

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0219	Issue Date: MAY 22 2003	CBL: 083B A002001
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Location of Construction: 30 West Shore Dr <i>Gift Island</i>	Owner Name: Neal Alexandra K	Owner Address: 1515 Pydra St Ste 1360	Phone: 749-3703 766-4499
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone: 2077742753
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>IR-1</i>

Past Use: Vacant Lot	Proposed Use: Single Family	Permit Fee: \$4,598.00	Cost of Work: \$600,000.00	CEO District: 1	<i>IR-J</i>
Proposed Project Description: Construct "New" Single Family Home, 4,300 SF		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>5B</i> <i>BOCA 1999</i>		

Signature:	Signature: <i>JMB 5/22/03</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: <i>gad</i>	Date Applied For: 03/21/2003	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>100 from HWM</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>Panel 8 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>revised on wetland in subdivision plan # 2003-0054</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>5/8/03</i>	Date:	Date:

PERMIT ISSUED
 MAY 22 2003
 CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0219	Date Applied For: 03/21/2003	CBL: 083B A002001
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Location of Construction: 30 West Shore Dr	Owner Name: Neal Alexandra K	Owner Address: 1515 Pydra St Ste 1360	Phone: () 766-4499
Business Name:	Contractor Name: Goduti Building Co.	Contractor Address: 9 Deering Street Portland	Phone (207) 774-2753
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family	Proposed Project Description: Construct "New" Single Family Home, 4,300 SF
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/08/2003**Note:** 5/7/03 Spoke with contractor, Gaduti about the revised site plan for the expanded envelope. **Ok to Issue:**
5/8/03 Jay confirmed that Lee U. just signed the new plat. Zoning ok except for conditions - limiting kitchen facilities per code definitions and requirements

- 1) The second floor office would need a separate home occupation permit if it is more than a residential office area for your home finances.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. without special approvals. NO KITCHEN FACILITIES ARE ALLOWED IN THE GUEST SUITE OR THE COVERED PORCH AREA. Only a small bar sink (i.e. 9" x 9") shall be permitted by a bar-b-que area in the covered porch.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/22/2003**Note:** 5/14/03 left vm w/Will Pogar to call concerning additional info ie. Clearance to combustibles @ chimney, **Ok to Issue:**
stair specs, rise/run, head clearance, guard ht., baluster spacing. Verify egress sizing, tempered windows "M" & "R", spiral stair manufacturer specs, and BOCA 1999 not '96.
5/15/03 Spoke with Will Pogar regarding issues, he will make the changes and submit

- 1) Submittal from W. Pogar stating the requested information, ok to issue permit
- 2) Design load specifications for all engineered products ie. Microlams/LVL's/Trusses, spiral staircase, must be submitted to this office prior to issuing a certificate of occupancy
- 3) Separate permits are required for any electrical or plumbing work.
- 4) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Applicant: Goduti Bldg Co. G#2 Date: 3/26/03
 Address: 30 West Shore Drive C-B-L: 088-A-002
 GRT & Island
 CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - ~~IR-1~~ IR-1

Interior or corner lot -

Proposed Use/Work - Construct New single family home

Sevage Disposal - Private

Lot Street Frontage - 100' min ~ 218' shown

Front Yard - 30' min - 30' to front property line

Rear Yard - 30' min - 100' to stairs shown

Side Yard - 20' min - 39' on left - 20' on right for detached shed

Projections - Detached shed 12'x12' - Right side chimney - front covered porch

Width of Lot - 100' min ~ 218' shown tear family room with fireplace

Height - 35' max - 30.5' to ridge

Lot Area - 40,000 sq ft 42,728 sq ft given

Lot Coverage/Impervious Surface - 20% max or 8545.6 sq ft max

Area per Family -

Off-street Parking - 2 req. - 1 garage plus 1 other

Loading Bays - N/A

Site Plan - minor minor # 2003-0054

Shoreland Zoning/Stream Protection - 75' min - 100' to stairs are shown

Flood Plains - Panel B - Zone C

12x12 =	144
16x24 =	384
9.83x17 =	127.80
13.5x28 =	378
16x50 =	800
35x39 =	1365
Total	3198.80

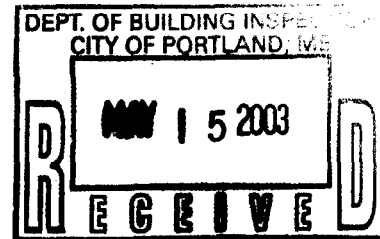
No kitchen facilities are allowed in the Guest Suite or covered 2nd floor office. Need a Home occupation if more than a residential office.

Calendar Island Architects, Inc.



MEMO:

Date: May 15, 2003
TO: Jeanie Bourke
 Inspections Office
 City of Portland, Maine
FROM: William Pogar, A.I.A., N.C.A.R.B.
 Calendar Island Architects



RE: Neal Residence
 30 West Shore Drive
 Great Diamond Island
 Responses to May15,2003
 Building Permit Review items

Dear Jeanie,

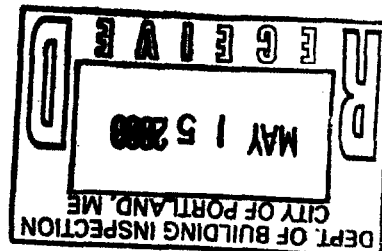
The following responses are information requested by you during our phone call today so a permit may be issued for the above noted project. The items you requested are as follows:

- #1. Window Schedule revisions: Windows labelled "R" at Alex Neal's tub area will be noted as tempered glass units due the fact that the tub can be located within 36" of the window. Currently, windows in the optional sleeping area of the Guest House have at least 5.7 sq ft in the bottom sash, as required by code, for egress.
- #2. Stair rise and run will be no more than a 7.71" rise, nor less than a 10.5" tread. Spacing between balusters will have less than a 4" net opening. Handrail/guardrail height will be 36", per our discussion. Minimum 6'8" head clearance will be maintained.
- #3. Calendar Island Architects notes that the City Of Portland currently operates under the 1999 BOCA code, not 1996.

Thank you for your assistance. Please call if you have any additional concerns or comments.

Sincerely yours,


 William P. Pogar, R.A., N.C.A.R.B.



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0054
Application I. D. Number
03/21/2003
Application Date
Diamond Cove, Lot #2
Project Name/Description

Neal Alexandra K
Applicant
1515 Pydra St Ste 1360, New Orleans, LA 70112
Applicant's Mailing Address
Goduti Builders, Inc.
Consultant/Agent
Applicant Ph: (207) 749-3703 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

30 - 30 West Shore Dr, Portland, Maine
Address of Proposed Site
083B A002001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
3696 sq. Ft. 42728 sq. Ft.
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____
Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date: 03/25/2003

Approval Status: Approved Denied
Reviewer Jay Reynolds

Approval Expiration 05/07/2004 Extension to _____ Additional Sheets Attached
 Condition Compliance Jay Reynolds signature 05/07/2003 date

Performance Guarantee Required* Not Required
* No building permit may be issued until a performance guarantee has been submitted as indicated below
 Performance Guarantee Accepted _____ date _____ amount _____ expiration date
 Inspection Fee Paid _____ date _____ amount _____
 Building Permit Issued _____ date _____
 Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
 Temporary Certificate of Occupancy _____ date Conditions (See Attached) _____ expiration date
 Final Inspection _____ date _____ signature _____
 Certificate Of Occupancy _____ date _____
 Performance Guarantee Released _____ date _____ signature _____
 Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2003-0054

Application I. D. Number

03/21/2003

Application Date

Diamond Cove, Lot #2

Project Name/Description

Neal Alexandra K

Applicant

1515 Pydra St Ste 1380, New Orleans , LA 70112

Applicant's Mailing Address

Goduti Builders, Inc.

Consultant/Agent

Applicant Ph: (207) 749-3703

Agent Fax:

Applicant or Agent Daytime Telephone, Fax

30 - 30 West Shore Dr, Portland, Maine

Address of Proposed Site

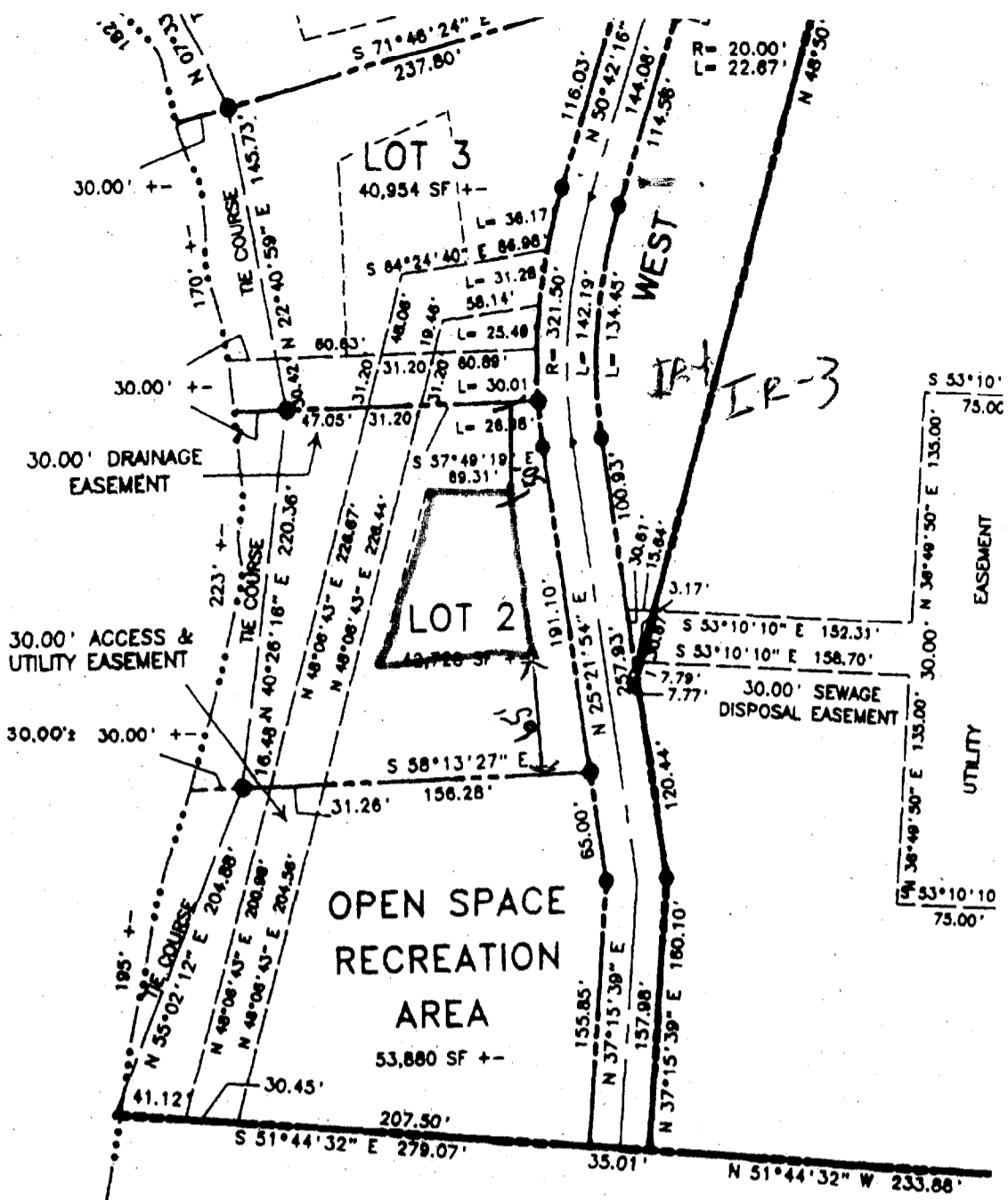
063B A002001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 PRIOR TO SOIL DISTURBANCE, THE APPLICANT SHALL INSTALL THE APPROPRIATE EROSION CONTROL MEASURES.
- 2 The landscaping as shown on the approved site plan must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #30 WEST SHORE DRIVE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 7 All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).

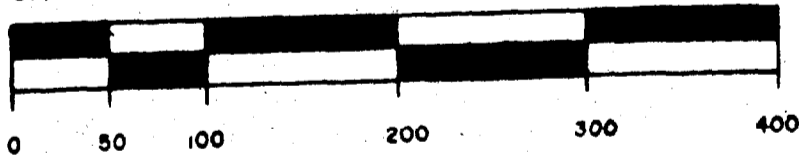
ATLANTIC



5/8/03 - envelope changed. Approved by Lee H. - New my LAR being recorded

GRAPHIC SCALE

1"=100'



**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2003-0054

Application I. D. Number

3/21/2003

Application Date

Neal Alexandra K

Applicant

1515 Pydra St Ste 1360, New Orleans , LA 70112

Applicant's Mailing Address

Goduti Builders, Inc.

Consultant/Agent

Applicant Ph: (207) 749-3703 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Diamond Cove, Lot #2

Project Name/Description

30 - 30 West Shore Dr, Portland, Maine

Address of Proposed Site

083B A002001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

3698 sq. Ft.

42728 sq. Ft.

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 3/25/2003

Building Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance

signature

date

Performance Guarantee

- Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |



CITY OF PORTLAND, MAINE

Department of Building Inspections

3/21 2003

Received from Alexandra Neal

Location of Work 30 West Shore Dr.
Diamond Cove, Gr. & Island

Cost of Construction \$ 600,000
Permit Fee \$ 4,223 ^{#300 siteplan} _{Bldg. permit}

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)
Other Col O: \$75.00

CBL: 083-BA-002

Check #: 118 ^{1002 \$674.00} ~~#3926.00~~ Total Collected \$ 4598.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

03-0219

All Purpose Building Permit Application

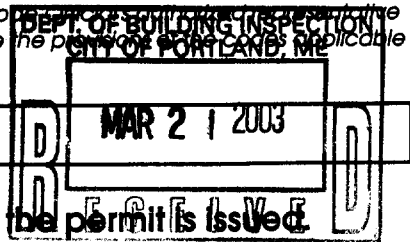
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>30 West Shore Dr., Diamond Cove, Gr. Diamond Island</u>		
Total Square Footage of Proposed Structure <u>4300⁷-</u>	Square Footage of Lot <u>42,748</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>083</u> Block# <u>BA</u> Lot# <u>002</u>	Owner: <u>Alex and Byron Neal</u>	Telephone: <u>766-4499</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Goduti Building Co. 9 Deering St. Portland, ME 04101</u>	Cost Of Work: \$ <u>600,000</u> Fee: \$ <u>423.00 Bldg 300.00 Site 75.00 CofD</u>
Current use: <u>vacant land</u> <u>4598</u>		
If the location is currently vacant, what was prior use: <u>naval hospital - demolished</u>		
Approximately how long has it been vacant: <u>15 years</u>		
Proposed use: <u>New Residence</u>		
Project description: <u>build 4300 sq Single family residence</u>		
Contractor's name, address & telephone: <u>Goduti Building Co. Inc</u>		
Who should we contact when the permit is ready: <u>James Goduti 776-3768</u>		
Mailing address: <u>9 Deering St. Portland ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>776-3768</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Contractor shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>MAR 21 2003</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

SHORT FORM WARRANTY DEED

MAINE REAL ESTATE TAX PAID

Robert Levine and Vilean Taggersell of 2 Hemlock Lane, Falmouth, ME 04105, FOR CONSIDERATION PAID, grant to Alexandra K. Neal of 1515 Pydra Street, Suite 1360, New Orleans, LA 70112, with WARRANTY COVENANTS, the following described real property located on Great Diamond Island, in the City of Portland, County of Cumberland and State of Maine:

A certain lot or parcel of land, with any improvements thereon, situated on Great Diamond Island, in the City of Portland, County of Cumberland and State of Maine, and being Lot No. 2 as shown on a plan entitled "Amended Recording Plat, Diamond Cove Phase II, Great Diamond Island, Portland, Maine" dated July 9, 1991, and recorded in the Cumberland County Registry of Deeds in Plan Book 191, Pages 143 through 145 (the "Plan") to which Plan and the record thereof, reference can be made for a more particular description of the within conveyed premises.

The above-described premises are conveyed together with and subject to the covenants, conditions, restrictions, rights, easements, charges, liens and other matters set forth or referred to in an Amended and Restated General Declaration of Covenants and Restrictions dated December 23, 1993 and recorded in said Registry of Deeds in Book 11277, Page 322, including Exhibit A thereto (the "Declaration"). The above-described premises are further conveyed subject to all other matters of record.

The following restrictive covenant shall apply to, and be binding upon the within described Lot 2, and shall further be a covenant imposed upon all subsequent conveyances of single-family house lots on said plan entitled "Amended Recording Plat, Diamond Cove Phase II, Great Diamond Island, Portland, Maine" dated July 9, 1991, and recorded in the Cumberland County Registry of Deeds in Plan Book 191, Pages 143 through 145 (the "Plan"):

All residences erected on said lot shall contain at least 1,400 square feet of living area as defined in said Amended and Restated General Declaration of Covenants and Restrictions.

The within covenant is imposed for the mutual benefit of McKinley Partners Limited Partnership and the Grantees herein and shall be a continuing covenant running with the land, enforceable by either McKinley Partners Limited Partnership and the Grantees herein, their heirs, successors and assigns, or by other owners of lots subject to the same covenant and located on the Plan.

Also hereby conveying to the within Grantees, all of Grantor's right, title and interest in and to the adjacent intertidal zone, defined as that area lying between the sidelines of the above-described premises extending seaward to mean low water mark; said inter-tidal area being subject, however, to the use Restrictions appearing in Articles 4 and 5 of the Declaration.

The above-described premises are further conveyed subject to all other matters of record.

Particular reference is also made to the terms and conditions of State of Maine Department of Environmental Protection Orders dated December 10, 1986 and recorded in said Registry of Deeds in Book 7585, Page 112, dated December 9, 1987 and recorded in said Registry of Deeds in book

8848, Page 314, dated May 10, 1989 and recorded in said Registry of Deeds in Book 8722, Page 151, dated July 5, 1989 and recorded in said Registry of Deeds in Book 8833, Page 12, re-recorded in said Registry of Deeds in Book 8902, Page 118, dated October 12, 1989 and recorded in said Registry of Deeds in Book 8964, Page 155, dated February 8, 1990 and recorded in said Registry of Deeds in Book 9109, Page 292 and dated June 25, 1991 and recorded in said Registry of Deeds in Book 9641, Page 287.

The premises are conveyed together with and subject to any and all easements or appurtenances of record, insofar as the same are in force and applicable.

This conveyance is made subject to unpaid real estate taxes for the current tax year, if any, which the Grantees herein, by acceptance of this deed, assume and agree to pay.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantors herein by deed of Michael J. Strong, dated September 12, 1997 and recorded in the Cumberland County Registry of Deeds in Book 13318, Page 202.

WITNESS our hands and seals this 3rd day of October, 2002.

WITNESS

	<i>Robert Levine</i>
	Robert Levine
	<i>Vilean Taggersell</i>
	Vilean Taggersell

STATE OF MAINE
Cumberland, ss.

October 3, 2002

Personally appeared the above named Robert Levine and Vilean Taggersell and acknowledged the foregoing instrument to be their free act and deed.

Before me,

Christine E. Tanguay

Christine E. Tanguay, Notary Public
My Commission Expires: 10/4/2005

S:\Currier\real\client\N\Neal105252\SFWD.indiv.wpd

Received
Recorded Register of Deeds
Oct 04, 2002 01:24:31P
Cumberland County
John B. O'Brien

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

20030054

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: Lot 2, Diamond Cove, Great Diamond Island, Portland, ME			
Total Square Footage of Proposed Structure 3698 S.F.		Square Footage of Lot 42728	
Tax Assessor's Chart, Block & Lot Number Chart# 83B Block# A Lot# 2		Owner: Byron & Alex Neal	Telephone#: 207-749-3703
Lessee/Buyer's Name (If Applicable) N/A		Owner's/Purchaser/Lessee Address: c/o 30 West Shore Drive Great Diamond Island, Portland, ME 04109	Cost Of Work: \$ 600,000 Fee: \$
Proposed Project Description:(Please be as specific as possible) Construction of a single-family house on a residential house lot within an approved subdivision.			
Contractor's Name, Address & Telephone Jamie Goduti, Goduti Building Co., 2 Park Circle, Cape Elizabeth, ME 04107			Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Chris [Signature]</i>	Date: 3/12/08
--	---------------

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.



Northeast Civil Solutions

INCORPORATED

March 12, 2003

153 U.S. Route 1
Scarborough
Maine 04074

Jay Reynolds, Planner
City of Portland
389 Congress Street
Portland, ME 04101

RE: Minor/Minor Site Plan Review: Alex and Byron Neal, Great Diamond Island

Dear Jay:

tel
207.883.1000
800.882.2227

fax
207.883.1001

On behalf of Alex and Byron Neal, we are pleased to submit the attached information for your review. Lot 2 on West Shore Drive (Great Diamond Island) is currently vacant, with the structure as depicted on the Sketch Plan prepared for construction as soon as possible. Will Pogar of Calendar Islands Architects will be presenting a full set of building plans to you shortly. As indicated on the application, the builder (Goduti Building Company) estimates a cost of \$600,000 for construction completion.


Attached please find an application for Minor/Minor Site Plan Review; a Sketch Plan showing survey data, existing and proposed grading, zoning district and setback lines, and existing and proposed utility locations; and elevations data. Given the nature of the house on Great Diamond Island, no driveway is proposed as no vehicle will be used.

NCS has contacted the Maine Department of Environmental Protection and no permit is required based on the design and location as submitted. Stormwater will sheet flow across the site for maximum absorption on site, then into the Atlantic Ocean (Casco Bay). Sewerage will be private in the area as indicated, and an HHE-200 Report is also attached. Water is public as shown.

Also attached is a landscaping plan for your review which is intended to depict site buffering. The site is now mostly cleared, having previously been the site of an old military building. The impervious surface area created by this proposed house is considerably less than the area occupied by the old (now demolished) building, which in turn enhances the lot both aesthetically and from the perspective of creating a greater area for stormwater mitigation on site.

If you have any questions, please contact Isaiah Plante (Project Manager) or me at any time. Thank you.

Sincerely,
Northeast Civil Solutions, Inc.


Jim Fisher
President

Enclosure

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: Lot 2, Diamond Cove, Great Diamond Island, Portland, ME			
Total Square Footage of Proposed Structure 3698 S.F.		Square Footage of Lot 42728	
Tax Assessor's Chart, Block & Lot Number Chart# 83B Block# A Lot# 2		Owner: Byron & Alex Neal	Telephone#: 207-749-3703
Lessee/Buyer's Name (If Applicable) N/A		Owner's/Purchaser/Lessee Address: c/o 30 West Shore Drive Great Diamond Island, Portland, ME 04107	Cost Of Work: \$ 600,000 Fee: \$
Proposed Project Description:(Please be as specific as possible) Construction of a single-family house on a residential house lot within an approved subdivision.			
Contractor's Name, Address & Telephone Jamie Goduti, Goduti Building Co., 2 Park Circle, Cape Elizabeth, ME 04107			Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>John Taylor for Byron & Alex Neal</i>	Date: 3/12/05
--	---------------

Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
Division of Health Engineering, Station 10 SHS
(207) 287-5672 FAX (207) 287-4172

PROPERTY LOCATION		>> Caution: Permit Required - Attach in Space Below <<	
City, Town, or Plantation	PORTLAND (GREAT DIAMOND ISLAND)	PORTLAND Date Permit Issued: <u>5/22/03</u> <i>Jeannie Bourke</i> Local Plumbing Inspector Signature	8456 TOWN COPY \$ <u>110.00</u> <input type="checkbox"/> Double Fee Charged FEE L.P.I. # <u>0732</u> <u>2003-6005</u>
Street or Road	WEST SHORE DRIVE		
Subdivision, Lot #	LOT 2, DIAMOND COVE		
OWNER/APPLICANT INFORMATION			
Name (last, first, MI)	NEAL BYRON & ALEX		
Mailing Address of <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Applicant	NORTHEAST CIVIL SOLUTIONS 153 U.S. ROUTE 1 SCARBOROUGH, ME 04074		
Daytime Tel. #	883-1000		
Owner or Applicant Statement		Caution: Inspections Required	
I state and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
Signature of Owner/Applicant _____ Date _____		Local Plumbing Inspector Signature _____ (1st) Date Approved _____ Local Plumbing Inspector Signature _____ (2nd) Date Approved _____	

PERMIT INFORMATION

TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENTS
1. <input checked="" type="checkbox"/> First Time System 2. <input type="checkbox"/> Replacement System Type Replaced: _____ Year Installed: _____ 3. <input type="checkbox"/> Expanded System a. <input type="checkbox"/> Minor Expansion b. <input type="checkbox"/> Major Expansion 4. <input type="checkbox"/> Experimental System 5. <input type="checkbox"/> Seasonal Conversion	1. <input checked="" type="checkbox"/> No Rule Variance 2. <input type="checkbox"/> First Time System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 3. <input type="checkbox"/> Replacement System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 4. <input type="checkbox"/> Minimum Lot Size Variance 5. <input type="checkbox"/> Seasonal Conversion Approval	1. <input checked="" type="checkbox"/> Complete Non Engineered System 2. <input type="checkbox"/> Primitive System (sewer & all toilet) 3. <input type="checkbox"/> Alternative Toilet, specify: _____ 4. <input type="checkbox"/> Non Engineered Treatment Tank (only) 5. <input type="checkbox"/> Holding Tank _____ Gallons 6. <input type="checkbox"/> Non Engineered Disposal Field (only) 7. <input type="checkbox"/> Separated Laundry System 8. <input type="checkbox"/> Complete Engineered System 2000 gpd 9. <input type="checkbox"/> Engineered Treatment Tank (only) 10. <input type="checkbox"/> Engineered Disposal Field (only) 11. <input type="checkbox"/> Dis. treatment, specify: _____ 12. <input type="checkbox"/> Miscellaneous components: _____
SIZE OF PROPERTY 42,728 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> acres SHORELAND ZONING <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	DISPOSAL SYSTEM TO SERVE 1. <input checked="" type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: <u>4</u> 2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ 3. <input type="checkbox"/> Other: _____ SPECIFY _____ Current Use <input type="checkbox"/> Seasonal <input type="checkbox"/> Year Round <input checked="" type="checkbox"/> Undeveloped	TYPE OF WATER SUPPLY 1. <input type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input type="checkbox"/> Private 4. <input checked="" type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
1. <input checked="" type="checkbox"/> Concrete a. <input checked="" type="checkbox"/> Regular b. <input type="checkbox"/> Low Profile 2. <input type="checkbox"/> Plastic 3. <input type="checkbox"/> Other: _____ CAPACITY: <u>1000</u> gallons	1. <input type="checkbox"/> Stone Bed 2. <input type="checkbox"/> Stone Trench 3. <input checked="" type="checkbox"/> Proprietary Device a. <input type="checkbox"/> Cluster array c. <input checked="" type="checkbox"/> Linear b. <input checked="" type="checkbox"/> Regular d. <input type="checkbox"/> H-20 loaded 4. <input type="checkbox"/> Other: _____ SIZE: <u>1296</u> <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft. 27 ELJEN IN-DRAIN UNITS	1. <input checked="" type="checkbox"/> No 3. <input type="checkbox"/> Maybe 2. <input type="checkbox"/> Yes >> Specify one below: a. <input type="checkbox"/> Multi-compartment tank b. <input type="checkbox"/> _____ tanks in series c. <input type="checkbox"/> Increase in tank capacity d. <input type="checkbox"/> Filter on tank outlet	360 gallons per day BASED ON: 1. <input checked="" type="checkbox"/> Table 501.1 (dwelling unit) 2. <input type="checkbox"/> Table 501.2 (other facilities) FLOW = ALL OR ADJUST for other facilities: 4 BEDROOMS AT 90 GALLONS PER DAY EACH = 360 GPD
SOIL DATA & DESIGN CLASS PROFILE: <u>3</u> / CONDITION: <u>C</u> / DESIGN: <u>1</u> All Observation Holes: <u>TP 1 & 2</u> Depth: <u>24</u> " OF MOST FAVORABLE SOIL FACTOR	DISPOSAL FIELD SIZING 1. <input type="checkbox"/> Small - 2.0 sq.ft./gpd 2. <input type="checkbox"/> Medium - 2.6 sq.ft./gpd 3. <input checked="" type="checkbox"/> Medium Large - 3.3 sq.ft./gpd 4. <input type="checkbox"/> Large - 4.1 sq.ft./gpd 5. <input type="checkbox"/> Extra Large - 5.0 sq.ft./gpd	PUMPING 1. <input type="checkbox"/> Not required 2. <input type="checkbox"/> May be required 3. <input checked="" type="checkbox"/> Required >> Specify only for engineered or experimental systems TYPE: <u>75-100</u> Gallons	3. <input type="checkbox"/> Section 503.0 (under loadings) ALLOWED WATER METER DATA

SITE EVALUATOR STATEMENT

I certify that on 1/13/03 (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules (10-644-CMR 240)

Albert Frick
 Site Evaluator Signature

 KS
 SE

1/21/2003
 Date

ALBERT FRICK
(207) 889-5563
ALBERTFRICK@WORLDNET.ATT.NET

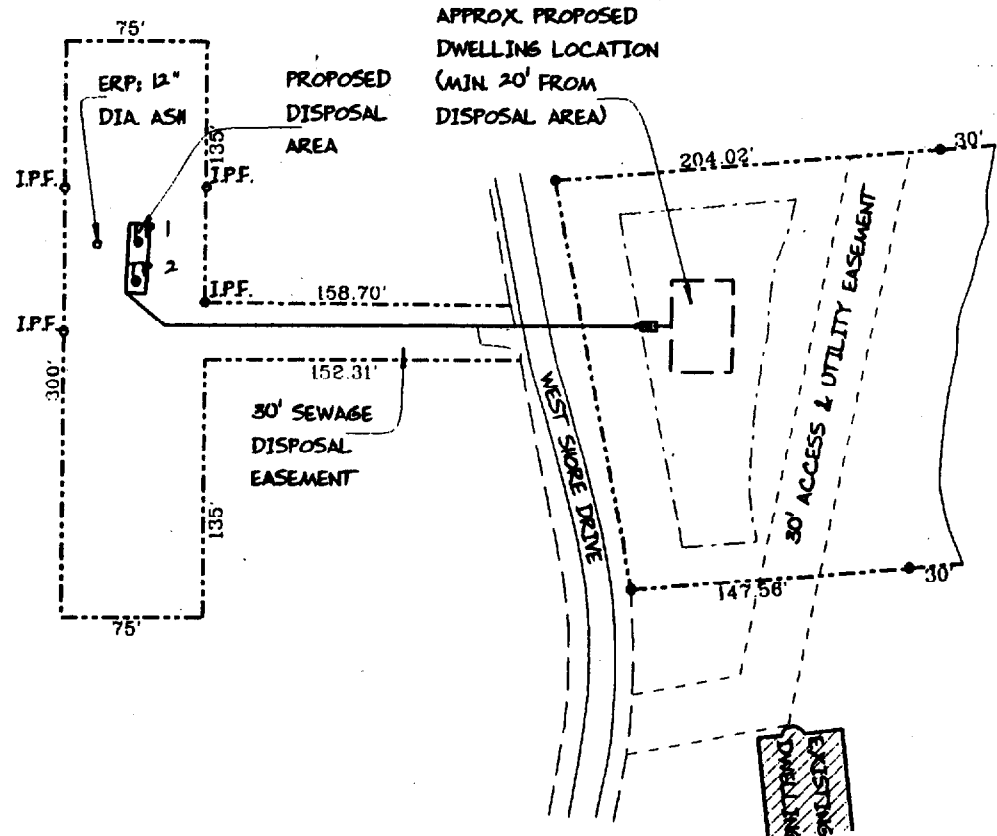
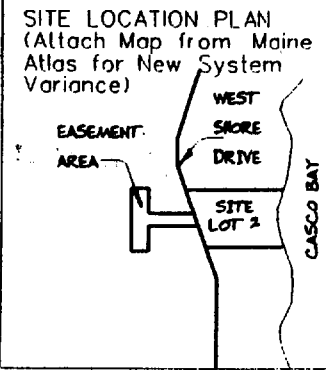
Site Evaluator Name Printed Telephone Number E-mail Address
 ALBERT FRICK ASSOCIATES - 95A COUNTY ROAD GORHAM, MAINE 04098 - (207) 830-5563
 Note: Changes to or deviations from the design should be confirmed with the Site Evaluator

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
 Division of Health Engineering, Station 10 SHS
 (207) 287-5672 FAX (207) 287-4172

Town, City, Plantation: **PORTLAND (GREAT DIAMOND ISLAND)** Street, Road Subdivision: **WEST SHORE DRIVE** Owner's Name: **BYRON & ALEX NEAL (NCS)**

SITE PLAN Scale 1" = 100 Ft. or as shown



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 1 Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0	SANDY LOAM		DARK BROWN	
10	COBBLY SANDY LOAM	FRIABLE	DARK YELLOWISH BROWN	
20				
30	COBBLY LOAMY SAND	FIRM	LIGHT BROWN	FEW FAINT
40	LIMIT OF EXCAVATION			
50				

Soil Classification Profile: 3	Slope: C	Limiting Factor: 24"	<input type="checkbox"/> Ground Water
			<input type="checkbox"/> Restrictive Layer
			<input type="checkbox"/> Bedrock
			<input type="checkbox"/> Pit Depth

Observation Hole TP 2 Test Pit Boring
 " Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0	SANDY LOAM		DARK BROWN	
10		FRIABLE	DARK YELLOWISH BROWN	
20				
30	GRAVELLY SANDY LOAM	FIRM	LIGHT BROWN	FEW FAINT
40	LIMIT OF EXCAVATION			
50				

Soil Classification Profile: 3	Slope: C	Limiting Factor: 24"	<input type="checkbox"/> Ground Water
			<input type="checkbox"/> Restrictive Layer
			<input type="checkbox"/> Bedrock
			<input type="checkbox"/> Pit Depth

Albert Frick
 Site Evaluator Signature

163
 SE

1/21/2003
 Date

Page 2 of 3
 HHE-200 Rev. 10/00

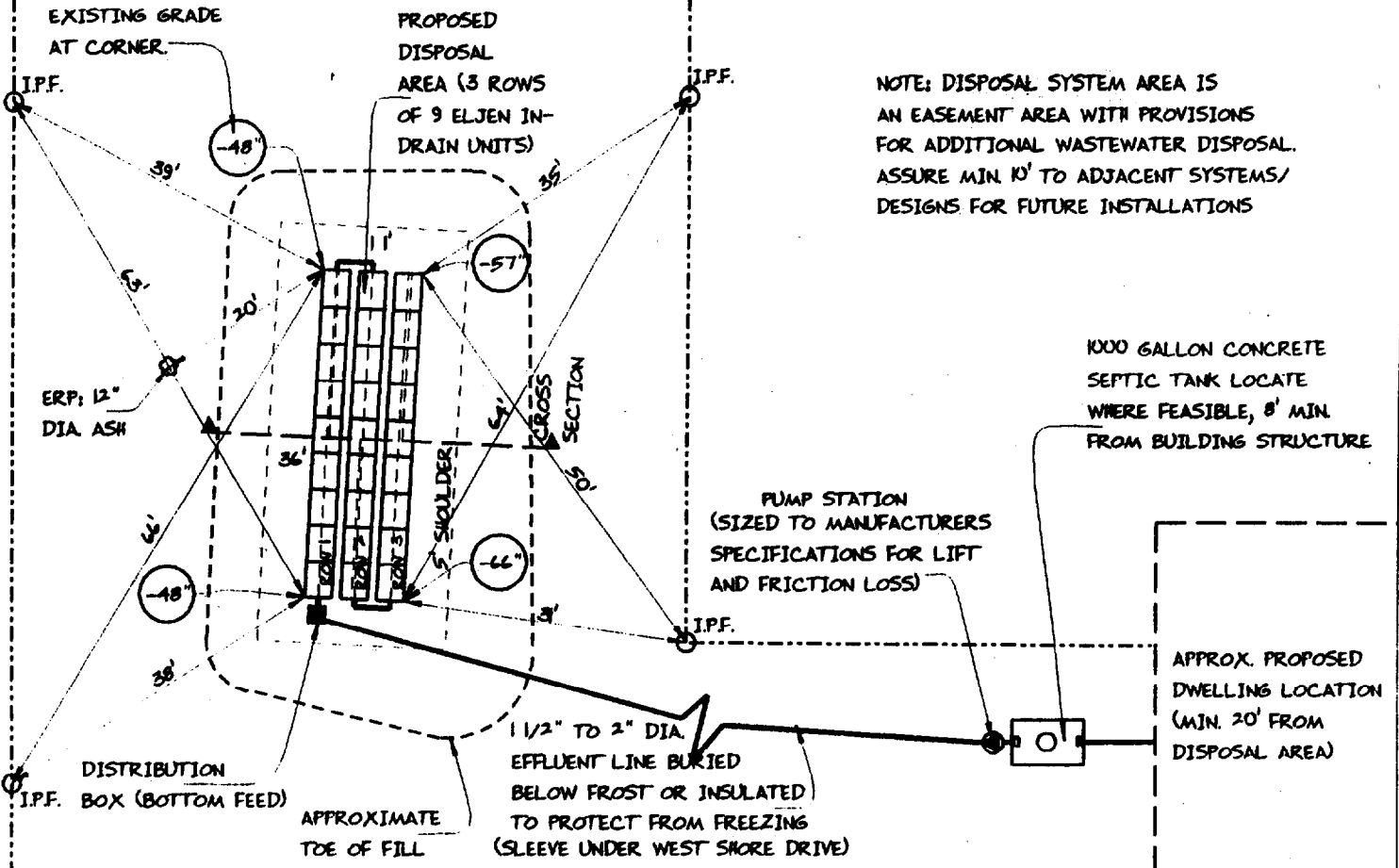
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Maine Department of Human Services
 Division of Health Engineering, Station 10 SHS
 (207) 287-5672 FAX (207) 287-4172

Town, City, Plantation: **PORTLAND (GREAT DIAMOND ISLAND)** Street, Road, Subdivision: **WEST SHORE DRIVE** Owner's Name: **BYRON & ALEX NEAL**

SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20' FT



FILL REQUIREMENTS

Depth of Fill (Upslope) : 17"
 Depth of Fill (Downslope) : 20" - 29"
 DEPTHS AT CROSS-SECTION (shown below)

CONSTRUCTION ELEVATIONS

Finished Grade Elevation
 Top of Proprietary Device
 Bottom of Disposal Area

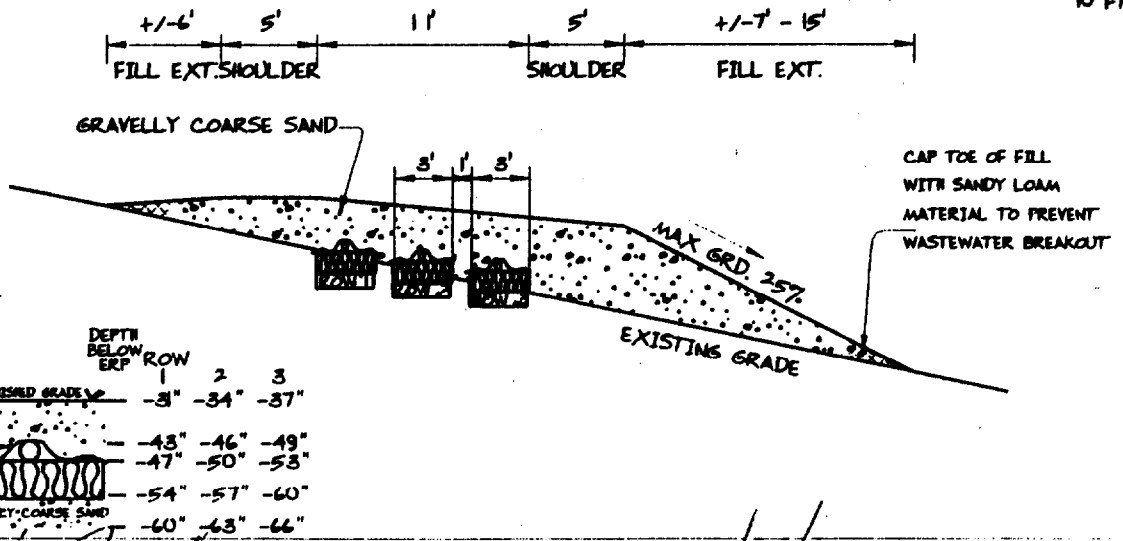
SEE
 DETAIL
 BELOW

ELEVATION REFERENCE POINT

Location & Description NAIL 2.5" ABOVE
 BASE OF 12" DIA. ASH
 Reference Elevation is: 0.0' or -----

DISPOSAL AREA CROSS SECTION

SCALE:
 VERTICAL: 1" = 5 FT
 HORIZONTAL: 1" = 10 FT



Albert Frick
 Site Evaluator Signature

163
 SE

1/21/2003
 Date

Page 3 of 3
 FILE: 2001-Pe-10-11



Albert Frick Associates, Inc.

Soil Scientists & Site Evaluators

95A County Road - Gorham, Maine 01038

(207) 839-5563

PORTLAND LOT#2
GREAT DIAMOND ISLAND DIAMOND COVE NEAL (FOR MCS/GODUTI)
TOWN LOCATION APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations.

Prior to the commencement of construction/installation, the local plumbing inspector shall inform the owner/applicant and Albert Frick Associates, Inc. of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as, utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter should be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment) and controlled or hazardous substances shall not be disposed of in this system.

ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

PORTLAND LOT #2
GREAT DIAMOND ISLAND DIAMOND COVE NEAL (for NCS/60DUTU)
TOWN LOCATION APPLICANT'S NAME

- 6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than once every three years.
- 7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu. ft.) x 7.48 cu. ft. (gallons per cu. ft.) ÷ # of days in period).
- 8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: **BEFORE CONSTRUCTION/INSTALLATION BEGINS**, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirements. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station. An alarm device warning of a pump failure shall be installed. Also, when pumping is required to a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact thoroughly before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off the chambers. Divert the surface water away from the disposal area by ditching or shallow swales.
- 11) Unless noted otherwise, fill shall be gravelly coarse sand which contains no more than 5% fines (silt and clay).
- 12) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion.



Albert Erick Associates, Inc.
Soil Scientists & Site Evaluators
254 County Road, Carham, Maine 04915
(207) 833-2200

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 030219

MAY 22 2003

This is to certify that Neal Alexandra K /Goduti Building Co.

has permission to Construct "New" Single Family Home, **CITY OF PORTLAND**

AT 30 West Shore Dr Great Island 083B A002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be given and when permission is procured before this building or part thereof is used or service is rendered. INSURANCE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Jamie Bouke 5/22/03
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Residence For Alex and Byron Neal

30 West Shore Drive, Great Diamond Island, Maine



102 Pop Road Scarborough, ME 04074
Calendar Islands Architecture
Phone (207) 885-8133 Fax (207) 885-5533

REVISIONS	
NO.	DATE DESCRIPTION

NEAL RESIDENCE
GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET
TITLE SHEET

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 1 2 2003
RECEIVED

DATE	9-15-2000
NUMBER	
DRAWN BY	BB
CHECKED BY	WP

T-1

© COPYRIGHT
REPRODUCTION OR REUSE OF THIS
DOCUMENT WITHOUT WRITTEN PERMISSION
OF CALENDAR ISLANDS ARCHITECTURE
IS STRICTLY PROHIBITED

INSULATION

Vaulted Areas.....R-30
 Flat Ceilings.....R-38
 Exterior Walls: 2x4 Studs.....R-11
 2x6 Studs.....R-19
 Floors over un-heated spaces.....R-19
 Basement Walls.....R-27
 Slab Floors-on-grade.....R-10 Rigid Insulation
 Ducts in un-heated spaces.....R-5
 Cantilevered Floor 4 floors over garages.....R-30
 Insulation to be installed with vapor barrier on interior face. It may be necessary to increase the depth of framing members greater than shown on the drawings to accommodate thicker insulation materials as may be required by local codes or conventions. Caulking or gasketing is to be applied at all exterior sills and plates and all exterior envelope penetrations (between window or door frames and rough

NAILING SCHEDULE

CONNECTION: NAILING:
 Joist to sill or beam.....(3) 8d toe nailed
 Bridging to joists.....(2) 8d toe nailed ea. end
 2" T&G Decking/sub-floor to beams.....(2) 8d toe nailed thru tongue
 Rim joist to joist.....(3) 16d face nailed
 Sole plate to joist or blocking.....(1) 16d at 16" o.c. face nailed
 Sole plate of top plate to studs.....(2) 16d face nailed
 Double top plate.....(1) 16d at 16" o.c. face nailed
 Double studs.....(1) 16d at 16" o.c. face nailed
 Corner studs.....(1) 16d at 16" o.c. face nailed
 Top plates at long intersections.....(2) 16d face nailed
 Headers to top plates.....(1) 16d at 16" o.c. face nailed
 Ceiling joist to plates.....(3) 8d toe nailed
 Joist lays over partitions.....(3) 16d face nailed
 Ceiling joist to rafters.....(3) 16d face nailed
 Rafters to top plates.....(3) 8d toe nailed with "Simpson" H-25 connectors-Verify
 Plywood sub-floor to joists.....(1) 8d common at 6" o.c. at edges and 10" o.c. in field
 Plywood wall and roof sheathing.....(1) 8d common at 6" o.c. at edges and 12" o.c. in field

MISCELLANEOUS NOTES

- Contractor shall verify all conditions and dimensions prior to beginning work and shall notify owner of any discrepancy.
- Contractor shall be responsible for any variations or deviations from the plans without written confirmation from the designer.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently connected together.
- Plumbing diagrams or drawings shall be provided by the plumbing contractor.
- Heating/Cooling duct diagrams shall be provided by the heating/cooling contractor.
- Heat loss calculations shall be provided by heating/cooling contractor or other professional as required by Building Official.
- Truss design, engineering and plans shall be provided by truss manufacturer.
- Each bedroom shall have at least one egress sized window with a sill height of no more than 44" above floor. See code for required sq.ft. openings at egress windows.
- All fireplace openings shall be provided with tempered glass doors.
- Smoke detectors shall be hard wired to house current.
- Tub and tub/shower enclosures to have 1/2" water resistant gypsum board and a hard, moisture resistant surface up to 6'-8" above floor (min).
- All exhaust fans, range hoods and dryers shall vent to the outside through sheet metal ducts. Caulk around all penetrations through exterior envelopes.
- All windows, patio doors and doors with glass shall be double glazed, insulating units with wood or thermally broken aluminum frames and cashes.
- All glass within 12" of a door and/or within 18" of the floor walkway shall have tempered glazing. Contractor shall consult code for additional notations and details on hazardous locations of glass and glazing.
- Hole sizes and locations in solid sawn lumber framing shall be as per applicable code allowances. Holes in I series joists or laminated beams shall be per mfr's scheduled requirements.
- Provide bearing support for all columns and beams per code requirements re distances.

NOTES

- All frame walls shall have stud framing placed at 16" o.c. except where otherwise noted.
- Top plates shall be doubled on all walls except where otherwise noted.
- Cripple studs under all headers shall be continuous to sole plate.
- Double joists under all walls parallel to joists except where otherwise noted.
- Block all stud walls as required for sheathing.
- Solid blocking between all joists and rafters at supporting bearing walls and beams except at rim joists.
- Double rim joists at all walls parallel to joists.
- Beams, girders and joists supporting bearing walls or concentrated loads shall not be notched.
- All rafters shall be notched to provide full bearing at supports.
- All joists shall have a minimum of 2" bearing at supports.
- Lap all joists 6" minimum at all interior bearing supports.
- Mud sills and ledger boards on concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Cover surfaces behind siding, shingles and where indicated on drawings with DuPont "Tyvek" building wrap, or an approved equivalent product.
- Provide double framing at all roof and floor diaphragm penetrations unless otherwise noted on plans.
- All wood in permanent contact with concrete or soil shall be pressure treated with water-born preservative.
- All metal connectors labeled "Simpson" shall be manufactured by the Simpson Strong-Tie Co., 1450 Doolittle Dr., San Leandro, CA 94577. Or equal substitutions require that connector capacities meet or exceed specified connectors.
- Exterior doors to be foam-core insulated doors unless otherwise noted.
- All exterior wall and walls common to unheated spaces shall be 2x6 studs at 16" o.c. with R-19 insulation unless otherwise noted.
- Provide fr. fire wall and ceilings between garage and living areas, and under all stairs where storage space is available.
- All doors between garage and living areas shall be fr. fire rated assemblies with 1-3/4" solid core wood doors or code approved equivalents and self-closing mechanisms.

LEGEND

LEGEND --- ELECTRICAL

S	SWITCH
S ₃	3-WAY SWITCH
S ₄	4-WAY SWITCH
SWP	SWITCH WEATHER PROOF
S _M	SWITCH/MONOPLEX OUTLET
S _{DM}	DIMMER SWITCH
S _T	SWITCH W/ TIMER
SWP	DUP. RECP. WEATHER PROOF
⊕	DUPLEX RECEPTACLE (lit wired)
⊕	QUADRIplex RECEPTACLE
⊕	DUPLEX RECEPTACLE
⊕	240 VOLT
⊕ _{LOW}	SPECIAL PURPOSE CONNECTION
⊕	DUPLEX FLOOR OUTLET
K	TELEPHONE
⊕	CABLE TV JACK
⊕	OVERHEAD FIXTURE
⊕	RECESSED FIXTURE
⊕	WALL FIXTURE
⊕	FAN/LIGHT COMB.
⊕	SMOKE DETECTOR
⊕	PORCELAIN FIXTURE
⊕	DISCONNECT SWITCH
⊕	CEILING FAN
⊕	THERMOSTAT
⊕	BELL/PUSH BUTTON
⊕	BELL

REINFORCING STEEL

- All reinforcing steel shall be deformed steel bars conforming to ASTM A615, GRADE 40.
 - All reinforcing steel shall be manufactured, detailed, fabricated and placed in accordance with ACI 308R and ACI 309.6.
 - Welded wire fabric shall conform to ASTM A106 in as long a length as practical. Welded wire fabric shall be lapped at least one grid width plus 2".
 - Reinforcement shall be bent cold and shall not be welded.
 - Splices:

Reinforcement in concrete masonry shall have lap length as follows, unless otherwise specified on drawings:		
BAR SIZE	IN CONCRETE	IN MASONRY
#3	1'-6"	2'-0"
#4	2'-0"	2'-6"
#5	2'-6"	3'-4"
- PLACEMENT**
- Reinforcement shall be accurately placed and supported by concrete, metal or otherwise approved chairs, spacers, or ties, and secured against displacement during concrete or grout placement.
 - Except where otherwise noted, reinforcement shall have concrete cover as follows:
 - Concrete deposited against earth.....3"
 - Formed concrete against earth.....2"
 - Exterior faces of walls.....2"
 - Interior faces of walls.....3/4"
 - To top of slabs-on-grade.....3/4"

WOOD FRAMING

All solid sawn lumber shall be spruce/pine/fr installed as noted on the plans and connected as specified in the nailing schedule below. Lumber shall be as graded in accordance with current Northeast Lumber Manufacturers Association (NELMA) standard grading rules. Lumber grades for use to be:
 A. Post, beams & headers.....#
 B. Floor, ceiling joists & rafters.....#2 or better
 C. Sills, plates & blocking.....#3
 D. Studs....."SPF Stud" #2 or better
 E. 2" T&G sub-floor decking.....#3
 F. Wall and roof sheathing.....1/2" C-D Ext glue plywood (32/16)
 G. Sub-floor over joists.....3/4" C-D Ext glue plywood (32/16)
 H. Underlayment.....1/2" underlayment grade particleboard
 I. Glu-Laminated beams
 AITC, Industrial Grade with dry use adhesive (Use adhesive for exterior use).....FD - 2800psi
 E - 1800psi
 E - 1800psi
 J. Laminated veneer lumber.....FD - 2850psi
 E - 28 x 10 x 6 psi
 E - 2850psi
 Solid sawn lumber at visually exposed locations shall be clear grade, free of heart. All exterior and interior bearing wall openings shall have 4x12 DFL headers.

GENERAL NOTES:

These plans were designed to conform to the latest edition of the BOCA Code at the time plans were drawn. Constant changes in building codes, both locally and nationally, in addition to changes in environmental qualifications and local options for plumbing, heating/cooling and wiring makes conformity to all building restrictions impossible. Consequently, the use of these plans is subject to local code requirements and interpretations. It is the responsibility of the user to evaluate these plans for conformity to local requirements. Any additional design or drawing services required by local code are subject to the designer's standard fee schedule. The contractor shall verify all dimensions and conditions prior to beginning any work and notify owner of any discrepancies. Written dimensions shall take precedence over scaled dimensions. DO NOT SCALE ANY DRAWINGS. The designer does not guarantee the availability of any manufactured product suggested or specified in the plans or specifications. The builder is advised to verify the availability of all manufactured products before proceeding with construction, especially those items affecting rough opening dimensions or other dimensions on the plans. All manufactured materials, components, fasteners, assemblies, etc., shall be handled and installed in conformance with manufacturers' specifications and instructions. Where specific products are called for, generic equivalents which meet applicable standards and specifications may be used. In the event of a conflict between applicable codes and regulations and reference standards of these plans and specifications, the more stringent provisions shall govern. No variation required by a building official shall be binding on the designer. Specifications and drawings indicate finished structure. Builder shall be responsible for construction methods, procedures and conditions except as specifically indicated otherwise in contract documents.

DESIGN LOADS:

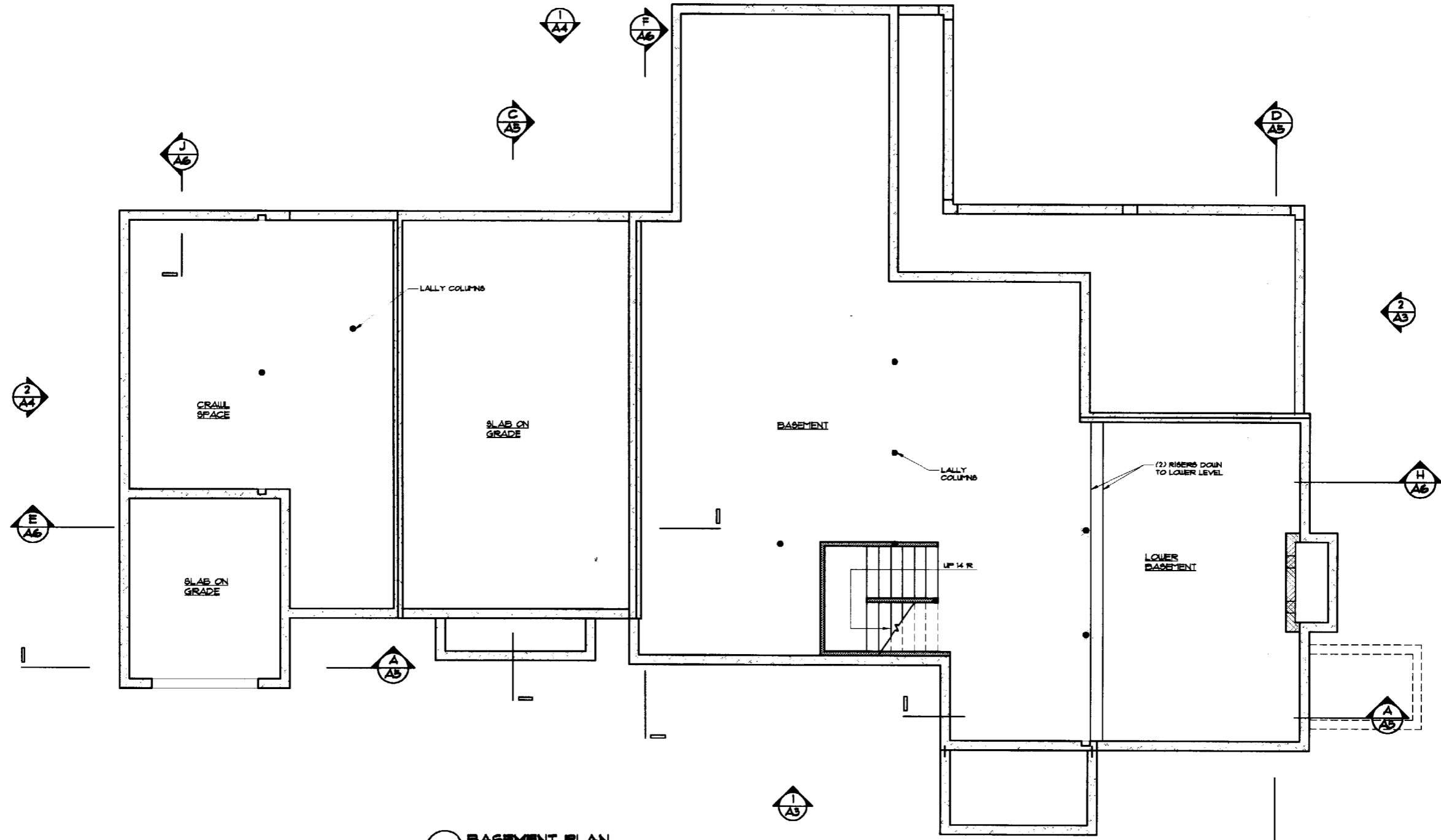
DEAD LOADS		LIVE LOADS	
Roof, with shakes/shingles.....15 psf	Floor.....40 psf	Stairs.....100 psf	
Roof, with clay/concrete tiles.....25 psf	Decks.....60 psf	Garage.....50 psf	
(see plan for material used)	Floor.....40 psf	Roof.....50 psf	

FOUNDATIONS:

- Footings shall bear on firm, undisturbed soil a minimum of 48" below the finished grade line and 24" below the line of the original grade for one and two story structures. In the event of marine clays or poor bearing soils, review by designer and structural engineer will be required.
- All concrete slabs shall develop a minimum compressive strength of 3000psi at 28 days.
- Concrete forms, shoring and pouring methods shall conform to current ACI standards.
- Backfill shall not be placed against basement retaining walls until:
 - Concrete or masonry grout has reached its 28 day strength and
 - Structural floor framing (including subfloor) required to stabilize are complete and fully anchored.
- Apply Standard Drywall Products, Inc. "Thorogseal", or equal, dampproofing on all exposed exterior faces of walls and footings below grade, and "Thorogglaze", or equal, dampproofing on all exposed surfaces of concrete walls above grade, including slabs not covered by finished floor materials. Note: high water tables may require other methods/materials.

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S-5	MISCELLANEOUS DETAILS
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1 BASEMENT PLAN
1/4" = 1'-0"

NO.	DATE	REVISIONS	DESCRIPTION

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GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET
BASEMENT PLAN

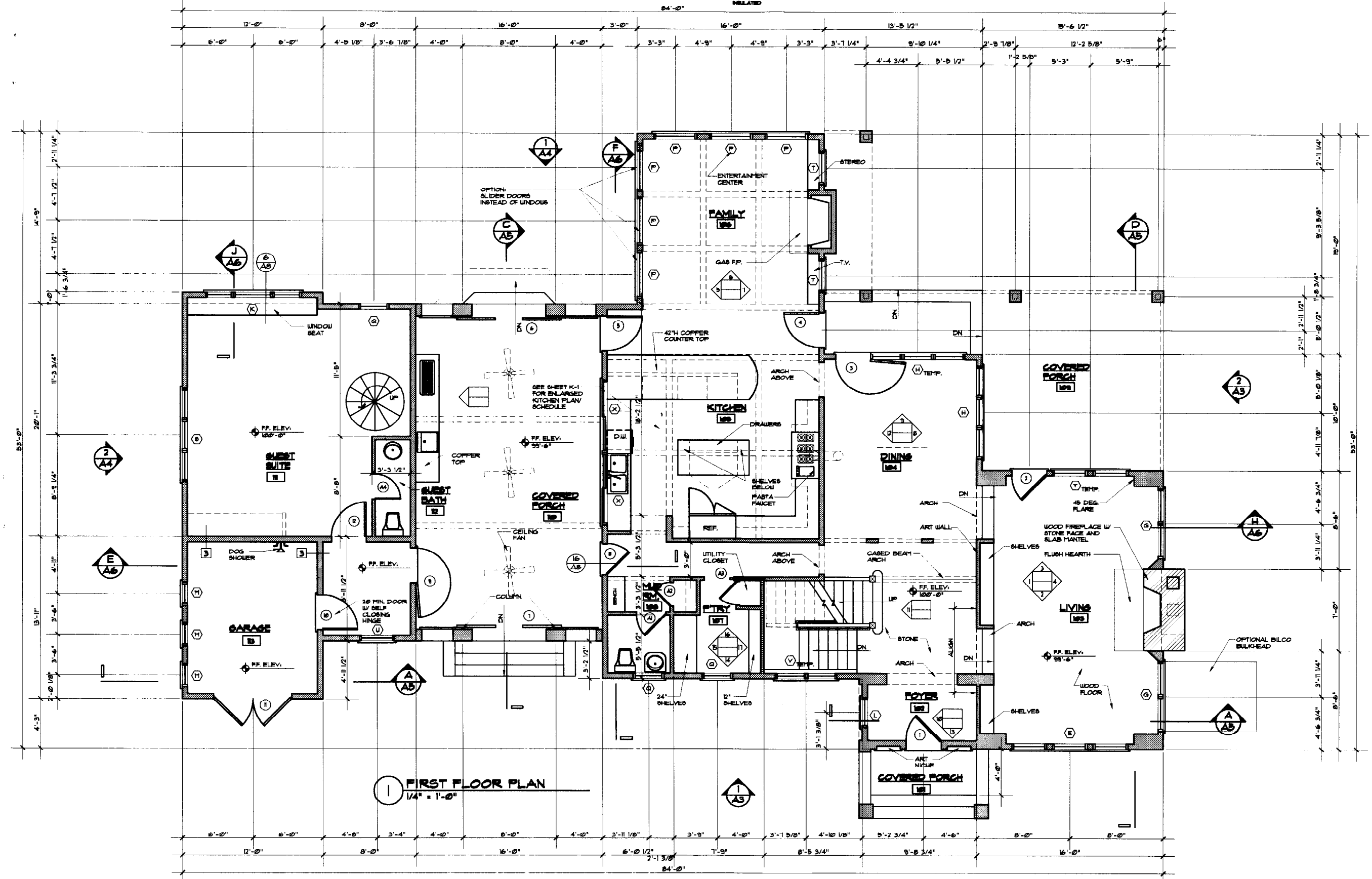
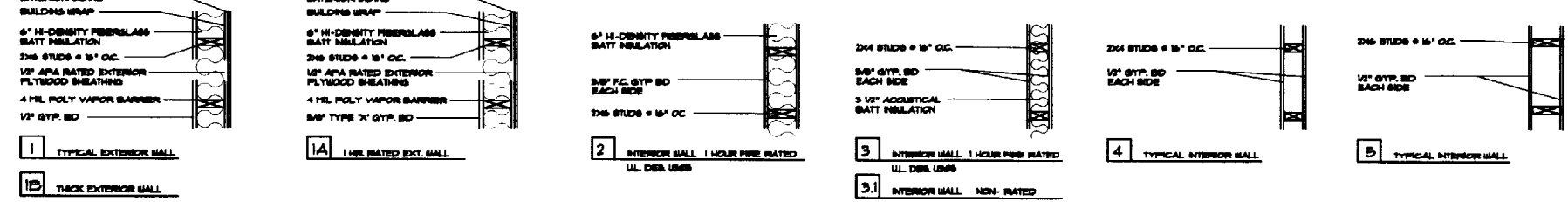
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NUMBER	
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CHECKED BY	WP

A-0

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187 Highland Street, Portland, ME 04101
Caldwell Islands Architecture
Phone (207) 888-8888 Fax (207) 888-8888

WALL TYPES



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 228 Appleton Street, Portland, ME 04101
 Phone: (207) 887-4228 Fax: (207) 887-4228

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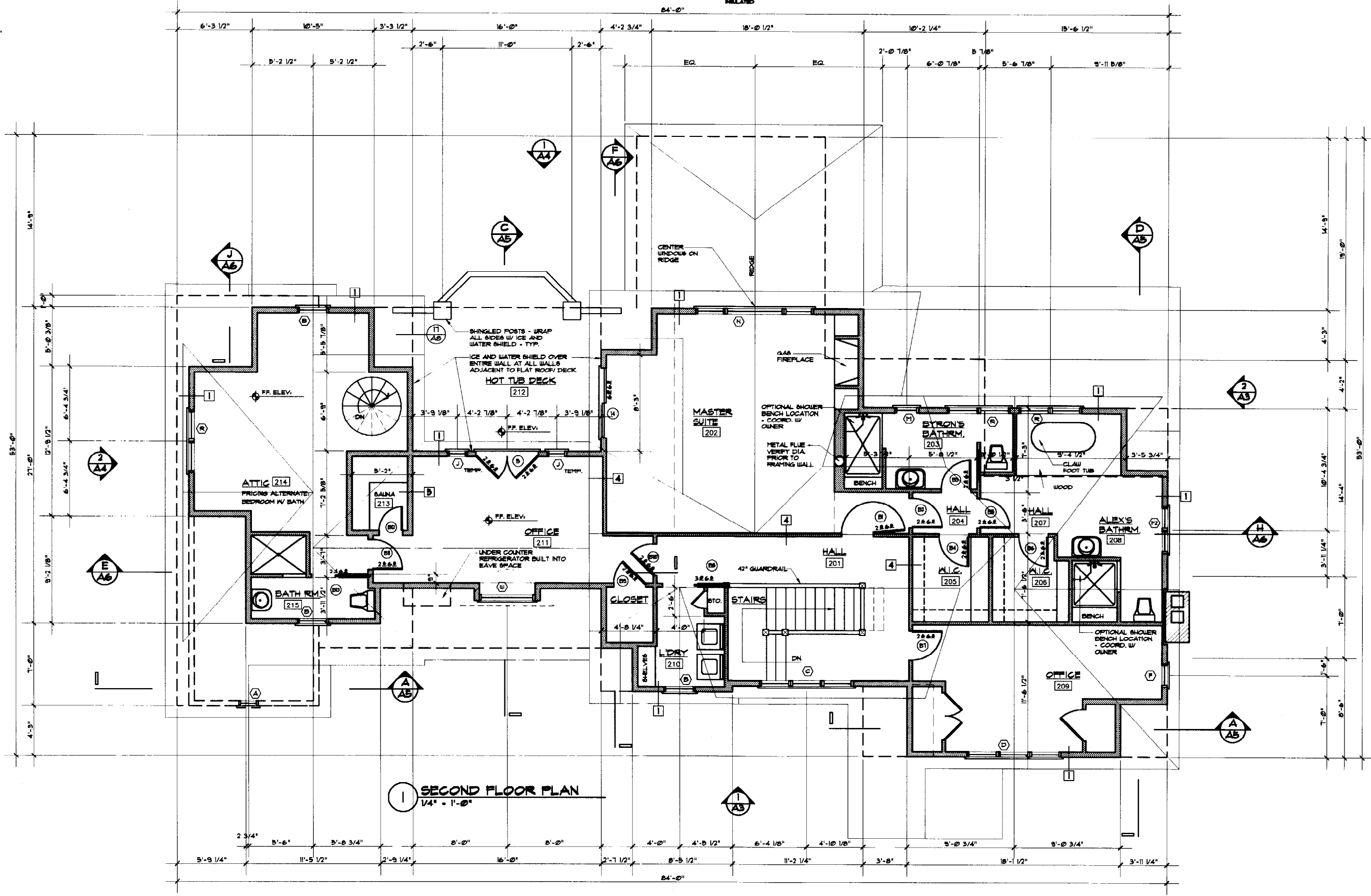
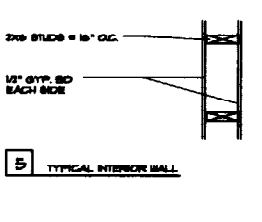
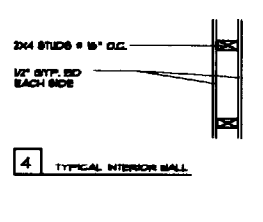
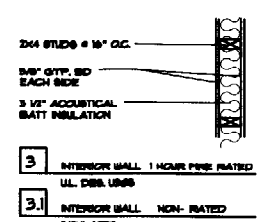
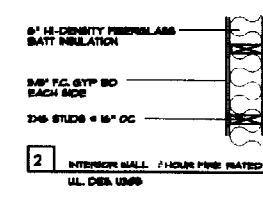
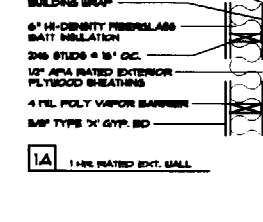
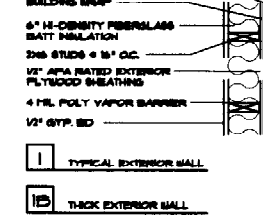
DRAWINGS THIS SHEET
FIRST FLOOR PLAN

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A-1

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WALL TYPES



1 SECOND FLOOR PLAN
1/4" = 1'-0"

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SECOND FLOOR PLAN

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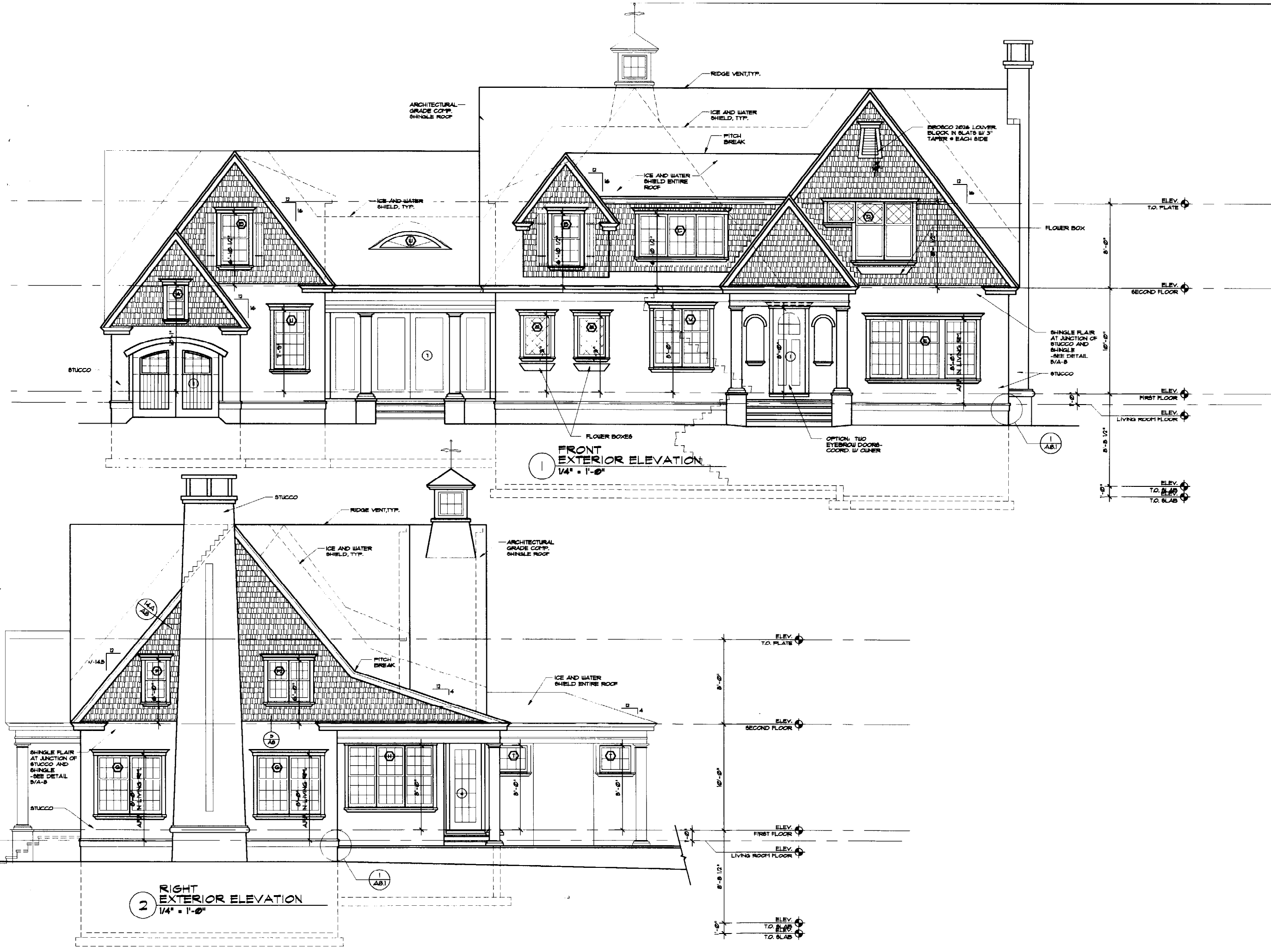
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ELEVATIONS

DATE	5-8-03
NUMBER	
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A-3



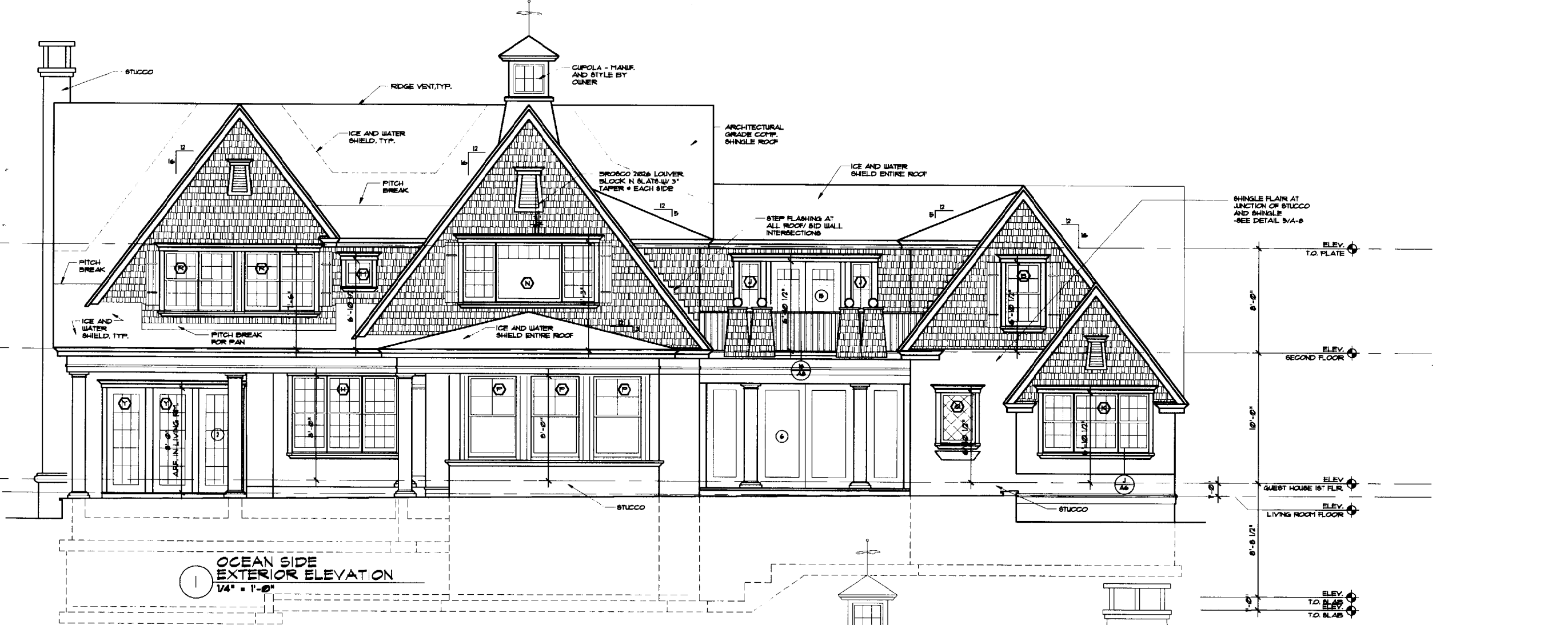
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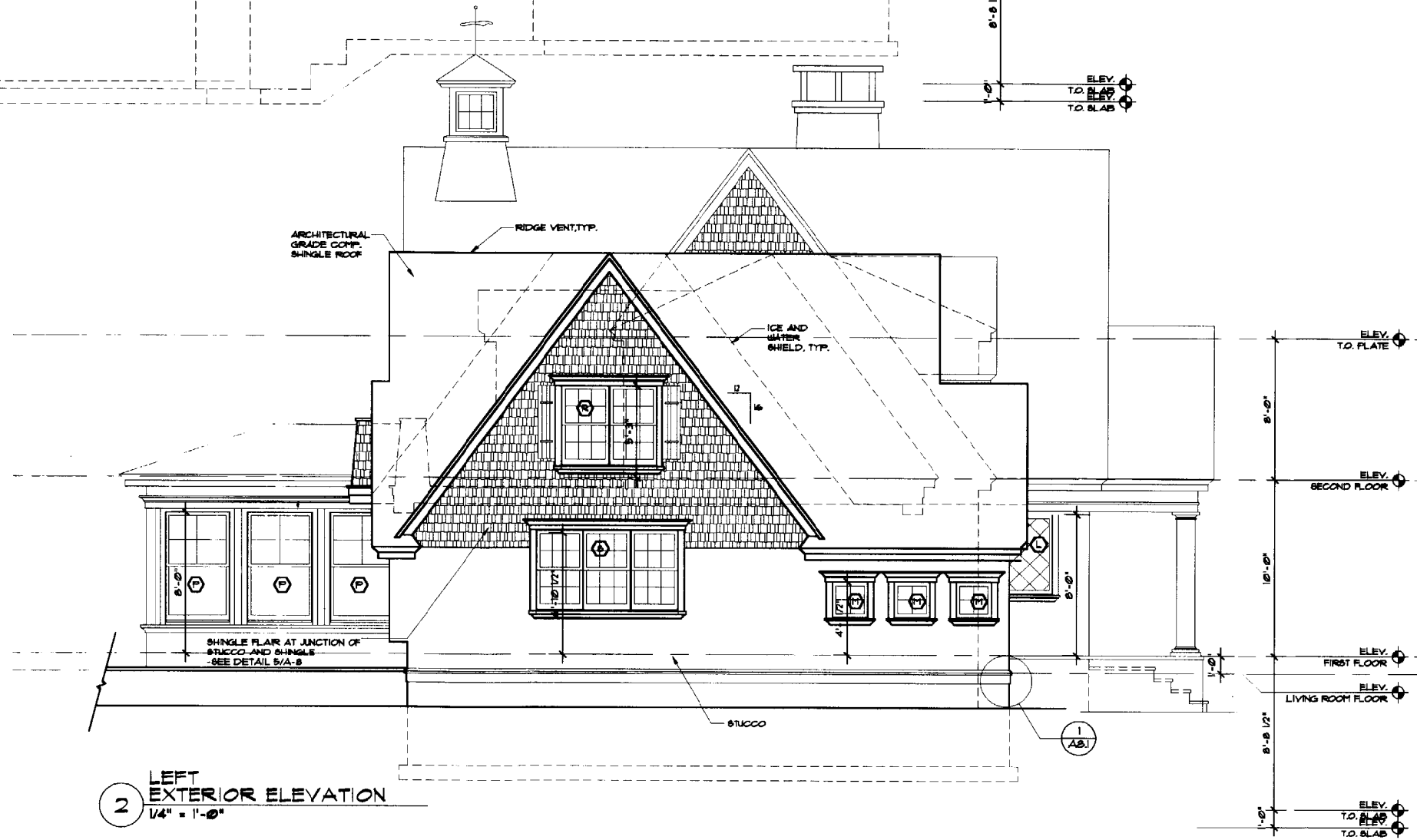
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NUMBER	S-8-03
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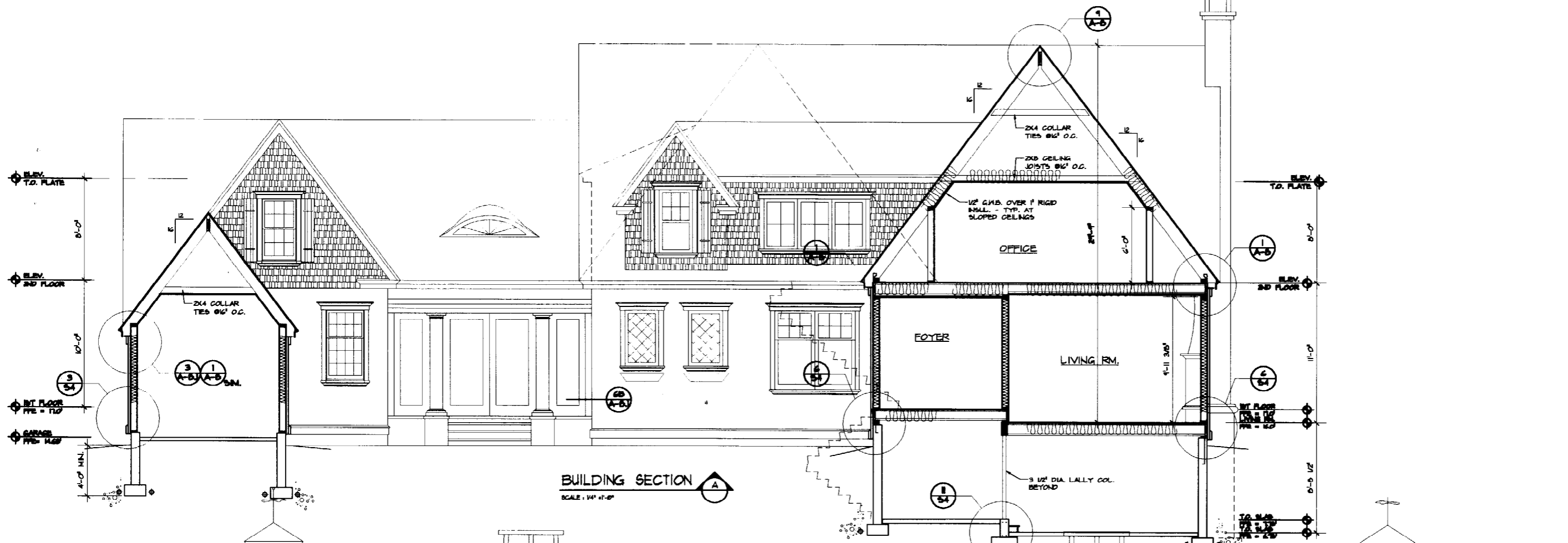
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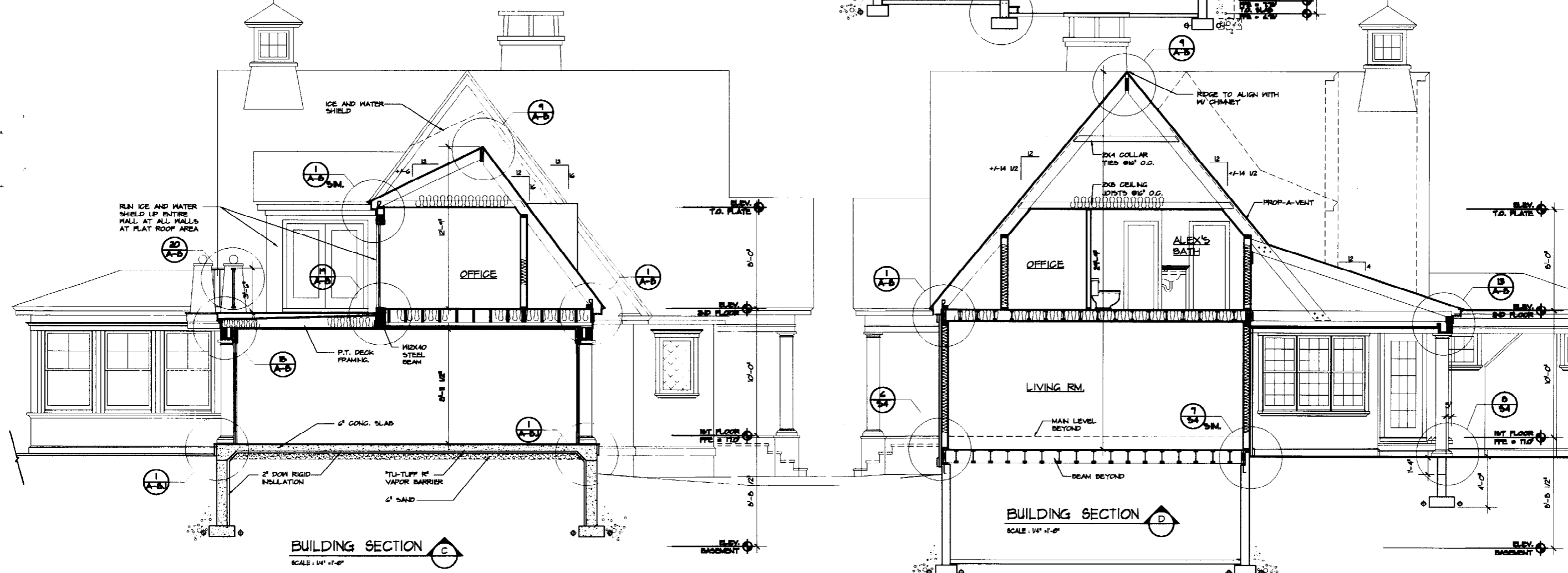
1 OCEAN SIDE EXTERIOR ELEVATION
 1/4" = 1'-0"



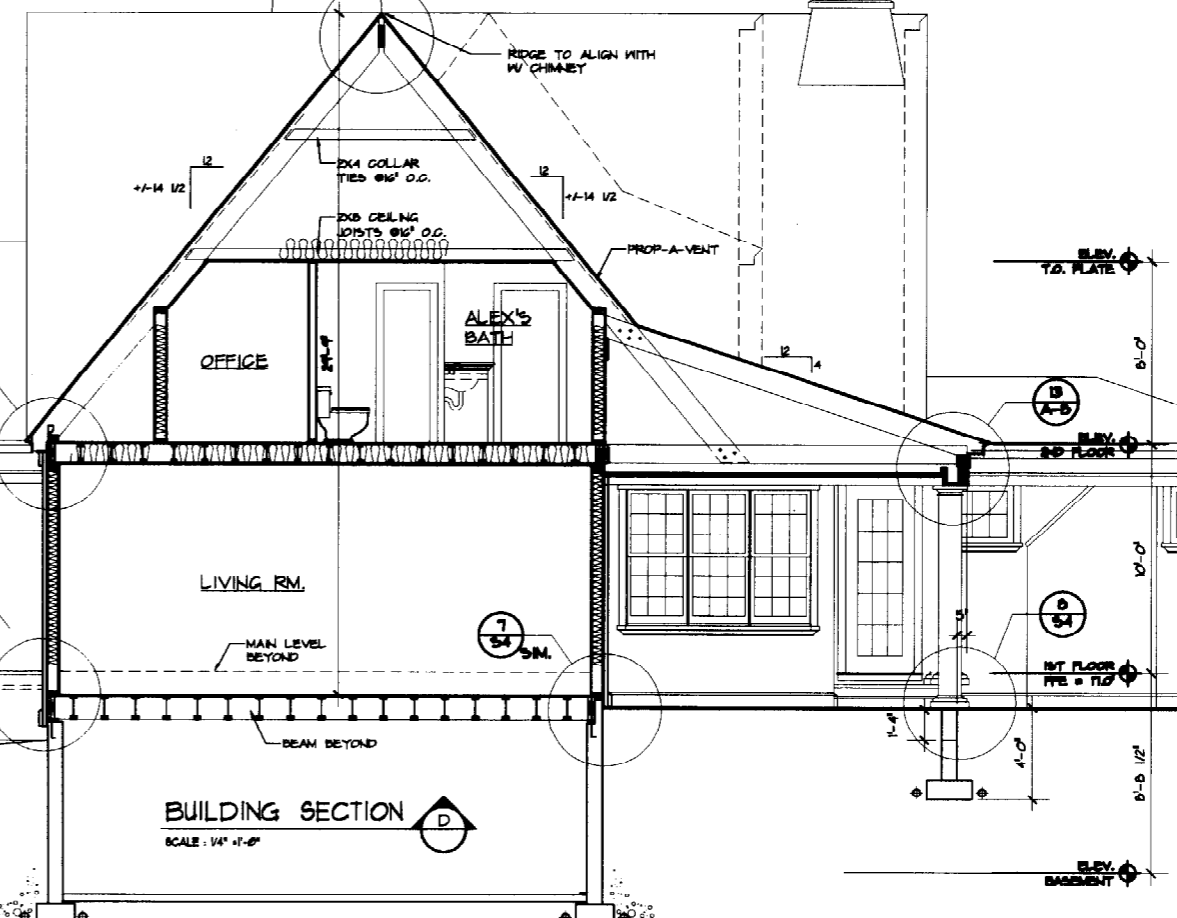
2 LEFT EXTERIOR ELEVATION
 1/4" = 1'-0"



BUILDING SECTION A
SCALE: 1/4" = 1'-0"



BUILDING SECTION C
SCALE: 1/4" = 1'-0"



BUILDING SECTION D
SCALE: 1/4" = 1'-0"

328 Page Road Scarborough, ME 04074
 Telephone: 603-882-4444
 Fax: 603-882-4444
 E-mail: 603-882-4444

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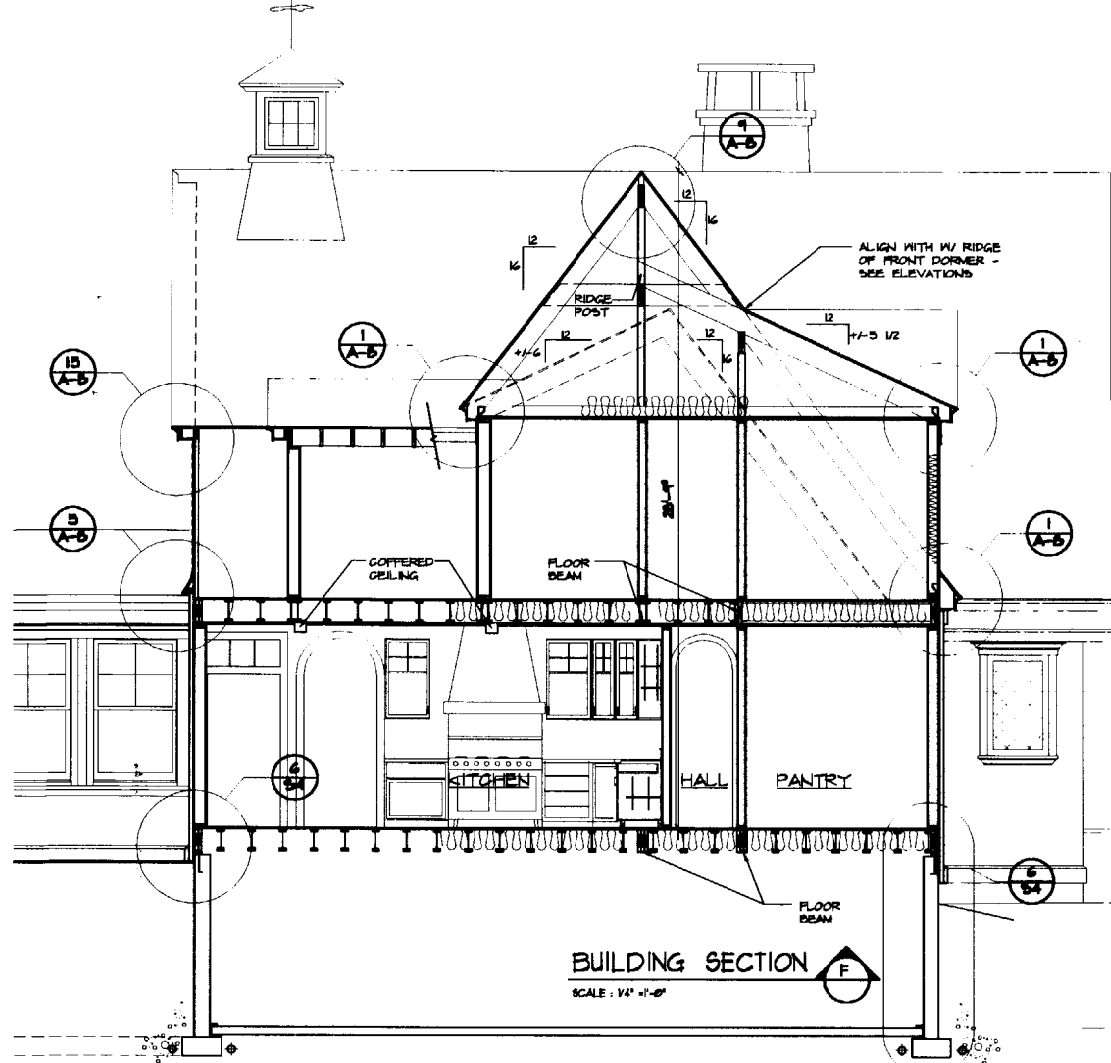
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BUILDING SECTIONS

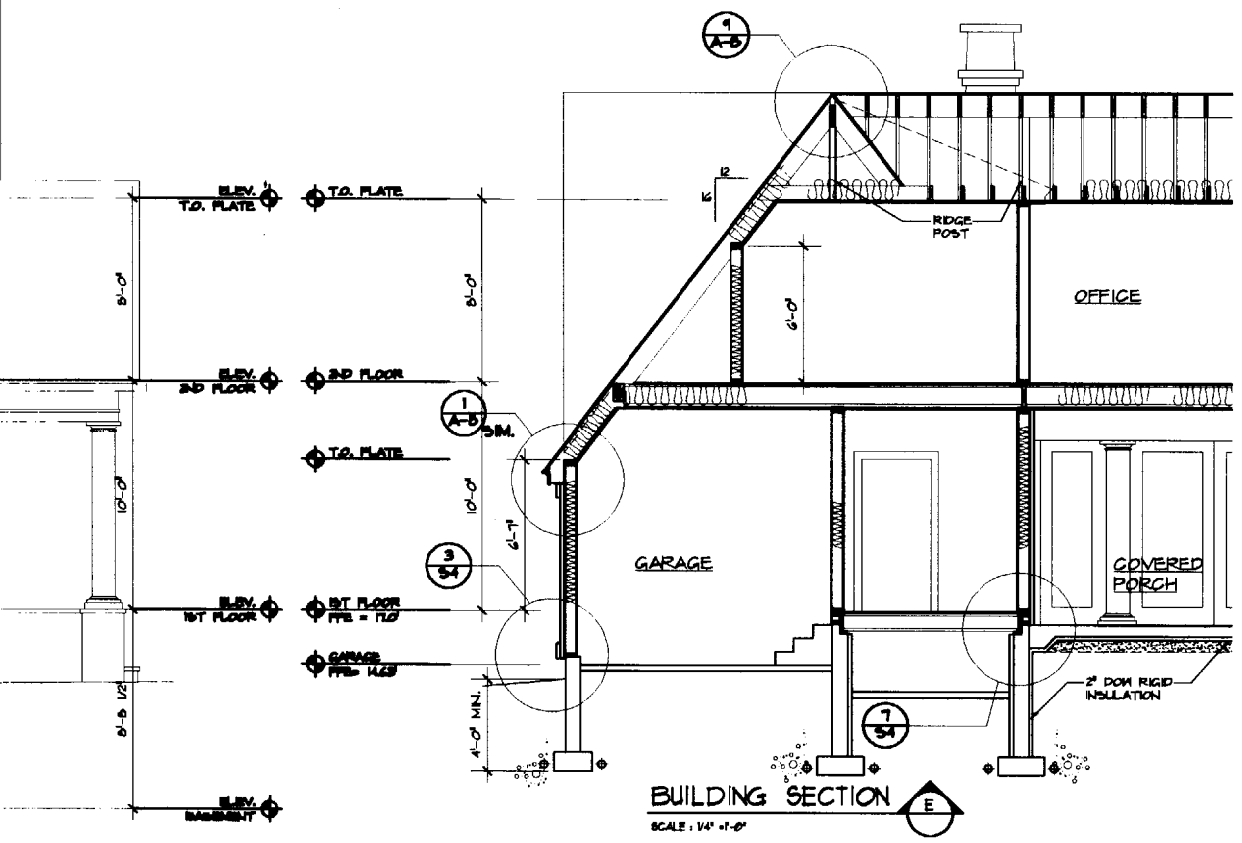
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A-5

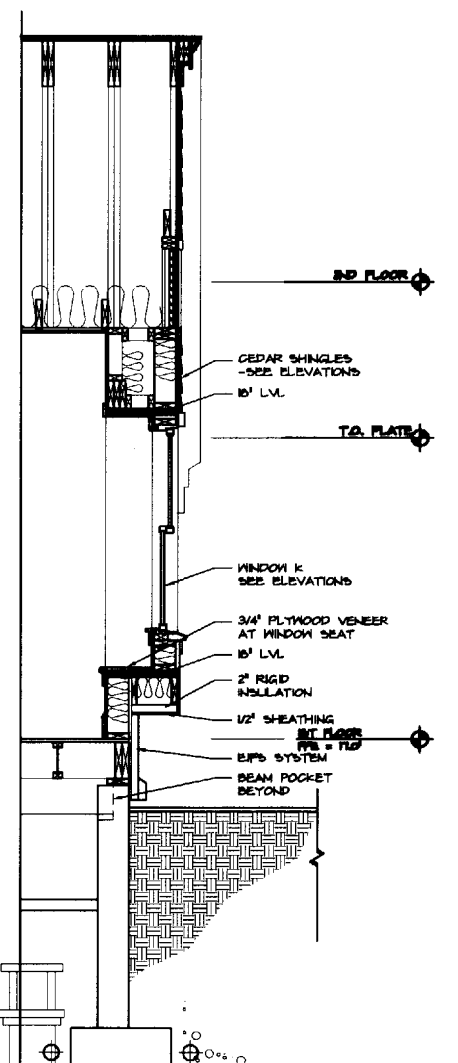
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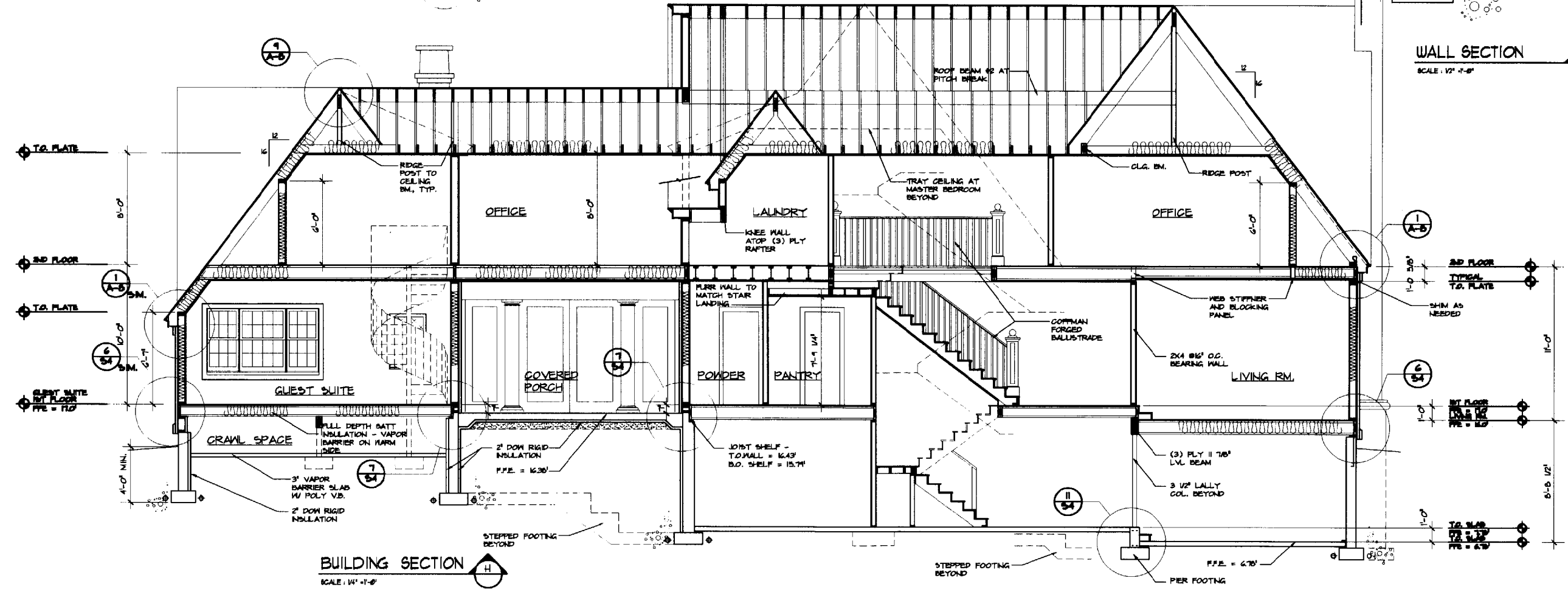
BUILDING SECTION F
SCALE: 1/4" = 1'-0"



BUILDING SECTION E
SCALE: 1/4" = 1'-0"



WALL SECTION J
SCALE: 1/2" = 1'-0"



BUILDING SECTION H
SCALE: 1/4" = 1'-0"

100 Highland Ave., Suite 101
 Portland, ME 04102
 Phone: (207) 866-4333 Fax: (207) 866-5889

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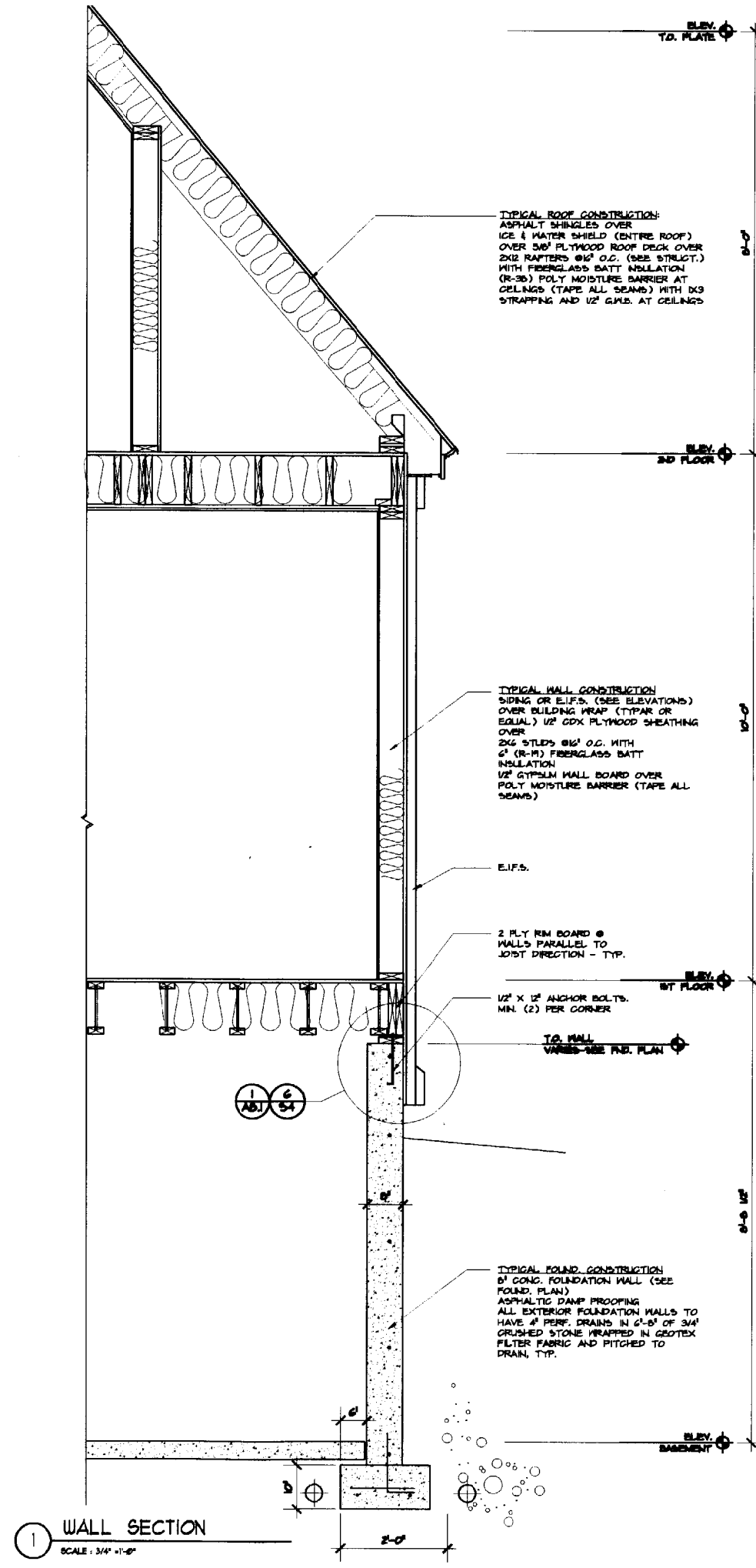
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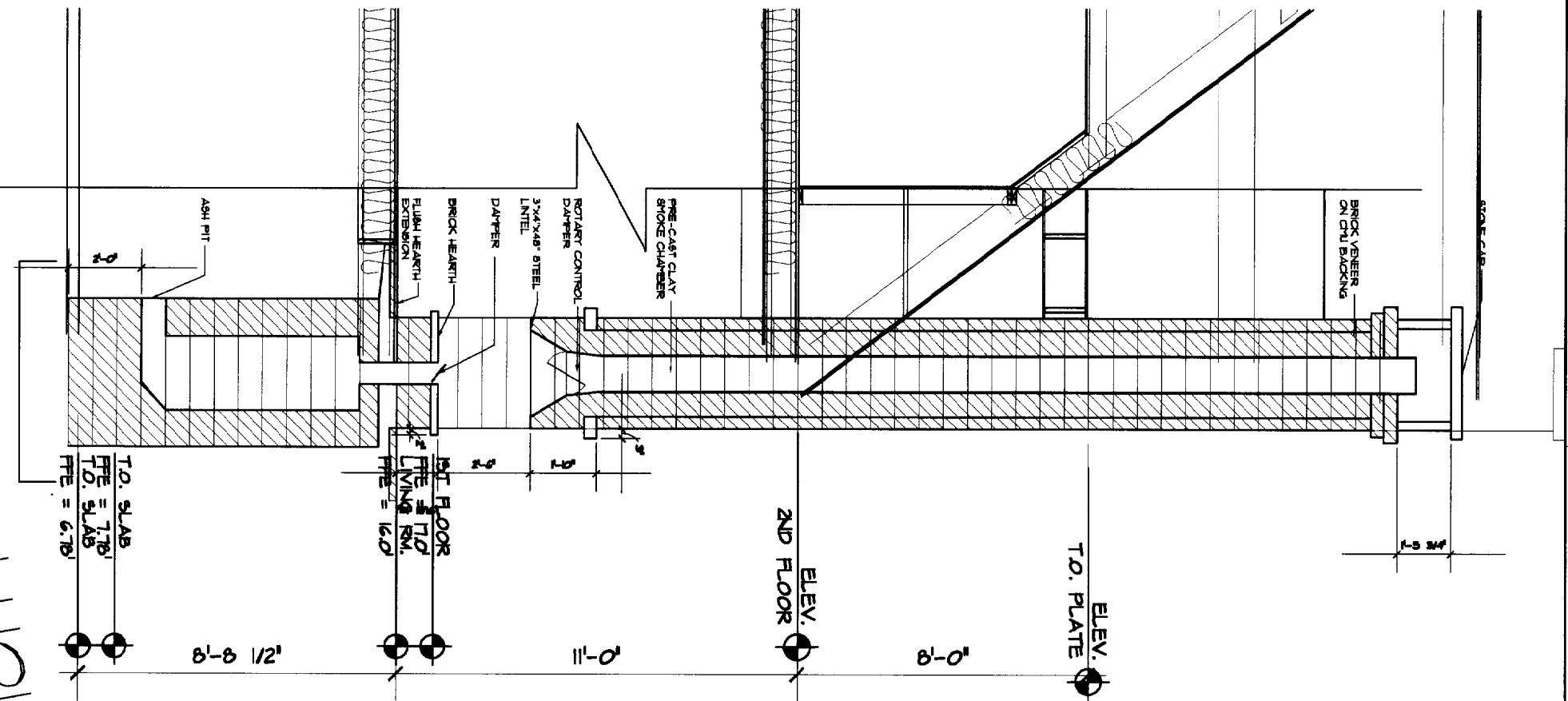
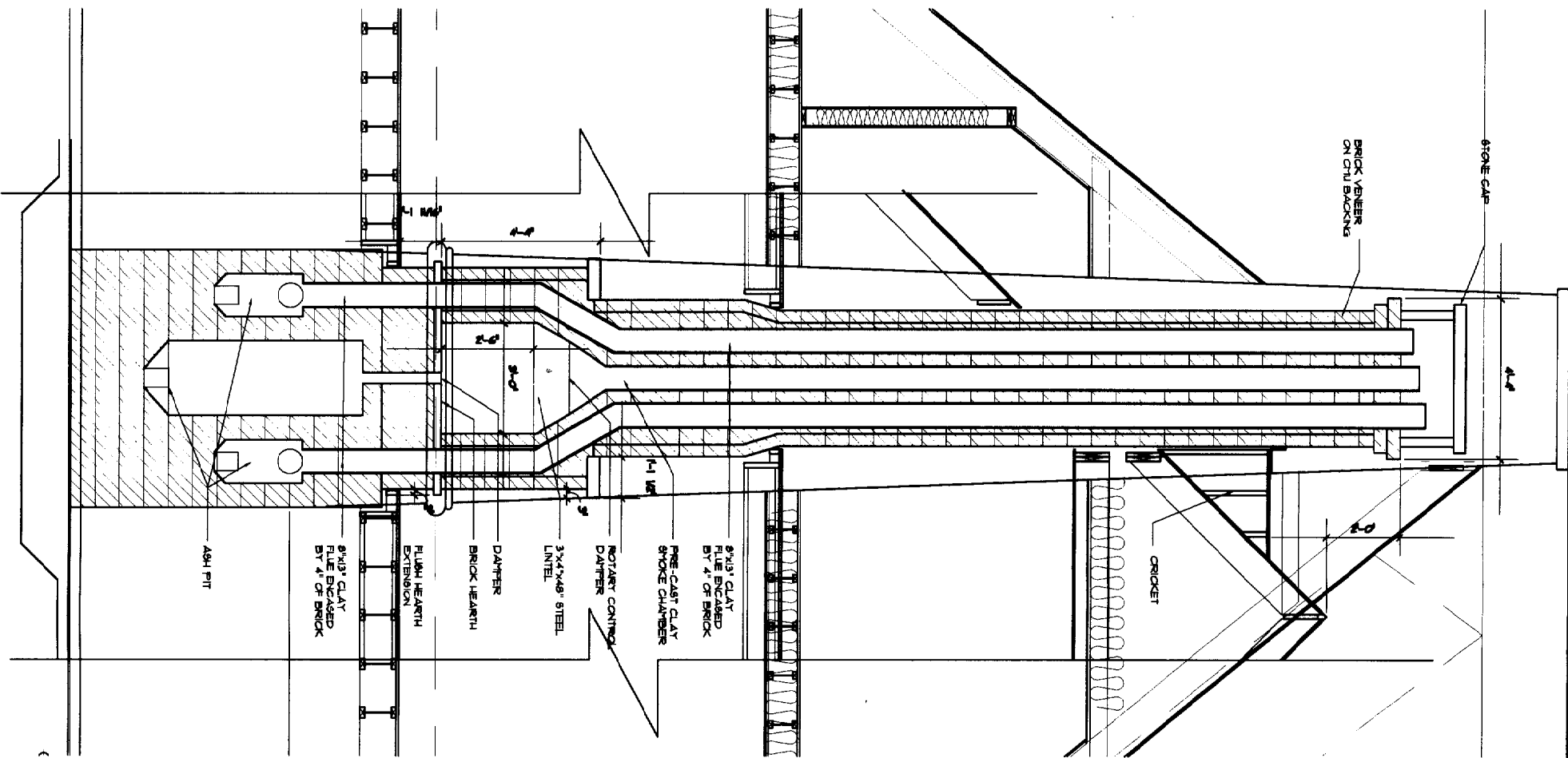
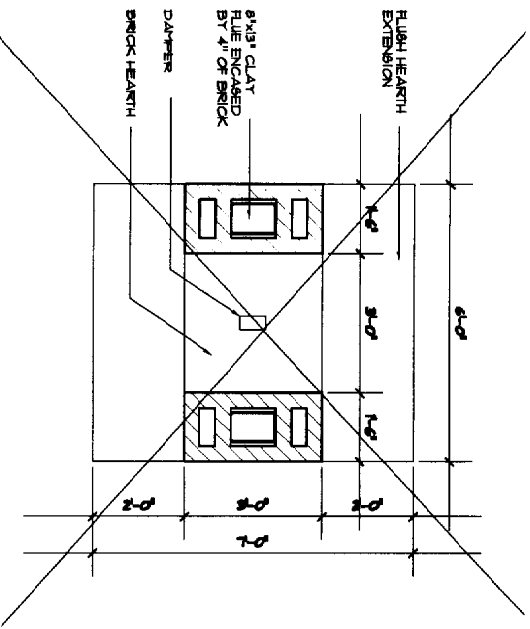
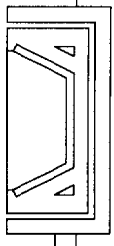
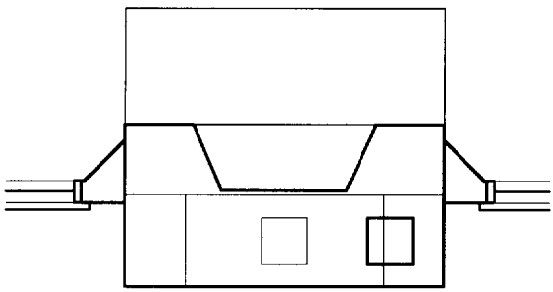
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WALL SECTIONS

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1 WALL SECTION
SCALE: 3/4" = 1'-0"

ON HOLD

T.O. SLAB
F.F.E. = 7'7"
T.O. SLAB
F.F.E. = 6'7"

1st FLOOR
F.F.E. = 16'0"

8'-8 1/2"

9'-11"

ELEV. 2ND FLOOR

8'-0"

ELEV. T.O. PLATE

DATE	5-8-03
NUMBER	BAB
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**FIREPLACE/CHIMNEY
DETAIL**

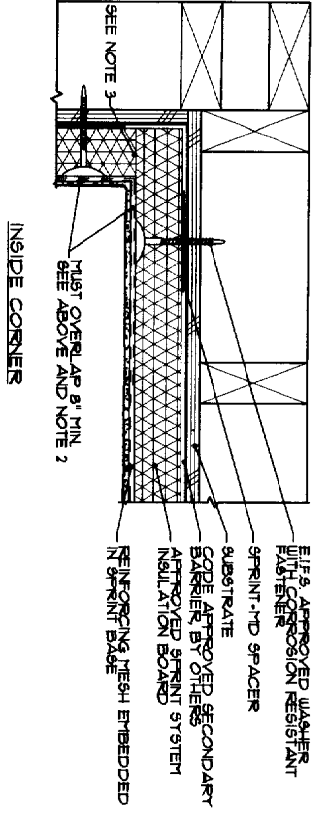
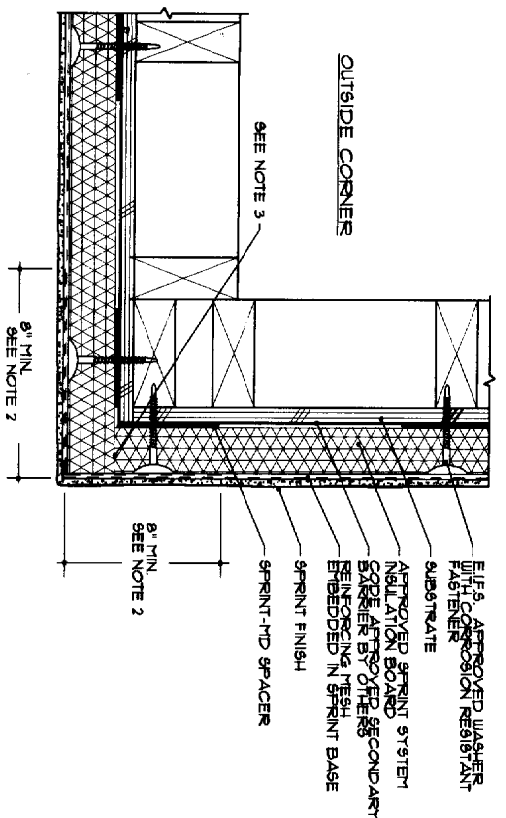
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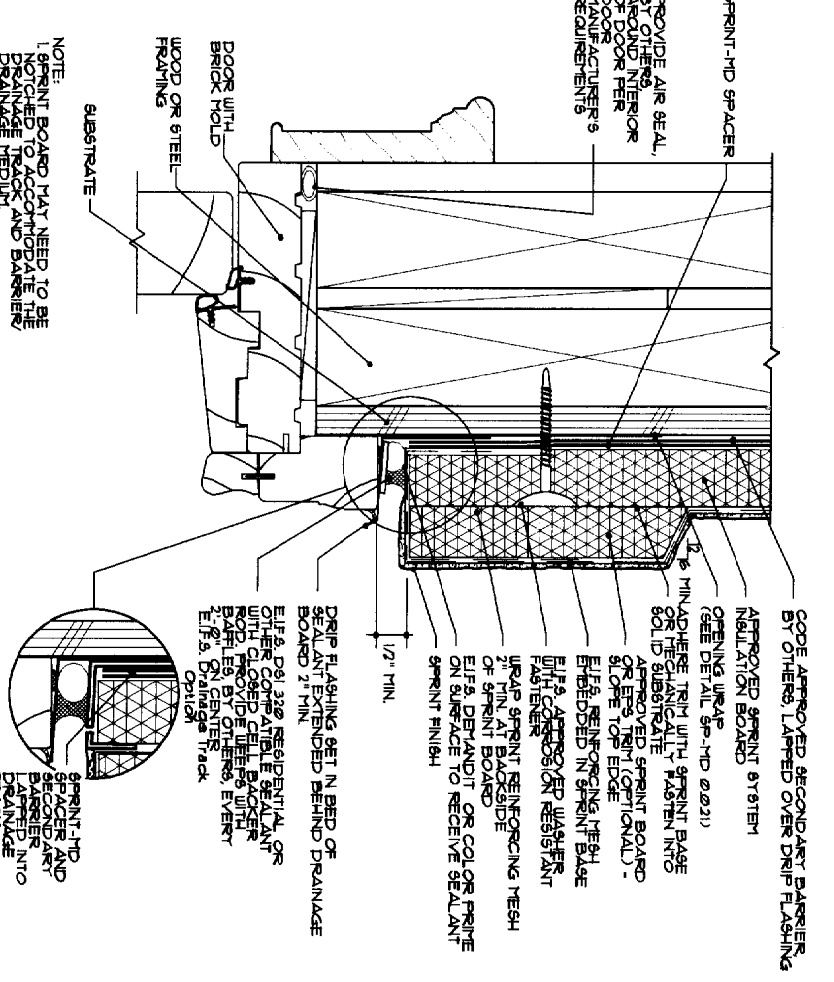
533 Pappanock Scarborough, ME 04074
 Calendar Island, Inc.
 Phone (207) 885-0131 Fax (207) 885-0132

A-6.2

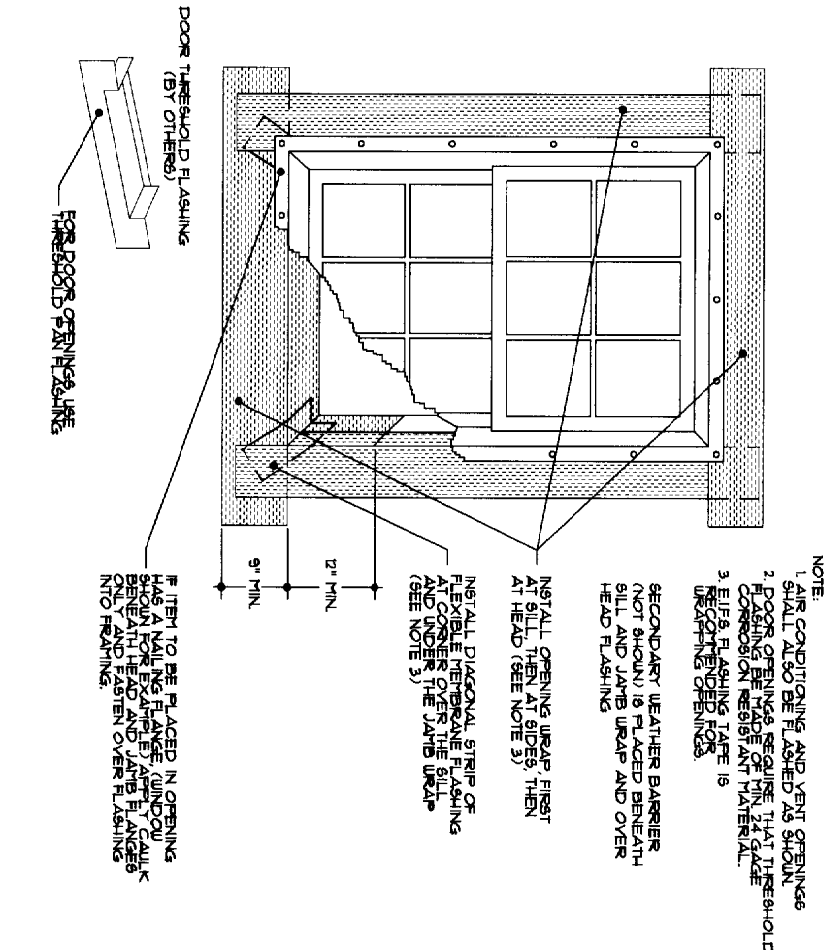
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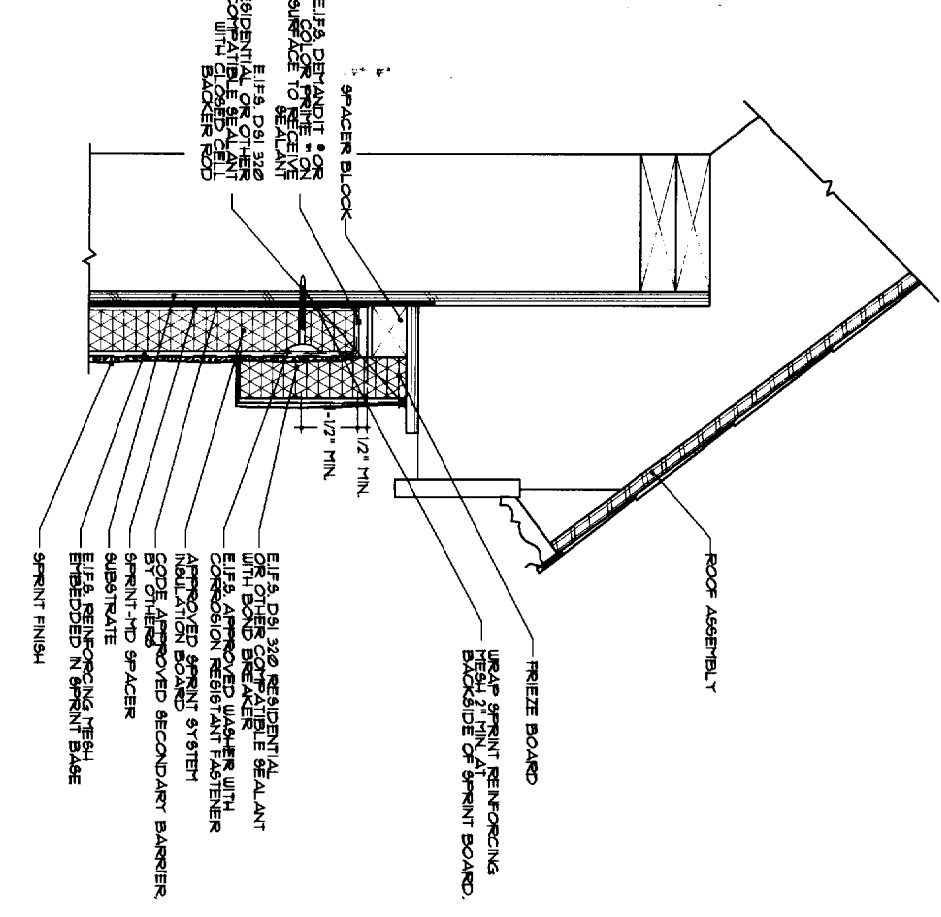
6 INSIDE/ OUTSIDE CORNERS
NO SCALE



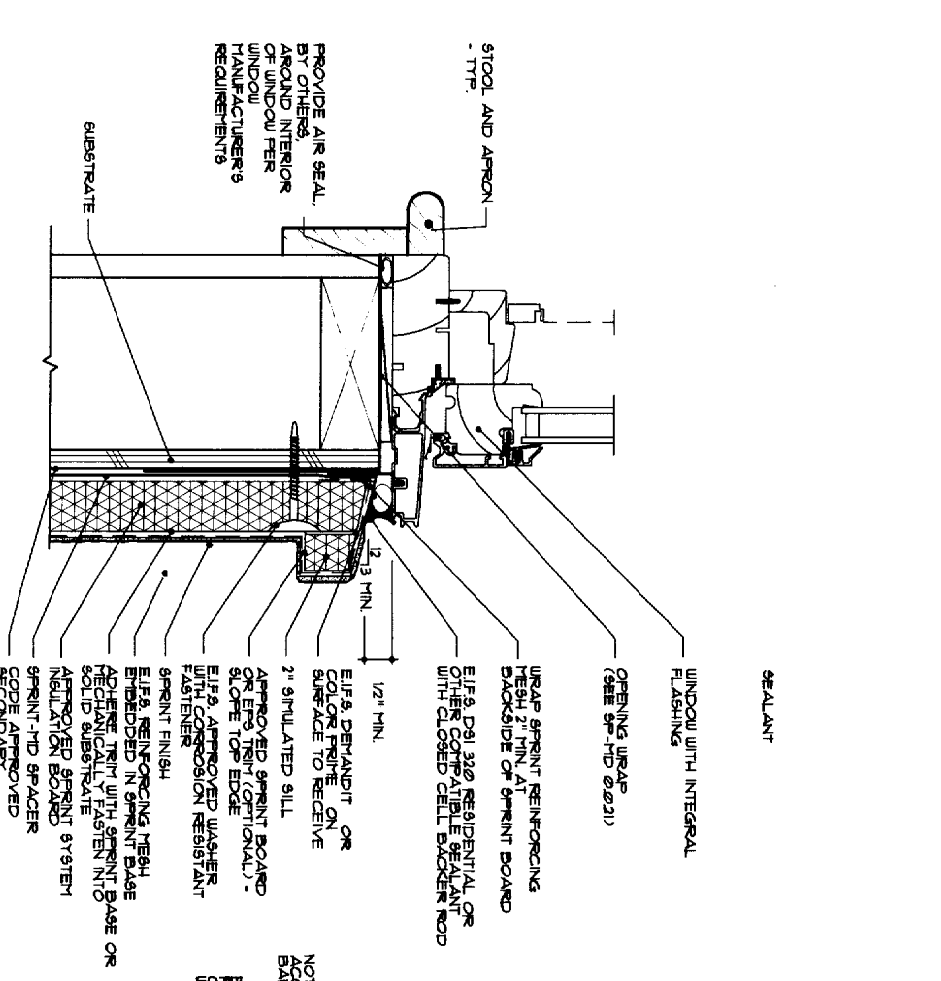
5 DOOR HEAD WITH BRICK MOLD
NO SCALE



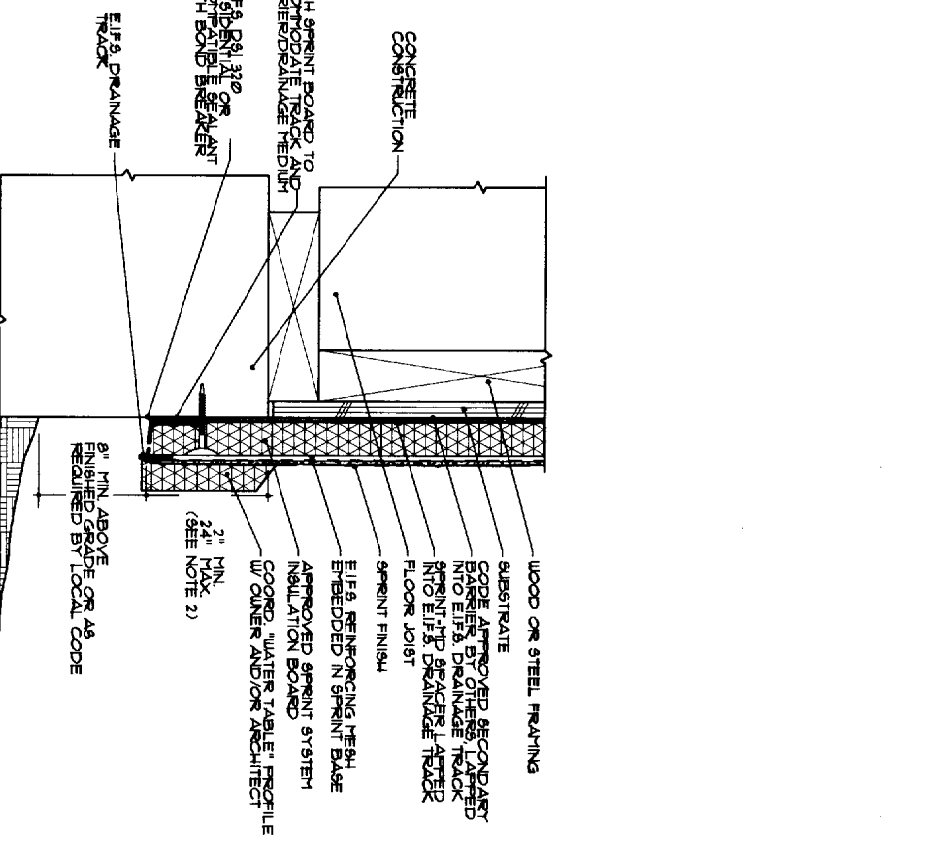
4 WRAPPING OF OPENINGS
NO SCALE



3 SOFFIT W/ FRIEZE BD. DETAIL
NO SCALE



2 WINDOW SILL DETAIL
NO SCALE



1 TERMINATION @ GRADE DTL.
NO SCALE

252 Pappas Banknorth AT 0070
 (409) 487-5000
 Phone (202) 462-6128 Fax (202) 462-6552

REVISIONS		
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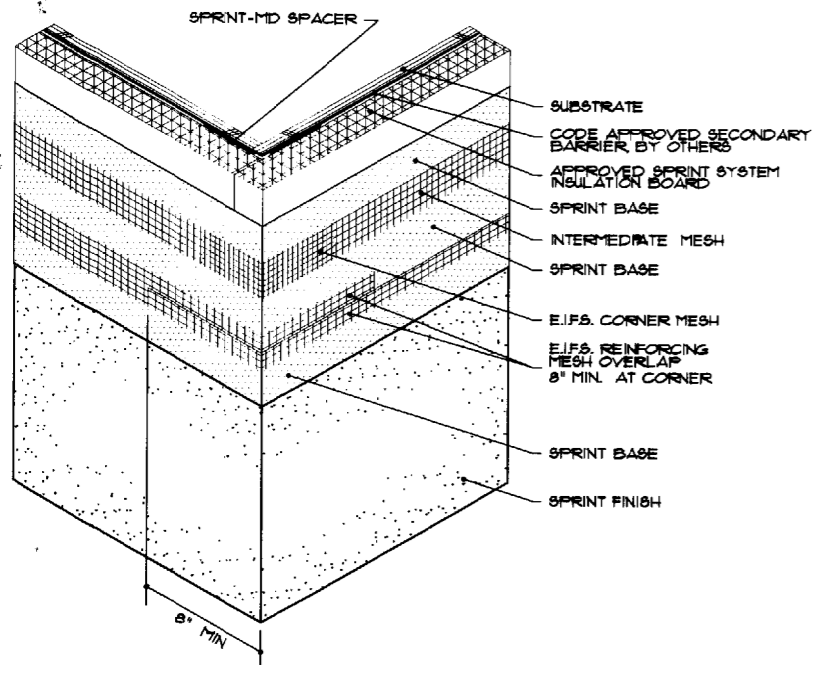
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EIFS DETAILS

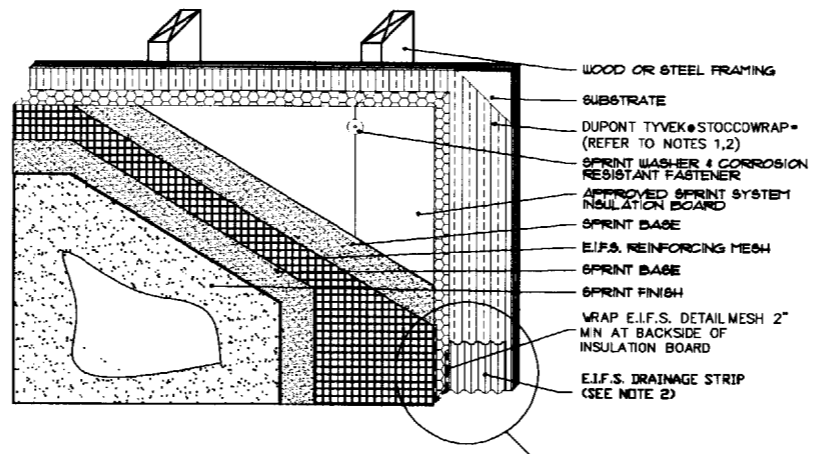
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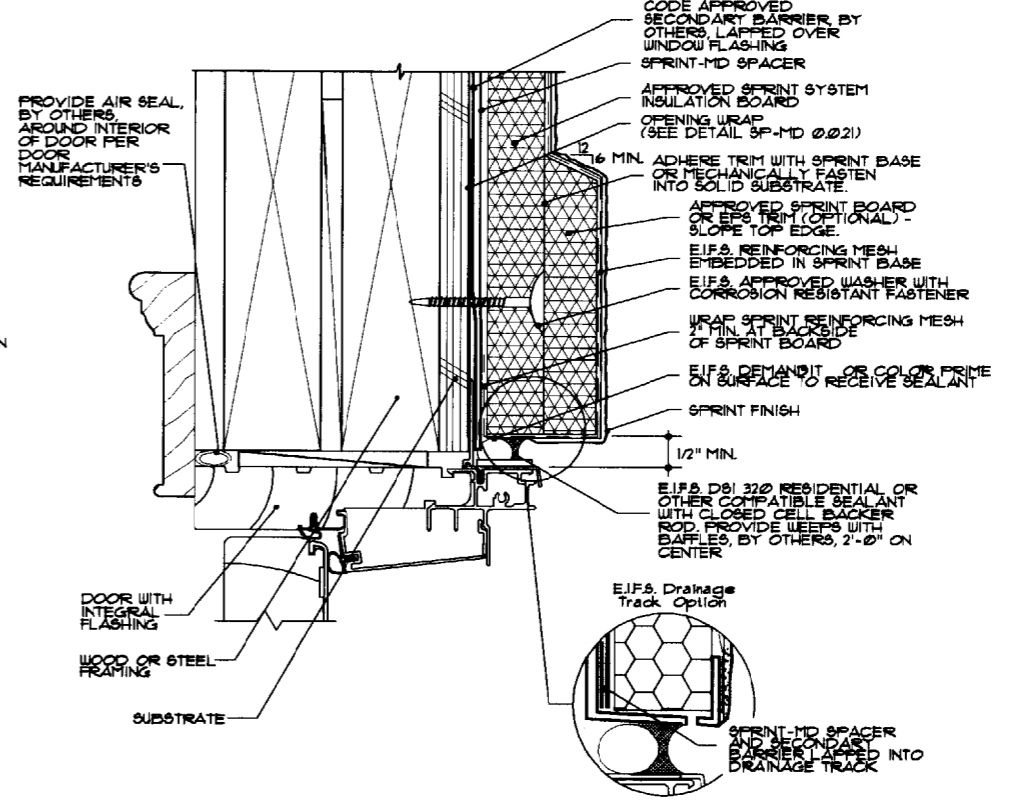
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 252 PAPPAS BANKNORTH AT 0070
 (409) 487-5000



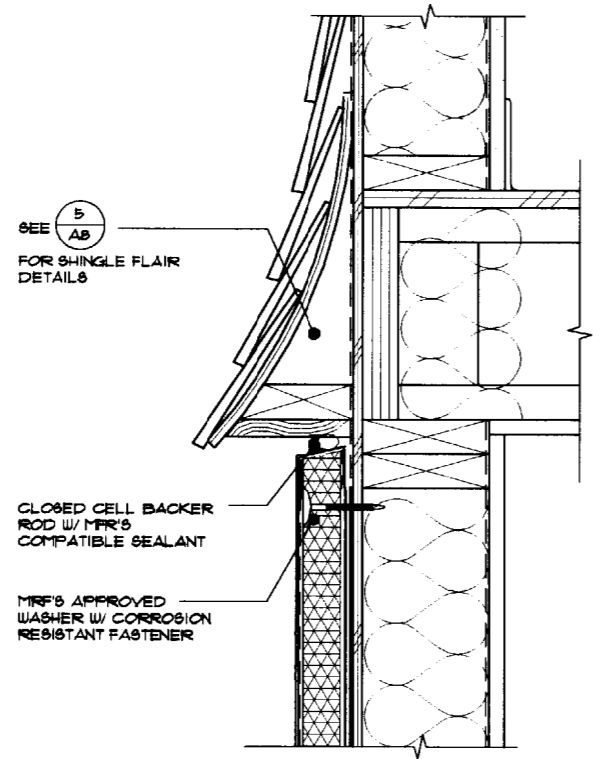
1 OUTSIDE CORNER/ HIGH IMPACT
NO SCALE



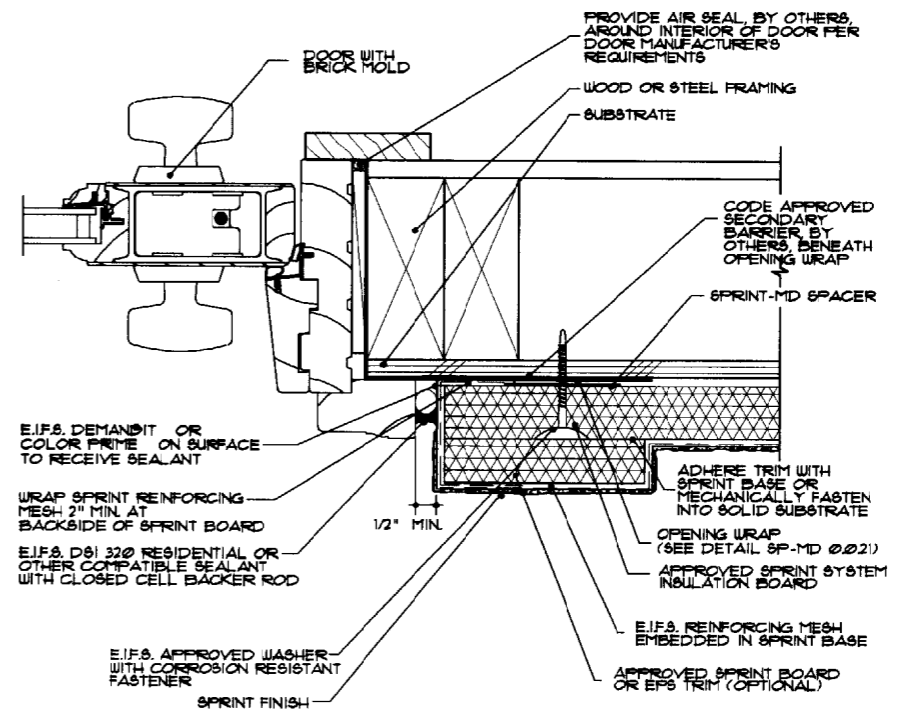
2 DUPONT TYVEK STUCCO WRAP (OPTION)
NO SCALE



3 DOOR HEAD WITH INTEGRAL FLASHING
NO SCALE



4 EIFS/ SHINGLE FLAIR TRANSITION
NO SCALE



5 DOOR JAMB W/ BRICK MOLD
NO SCALE

GALENDOR ISLANDS ARCHITECTURE
1251 High Street, Scarborough, ME 04074
Calvin J. Gaudin, AIA
Phone: (207) 886-6131 Fax: (207) 886-6133

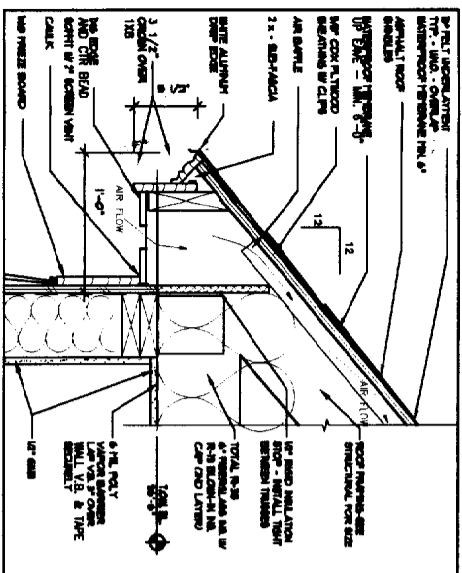
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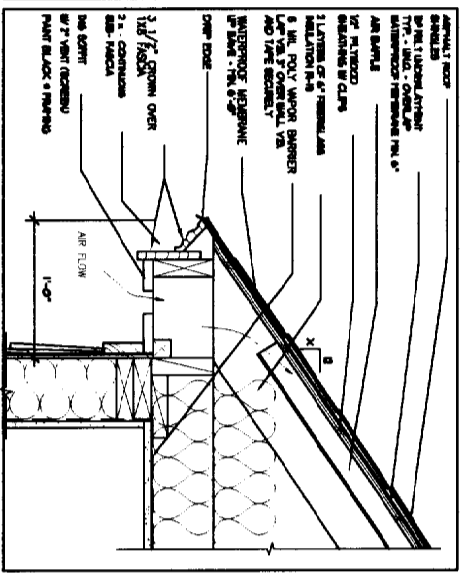
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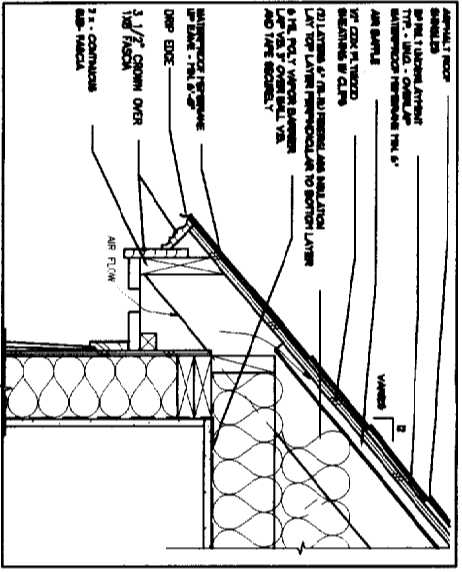
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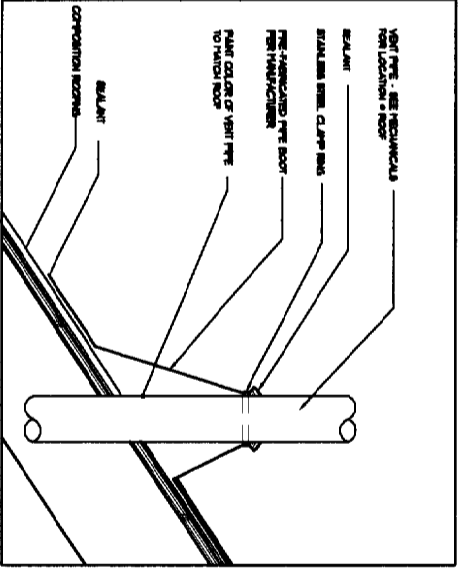
1 SOFFIT DETAIL 1/2" x 1/4"



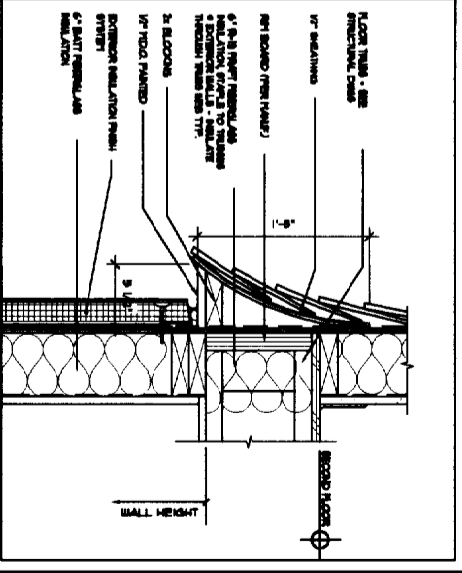
2 SOFFIT DETAIL 1/2" x 1/4"



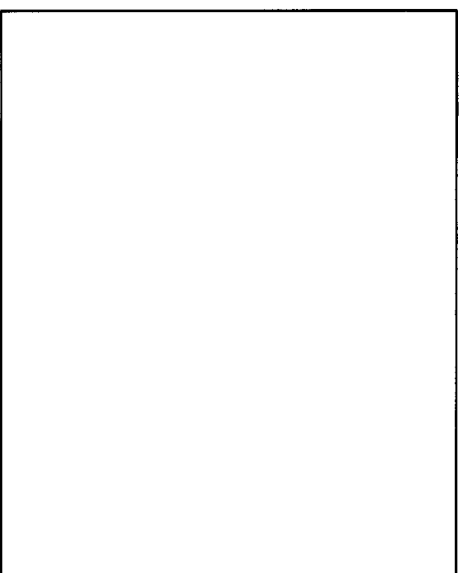
3 SOFFIT DETAIL 1/2" x 1/4"



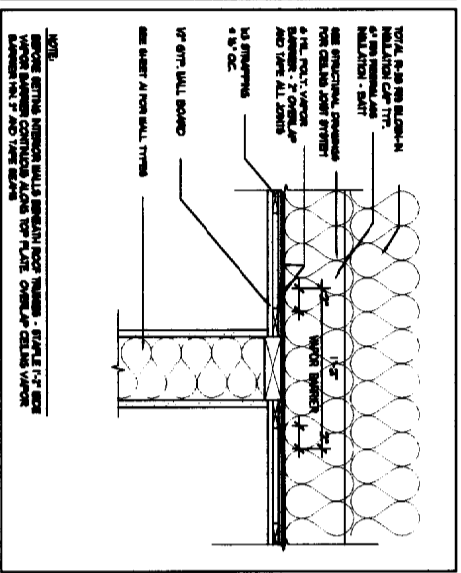
4 VENT PIPE DETAIL 1/2" x 1/4"



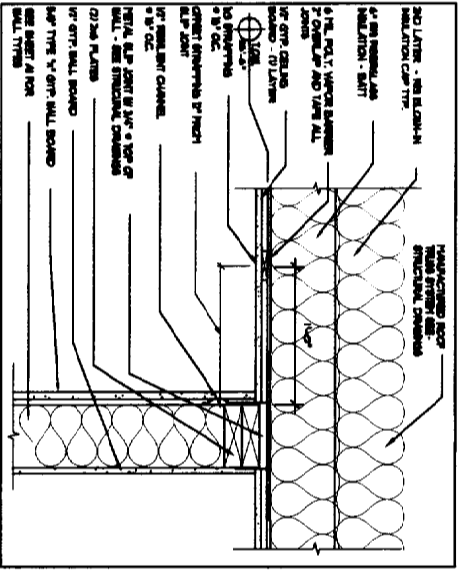
5 SINGLE FLAIR DETAIL 1/2" x 1/4"



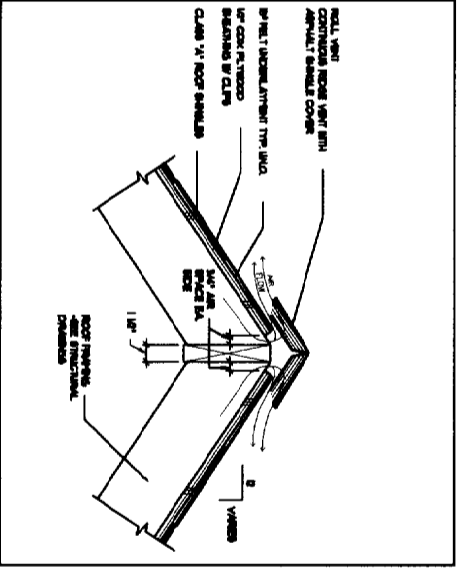
6 VAPOR BARRIER DETAIL 1/2" x 1/4"



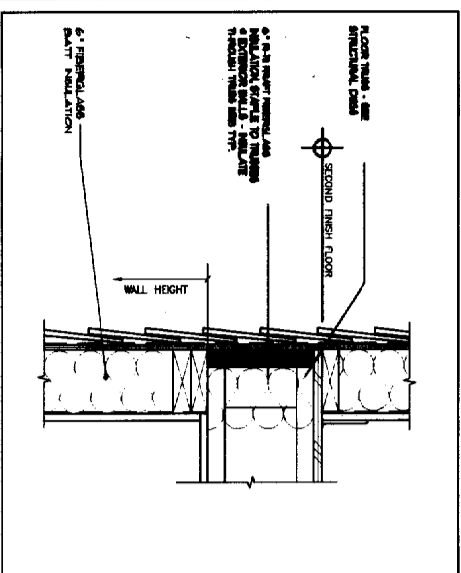
7 SLIP JOINT DETAIL & TRUSSES 1/2" x 1/4"



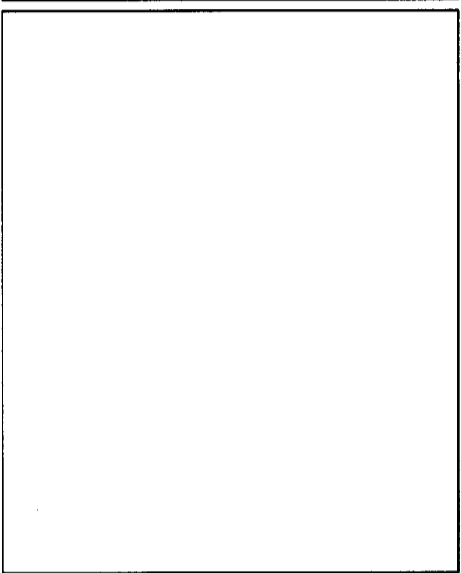
8 RIDGE VENT DETAIL 1/2" x 1/4"



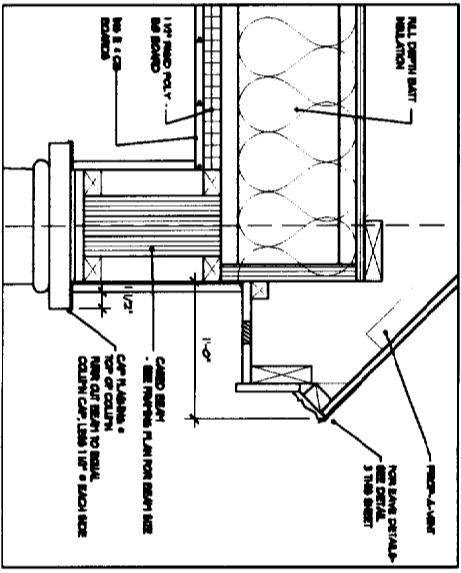
9 FOUNDATION WALL DETAIL 1/2" x 1/4"



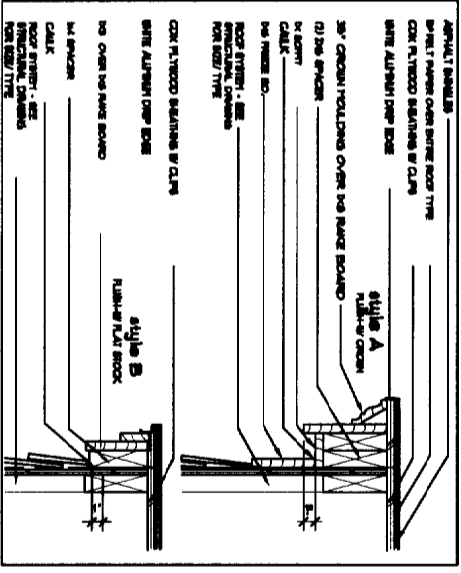
10 I-JOINT DETAIL & EXTERIOR WALL 1/2" x 1/4"



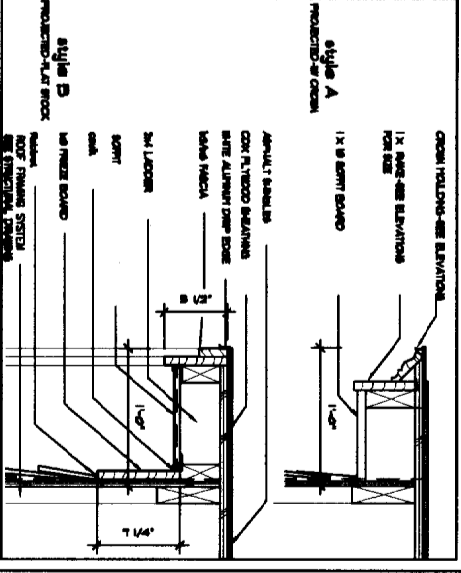
11 CASED BEAM/COLUMN CAP DETAILS 1/2" x 1/4"



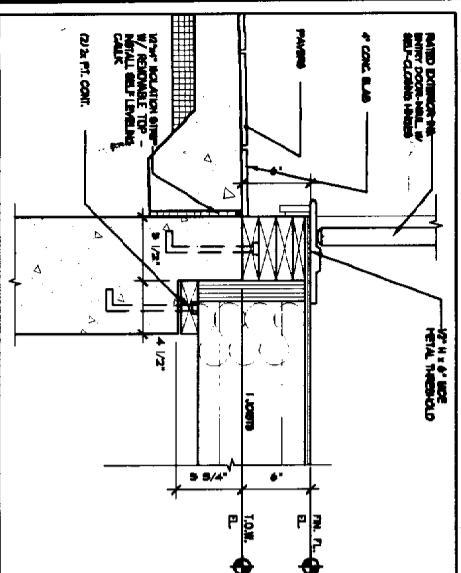
12 TYPICAL RAKE DETAIL - Flush rake 1/2" x 1/4"



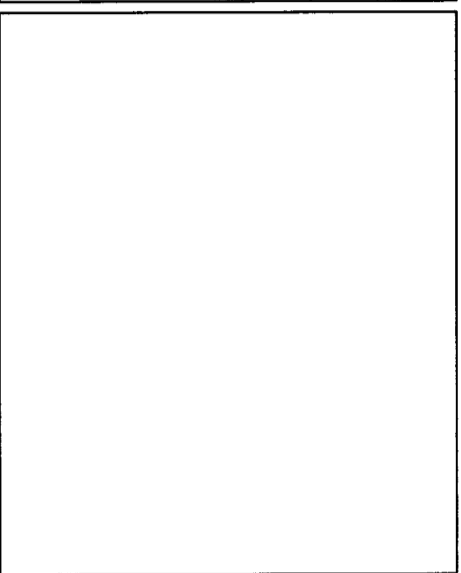
13 TYPICAL RAKE DETAIL - Projected rake 1/2" x 1/4"



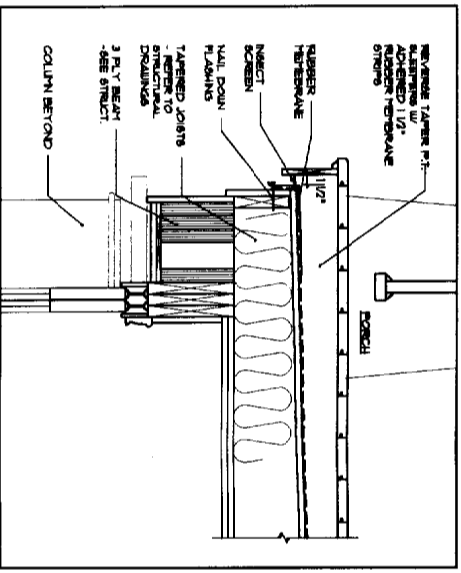
14 PORCH DETAILS & LEDGER EXT. WALL 1/2" x 1/4"



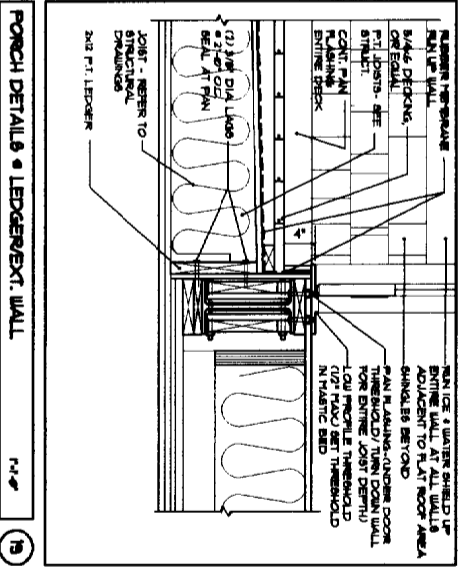
15 FOUNDATION WALL DETAIL & DOOR 1/2" x 1/4"



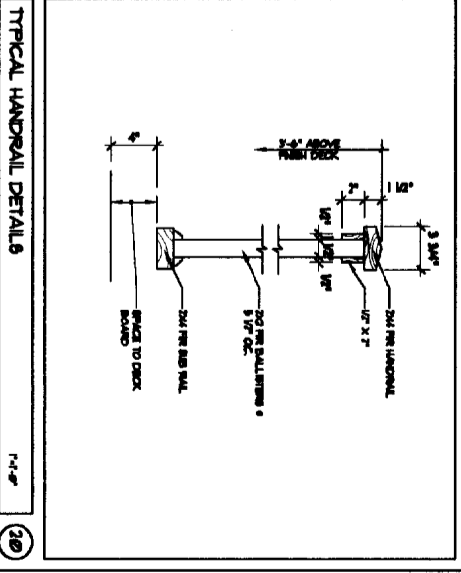
16 EAVE/COMP SHINGLE ROOF TRANSITION DETAIL 1/2" x 1/4"



17 PORCH BEAM/COLUMN BASE DETAILS 1/2" x 1/4"



18 PORCH DETAILS & LEDGER EXT. WALL 1/2" x 1/4"



19 TYPICAL HANDRAIL DETAILS 1/2" x 1/4"

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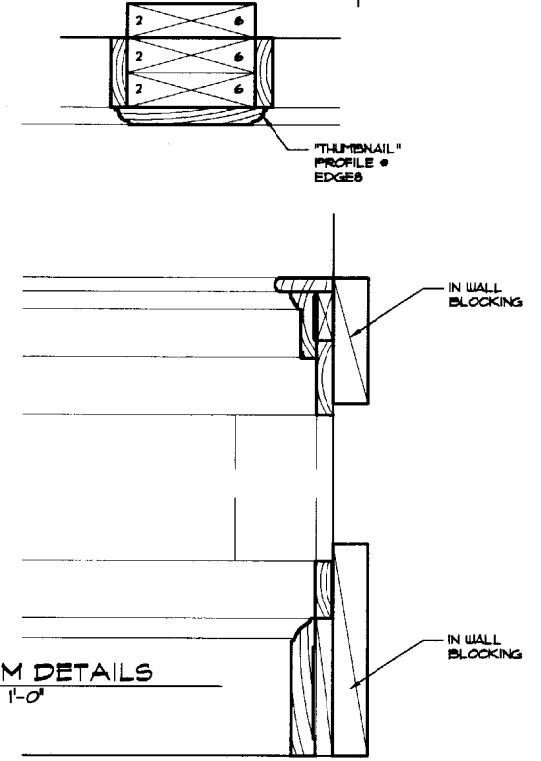
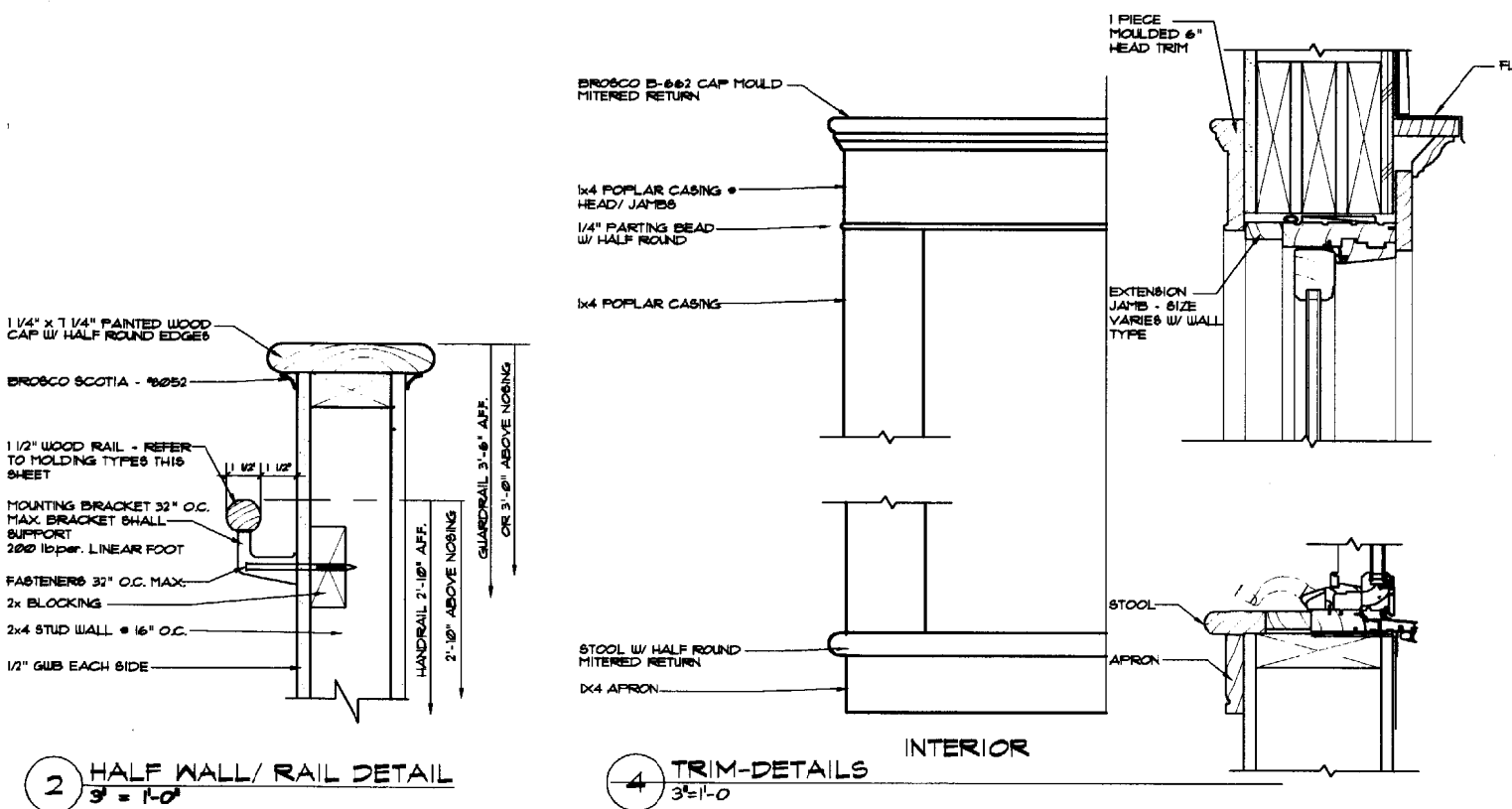
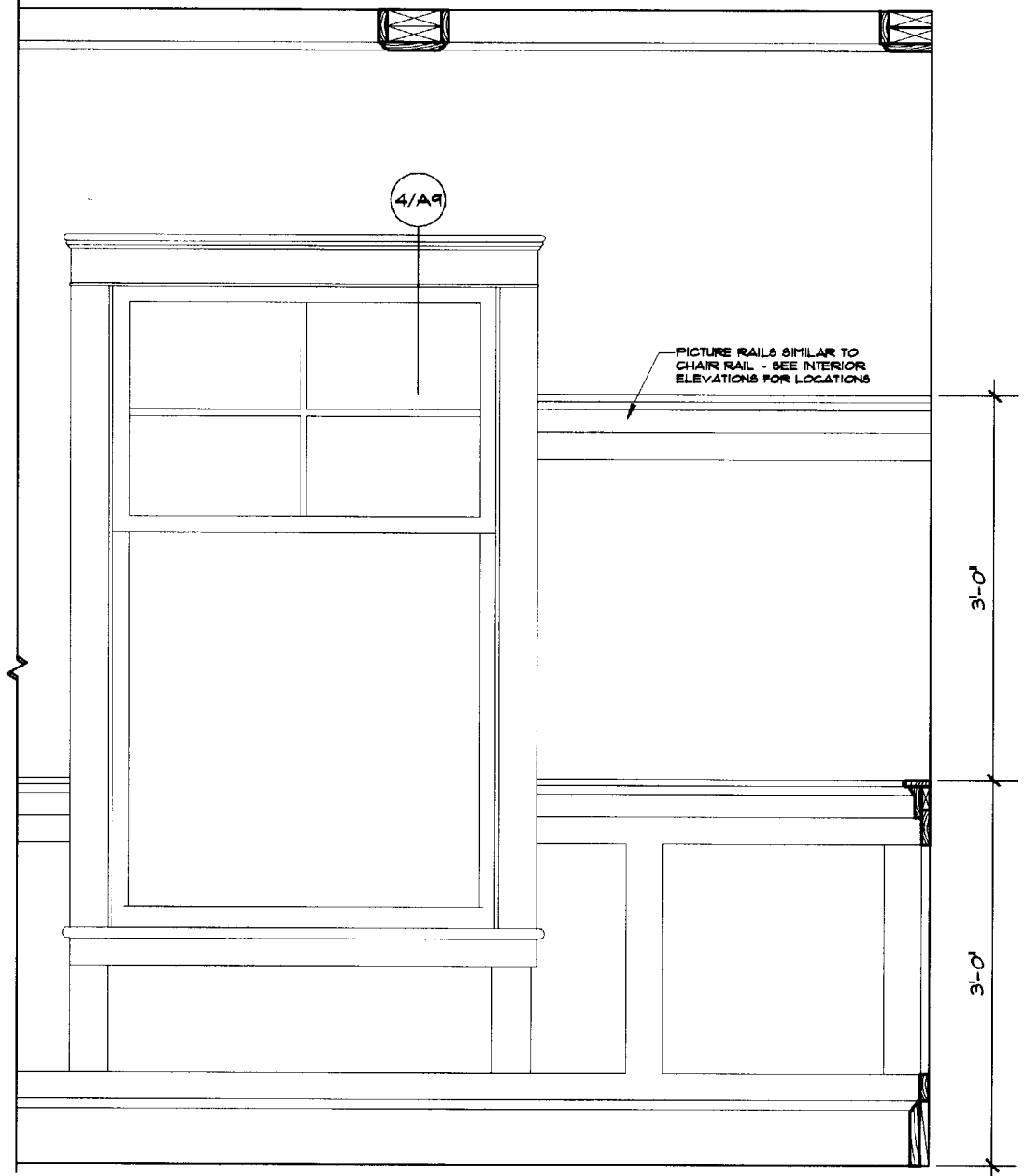
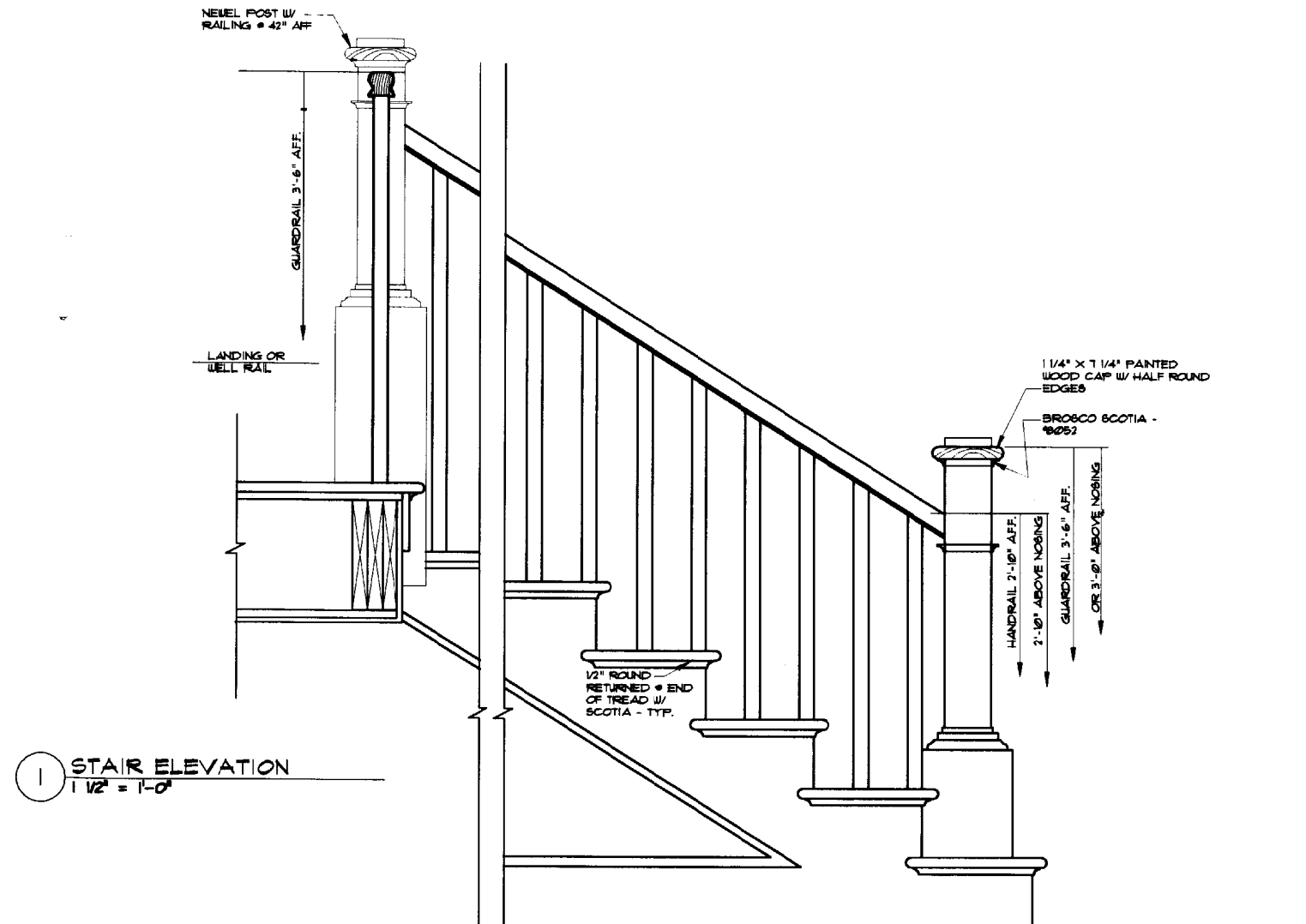
NO.	DATE	DESCRIPTION

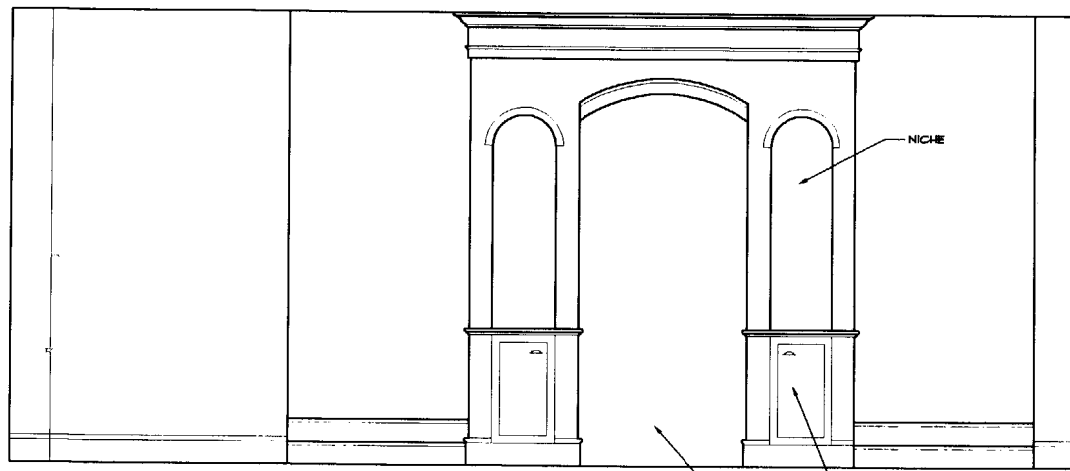
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TRIM DETAILS

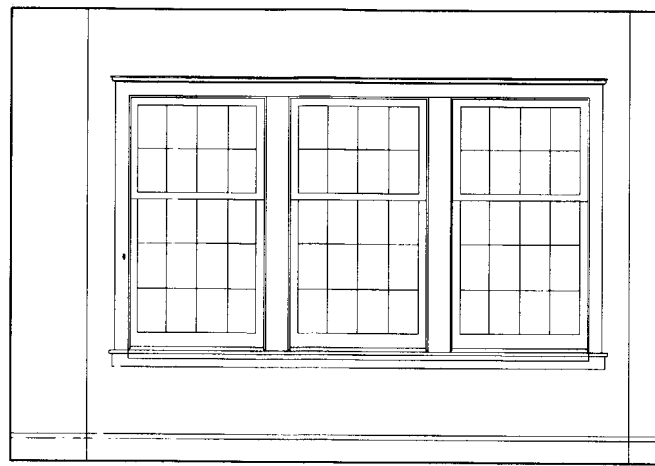
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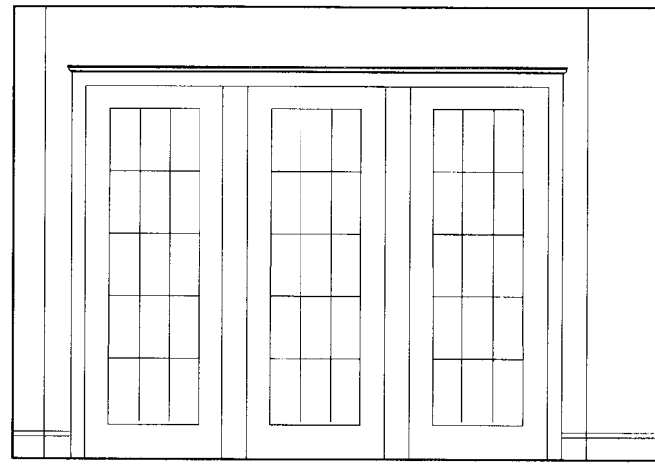




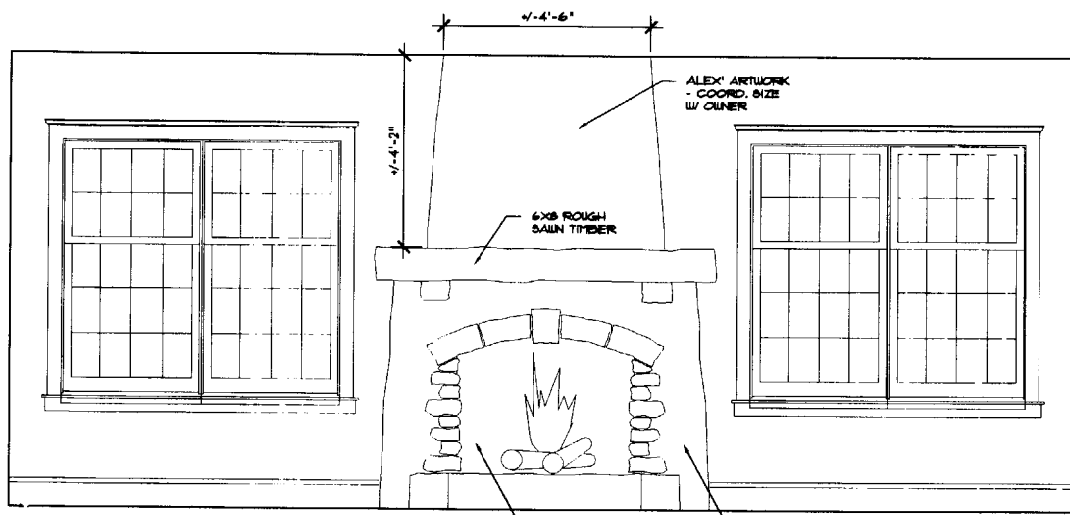
1 LIVING ROOM
SOUTH
SCALE: 1/2" = 1'-0"



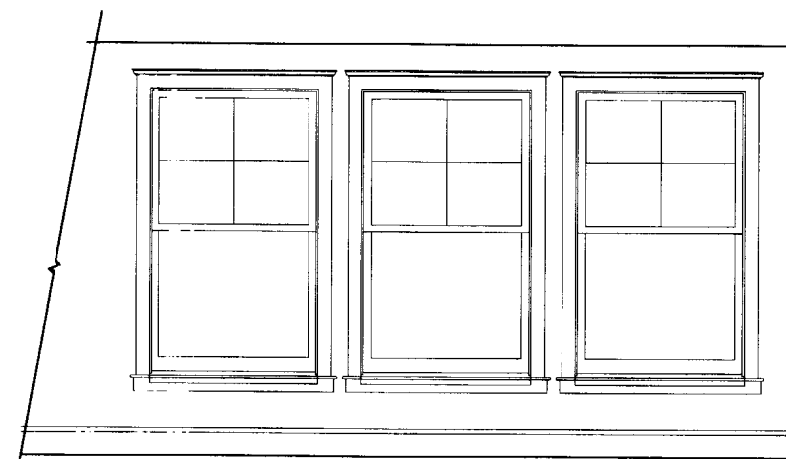
2 LIVING ROOM
WEST
SCALE: 1/2" = 1'-0"



3 LIVING ROOM
WEST
SCALE: 1/2" = 1'-0"



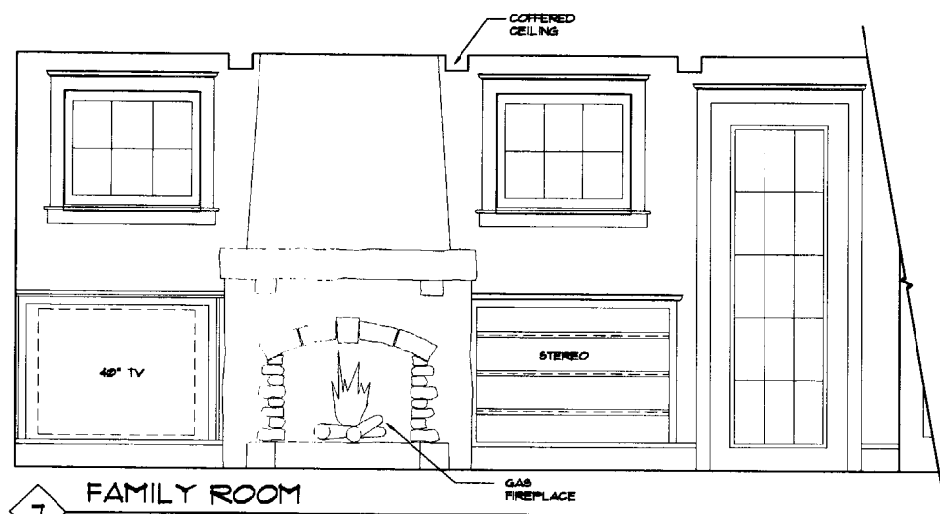
4 LIVING ROOM
NORTH
SCALE: 1/2" = 1'-0"



5 FAMILY ROOM
SOUTH
SCALE: 1/2" = 1'-0"



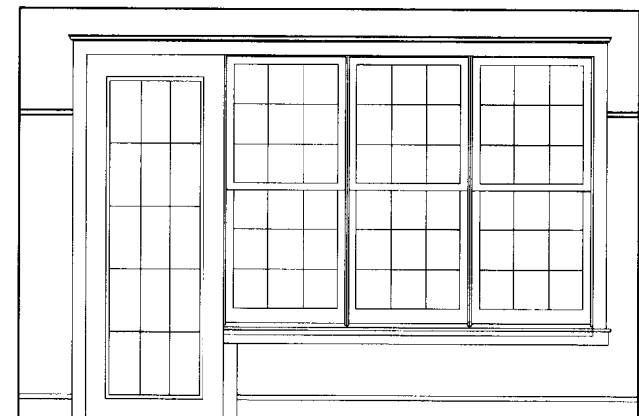
6 FAMILY ROOM
WEST
SCALE: 1/2" = 1'-0"



7 FAMILY ROOM
NORTH
SCALE: 1/2" = 1'-0"



8 DINING ROOM
NORTH
SCALE: 1/2" = 1'-0"



9 DINING ROOM
WEST
SCALE: 1/2" = 1'-0"

LES Hayward Scarborough, ME 04074
Calculus Architects
Phone: (207) 886-8818 Fax: (207) 886-8818

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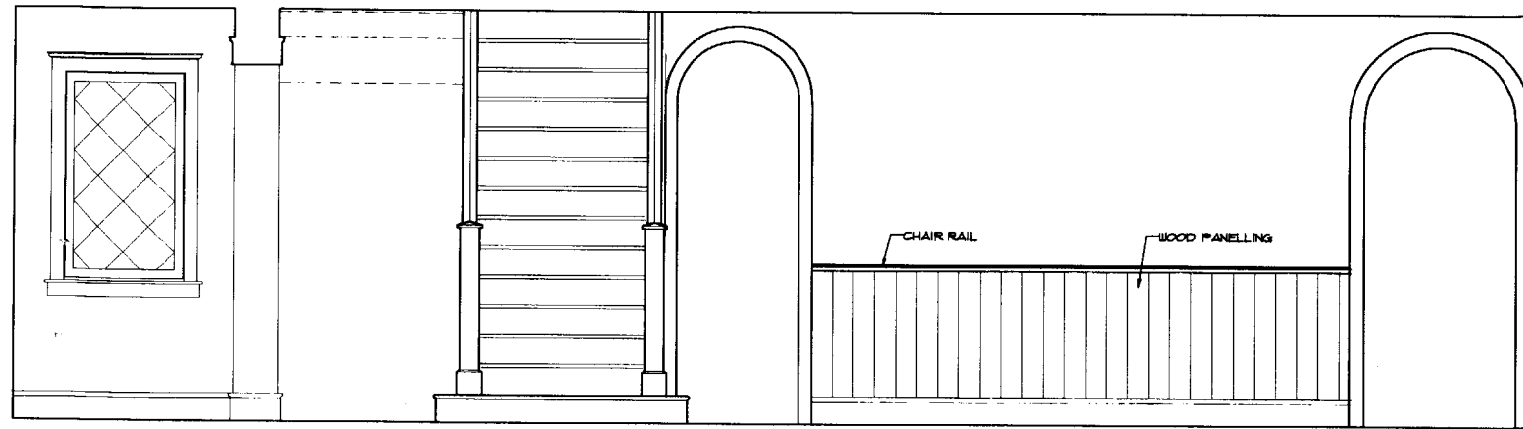
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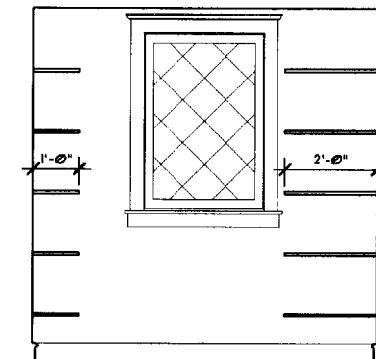
10 FOYER
SOUTH SCALE: 1/2" = 1'-0"

11 STAIR HALL
SOUTH SCALE: 1/2" = 1'-0"

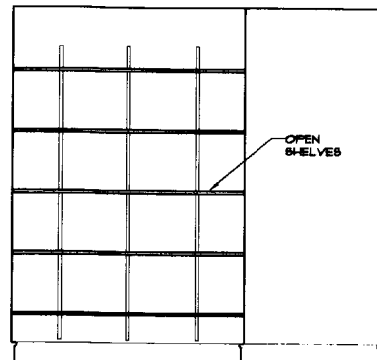
12 DINING ROOM
SOUTH SCALE: 1/2" = 1'-0"



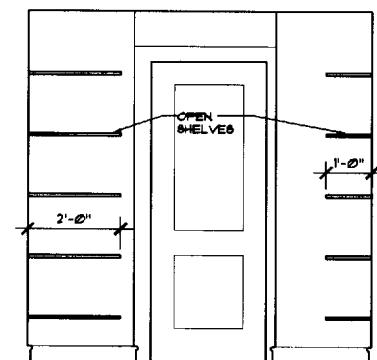
13 FOYER
EAST SCALE: 1/2" = 1'-0"



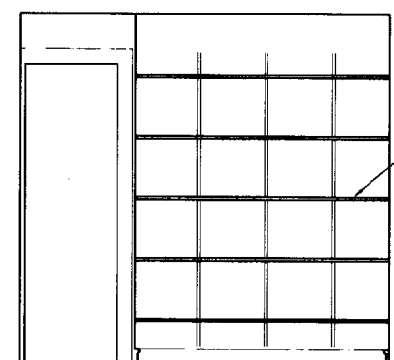
14 PANTRY
EAST SCALE: 1/2" = 1'-0"



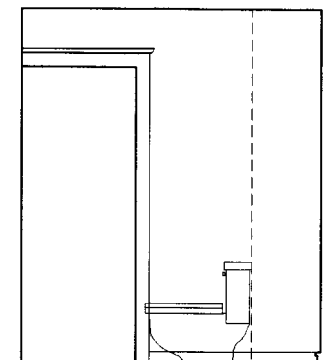
15 PANTRY
SOUTH SCALE: 1/2" = 1'-0"



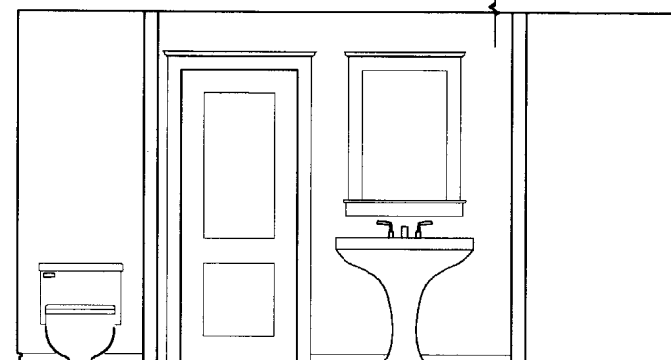
16 PANTRY
WEST SCALE: 1/2" = 1'-0"



17 PANTRY
NORTH SCALE: 1/2" = 1'-0"



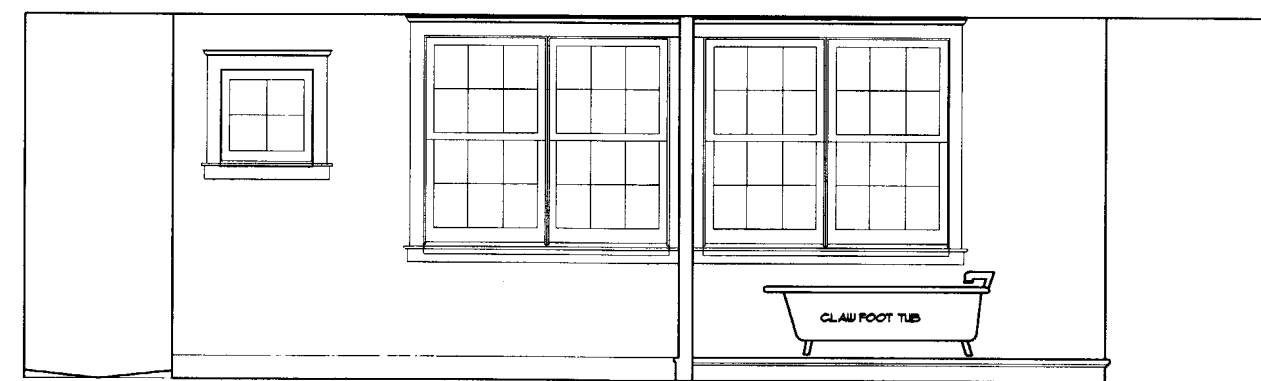
18 BYRON'S BATH
NORTH SCALE: 1/2" = 1'-0"



19 BYRON'S BATH
EAST SCALE: 1/2" = 1'-0"

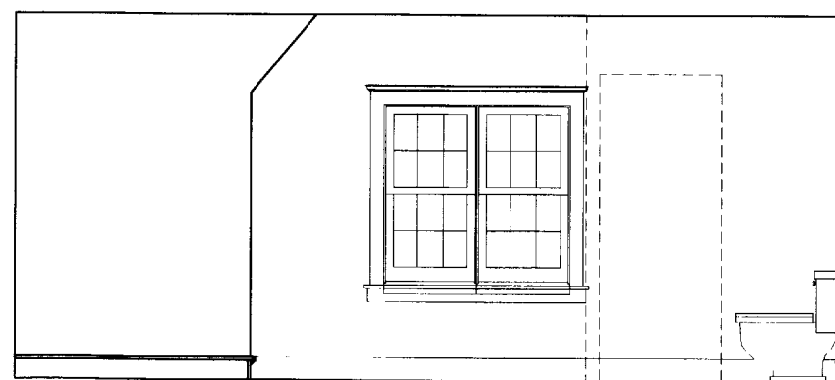


20 ALEX'S BATH
SOUTH SCALE: 1/2" = 1'-0"

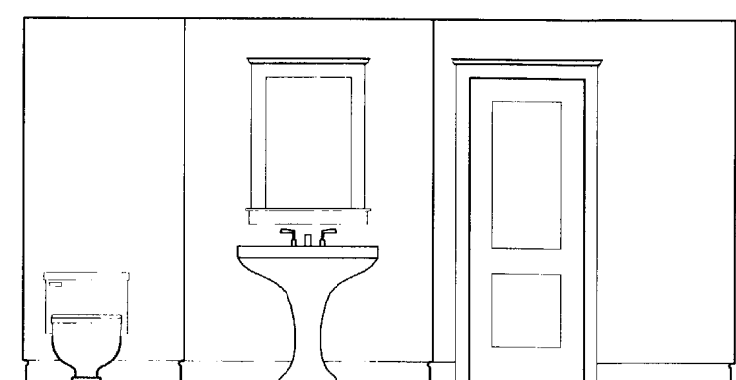


21 BYRON'S BATH
WEST SCALE: 1/2" = 1'-0"

22 ALEX'S BATH
WEST SCALE: 1/2" = 1'-0"



23 ALEX'S BATH
NORTH SCALE: 1/2" = 1'-0"



24 ALEX'S BATH
EAST SCALE: 1/2" = 1'-0"

121 Page Road Scarborough, ME 04075
Calvin J. Adams
Phone: (207) 886-4222 Fax: (207) 886-4223

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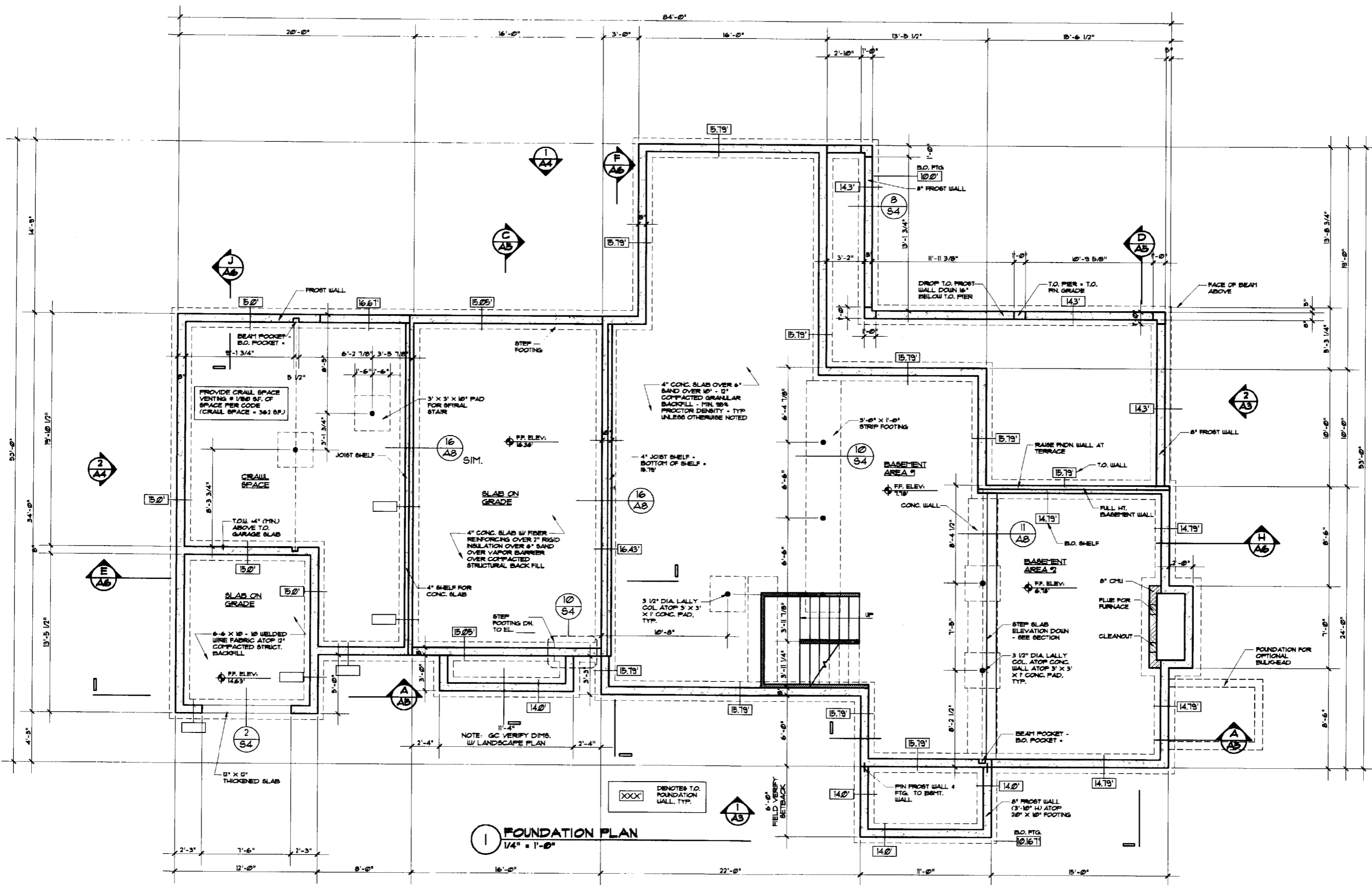
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1 FOUNDATION PLAN
1/4" = 1'-0"

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 Portland, ME 04101
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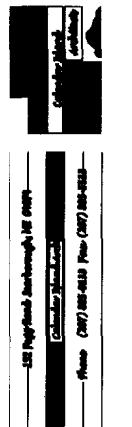
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 FOUNDATION PLAN

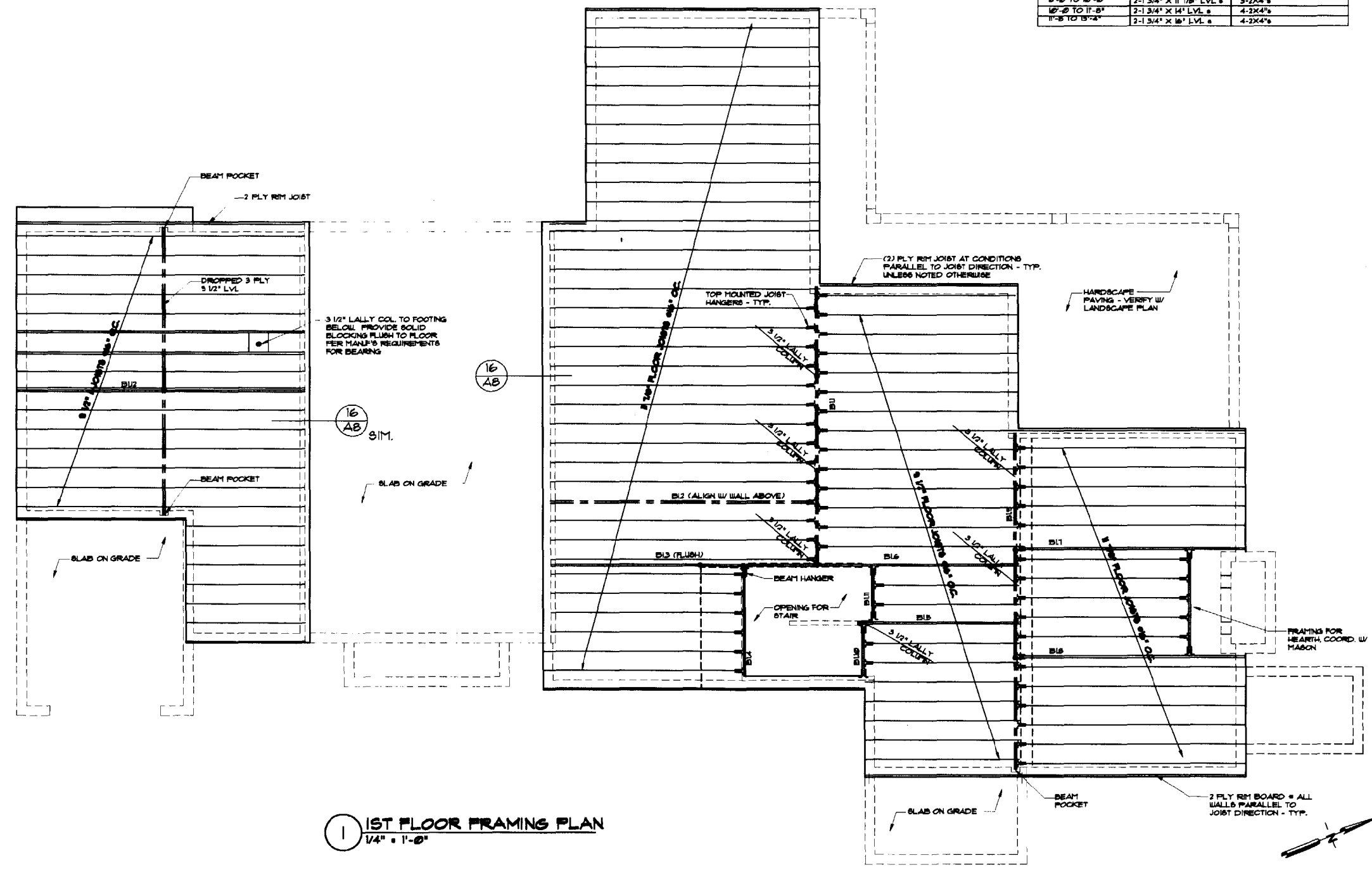
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BEAM SCHEDULE			
NO.	MEMBER SIZE	NO.	MEMBER SIZE
BU	-	BU8	2 PLY 1 3/4" X 11 7/8" LVL
BU2	3 PLY 1 3/4" X 11 7/8" LVL	BU9	-
BU3	3 PLY 1 3/4" X 11 7/8" LVL	BU10	2 PLY 1 3/4" X 11 7/8" LVL
BU4	2 PLY 1 3/4" X 11 7/8" LVL	BU11	2 PLY 1 3/4" X 11 7/8" LVL
BU5	2 PLY 1 3/4" X 11 7/8" LVL	BU12	-
BU6	2 PLY 1 3/4" X 9 1/2" LVL		
BU7	2 PLY 1 3/4" X 11 7/8" LVL		

HEADER SCHEDULE		
SPAN	INTEL SIZE	POST @ EACH END
UP TO 2'-0"	2-2X6 s	2-2X4 s
2'-0" TO 2'-6"	2-2X6 s	2-2X4 s
2'-6" TO 3'-0"	2-2X6 s	2-2X4 s
3'-0" TO 4'-0"	2-2X6 s	2-2X4 s
4'-0" TO 4'-6"	2-1 3/4" X 8 1/2" LVL s	2-2X4 s
4'-6" TO 5'-0"	2-1 3/4" X 7 1/4" LVL s	2-2X4 s
5'-0" TO 5'-6"	2-1 3/4" X 8 1/2" LVL s	2-2X4 s
5'-6" TO 6'-0"	2-1 3/4" X 11 7/8" LVL s	2-2X4 s
6'-0" TO 7'-0"	2-1 3/4" X 14" LVL s	4-2X4 s
7'-0" TO 8'-0"	2-1 3/4" X 16" LVL s	4-2X4 s



1 1ST FLOOR FRAMING PLAN
1/4" = 1'-0"

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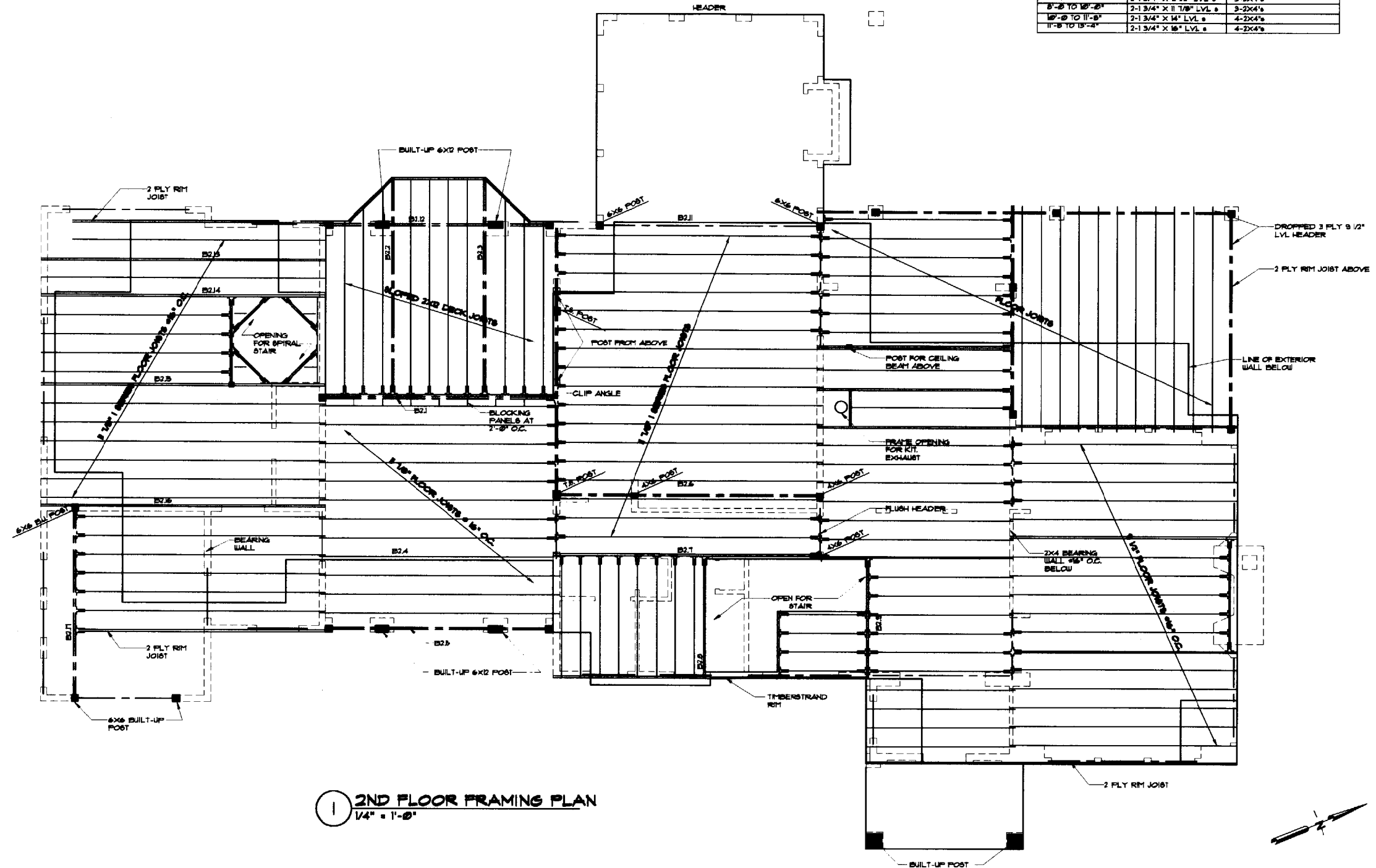
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FIRST FLOOR PLAN

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BEAM SCHEDULE			
NO.	MEMBER SIZE	NO.	MEMBER SIZE
B21	UD2X4@	B21@	NOT USED
B22	2 PLY	B211	3 PLY 1 1/8" LVL
B23	2 PLY	B212	3 PLY 9/12" LVL
B24	2 PLY 4 I-JOIST	B213	2 PLY 1 1/8" LVL
B25	3 PLY 5 1/2" LVL	B214	2 PLY 1 1/8" LVL
B26	3 PLY 1 7/8" LVL	B215	2 PLY 1 1/8" LVL
B27	3 PLY 1 3/4" X 1 7/8" LVL	B216	2 PLY 1 1/8" LVL
B28	2 PLY 1 3/4" X 1 7/8" LVL	B217	3 PLY 9/12" LVL
B29	-		

HEADER SCHEDULE		
SPAN	LINTEL SIZE	POST @ EACH END
UP TO 7'-0"	2-2X6 @	2-2X4's
7'-0" TO 7'-6"	2-2X6 @	2-2X4's
7'-6" TO 8'-3"	2-2X6 @	2-2X4's
8'-3" TO 9'-0"	2-2X6 @	2-2X4's
9'-0" TO 9'-6"	2-1 3/4" X 5 1/2" LVL @	2-2X4's
9'-6" TO 10'-0"	2-1 3/4" X 7 1/4" LVL @	2-2X4's
10'-0" TO 10'-6"	2-1 3/4" X 5 1/2" LVL @	3-2X4's
10'-6" TO 11'-0"	2-1 3/4" X 11 7/8" LVL @	3-2X4's
11'-0" TO 11'-6"	2-1 3/4" X 14" LVL @	4-2X4's
11'-6" TO 12'-0"	2-1 3/4" X 16" LVL @	4-2X4's



1 2ND FLOOR FRAMING PLAN
1/4" = 1'-0"

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 SECOND FLOOR PLAN

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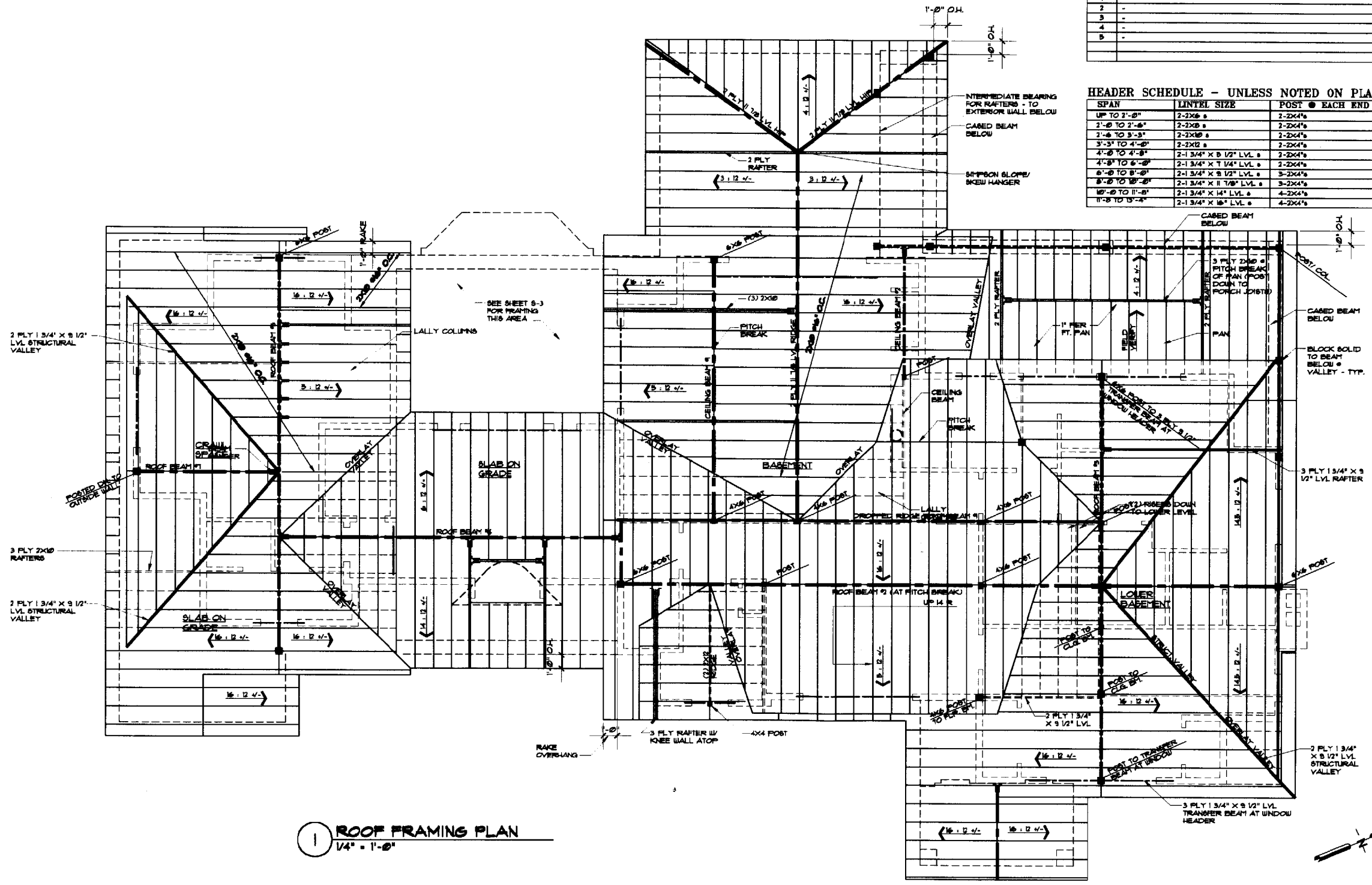


121 High Street, Scarborough, ME 04074
 Calendar Building
 Phone (207) 884-6333 Fax (207) 884-6333

ROOF BEAM SCHEDULE	
NO.	MEMBER SIZE
1	2 PLY 1 7/8" LVL
2	2 PLY 1 7/8" LVL
3	2 PLY 1 7/8" LVL
4	2 PLY 1 7/8" LVL
5	2 PLY 1 7/8" LVL

CEILING BEAM SCHEDULE	
NO.	MEMBER SIZE
1	-
2	-
3	-
4	-
5	-

HEADER SCHEDULE - UNLESS NOTED ON PLAN		
SPAN	LINTEL SIZE	POST @ EACH END
UP TO 2'-0"	2-2x6 s	2-2x4's
2'-0" TO 2'-6"	2-2x6 s	2-2x4's
2'-6" TO 3'-3"	2-2x6 s	2-2x4's
3'-3" TO 4'-0"	2-2x6 s	2-2x4's
4'-0" TO 4'-8"	2-1 3/4" X 8 1/2" LVL s	2-2x4's
4'-8" TO 6'-0"	2-1 3/4" X 11 1/4" LVL s	2-2x4's
6'-0" TO 8'-0"	2-1 3/4" X 11 1/2" LVL s	3-2x4's
8'-0" TO 10'-0"	2-1 3/4" X 11 7/8" LVL s	3-2x4's
10'-0" TO 11'-0"	2-1 3/4" X 14" LVL s	4-2x4's
11'-0" TO 13'-4"	2-1 3/4" X 16" LVL s	4-2x4's



1 ROOF FRAMING PLAN
 1/4" = 1'-0"

REVISIONS	
NO.	DATE DESCRIPTION

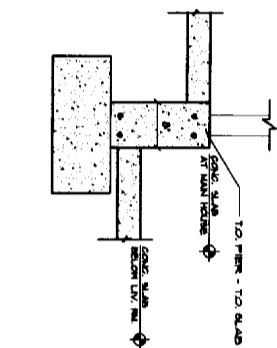
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ROOF FRAMING PLAN

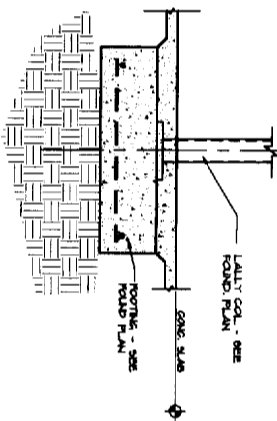
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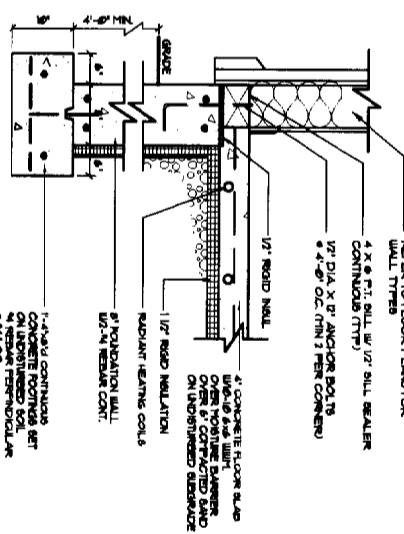
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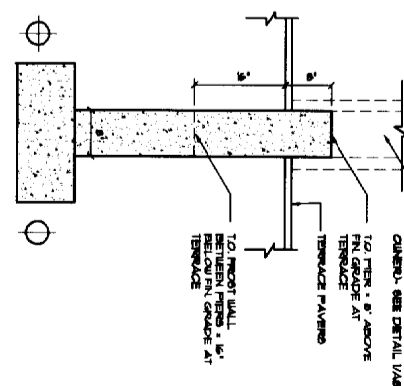
11 DETAIL AT STEP IN CONC. SLAB
SCALE 1/4" = 1'-0"



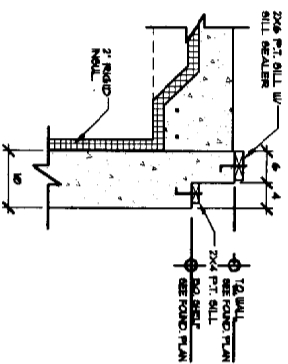
10 DETAIL AT LALLY COL. FOOTINGS
SCALE 1/4" = 1'-0"



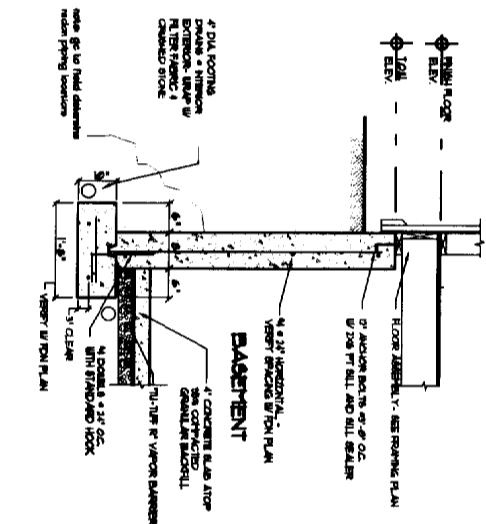
9 TYP. FOUNDATION WALL AT SLAB DETAIL
SCALE 1/4" = 1'-0"



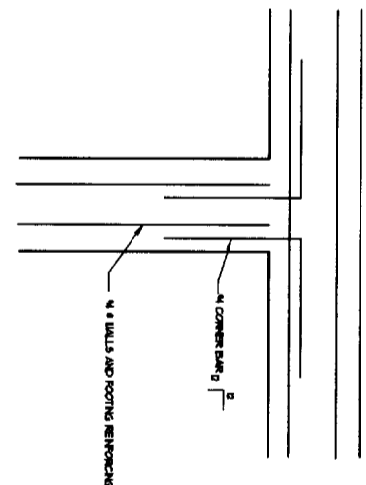
8 DETAIL AT COLUMN PIER
SCALE 1/4" = 1'-0"



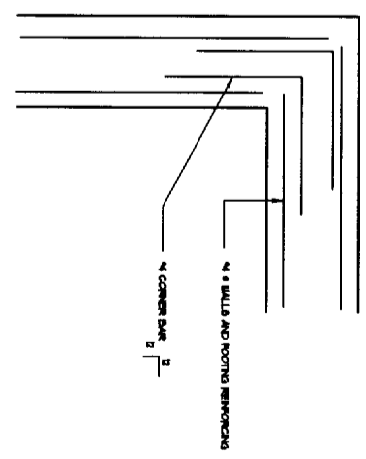
7 JOINT SHELF DETAIL
SCALE 1/4" = 1'-0"



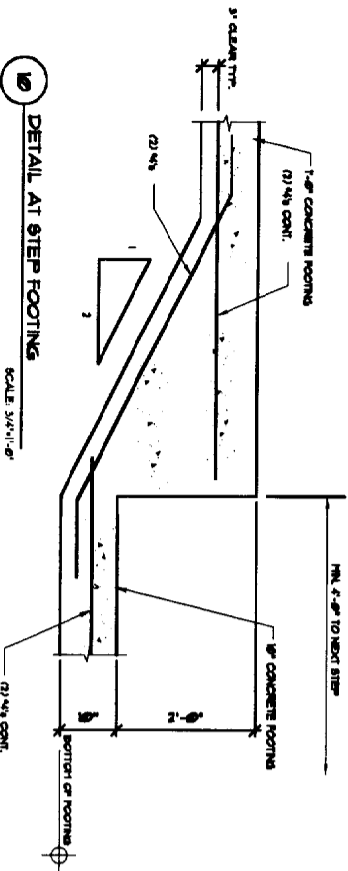
6 TYPICAL BASEMENT WALL DETAIL
1/2" = 1'-0"



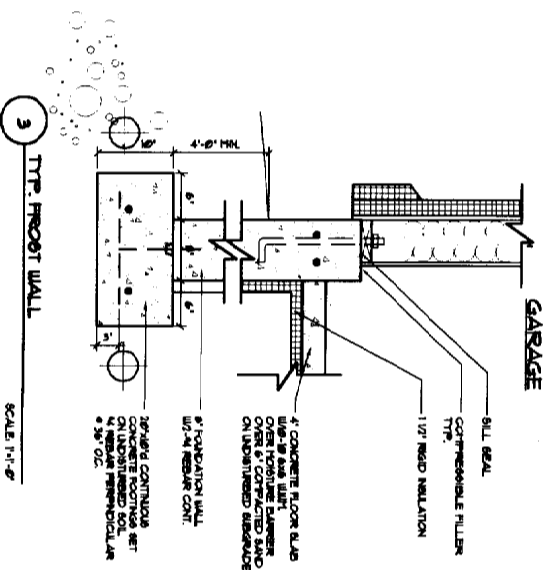
5 CORNER BAR DETAIL
1/2" = 1'-0"



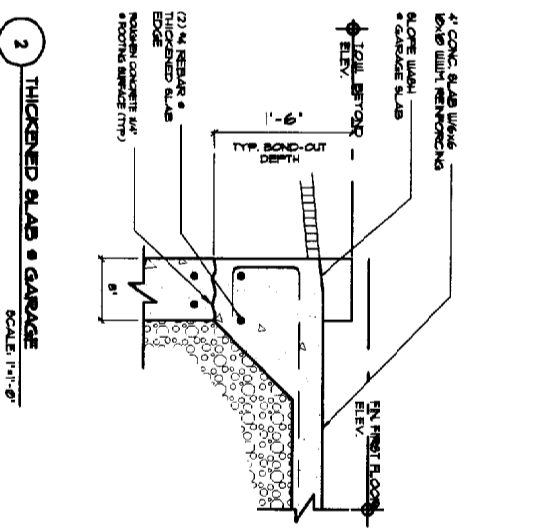
4 CORNER BAR DETAIL
1/2" = 1'-0"



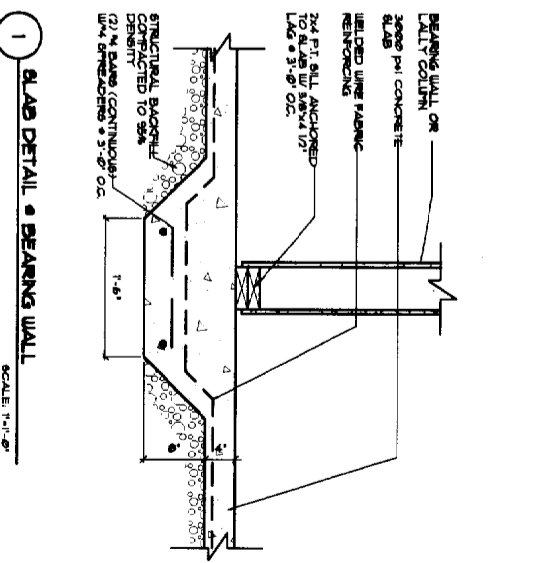
12 DETAIL AT STEP FOOTING
SCALE 3/8" = 1'-0"



3 TYP. FOOT WALL
SCALE 1/4" = 1'-0"



2 THICKENED SLAB & GARAGE
SCALE 1/4" = 1'-0"



1 SLAB DETAIL & BEARING WALL
SCALE 1/4" = 1'-0"

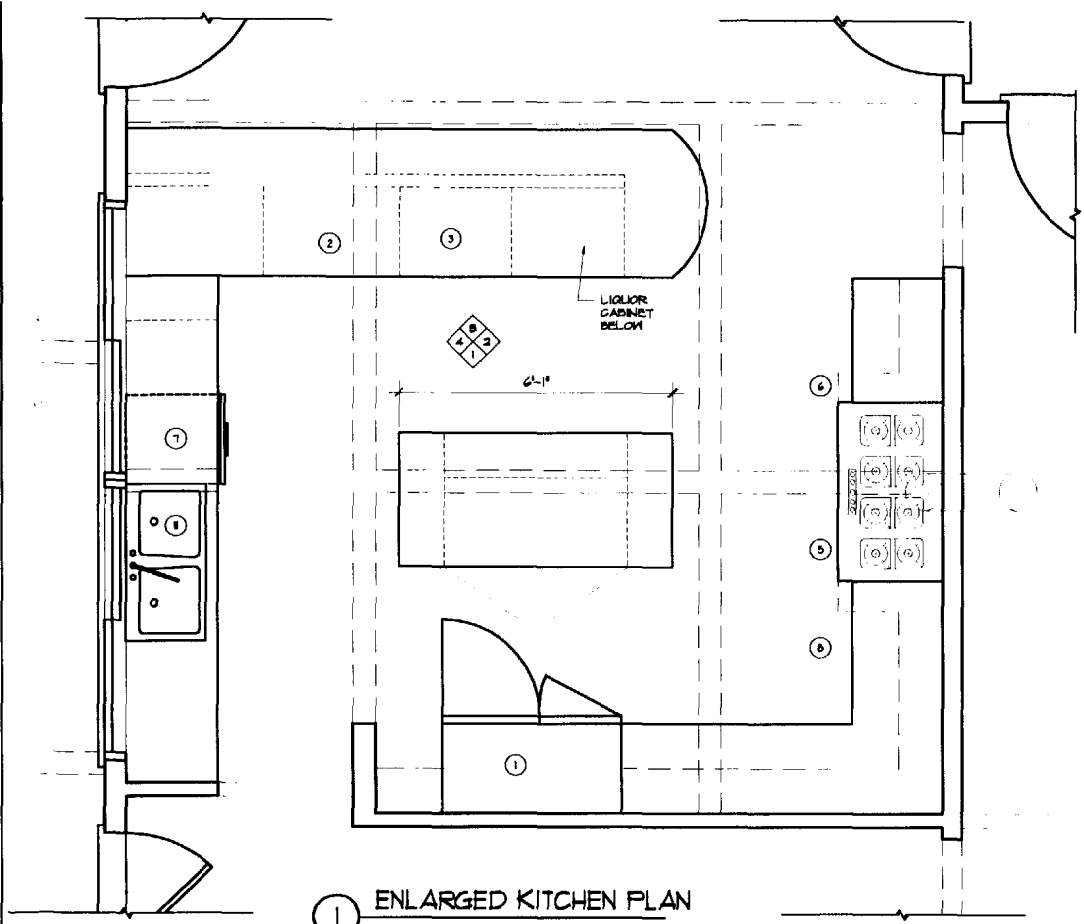
255 Fogg Road Scarborough, ME 04076
 Callender/Blond Architects
 Phone (207) 885-6158 Fax (207) 885-3358

REVISIONS	
NO.	DESCRIPTION

NEAL RESIDENCE
 GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET	

DATE	11/15/02
DRAWN BY	BUB
CHECKED BY	WP



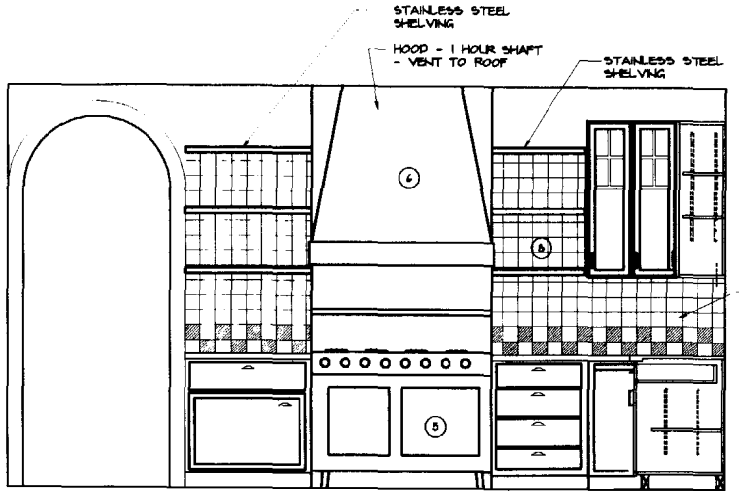
1 ENLARGED KITCHEN PLAN
SCALE: 1/2" = 1'-0"

KITCHEN EQUIPMENT SCHEDULE															
ITEM	QTY.	DESCRIPTION	MANUFACTURER	MFG. MODEL	ELECTRICAL					PLUMBING					COMMENTS
					VOLT	Ø	HP	KW	AMP	PROPANE	HW	CW	W	IW	
1	1	48" Refrigerator/Freezer	SubZero	-	-	-	-	-	-	-	-	-	-	-	-
2	1	Freezer Drawer	SubZero	-	-	-	-	-	-	-	-	-	-	-	-
3	1	Undercounter Wine Cooler	SubZero	-	-	-	-	-	-	-	-	-	-	-	-
4	1	Undercounter Refrigerator/Freezer	SubZero	-	-	-	-	-	-	-	-	-	-	-	-
5	1	48" Dual Fuel Stove	Deco	-	-	-	-	-	-	-	-	-	-	-	-
6	1	Vent-a-hood	Deco	-	-	-	-	-	-	-	-	-	-	-	-
7	1	36" Dishwasher	Deco	-	-	-	-	-	-	-	-	-	-	-	-
8	1	Microwave/Convection Oven/Warming	GE	-	-	-	-	-	-	-	-	-	-	-	-
9	1	30" Refrigerator/Freezer	SubZero	-	-	-	-	-	-	-	-	-	-	-	-
10	1	Gas Cooktop	GE	-	-	-	-	-	-	-	-	-	-	-	-
11	1	36" Sink	-	-	-	-	-	-	-	-	-	-	-	-	-
12	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-

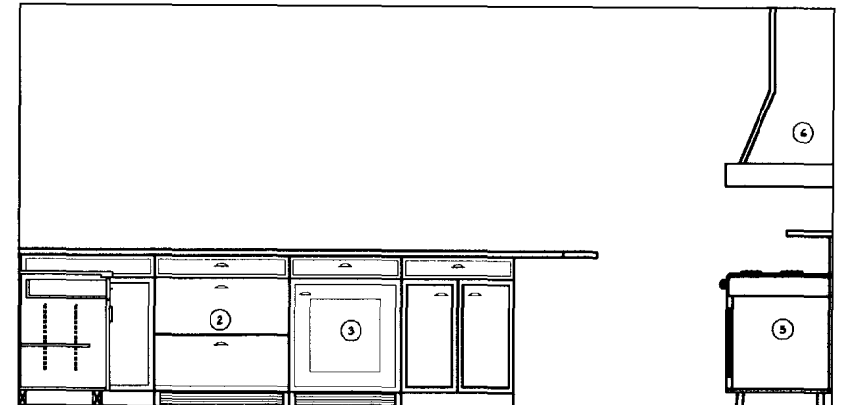
LAUNDRY EQUIPMENT SCHEDULE															
ITEM	QTY.	DESCRIPTION	MANUFACTURER	MFG. MODEL	ELECTRICAL					PLUMBING					COMMENTS
					VOLT	Ø	HP	KW	AMP	PROPANE	HW	CW	W	IW	
1	1	Washer	WHIRLPOOL DUET SERIES	DUET SERIES	-	-	-	-	-	-	-	-	-	-	-
2	1	Dryer	WHIRLPOOL DUET SERIES	-	-	-	-	-	-	-	-	-	-	-	-
3	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-
4	1	-	-	-	-	-	-	-	-	-	-	-	-	-	-



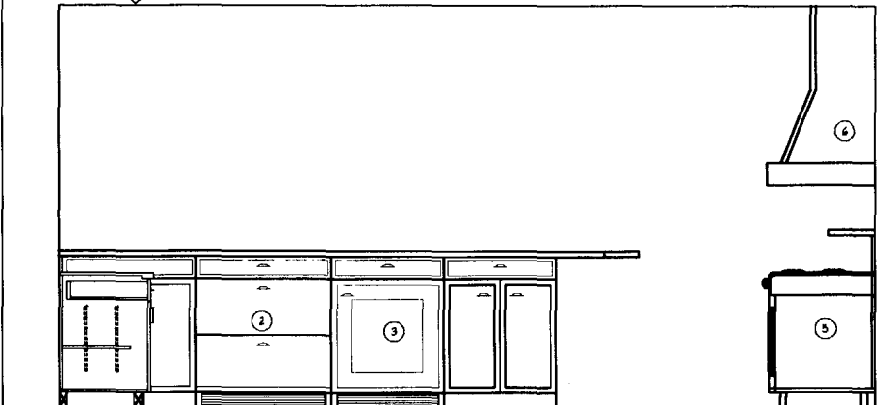
1 KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



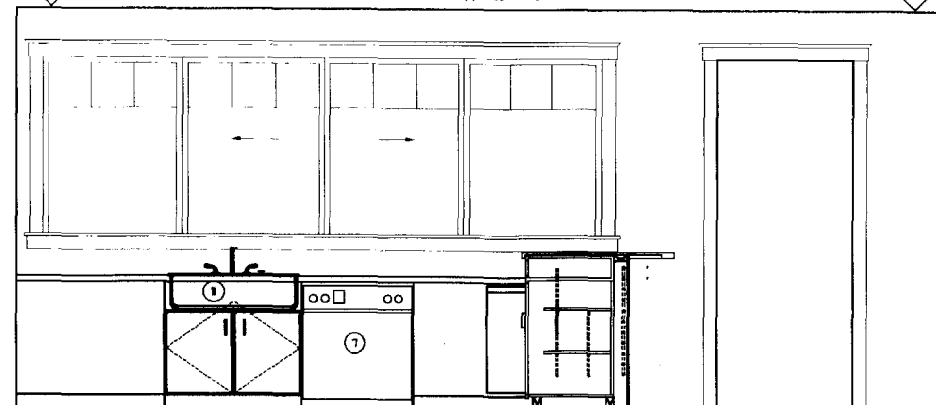
2 KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



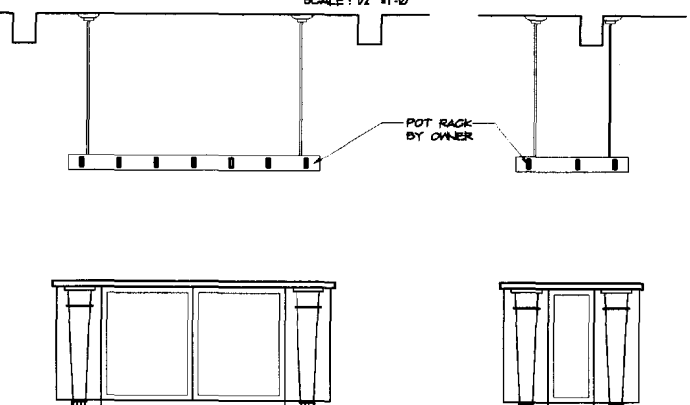
3 KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



4 KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



5 KITCHEN SOUTH
SCALE: 1/2" = 1'-0"



6 ISLAND SIDE
SCALE: 1/2" = 1'-0"

153 Highland Boulevard, Mt. Kisco, NY 10549
 (914) 361-1111
 Fax: (914) 361-1112

NO.	DATE	REVISIONS DESCRIPTION

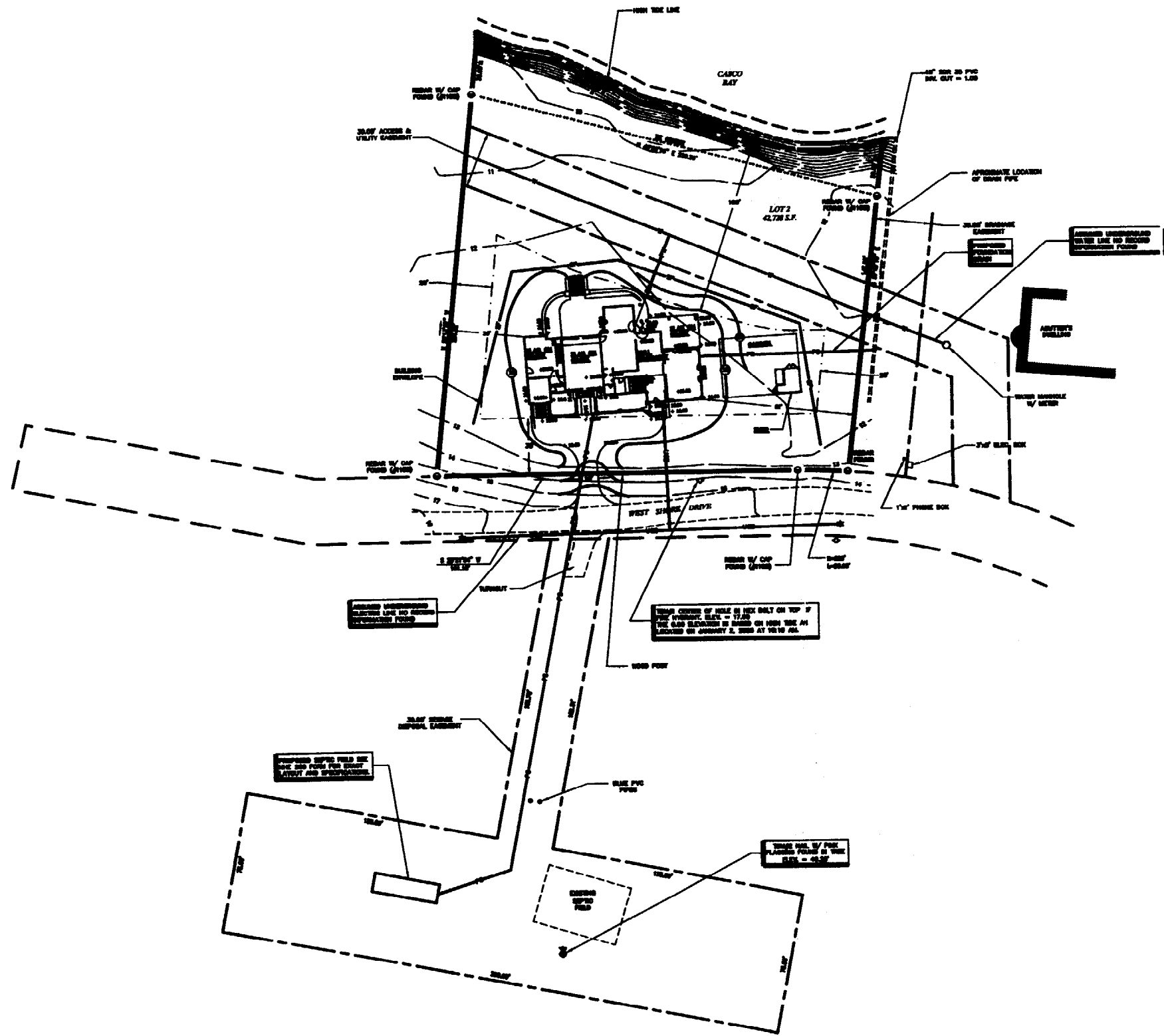
NEAL RESIDENCE
 GREAT DIAMOND ISLAND, MAINE

DRAWINGS THIS SHEET
 WALL SECTIONS

DATE	5-8-03
NUMBER	
DRAWN BY	BJB
CHECKED BY	WF

K-1
 COPYRIGHT
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 OF CALDWELL ISLANDS ARCHITECTURE
 IS STRICTLY PROHIBITED.

E:\ACAD R14\24000\24649\24649.dwg Fri Mar 21 08:18:56 2003



LEGEND

	DURING	PROPOSED
EDGE OF PAVEMENT	---	---
CONTOUR	---123---	---123---
SPOT GRADE		+ 123.4'
SEWER	---	---S---
WATER	---	---W---
UNDERGROUND ELECTRIC	---	---USE---
SILT FENCE	---	---SF---
DRAIN	---	---D---

NOTES

1. THE BASIS OF BEARING FOR THIS SURVEY IS FROM THE PLAN REFERENCED IN NOTE 4.A. BELOW. SAID BEARING IS MAGNETIC 1988.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS (CORD).
3. THE PARCEL SURVEYED IS IDENTIFIED ON THE TOWN OF PORTLAND ASSESSOR'S MAP 838-A, PARCEL 2.
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. "AMENDED RECORDING PLAN DIAMOND COVE PHASE I, GREAT DIAMOND ISLAND, PORTLAND," BY LAND USE CONSULTANTS, DATED JULY 8, 1991 AND RECORDED IN PLAN BOOK 191, PAGE 144.
 - b. "PRELIMINARY LANDSCAPING PLAN, LOT 2 DIAMOND COVE," BY F. A. CLIBBING, INC., DATED JANUARY 24, 2003.
5. THE PARCEL SURVEYED IS LOCATED IN THE R1 ZONE. SETBACKS ARE AS FOLLOWS:
 FRONT - 30'
 SIDE - 30'
 REAR - 30'
 SETBACK FROM HIGH WATER = 100' (75' NORMAL SETBACK FROM HIGH WATER PLUS 25' PRESERVATION OF VEGETATION)
6. THE BUILDING FOOTPRINT & SITE GRADING SHOWN HEREIN WERE TAKEN FROM THE PLAN REFERENCED IN NOTE 4.A. ABOVE.
7. THIS IS NOT A BOUNDARY SURVEY. THIS SKETCH PLAN EXCEPTS CHAPTER 90, PART 2, SECTIONS 4 THROUGH 8 OF THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYOR'S RULES.
8. BOUNDARY LINES BASED UPON PLAN REFERENCE IN NOTE 4.A. BELOW.
9. CONTRACTOR SHALL INSTALL AND MAINTAIN SILT FENCE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION BEST MANAGEMENT PRACTICES.
10. PER TOWN RECORD "PORTLAND, ME" NUMBER 8418150, THE ELEVATION OF THE HIGH TIDE MARK IS 6.4' BELOW OUR HIGH TIDE LINE OF 0.0', AT THE TIME OF OUR SURVEY.

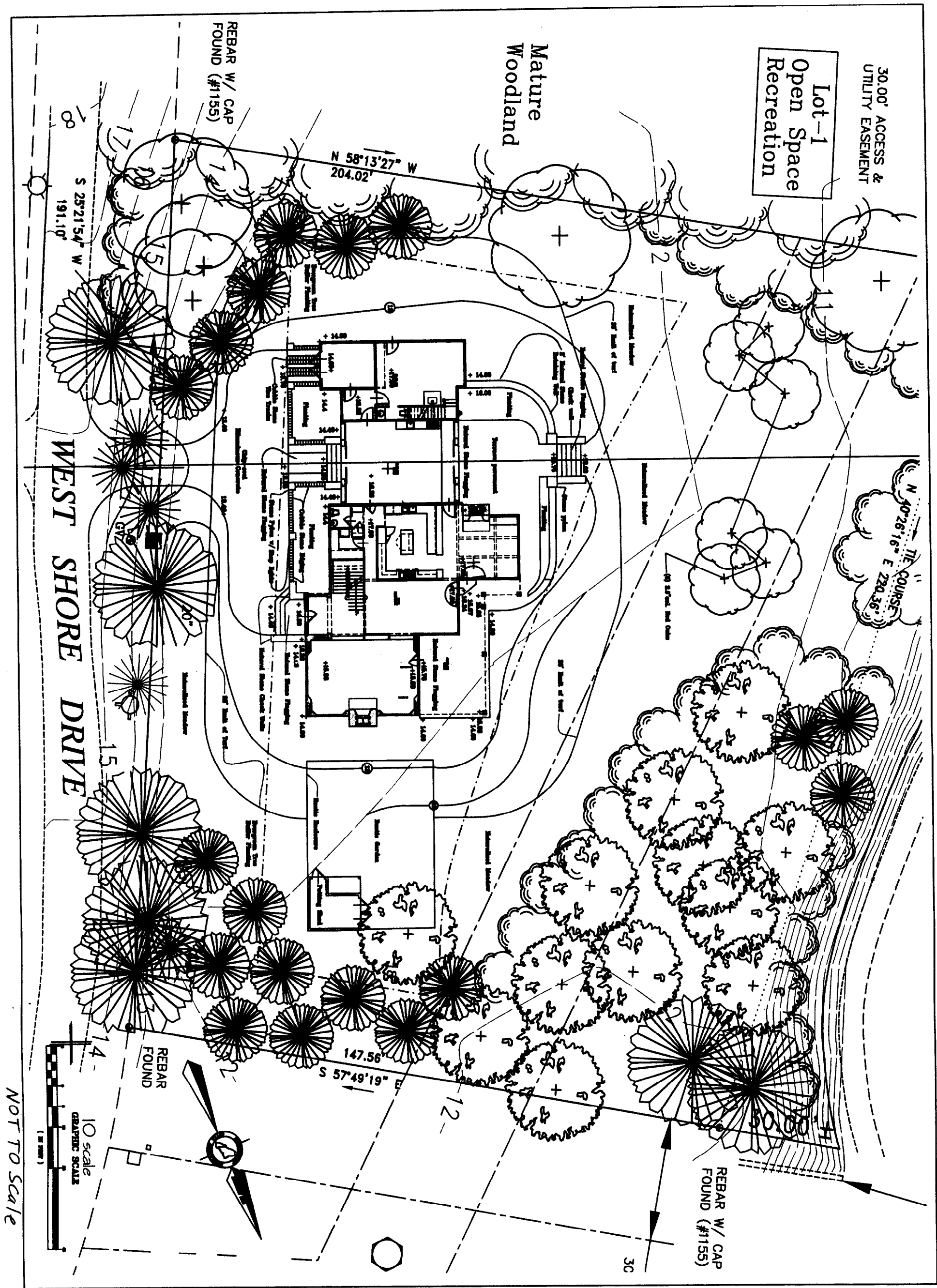
SKETCH PLAN OF LAND
ON
GREAT DIAMOND ISLAND
IN
LOT 2 DIAMOND COVE
MAINE

SCALE: 1"=60' MARCH 6, 2003
 PREPARED BY:
 SWEN & ALEX NEAL
 30 WEST SHORE DRIVE
 GREAT DIAMOND ISLAND, PORTLAND, MAINE

JOB NUMBER: 24649 ACD FILE: 24649.dwg SURVEY PROJECT: 24649

SURVEYING ENGINEERING LAND PLANNING
Northeast Civil Solutions
 INCORPORATED
 183 US ROUTE 1, SCARBOROUGH, MAINE 04074
 Tel: 603.883.8888 Fax: 603.883.8888 E-mail: ncs@ncsolutions.com

NOT TO SCALE



DATE: _____
BY: _____

L-2

NO.	DATE	BY	DESCRIPTION

DRAWINGS THIS SHEET
PRELIMINARY LANDSCAPE PLAN
LOT-2
DIAMOND COVE

NEAL RESIDENCE
LOT 2 DIAMOND COVE
GREAT DIAMOND ISLAND, PORTLAND, MAINE

REVISIONS	
NO.	DESCRIPTION

F.A.Cushing, Inc.
Master Planning
Landscape Architecture
62 Denham Lane
Bowdoinham, Maine 04008
Tel. (207) 926-0200 Fax. (207) 926-0207

