crushed stone
 _____ Moisture barrier: placed over base course
 _____ Construction

CONCRETE FLOORS ON GROUND (~~505~~) 1905

4" Thickness: 3 1/2" minimum; Concrete strength = 2500 psi minimum
 _____ Support: prepared subgrade; maximum earth fill = 8"; maximum sand or gravel fill = 24"
 _____ Base course: 4" graded with 2" maximum aggregate

Vapor barrier 1905

METAL (506)

_____ Materials

WALL CONSTRUCTION (Chapter ~~6~~) ²³

GENERAL (601)

OK Design
 _____ Load requirements (301)

WOOD CONSTRUCTION (602)

_____ Grade; E = _____ F_b = _____
 _____ Construction (Figures 602.3a & 602.3b)
2x6 Stud grade 2 spacing (Table 602.3d — see page 8)
2x6 Exterior walls
 _____ Interior bearing walls
2x4 Interior nonbearing walls: 2" x 3" at 24" o.c. or 2" x 4" flat at 16" o.c.
 _____ Drilling and notching — studs
Gold Drilling and notching — top plate
 _____ Headers (Tables 602.6 & 602.6.2)
 _____ Firestopping

WOOD CONSTRUCTION (cont'd.)

_____ Cripple walls
 _____ Wall bracing (Table 602.9)

METAL CONSTRUCTION (603)

N/A Materials

MASONRY CONSTRUCTION (604 through 607)

N/A General design
N/A Types of masonry
 _____ Construction requirements

WINDOWS & DOORS (~~608 & 609~~)

OK Certification

SHEATHING (610 & 611)

_____ Plywood and wood structural panels (610)
7/8" Particleboard (611)

WALL CONSTRUCTION (cont'd.)

Table No. 602.3d
MAXIMUM STUD SPACING (inches)

STUD SIZE	SUPPORTING ROOF AND CEILING ONLY	SUPPORTING ONE FLOOR ROOF AND CEILING	SUPPORTING TWO FLOORS ROOF AND CEILING	SUPPORTING ONE FLOOR ONLY
2 × 4	24 ¹	16	—	24 ¹
3 × 4	24 ¹	24	16	24
2 × 5	24	24	—	24
2 × 6	24	24	16	24

For SI: 1 inch = 25.4 mm.

¹ Shall be reduced to 16 inches if Utility grade studs are used.

WALL COVERING (Chapter 7) 14

INTERIOR WALL COVERING (702)

- Plaster material (702.2)
- Plaster support (702.2.1)
- Gypsum wallboard material (702.3.1)
- Gypsum wallboard support, application and fastening (702.3.2 through 702.3.5)
- Shower and bath compartments: Smooth, hard, nonabsorbent surface to minimum 6 feet above floor (702.4)
- Other finishes (702.5 & 702.6)

EXTERIOR WALL COVERING (703)

- Sheathing paper required (703.2)
- Wood siding (703.3)
- Attachment and minimum thickness (Table 703.4)

EXTERIOR WALL COVERING (cont'd.)

- Wood shakes and shingles (703.5)
- Exterior lath (703.6)
- Masonry veneer (703.7 & Figure 703.7)
Maximum height (35' in Seismic Zones 0, 1 or 2; 25' in Seismic Zones 3 or 4); Steel angle lintels (Table 703.7.1) (4" minimum bearing each end)
- Veneer ties: #9 wire or #22 corrugated metal; 24" o.c. horizontal spacing; 3¼ square feet maximum area supported (wind > 30 psf and Seismic Zones 3 or 4 maximum area = 2 square feet) (703.7.2.1)
- Flashing (703.8)

ROOF-CEILING CONSTRUCTION (Chapter 8) 23

See report

ROOF FRAMING (802)

- Cathedral ceilings (802.2.1)
- Rafter tie where joists are not parallel to rafters (4' o.c.) (802.3)
- Rafter brace to bearing walls (2" × 4" at 4' o.c. minimum) (Figure 802.4.1)
- Purlin rafter support (2" × construction minimum) (802.4.1)
- Connection of roof-ceiling system to masonry walls (Figures 604.10a through 604.10c)

ROOF FRAMING (cont'd.)

- Bearing
- Cutting and notching
- Bored holes
- Lateral support and bridging
- Framing of openings
- Trusses
- Roof tie-down

ROOF-CEILING CONSTRUCTION (cont'd.)

RAFTERS

_____ Grade; E = _____ F_b = _____ (802.1) _____ FRTW allowable stresses/grading (802.1.1)

Rafters supporting a gypsum or plastered ceiling (cathedral type)*

_____ Gypsum ceiling ($\Delta = L/240$) (301.6)
 LL = 20: Use Table 802.4e
 LL = 30: Use Table 802.4f
 LL = 40: Use Table 802.4g

_____ Plastered ceiling ($\Delta = L/360$) (301.6)
 LL = 20: Use Table 802.4h
 LL = 30: Use Table 802.4i
 LL = 40: Use Table 802.4j

Rafters not supporting a finished ceiling (attic type)*

_____ Low-slope (slope $\leq 3:12$)
 (Light roofing: DL = 10 psf)
 LL = 20: Use Table 802.4k
 LL = 30: Use Table 802.4l
 LL = 40: Use Table 802.4m

_____ High slope (slope $> 3:12$)
 (Heavy roofing: DL = 15 psf)
 LL = 20: Use Table 802.4n
 LL = 30: Use Table 802.4o
 LL = 40: Use Table 802.4p

_____ High slope (slope $> 3:12$)
 (Light roofing: DL = 7 psf)
 LL = 20: Use Table 802.4q
 LL = 30: Use Table 802.4r
 LL = 40: Use Table 802.4s

* LL = Live load (psf); DL = Dead load; L = span length

JOISTS (CEILINGS)

_____ Grade; E = _____ F_b = _____ (802.1) _____ FRTW allowable stresses/grading (802.1.1)

Joists with limited attic storage (roof slope $> 3:12$) (LL = 20 psf; DL = 10 psf) (Table 301.4)*

_____ Plaster ceiling ($\Delta = L/360$) (301.6)
 Use Table 802.4a

_____ Gypsum ceiling ($\Delta = L/240$) (301.6)
 Use Table 802.4b

Joists with no attic storage (roof slope $\leq 3:12$) (LL = 10 psf; DL = 5 psf) (Table 301.4)*

_____ Plaster ceiling ($\Delta = L/360$) (301.6)
 Use Table 802.4c

_____ Gypsum ceiling ($\Delta = L/240$) (301.6)
 Use Table 802.4d

* LL = Live load (psf); DL = Dead load; L = span length

PLYWOOD ROOF SHEATHING (803.2)

OSB Grade
7/8 Thickness
 _____ FRTW allowable stresses/grading
 _____ Allowable spans (Table 503.2.1.1a)
 _____ Installation (803.2.3)

PARTICLEBOARD ROOF SHEATHING (cont'd.)

OSB Thickness
 _____ Allowable spans (Table 803.3.2)
 _____ Installation (803.3.3)

PARTICLEBOARD ROOF SHEATHING (803.3)

_____ Grade

ATTICS

_____ Ventilation requirements (806)
 _____ Access requirements (807)

ROOF COVERINGS (Chapter 15)

GENERAL (901)

_____ Load/weather resistance
 _____ Approved materials

DECK PREPARATION (902)

_____ Underlayment application
 _____ Underlayment attachment

ROOF COVERINGS (cont'd.)

ASPHALT SHINGLES (~~903~~)

- Steep-slope application (slope \geq 4:12)
- Low-slope application ($2:12 \leq$ slope $<$ 4:12)
- Attachment (Table 903.4)
- Flashing
- Hips and ridges

SLATE SHINGLES (904)

- Application
- Underlayment
- Valley flashing

METAL (905)

- Application
- Roof slope
- Underlayment

TILE, CLAY OR CONCRETE SHINGLES (906)

- Application
- Attachment
- Roof slope
- Underlayment
- Nailing and flashing

BUILT-UP ROOFING (907)

- Underlayment
- Installation requirements

WOOD SHINGLES (~~908~~)

- Sheathing requirements
- Installation requirements
- Attachment & exposure (Tables 908.3 & 908.3.3)
- Valley flashing
- Label

WOOD SHAKES (~~909~~)

- Sheathing requirements
- Installation requirements
- Attachment & exposure (Tables 908.3 & 908.3.3)
- Valley flashing
- Label

REROOFING (~~910~~)

- 25 percent or more of roof repaired, replaced or recovered
- Structural support
- Recover vs replace

CHIMNEYS AND FIREPLACES (Chapter 16) BOCA Mechanical 1993

MASONRY CHIMNEYS (1001)

- Construction (1001.1 & Figure 1003.1)
- Changes in dimension
- Additional load
- Termination
- Wall thickness; \geq 4"
- Flue lining - material/installation
- Multiple flues
- Flue area (appliance)
- Flue area (masonry fireplace)
- Inlet
- Cleanout opening

MASONRY CHIMNEYS (cont'd.)

- Chimney clearance
- Firestopping

FACTORY-BUILT CHIMNEYS (1002)

- Approved and listed
- Installation

MASONRY FIREPLACES (1003)

- Construction (Figure 1003.1 & Table 1003.1)
- Fireplace walls
- Steel fireplace units
- Lintel (noncombustible)
- Hearth extension material

CHIMNEYS AND FIREPLACES (cont'd.)

J

MASONRY FIREPLACES (cont'd.)

- Hearth extension
- Fireplace clearance
- Firestopping
- Combustible materials

FACTORY-BUILT FIREPLACES (1004)

- Approved and listed

FACTORY-BUILT FIREPLACES (cont'd.)

- Installation

FACTORY-BUILT FIREPLACE STOVES (1005)

- Approved and listed
- Installation

EXTERIOR AIR SUPPLY (1006)

- Intake size

MECHANICAL (Chapters 11-28)

BOCA 93 mechanical code

- Appliance labeling (1302, 1303)
- Appliance access (1305, 1401)
- Appliance location (1307)
- Heating and cooling load calculations (1401)
- Ventilation (Chapter 17)
- Exhaust systems (Chapter 18)
- Duct sizing (Chapter 19)
- Combustion air (Chapter 20)

- Chimney and vent location and terminations (1001, 2104)
- Fuel gas pipe sizing (2609)
- Liquefied Petroleum Gas container location (2611)
- Oil tank location (2701)
- Penetrations of fireresistance rated assemblies (320.3.1.1)

PLUMBING (Chapters 29-38)

STATE 29-38

- Water service location and depth (3103, 3104)
- Sanitary and storm sewer location and depth (3103, 3104)
- Listed plastic materials (3109)
- Plumbing fixtures (Chapter 32)
- Water heater size and location (Chapter 33)
- Water supply and distribution system design calculations (3403, 3409)

- Drain, waste and vent pipe sizing and riser diagram (3504, 3505, 3601)
- Backwater valves (3508)
- Private sewage disposal system design (Chapter 38)
- Penetrations of fireresistance rated assemblies (320.3.1.1)

ELECTRICAL (Chapters 39-46)

NFPA #70

- Listed and labeled materials (3903)
- Service size and load calculations (4102)
- Available fault current (4106)
- Service equipment and location (4101, 4106)
- Required branch circuits (4203)

- Feeder requirements and load calculations (4204)
- Required lighting and receptacle outlets (4401, 4403)
- Penetrations of fireresistance rated assemblies (3902)

MANUFACTURED HOUSING USED AS DWELLINGS (Appendix A)

_____ Provisions adopted (114) *N/A* _____ Compliance with Appendix A verified

SWIMMING POOLS, SPAS, AND HOT TUBS (Appendix D)

_____ Provisions adopted (115) *N/A* _____ Compliance with Appendix D verified

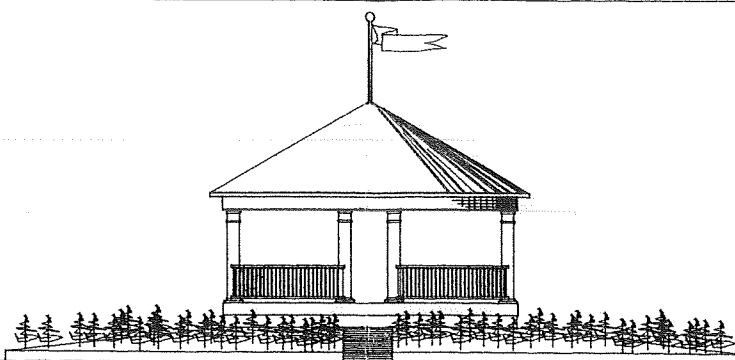
ENERGY CONSERVATION (Appendix E)

_____ CABO Model Energy Code adopted (119) *N/A*

RADON CONTROL MEASURES (Appendix F)

_____ Provisions applicable (Table 301.2a & 324) *N/A* _____ Compliance with Appendix F verified

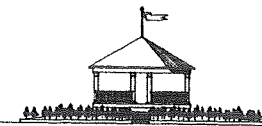
NOTES



HARPER RESIDENCE

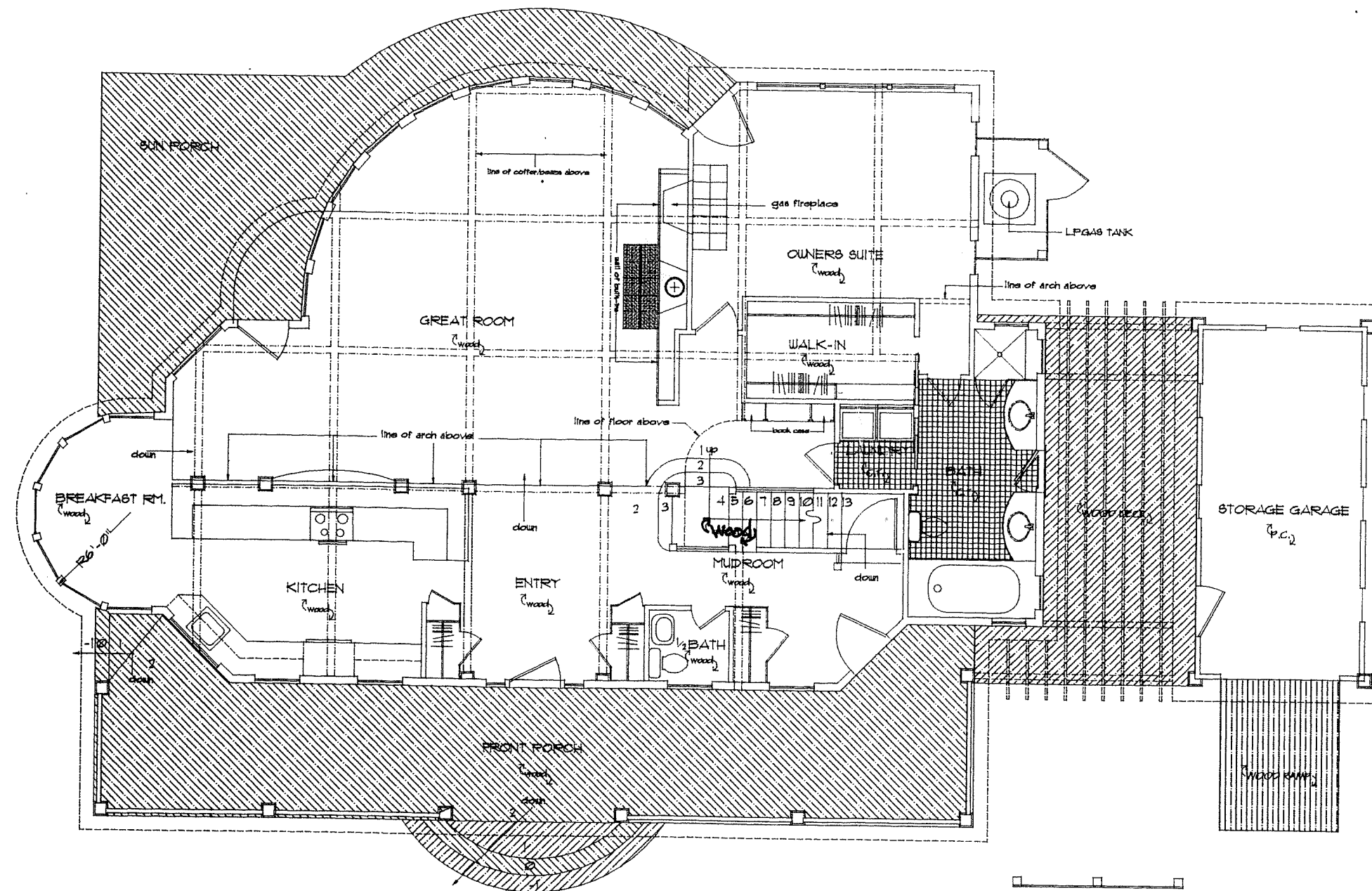
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DIAMOND COVE, MAINE

SHEET 1 OF 10	FOUNDATION PLAN
SHEET 2 OF 10	FIRST FLOOR PLAN
SHEET 3 OF 10	SECOND FLOOR PLAN
SHEET 4 OF 10	FRONT ELEVATION
SHEET 5 OF 10	REAR ELEVATION
SHEET 6 OF 10	RIGHT ELEVATION
SHEET 7 OF 10	LEFT ELEVATION
SHEET 8 OF 10	SECTION A-A
SHEET 9 OF 10	GENERAL DETAILS
SHEET 10 OF 10	SITE PLAN



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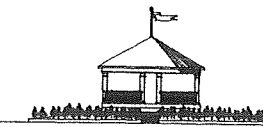
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MAIN FLOOR PLAN 20F10	

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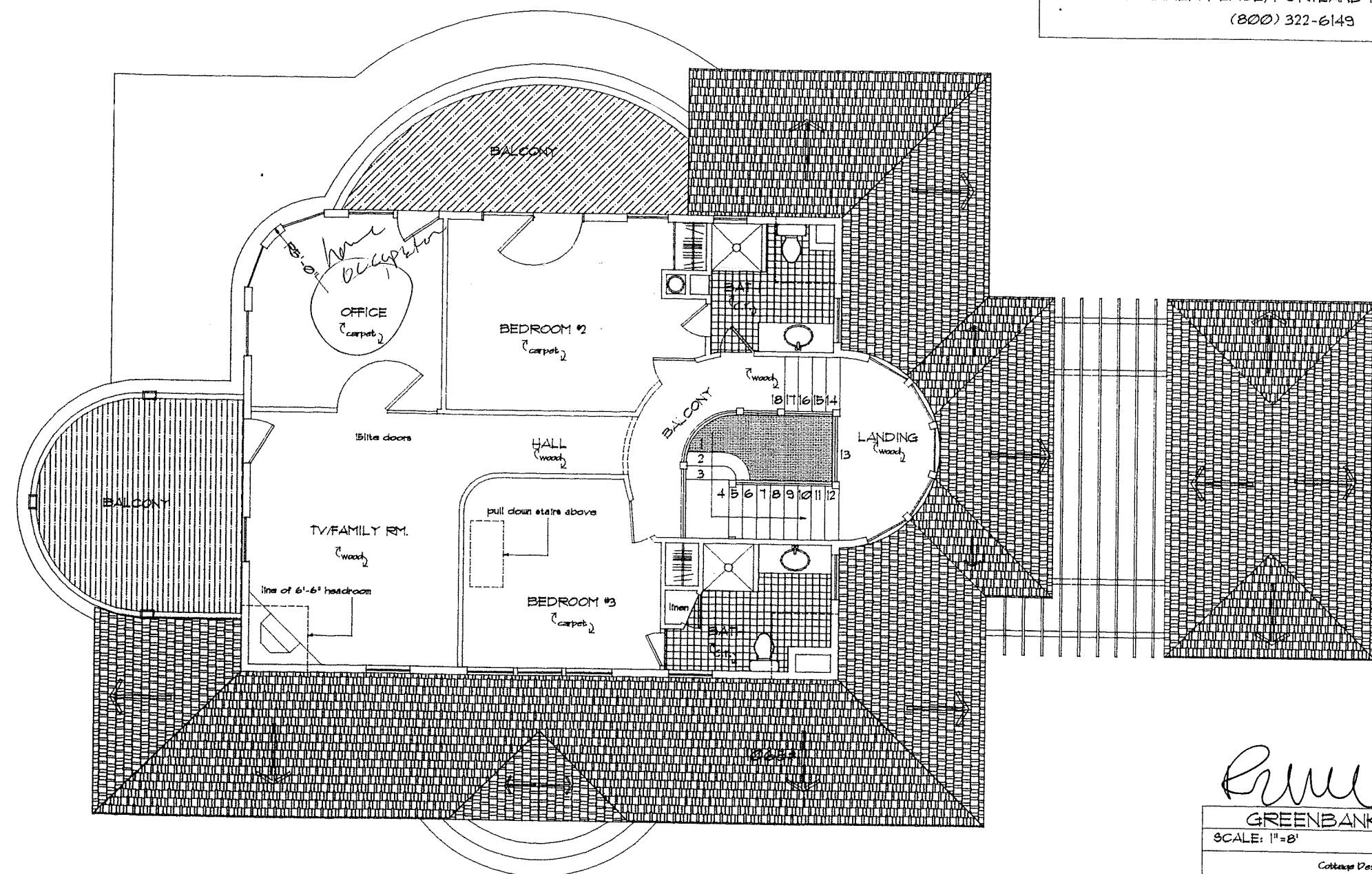
Roof Loads - 42# / sq'
Floor Loads - 40# / sq' all other
- 50# / sq' for bedrooms
All concrete - 3000 PSI

Codes govern over drawings
Dimensions govern over scale.
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



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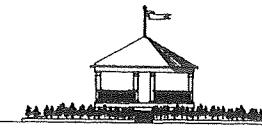
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UPPER FLOOR PLAN	3 of 10

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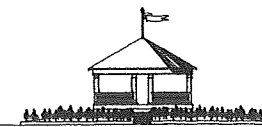
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EAST ELEVATION	4 of 10

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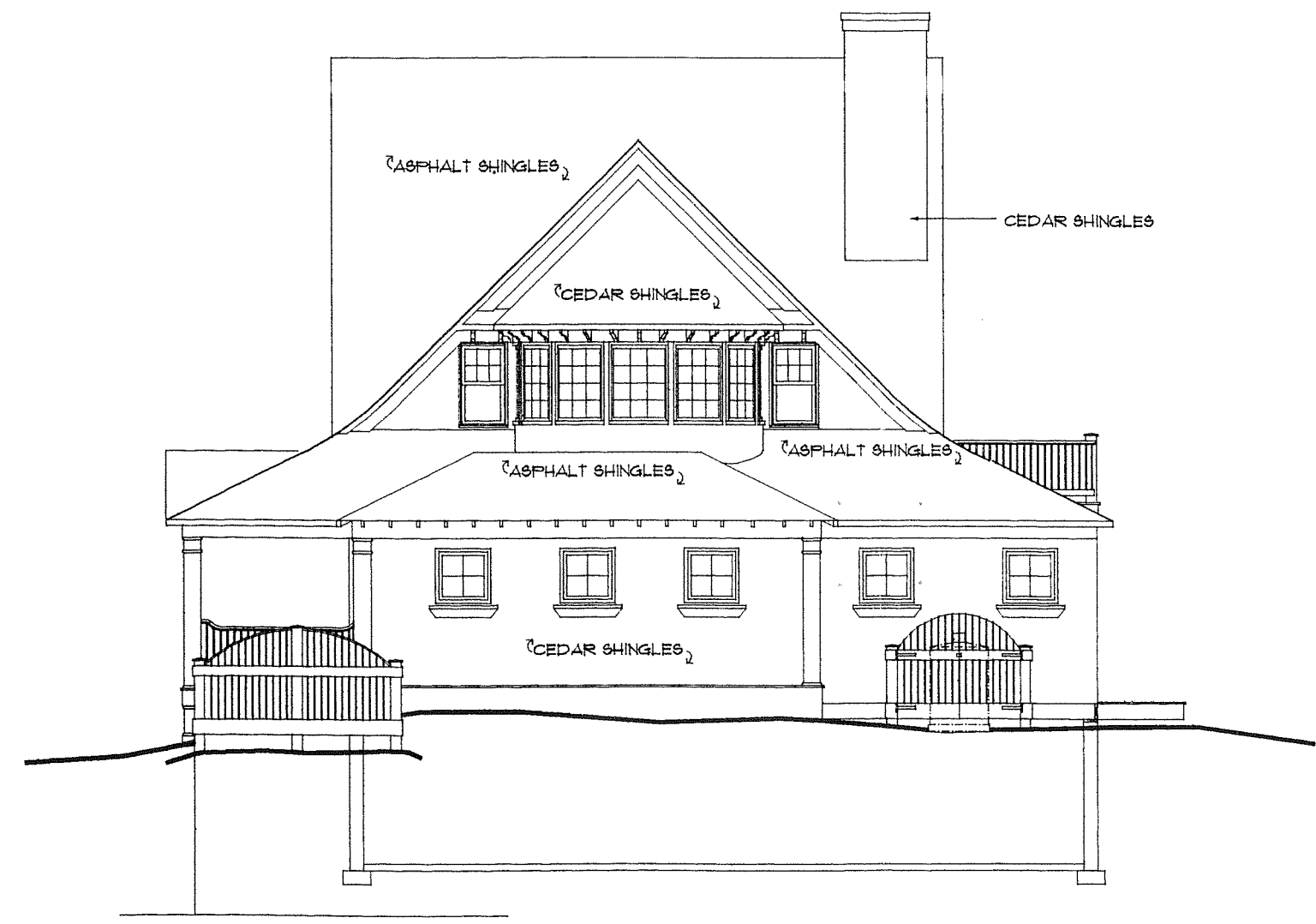
Roof Loads = 42# / sq'
Floor Loads = 40# / sq' all other
= 50# / sq' for bedrooms
All concrete = 3000 PSI

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Verify all mechanical requirements, before framing.
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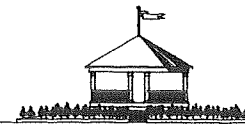
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NORTH ELEVATION 5 OF 10	

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 Floor Loads - 40#/sq' all other
 - 30#/sq' for bedrooms
 All concrete - 3000 PSI

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 Dimensions govern over scale.
 Verify all mechanical requirements, before framing.
 Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



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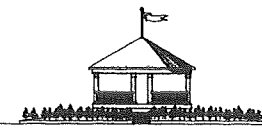
SOUTH ELEVATION 6 of 10

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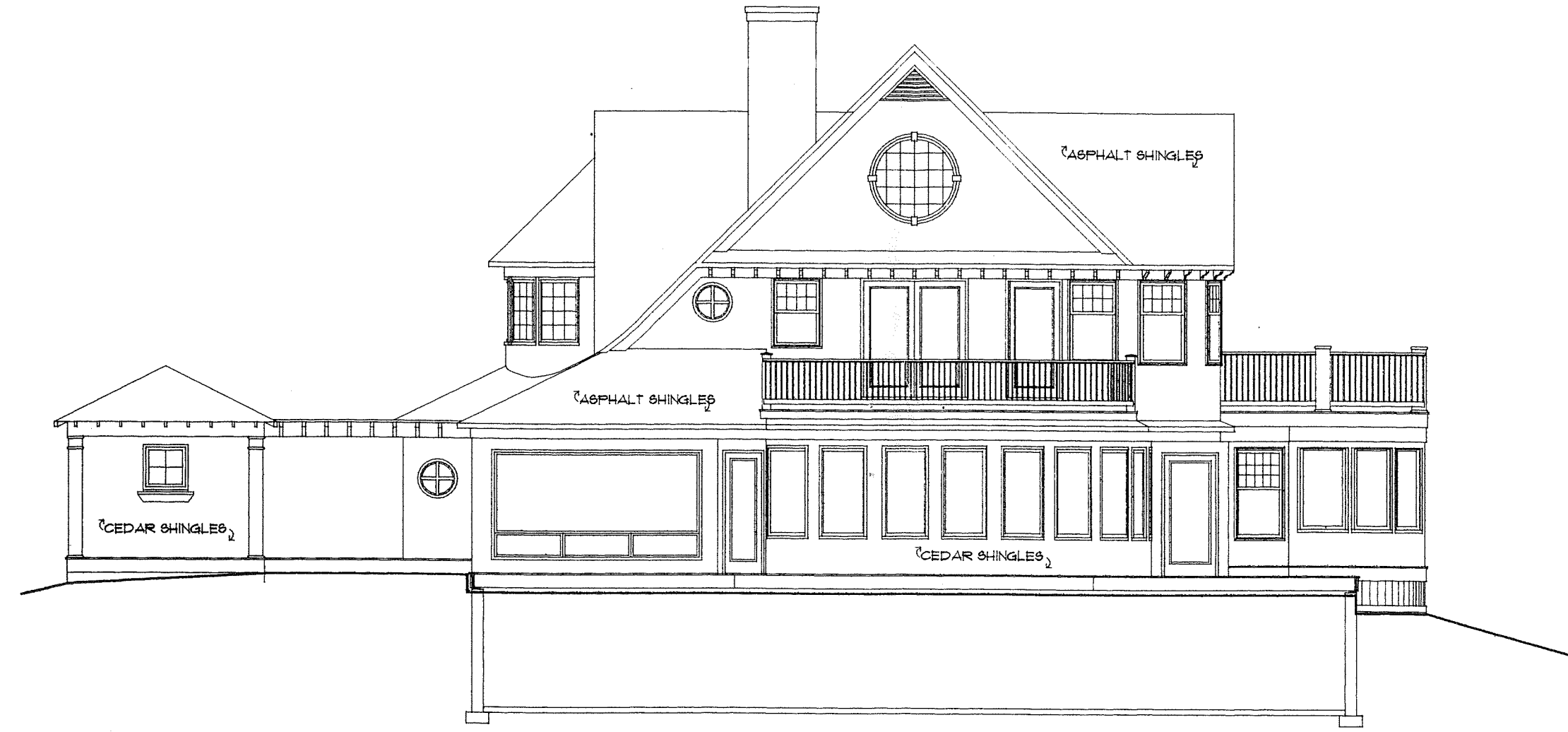
Roof Loads - 42# / sq'
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- 30# / sq' for bedrooms
All concrete - 3000 PSI

Codes govern over drawings
Dimensions govern over scale.
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



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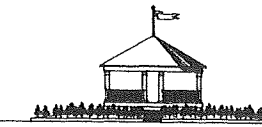
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WEST ELEVATION 7 of 10	

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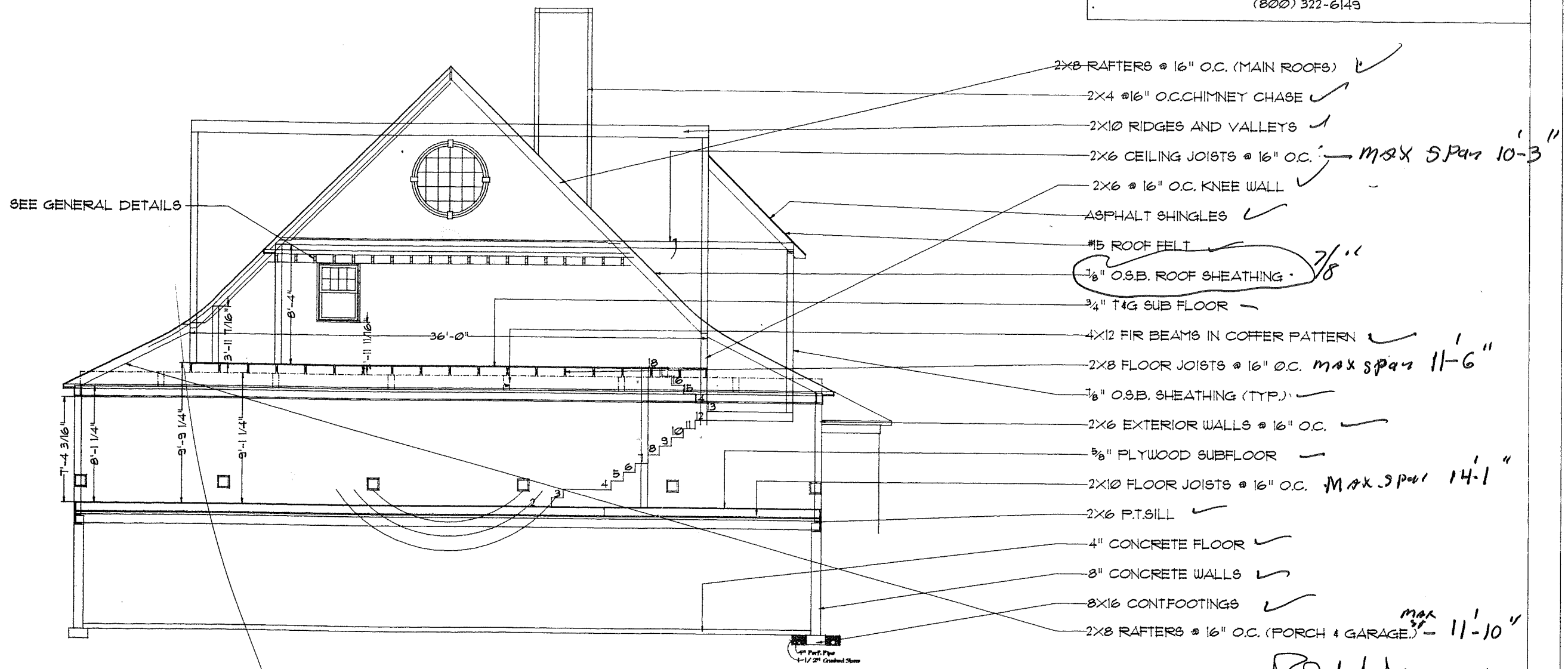
Roof Loads - 42# / sq'
Floor Loads - 40# / sq' all other
- 50# / sq' for bedrooms
All concrete - 3000 PSI

Codes govern over drawings
Dimensions given over scales.
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



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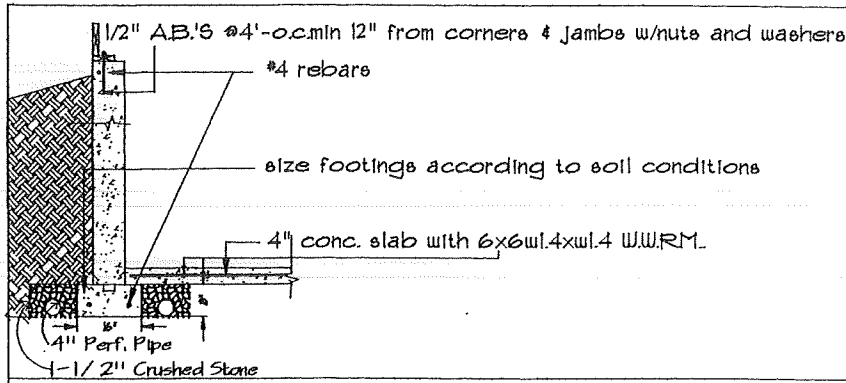
SECTION 8 OF 10

GENERAL NOTES AND DISCLAIMERS:

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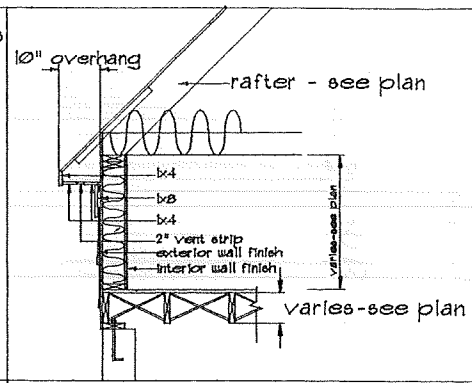
Roof Loads - 42# / sq'
Floor Loads - 40# / sq' all other
- 30# / sq' for bedrooms
All concrete - 3000 PSI

Codes govern over drawings
Dimensions govern over notes.
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



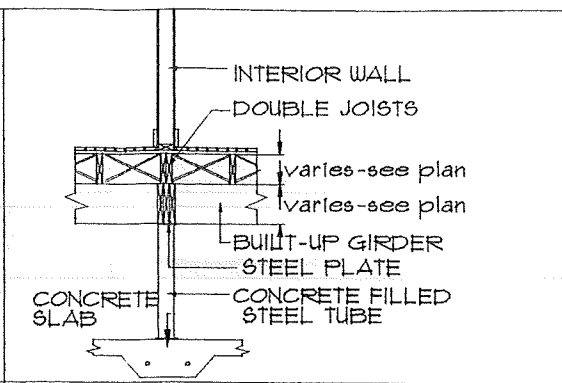
FOUNDATION WALL SECTION

SCALE: 1/2"=1'



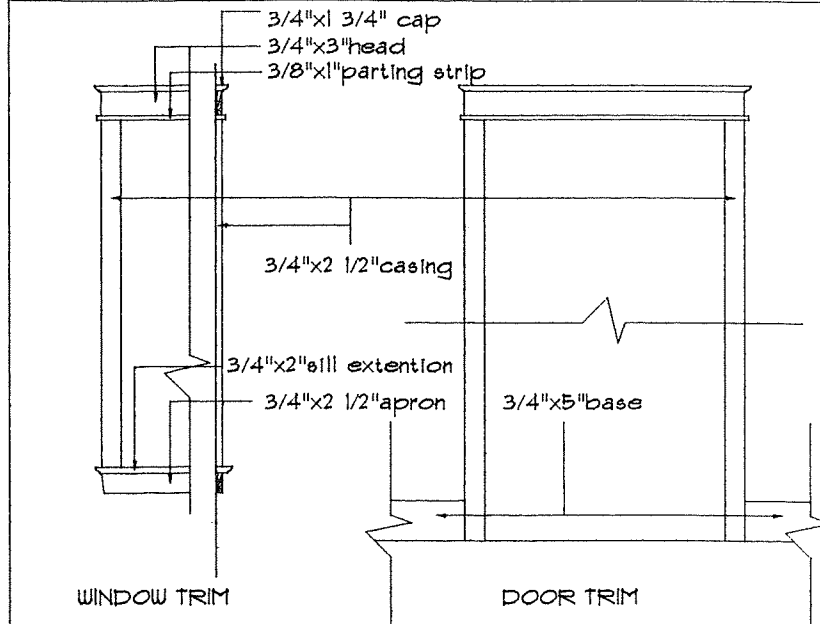
SECTION

SCALE: 1/2"=1'



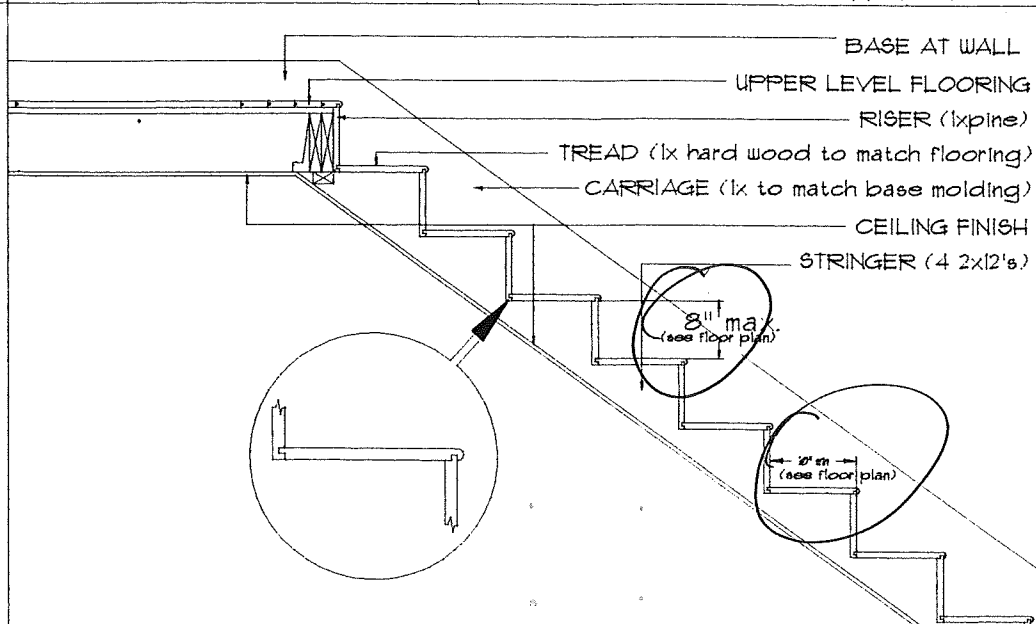
INTERIOR SECTION

SCALE: 1/2"=1'



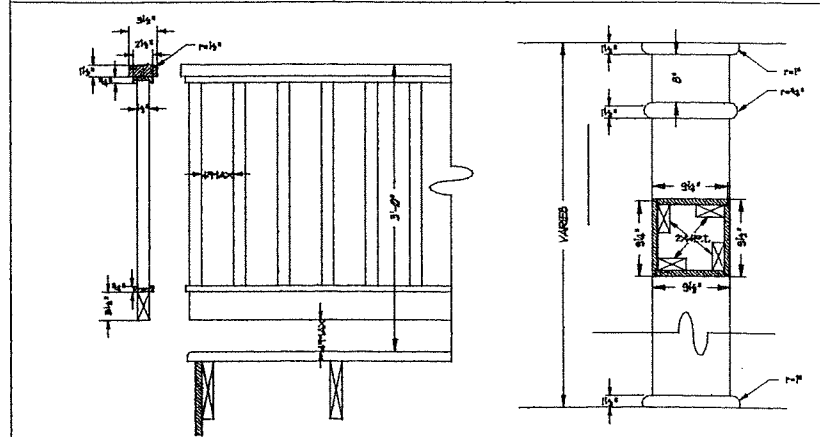
TRIM DETAILS

SCALE: 1"=1'



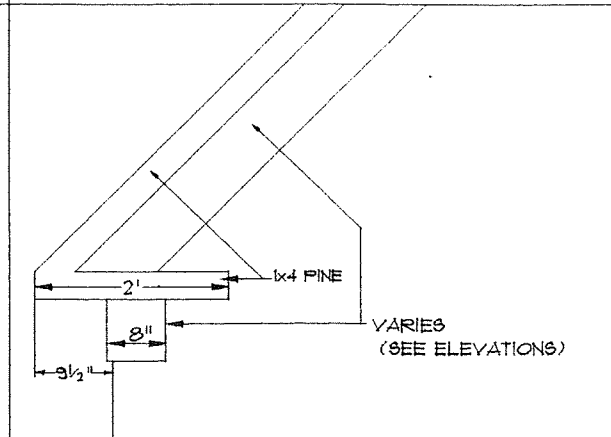
TYPICAL STAIR DETAILS

SCALE: 1"=1'



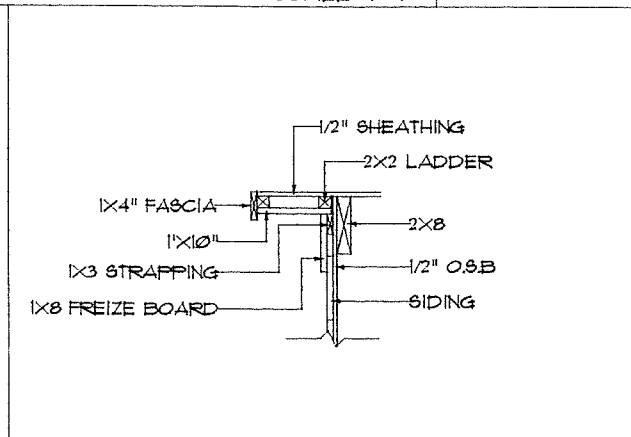
RAIL AND COLUMN DETAIL

SCALE: 1"=1'



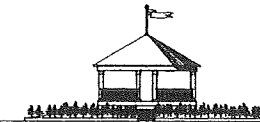
SOFFIT RETURN DETAIL

SCALE: 1"=1'



RAKE DETAIL

SCALE: 1"=1'



The Cottage Design Company

91 SUMMER PLACE, PORTLAND MAINE 04103
(800) 322-6149

NOTES:

- ALL YARD LUMBER IS ASSUMED TO BE THAT VARIETY AND SPECIES USED AND APPROVED AT THE TIME THIS PLAN WAS ORIGINALLY BUILT IN PORTLAND MAINE.
- ALL MATERIALS AND THEIR DESIGN CRITERIA MUST BE CHECKED WITH LOCAL STANDARDS TO INSURE CODE AND DESIGN COMPLIANCE.
- A CATALOG OF INTERIOR TRIM WINDOWS AND OTHER RELATED HOME PRODUCTS IS AVAILABLE FROM THE DESIGNERS • (800) 322-6149 OR AT THE ADDRESS ABOVE.

Green Bank Cottage

GREEN BANK COTTAGE

SCALE: AS MARKED | 12.18.97

Cottage Design Company

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GENERAL DETAIL

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