

BOUNDARY SURVEY OF LAND ON
SUNSET AVENUE AND CLEEVE STREET,
GREAT DIAMOND ISLAND, PORTLAND, MAINE

8-8-11
Final Copy

MADE FOR MICHAEL W. MOONEY
19 EASTERN TERRACE LANE, TOPSHAM, MAINE 04086

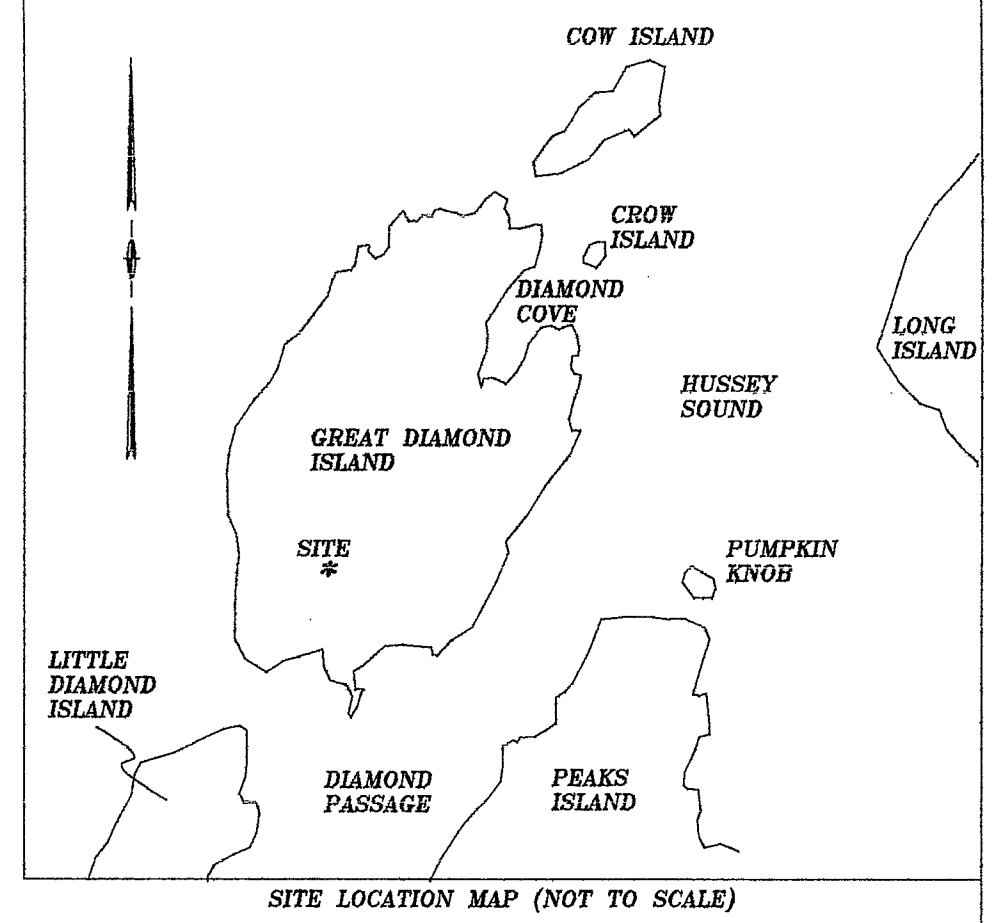
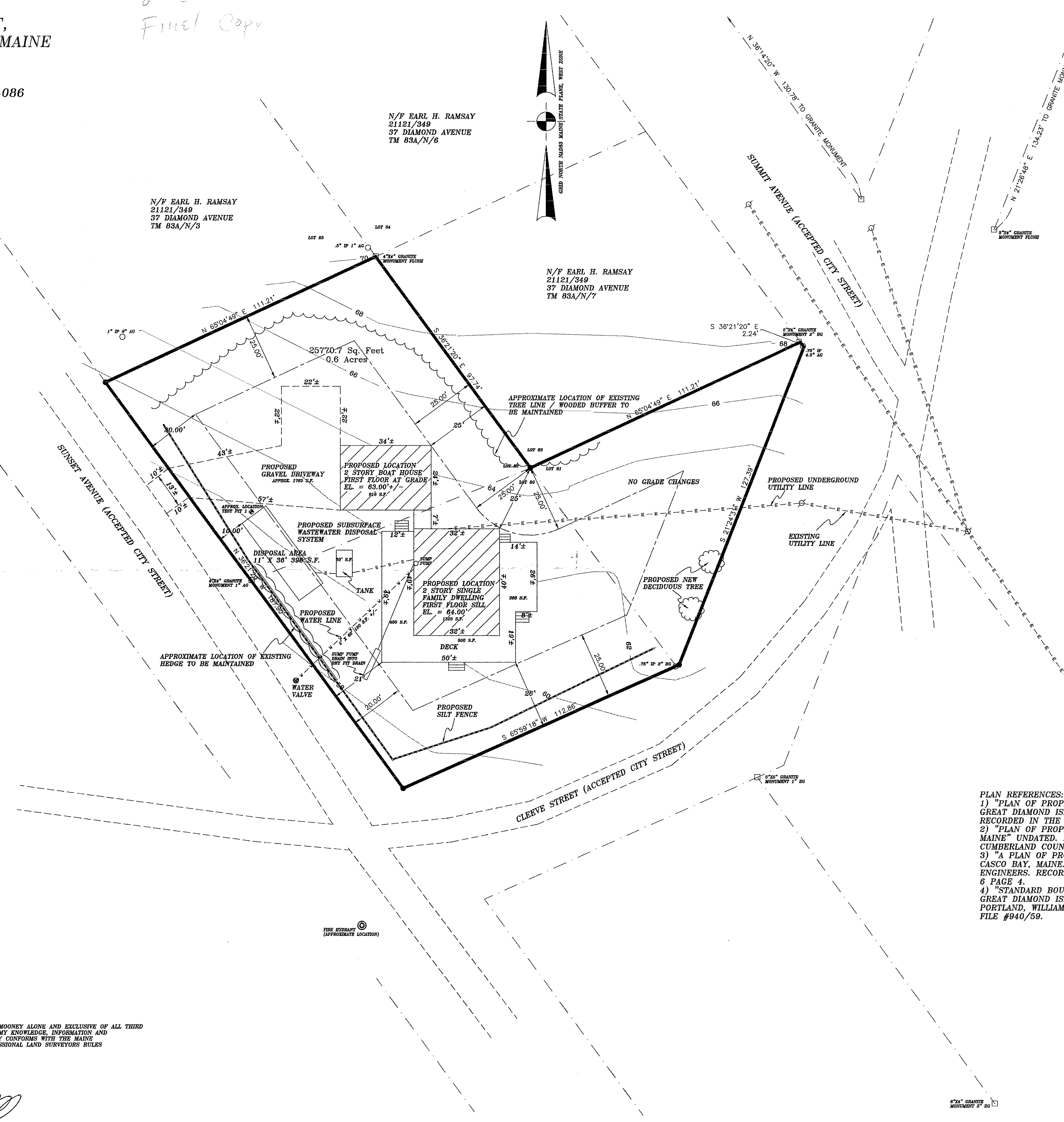
MADE BY NORTHEASTERN LAND SURVEYING
16 COLLEGE AVENUE, GORHAM, MAINE 04038

JUNE 9, 2010 JOB #10-004 SHEET 1 OF 1
REVISED MARCH 17, 2011 CHANGES TO BUILDING AND DRIVEWAY
REVISED JUNE 14, 2011 CHANGES TO BUILDING AND DRIVEWAY AND OTHER
SUNDRY DE MINIMIS CHANGES
REVISED AUGUST 5, 2011 CHANGES TO SEPTIC SYSTEM AND DRIVEWAY

SCALE 1" = 20'



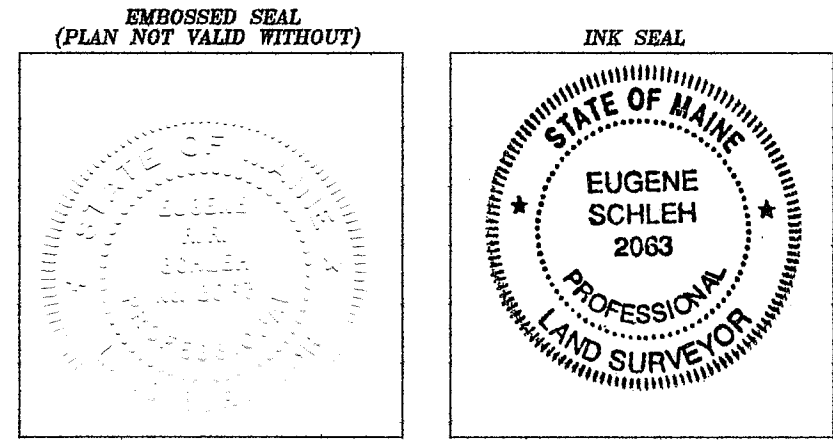
- NOTES:
- OWNERS OF RECORD ARE CHRISTOPHER A. MOONEY AND JESSICA J. MOONEY.
 - THE DEED OF RECORD IS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 25439 PAGE 235
 - THE CADSTRAL REFERENCE IS CITY OF PORTLAND TAX MAP 83A BLOCK N LOTS 1, 2, AND 6.
 - THE PARCEL DOES NOT FALL IN A "SPECIAL FLOOD HAZARD AREA" PER F.E.M.A. SEE COMMUNITY #230051 PANELS #0008BAND #0009B, EFFECTIVE DATE JULY 17, 1986.
 - ROAD RIGHT OF WAY WIDTH AND LOCATION IS PER REFERENCE PLANS 1-4.
 - ZONING: THE PARCEL IS IN THE "IR-2" ZONE AN OFFICIAL ZONING DETERMINATION AND REQUIREMENTS MUST BE OBTAINED FROM THE CITY OF PORTLAND AND ALL OTHER APPLICABLE REGULATORY BODIES BEFORE BUILDING IMPROVEMENTS OR CONVEYING LAND OR INTEREST.
 - UTILITY LOCATION SHOWN IS APPROXIMATE. THIS PLAN MAY NOT SHOW ALL UTILITIES USED OR IN DISUSE. ALL APPROPRIATE OFFICES AND THE "DIGSAFE" PROGRAM SHOULD BE CONTACTED BEFORE DOING ANY EXCAVATION.
 - THIS PLAN IS NOT INTENDED TO DEPICT LIMITS OR EXTENTS OF FEE TITLE OWNERSHIP. AN OPINION OF TITLE SHOULD BE RENDERED BY AN ATTORNEY.
 - NORTHEASTERN LAND SURVEYING AND THE SIGNING SURVEYOR RESERVE THE RIGHT TO BE HELD HARMLESS FROM ALL THIRD PARTY CLAIMS.
 - TOTAL AREA OF STRUCTURES IS 3767 SQUARE FEET. TOTAL OF DISTURBANCE AREA IS APPROXIMATELY 3795 SQUARE FEET.
 - DATUM IS NGVD 1929 PER U.S.G.S. QUADRANGLE MAP "PORTLAND EAST, ME.". BENCHMARK IS THE INTERSECTION OF CLEAVES STREET AND SUNSET AVENUE, MAP SHOWS A 60' ELEVATION.
 - SITE EVALUATION BY ALBERT FRICK ASSOCIATES DATED 5/21/2010. PER REPORT SOIL TYPE (TEST PIT 1) - SANDY LOAM TO 7", GRAVELLY LOAMY SAND TO 40" AND BEDROCK AND LARGE STONE. CONSISTENCY IS FRIABLE. PROFILE 3 AND CONDITION A/C. SEE REPORT.



LEGEND

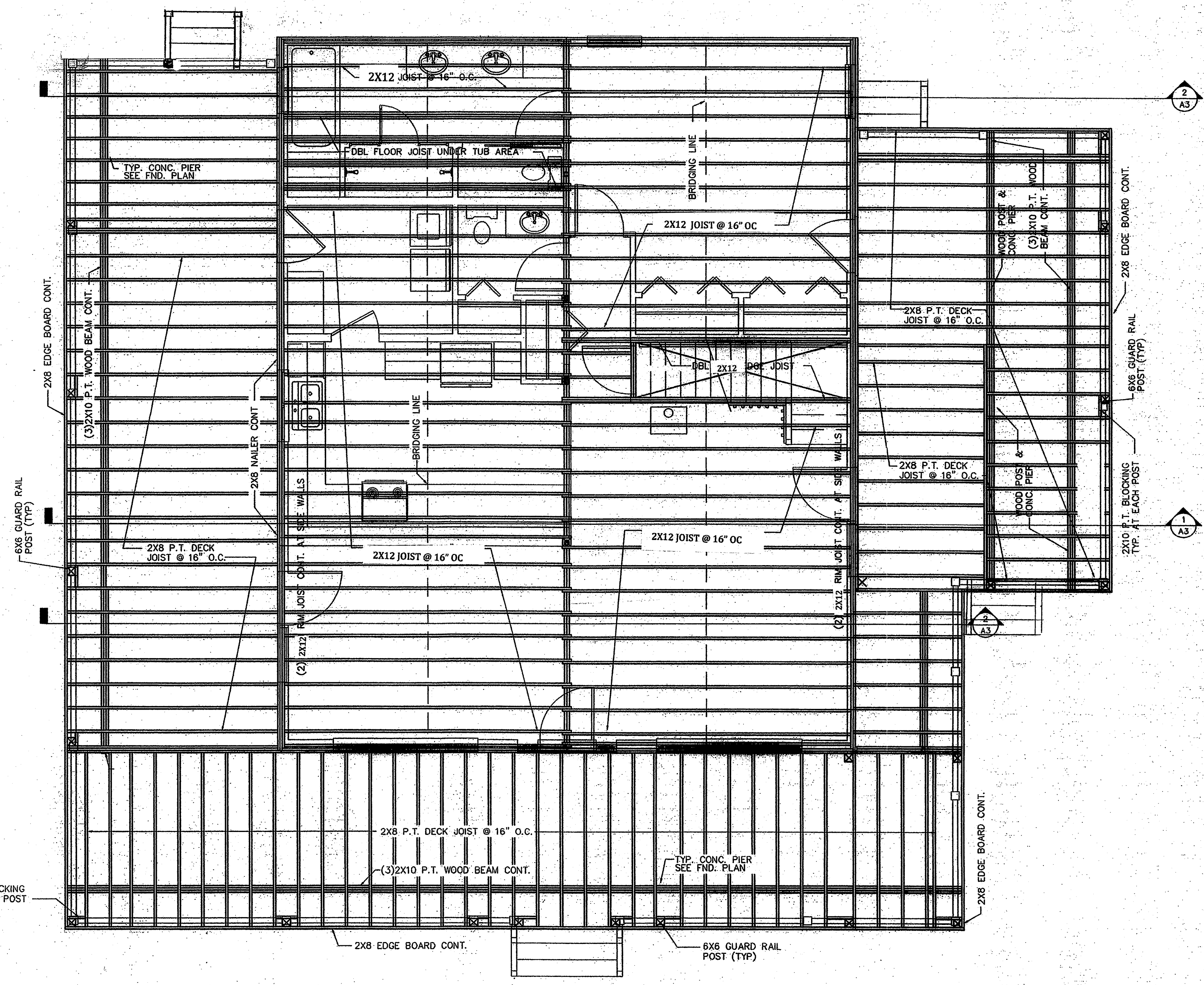
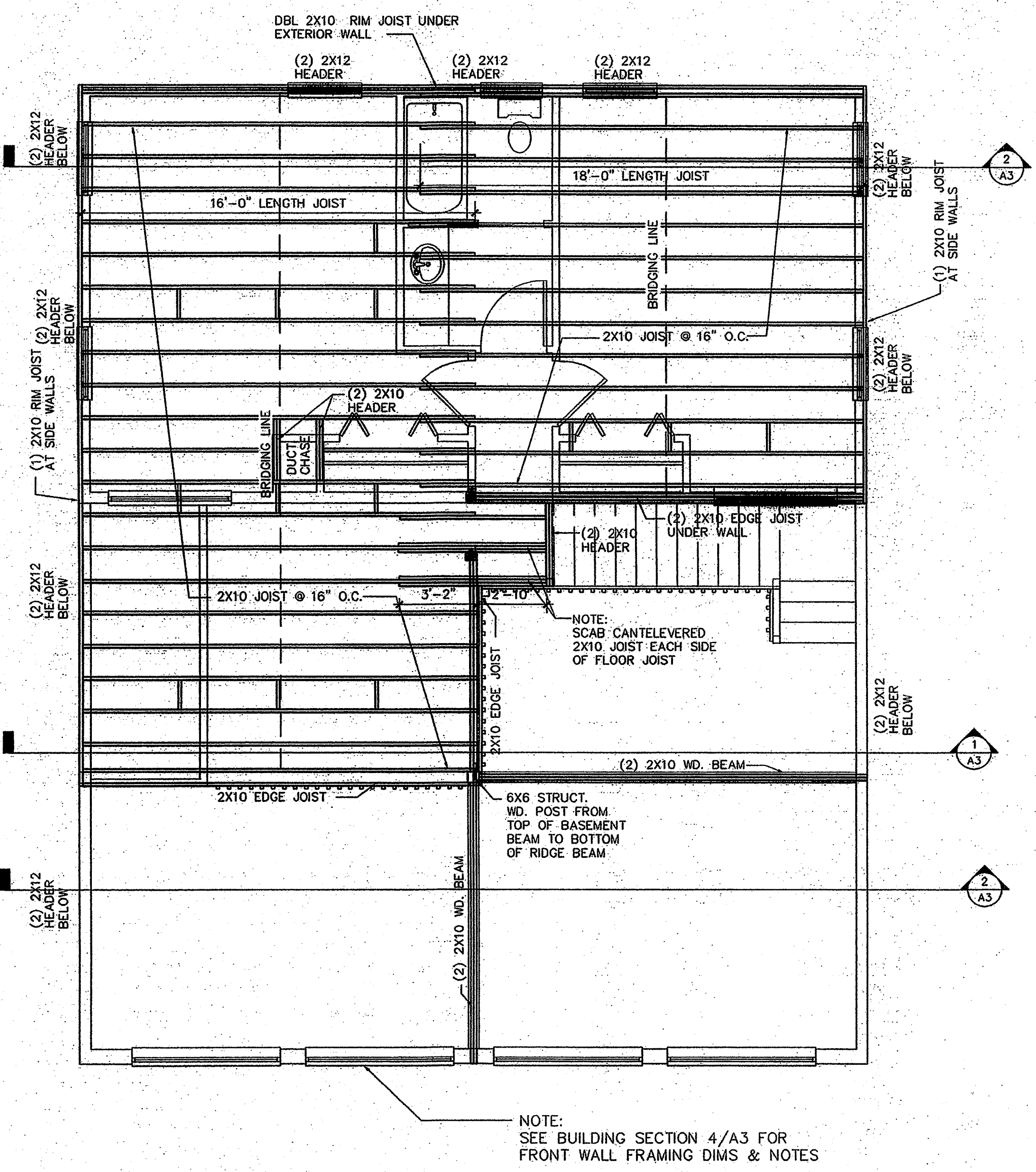
○	IRON PIPE/ROD FOUND (IPF/IRF)
●	IRON ROD SET WITH CAP (PLS 2063)
□	GRANITE MONUMENT FOUND (GMF)
⊕	UTILITY POLE
AG	ABOVE GRADE
BG	BELOW GRADE
52.80' (53'±)	FOUND DISTANCE (RECORD DISTANCE)
N/F	NOW OR FORMERLY OF
21121/349	CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK/PAGE NUMBER
TM 83A/N/6	TAX MAP/BLOCK/LOT NUMBER
—	SURVEYED PROPERTY LINE
- - -	EASEMENT LINE
- · - · -	EDGE OF GRAVEL ROAD OR DRIVEWAY
- · - · - · -	APPROXIMATE PROPERTY LINE
- · - · - · - · -	OVERHEAD UTILITY LINE (EXISTING)
- · - · - · - · - · -	BITUMINOUS PAVEMENT
▨	PROPOSED BUILDING

- PLAN REFERENCES:
- "PLAN OF PROPERTY BELONGING TO THE DIAMOND ISLAND ASSOCIATION SITUATED ON GREAT DIAMOND ISLAND, CASCO BAY, MAINE" DATED NOVEMBER 1882. BY E.C. JORDAN. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 4 PAGE 42.
 - "PLAN OF PROPERTY BELONGING TO THE DIAMOND ISLAND ASSOCIATION, CASCO BAY, MAINE" UNDATED. BY ISLEY & CUMMINGS, CIVIL ENGINEERS. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 4 PAGE 62.
 - "A PLAN OF PROPERTY NO. 3 BELONGING TO THE DIAMOND ISLAND ASSOCIATION, CASCO BAY, MAINE." DATED DECEMBER 18, 1885. BY ISLEY & CUMMINGS, CIVIL ENGINEERS. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 6 PAGE 4.
 - "STANDARD BOUNDARY SURVEY OF LANDS AT VALLEY, SUMMIT & SUNSET AVENUES, GREAT DIAMOND ISLAND, PORTLAND, MAINE" DATED NOVEMBER 14, 2006. BY THE CITY OF PORTLAND, WILLIAM SCOTT SURVEYOR. PUBLIC WORKS DEPARTMENT ENGINEERING SECTION FILE #940/59.

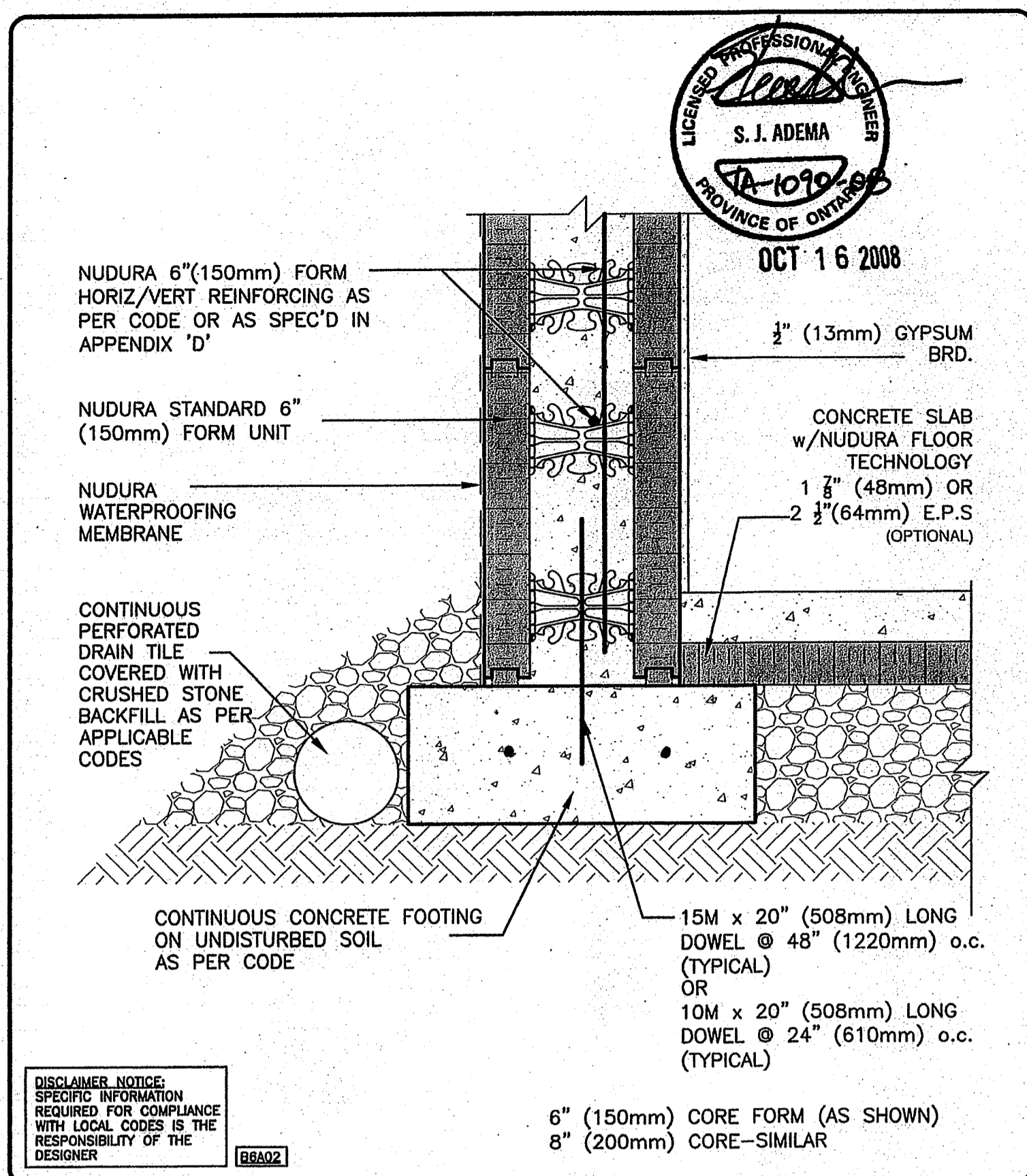


I HEREBY STATE TO MICHAEL W. MOONEY ALONE AND EXCLUSIVE OF ALL THIRD PARTIES, THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THIS PLAN SUBSTANTIALLY CONFORMS WITH THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULES EFFECTIVE APRIL 1, 2001

Eugene Schleh
EUGENE SCHLEH PLS 2063



TYPICAL DETAILS (C-1)



DISCLAIMER NOTICE: SPECIFIC INFORMATION REQUIRED FOR COMPLIANCE WITH LOCAL CODES IS THE RESPONSIBILITY OF THE DESIGNER.

66602

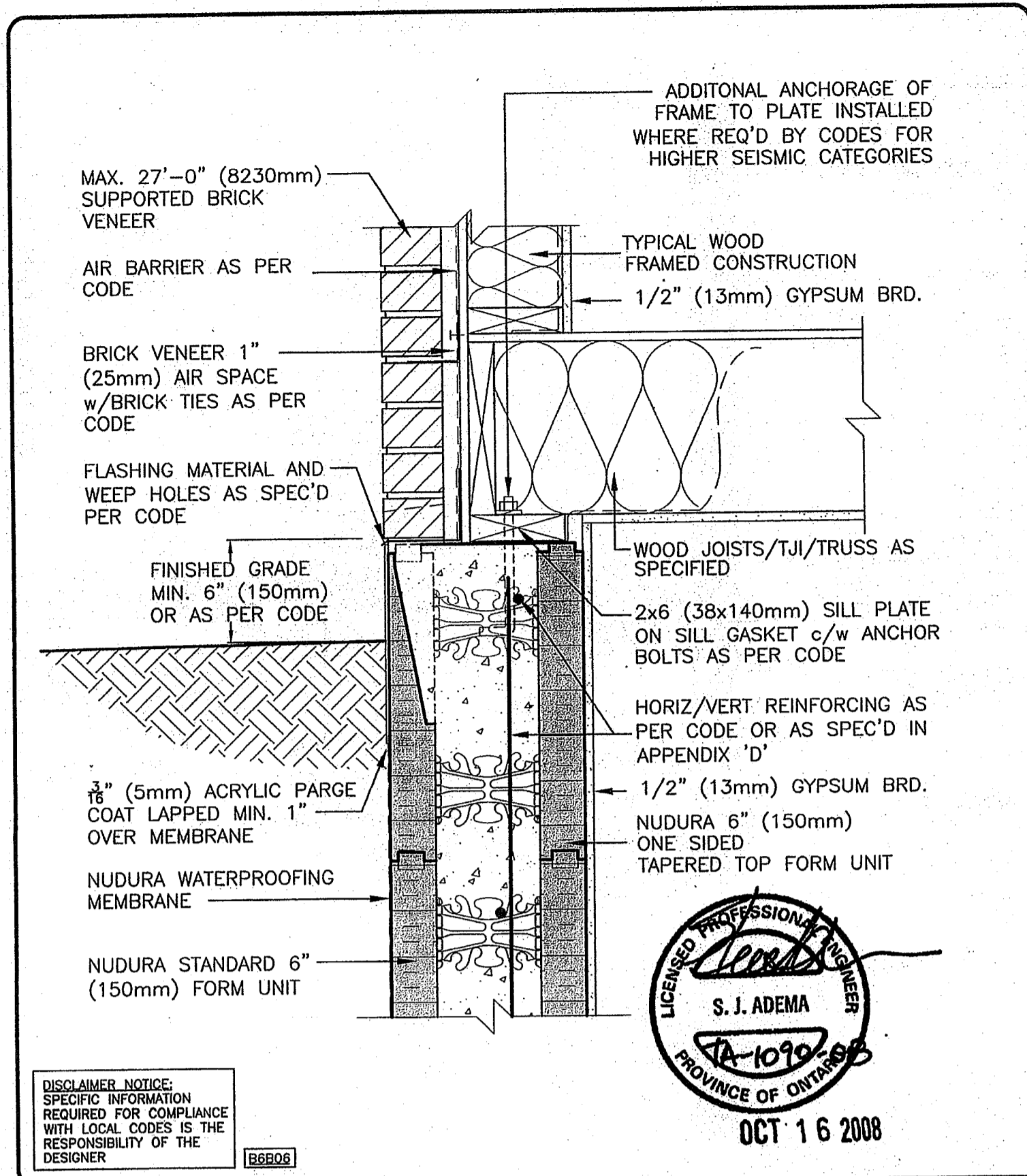
6\"/>

8\"/>

STANDARD 6\"/>	
REV. NO.	DWG. NO.
002 KS	C-1
DATE	
JAN 2006	
DRAWN BY	SCALE
J. NEILON	1 1/2\"/>



TYPICAL DETAILS (C-3)



DISCLAIMER NOTICE: SPECIFIC INFORMATION REQUIRED FOR COMPLIANCE WITH LOCAL CODES IS THE RESPONSIBILITY OF THE DESIGNER.

66603

6\"/>	
REV. NO.	DWG. NO.
002 TV	C-3
DATE	
JAN 2006	
DRAWN BY	SCALE
J.N / N.L.	1 1/2\"/>



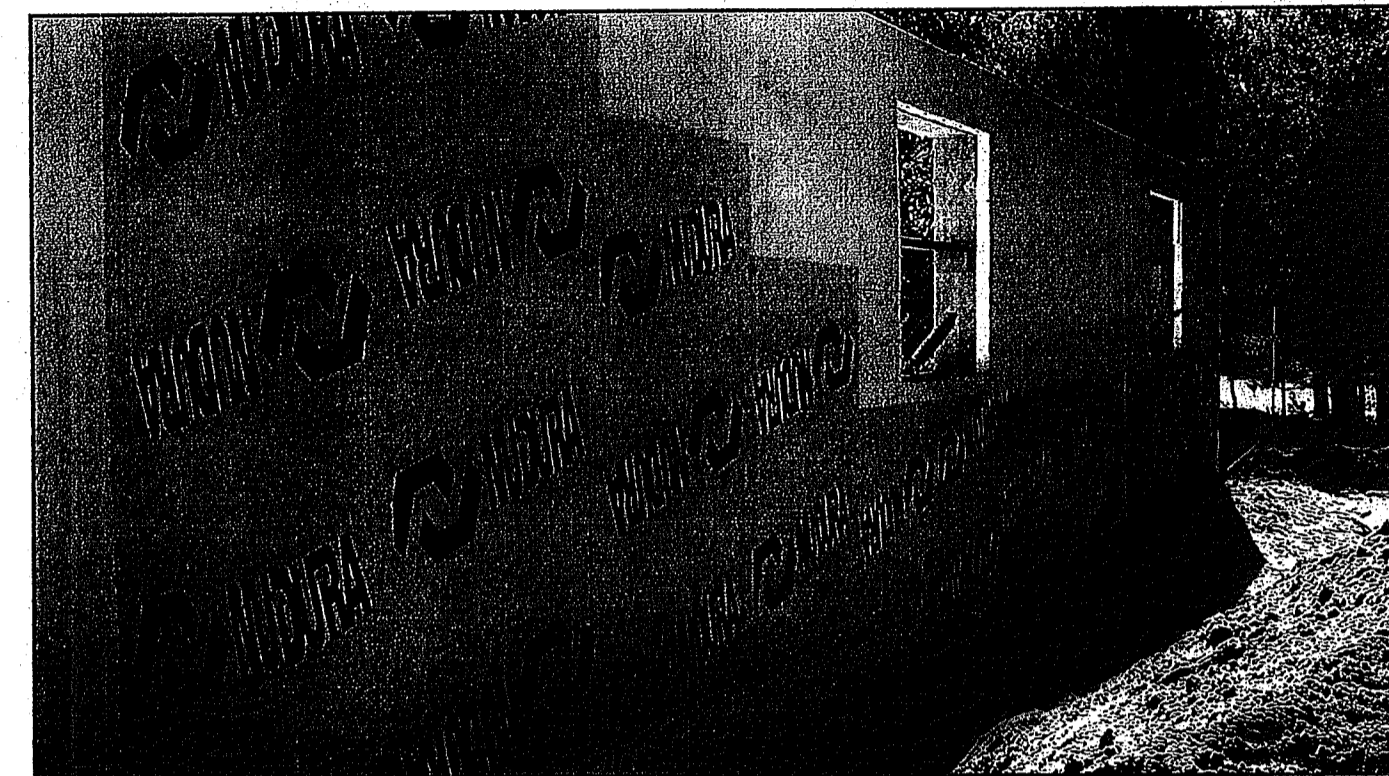
4.1 DAMPPROOFING / WATERPROOFING REQUIREMENTS

Damp proofing is usually a minimum code requirement on all exterior surfaces of below grade foundation walls when exterior soil grade is higher than the interior floor level.

Waterproofing satisfies the requirement of damp proofing and the requirement of a drainage layer under various codes where applicable. Waterproofing can also be effective where hydrostatic pressure is present.

NUDURA Corporation supplies a waterproofing membrane as part of its NUDURA Integrated Building Technology, which is a peel and stick application. The membrane is installed vertically in strips 36\"/>

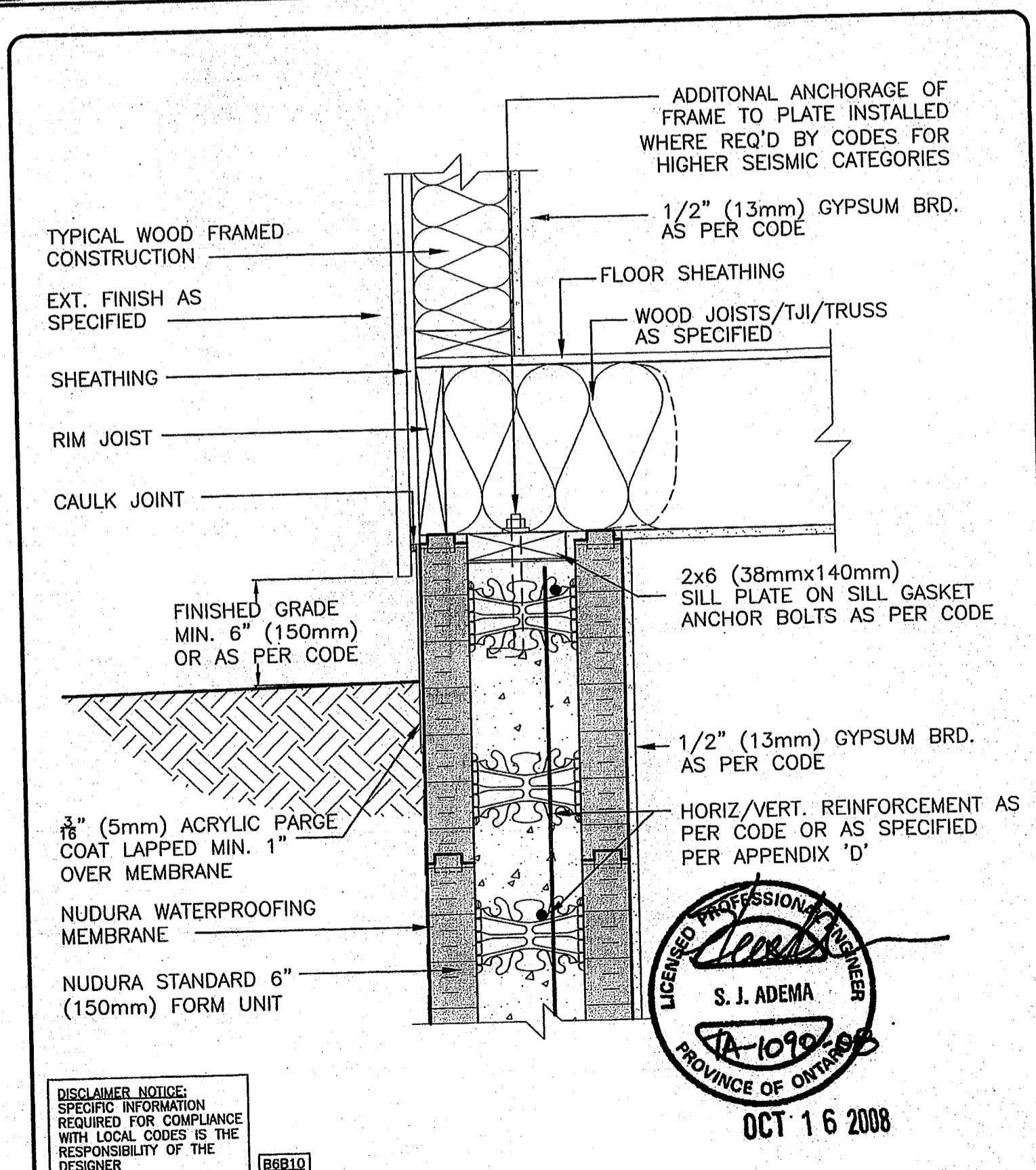
The waterproofing membrane should extend up to the grade line. The parging material should be skirted 1/2\"/>



During cold weather months the adhesive formula is modified to allow for lower temperature workability. A protection layer is recommended if coarse material is used for backfilling.

For more detailed application instructions on NUDURA Waterproofing Membrane, please refer to NUDURA Technical Bulletin No. 5 under Appendix F.

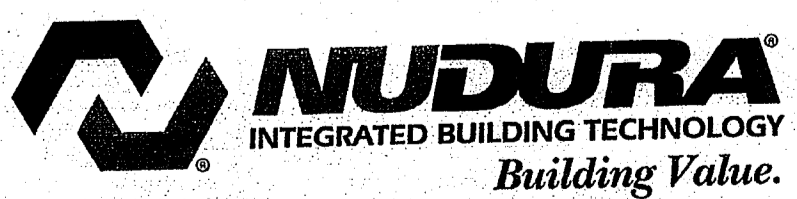
TYPICAL DETAILS (C-2)



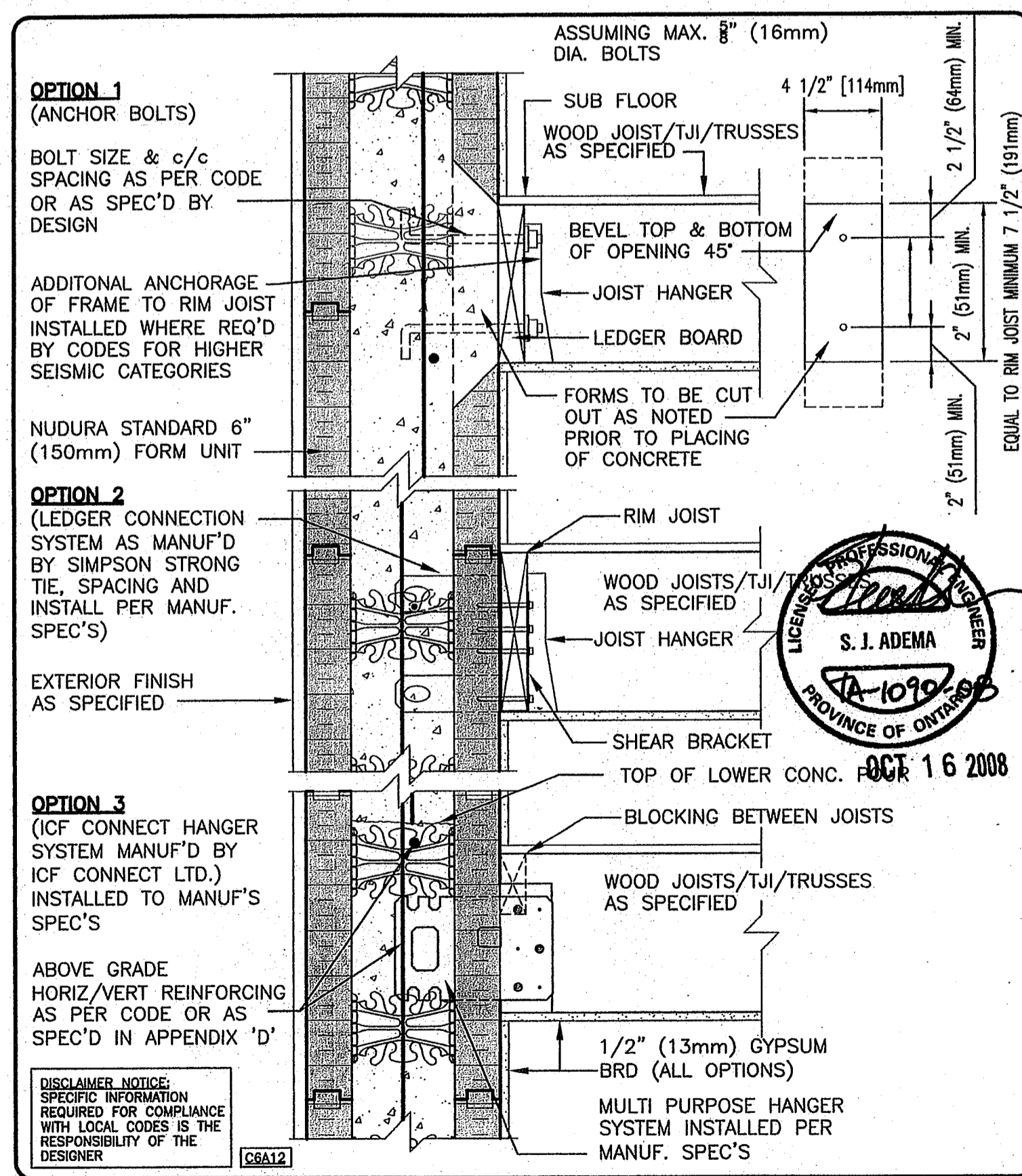
DISCLAIMER NOTICE: SPECIFIC INFORMATION REQUIRED FOR COMPLIANCE WITH LOCAL CODES IS THE RESPONSIBILITY OF THE DESIGNER.

66610

STANDARD 6\"/>	
REV. NO.	DWG. NO.
003 TV	C-2
DATE	
JAN 2006	
DRAWN BY	SCALE
J.N / N.L.	1 1/2\"/>



TYPICAL DETAILS (C-4)



DISCLAIMER NOTICE: SPECIFIC INFORMATION REQUIRED FOR COMPLIANCE WITH LOCAL CODES IS THE RESPONSIBILITY OF THE DESIGNER.

66612

6\"/>	
REV. NO.	DWG. NO.
003 TV	C-4
DATE	
JAN 2006	
DRAWN BY	SCALE
J.N / N.L.	1 1/2\"/>

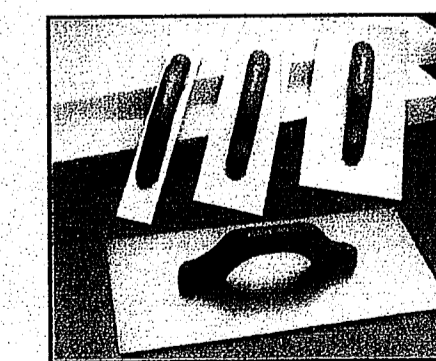
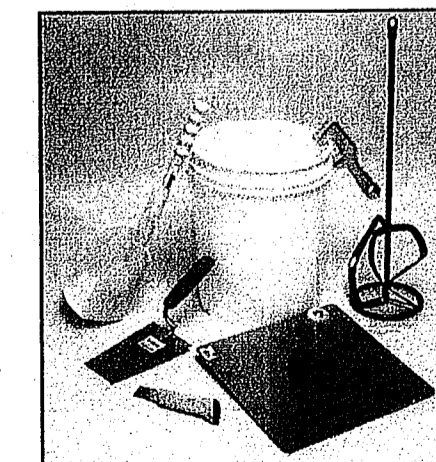


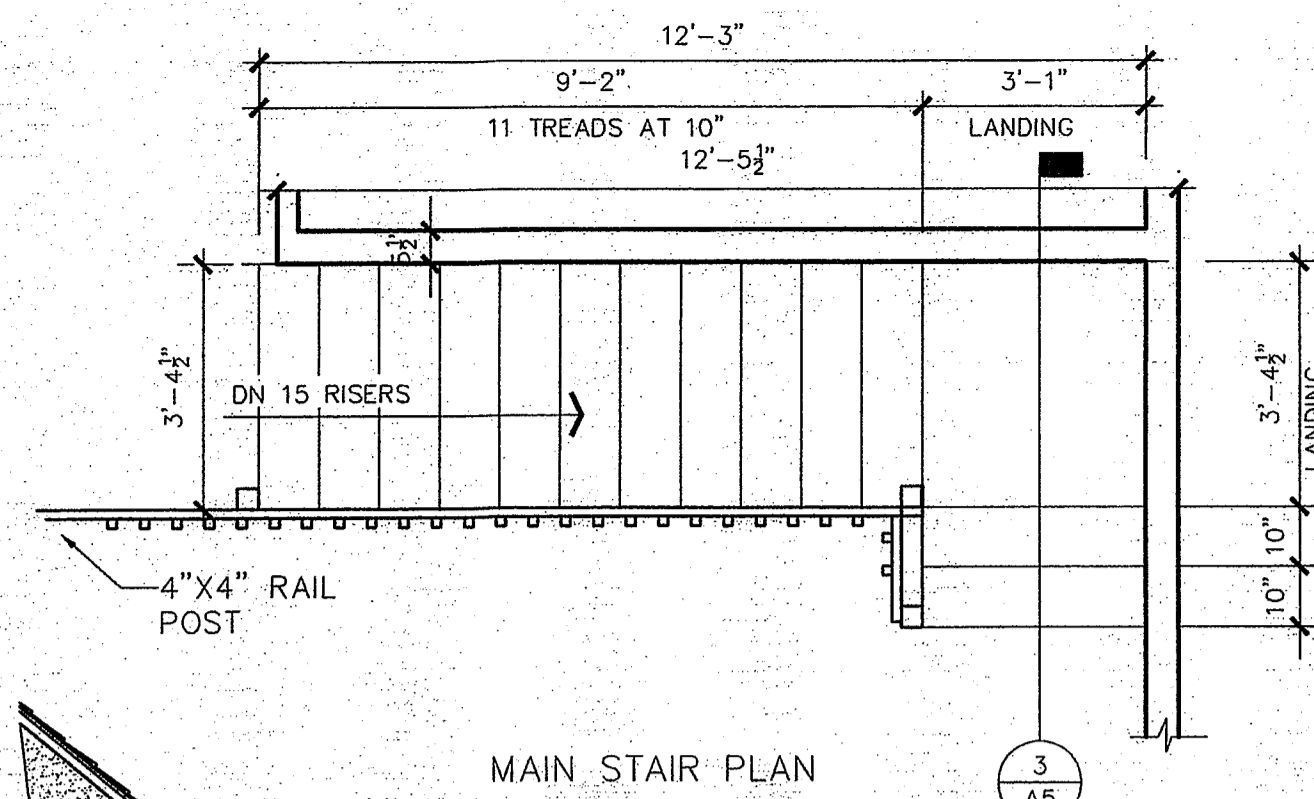
4.2 PARGING REQUIREMENTS

Parging is required to protect the EPS from the U-V damages that can occur over prolonged exposure. Most codes require that exterior finishing commences 6\"/>

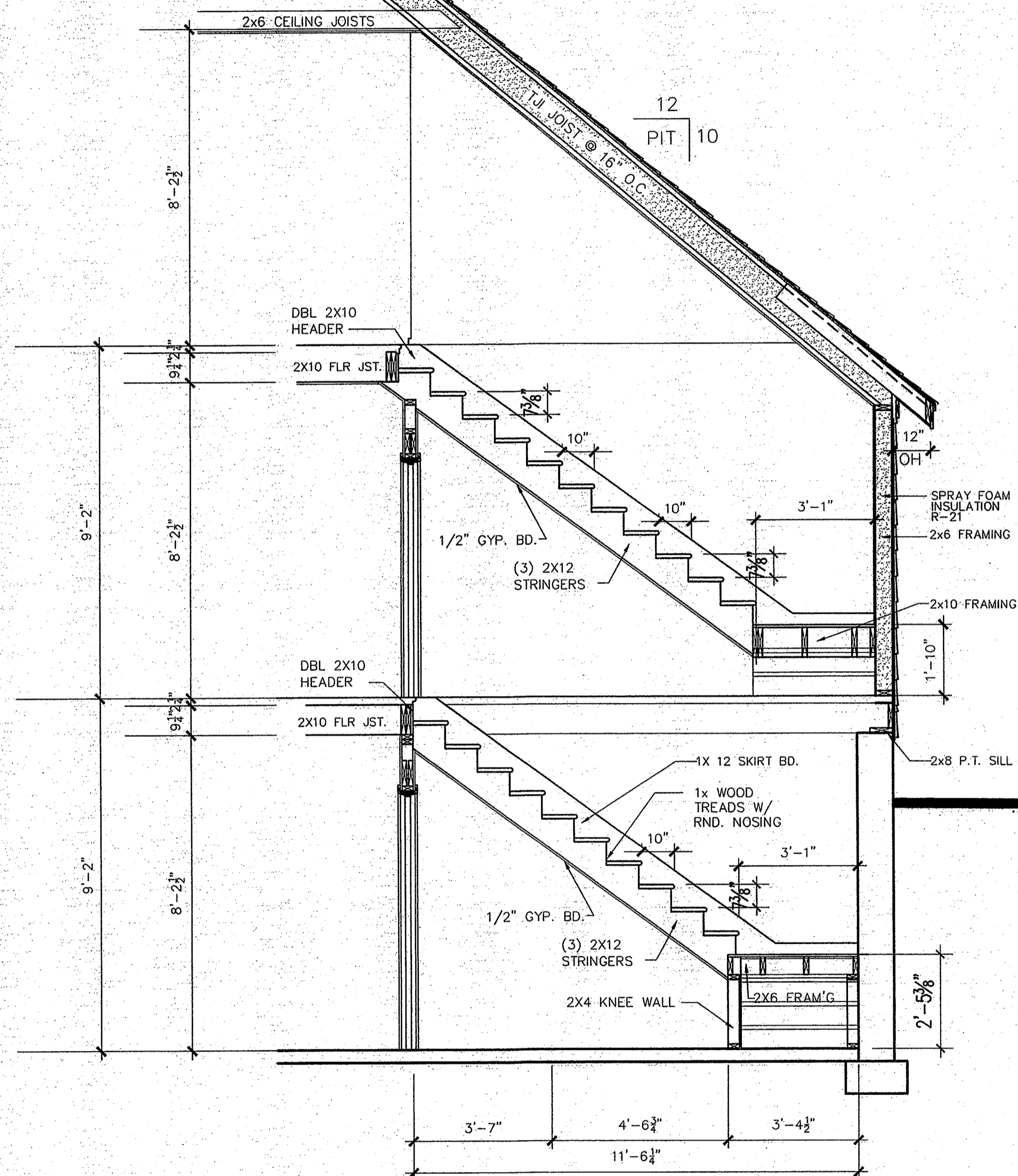
The line of NUDURA products included an acrylic based pre-mix parging product as well as a fiber mesh. Four easy steps should be followed when using NUDURA parging.

- 1) Clean and rasp the surface, removing imperfections with the rasp or by filling the voids with NUDURA Expandable Spray Foam.
- 2) Apply a thin coat of the parging mix with a trowel.
- 3) Embed the fiber mesh in the wet coat applied in Step 2.
- 4) Apply the finish coat using a spray or with a trowel as per manufacturers specifications.

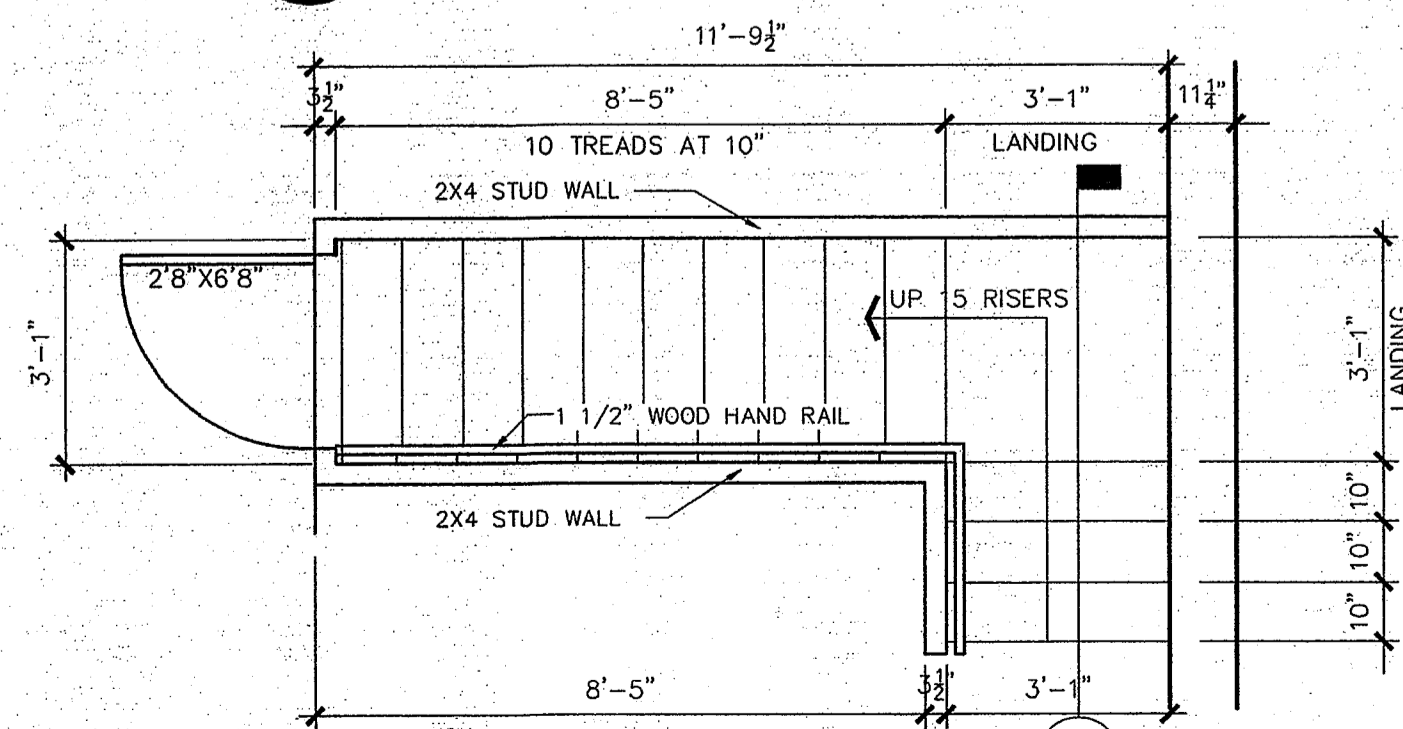




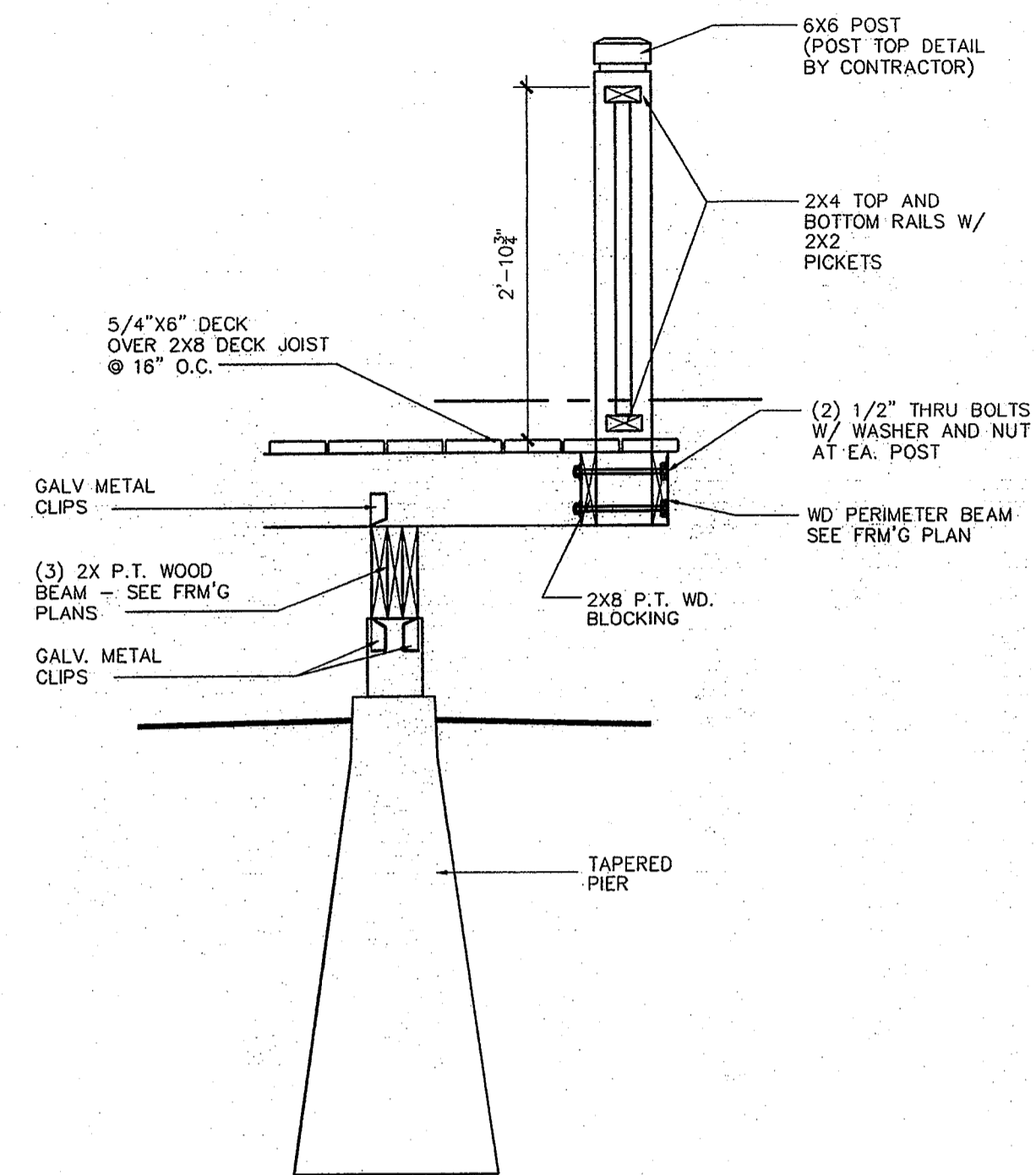
MAIN STAIR PLAN



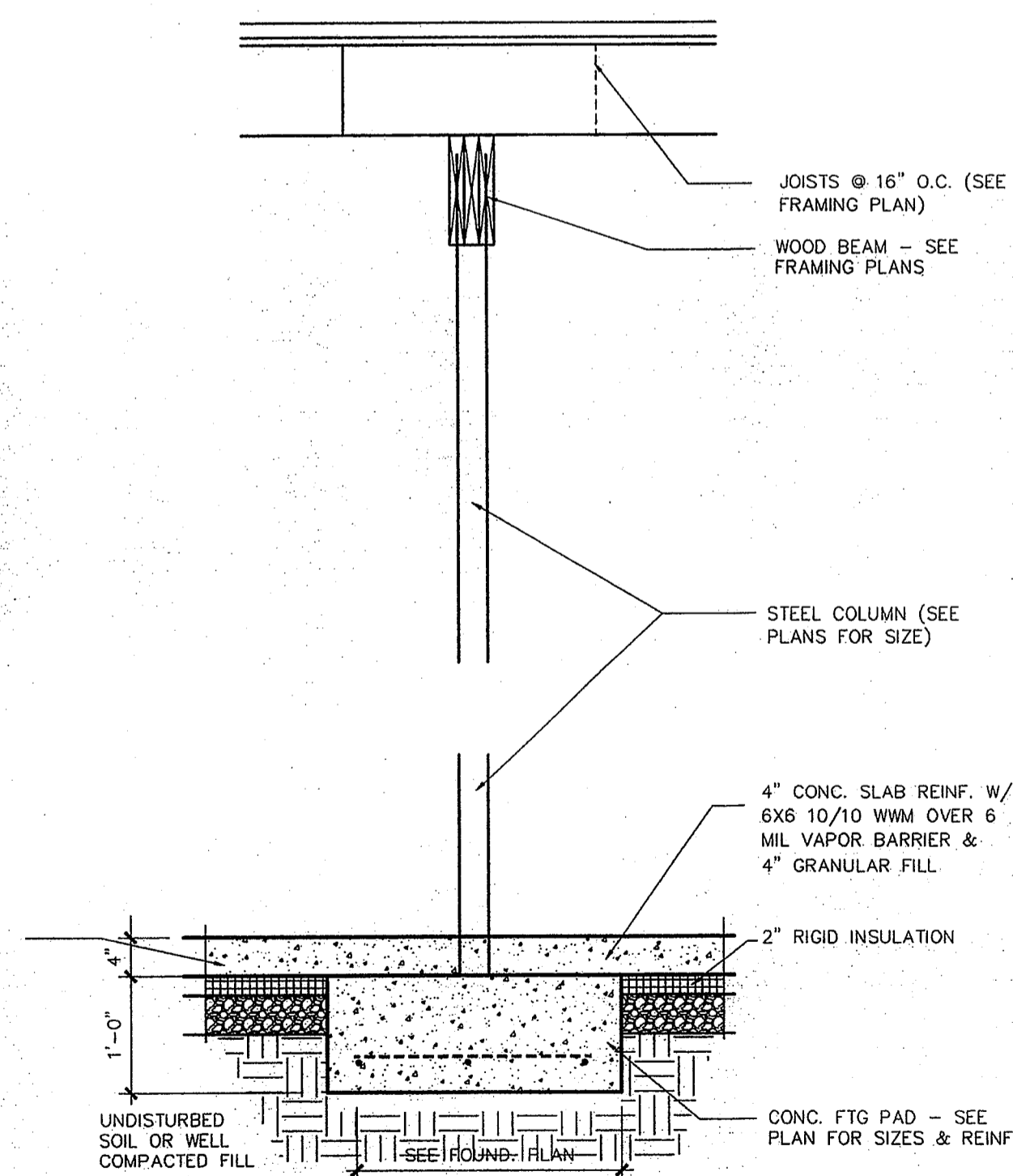
3 STAIR SECTION
A4 SCALE: 3/8" = 1'-0"



BASEMENT STAIR PLAN



1 FND DETAIL
A4 @ DECK PIERS
SCALE: 3/4" = 1'-0"



2 TYP. FND. DETAIL
A4 @ INT. FTG PADS
SCALE: 3/4" = 1'-0"

WINDOWS ARE BASED ON ANDERSEN 200 SERIES ANDERSEN

WINDOW SCHEDULE			
MARK	MANUF.	MODEL #	REMARKS
A	ANDERSEN	244DH2050-P4050-244DH2050	TEMPERED GLASS
B		244DH3036	
C		244DH2836	TEMPERED GLASS
D		1/2 244FX5040	CUSTOM TRIANGULAR FIXED WINDOW
E		244DH3049	EGRESS
F		NOT USED	
G		P6050	FIXED WINDOW
H		1/2 P6050	CUSTOM TRIANGULAR FIXED WINDOW
I		BASEMENT WINDOW - 2'-8" WIDE X SIZE TO BE VERIFIED WITH FINISHED GRADES	

MOONEY RESIDENCE
27 SUNSET AVE
GREAT DIAMOND ISLAND
PORTLAND, MAINE

DRAWINGS THIS SHEET
DETAILS

A4

BUILDER QUALIFICATIONS & CONSTRUCTION STANDARDS

These plans are intended for use only by persons knowledgeable in and familiar with generally accepted methods, techniques and industry standards for construction, and who are familiar with all applicable codes and other regulations that govern the construction of this type of structure. All construction is to be performed in accordance with these regulations and standards. If no building code ordinance has been locally adopted, then the International Residential Code should be used. The Carlinghouse Company Inc. cannot be responsible for any construction methods or procedures followed that are not specified or called out specifically in these plans and specifications.

DIMENSIONS

Written dimensions shall take precedence over scaled dimensions. (DO NOT SCALE DRAWINGS) .

ERRORS AND OMISSIONS

Every effort has been made to insure that these plans are accurate and drawn to reflect all current national standards for safe and proper building practices. Any errors or omissions found should be reported to the Technical Services Department of the Carlinghouse Company. In addition to insuring that errors will be corrected for future purchasers, replacement copies of the plans will be provided to you free of charge once corrections are made.

DESIGN LOADS

ALL DESIGN LOADS TO MEET IBC 2009 AND 2009 INTERNATIONAL RESIDENTIAL CODE

	Dead Loads	Live Loads
Roof, with Shakes or Composition Shingles or metal roof	15 psf	50 psf
First Floor	12 psf	40 psf
Second Floor	12 psf	40 psf (30 SLEEPING)
Decks and Balconies	SAME AS OCCUPANCY SERVED	
Ceiling/Attic	10 psf with no storage no stair access	20 psf with storage no stair access

INSULATION & WEATHER SEALING

ALL INSULATION REQUIREMENTS TO MEET IBC 2009 AND 2009 INTERNATIONAL RESIDENTIAL CODE

Caulking or gasketing is to be applied to all exterior sills and plates and all exterior envelope penetrations (between window or door frames and rough openings). Unless inconsistent with local code requirements, insulation with the following "R" values is to be installed with vapor barrier facing towards the heated space.

Ceiling Insulation (attic space above)	R-49 Min.
Ceiling Insulation (combination rafter-joists)	R-49 Min.
Exterior Walls 2x6 construction	R-21 Min.
Floors Over Unheated Crawl Spaces or Unheated Basements	R-49 Min. OR FILL ENTIRE CAVITY WITH INSULATION
Cantilevered Floors & Floors Over Garages	R-49 Min.

FOUNDATIONS

- Footings shall bear on firm, undisturbed soil a minimum of 24" below the final finished grade line for one and two story structures. However, should the frost line be locally deeper than 24", then the bottom of footings shall extend below this local frost line. Where sloping grades are involved, footing depths must always be measured from the point at the final finished grade line that is closest to the footing.
- To ensure proper support for the footings and foundation walls, footings must always be poured with a flat bottom surface. Footings may be stepped where necessary to allow the footing to remain below frostline on a sloping grade, but the structure may not be built on a site where the finished grade line exceeds thirty degrees down from level. Sloping sites require special engineering for extended foundation walls and stepped footings.
- A minimum 2000 psf soil bearing is required.
- Drains shall be provided around all usable spaces located below ground. Drain tiles, perforated pipe, or other methods approved by local codes should be installed at or below the area to be protected, and must discharge by gravity or mechanical means to a drainage system. Top of drain pipe shall be level with top of footing.
- Apply bituminous foundation coating on all exterior walls below grade, and damp proofing on all exposed surfaces of concrete walls above grade and on all slabs not covered by finish materials. It is the responsibility of the foundation contractor to waterproof the foundation walls with the appropriate materials for local conditions.

CONCRETE

- All concrete for walls, footings, and basement slabs shall develop and maintain a minimum compressive strength of 3000 psi at 28 days.
- All concrete for garage slabs and porches shall develop and maintain a minimum compressive strength of 3500 psi at 28 day strength.
- Concrete forms, shoring and pouring methods shall conform to all current practices endorsed by the American Concrete Institution.
- Backfill shall not be placed against basement retaining walls until:
 - Concrete or masonry grout has reached its 28-day strength, and
 - Structural floor framing (including sub-floor) required to stabilize walls is complete, fully nailed and anchored, and
 - Walls have been properly shored.

FRAMING NOTES

The following is a list of procedures to accompany standard building practices and should be followed during the framing of the structure:

- All frame walls shall have stud framing placed at 16" o.c. except where noted otherwise.
- Top plates shall be doubled on all walls except where noted otherwise.
- Jack studs under all headers shall be continuous to sole plate.
- Double joists under all walls parallel to joists except where noted otherwise; also under kitchen cabinets and bath tubs parallel with joists.
- Block all stud walls as required for sheathing.
- Solid blocking between all joists and rafters at supporting walls and beams except at rim joists.
- Double rim joists at all walls parallel to joists.
- Beams, girders, and joists supporting bearing walls or concentrated loads shall not be notched or drilled with holes larger than 1" in diameter.
- All rafters shall be notched to provide full bearing at supports.
- The ends of all joists shall bear on not less than 1 1/2" on wood or metal and not less than 3" on masonry. The ends of all beams or girders shall bear on not less than 3".
- Lap all joists 3" minimum (24" maximum) at all interior bearing supports.
- Mud sills and ledger boards at concrete walls shall have anchor bolts of the size and spacing shown on the drawings. Each board shall be secured with at least two bolts and each board shall have a bolt within 12" of each end.
- Provide double framing at all roof and floor diaphragm penetrations, unless noted otherwise on plans.
- Contractor shall provide adequate bracing or otherwise support all portions of the structure until all members have been permanently joined together.
- All roof trusses shall be designed by a registered engineer for the truss manufacturer. Submit sealed truss engineering drawings to the local Building Department indicating bracing, etc., that may be required.
- All wood in permanent contact with concrete shall be pressure treated with a water borne preservative.
- All mechanical holes through any structural member shall be at the center line of the member in compliance with the latest edition of the Wood Structural Design Data specifications.
- All slabs on grade shall be reinforced with 6x6 10/10 welded wire mesh.

WOOD FRAMING

All solid sawn lumber shall be a minimum #2 grade or better with a Fiber Stress in Bending factor (Fb) of 875 psi BASIC VALUE and a Modulus of Elasticity (E) of 1,400,000 psi unless otherwise specified. All lumber shall have a moisture content of no more than 19%. Lumber shall be graded in accordance with the Western Wood Products Association and/or the Canadian Wood Council.

- Post, Beams, & Headers #2 or Better (or LVL)
- Floor, Ceiling Joists, & Rafters #2
- Plates & Blocking #2
- Sill, Exterior Deck, & Balcony Components Pressure Treated
- Studs Stud Grade
- Roof & Wall Sheathing 1/2" C-D Plywood(32/16) with exterior glue or properly rated OSB
- Sub-Floor over Joists 3/4" T & G Plywood
- Glu-Lam Beams-A.I.T.C. Industrial Grade with dry use adhesive (wet use for exterior use) Fb 2400 psi, E=1,700,000
- Laminated Veneer Lumber (LVL) Fb 2800 psi, E=2,000,000

WINDOW & DOOR REQUIREMENTS

- All windows are noted by window schedule in plan and elevation, with specific manufacturer selection by owner and/or contractor. Contractor must verify all required rough framing openings.
- Bedrooms and sleeping areas must have at least one window with a sill height of no more than 44" above the floor and which will meet local code egress requirements.
- All windows, patio doors, and doors with glass shall be double glazed, insulated units with wood or aluminum frame and sash.
- Exterior doors are to be foam-core insulated steel doors unless otherwise noted.
- All doors between garage and living areas shall be one hour fire rated assemblies with 1-3/4" solid wood core (or code approved equivalents) with self closing mechanism.

MISCELLANEOUS

- Plumbing diagrams or drawings shall be provided by the Plumbing contractor. Heating/Cooling duct diagrams or drawings shall be provided by the Heating Ventilation and Air Conditioning contractor.
- Heat loss or energy use calculations shall be provided by the heating/cooling contractor or other professional as required by regulations.
- All fireplaces will be U.L. approved zero-clearance fireplaces with triple-wall metal flue, U.L. approved spark arrester chimney cap with galvanized rain cap. All fireplace openings shall be provided with tempered glass doors. Provide outside combustion air for fireplaces, wood stove, and liquid fuel heating appliances (per the "Chimneys and Fireplaces" chapter of the International Residential Code).
- Chimneys shall extend at least 2 feet higher than any portion of the building within a 10 foot radius, but shall not be less than 3 feet above the point where the chimney passes through the roof.
- Tub and tub/shower enclosures are to have 1/2" water resistant gypsum board and a hard, moisture resistant surface up to 6"-0" (min) above the floor.
- All exhaust fans and dryers shall vent to the outside through ducts. Caulk around all penetrations through exterior envelope.
- Provide 5/8" type "X" fire rated, gypsum board between garage and living areas including garage ceilings where living areas are above.

- Owner is responsible for site location of all foundation and slab penetrations (i.e. sewer, water, underground power conduit stub-up).
- Stair treads and risers shall not exceed the code required maximum and/or minimum dimensions.
- All stairs with 4 or more risers must have code compliant handrail.
- A vapor-permeable air infiltration barrier is to be installed between the wall sheathing and siding.
- Prior to starting construction, the user of these plans must verify the availability of all manufactured products suggested or specified, herein.
- All manufactured articles, materials, and equipment shall be applied, installed, connected, erected, used, cleaned, etc., in accordance with the manufacturer's written instructions.
- Structure is designed to carry the load of composition roof shingles or shakes. Should substantially heavier roof materials be contemplated, then the structure will need to be redesigned accordingly.
- All glass within 12" of a door and/or 18" of the floor or a walkway shall have tempered glazing.
- The contractor is responsible for providing adequate temporary bracing or to otherwise support all portions of the structure until all members have been permanently fastened together and permanently braced.

STRUCTURAL & MISCELLANEOUS METAL

Structural shapes, bars, and plates shall be steel meeting American Society for Testing & Materials (ASTM) standard A36. Pipe columns, where shown on plans, shall be standard weight meeting ASTM A53, type S, Grade B. Design and fabrication shall conform to the latest edition of American Institute of Steel Construction (AISC) specifications. Exposed welds shall be ground smooth and flush. Reinforcement shall be bent cold and shall not be welded. All items except those to be encased with cast-in-place concrete shall be shop painted with rust primer. Erection shall conform to AISC specifications.

CONNECTORS & FASTENERS

- All nailing and fastening shall comply with the IRC's table "Fastener Schedule for Structural Members."
- All flush beams and girders shall use joist hangers to support abutting joists and rafters.

FLASHING

Install flashing and counter-flashing of 26-gauge galvanized metal or aluminum wherever dissimilar building materials join or intersect at the roof of the structure. This includes all intersections of the roof with vertical walls, chimneys, and dormers, and as otherwise shown on the drawings. Flashing must also be installed above windows and doors, and at all horizontal joints in sheet siding.

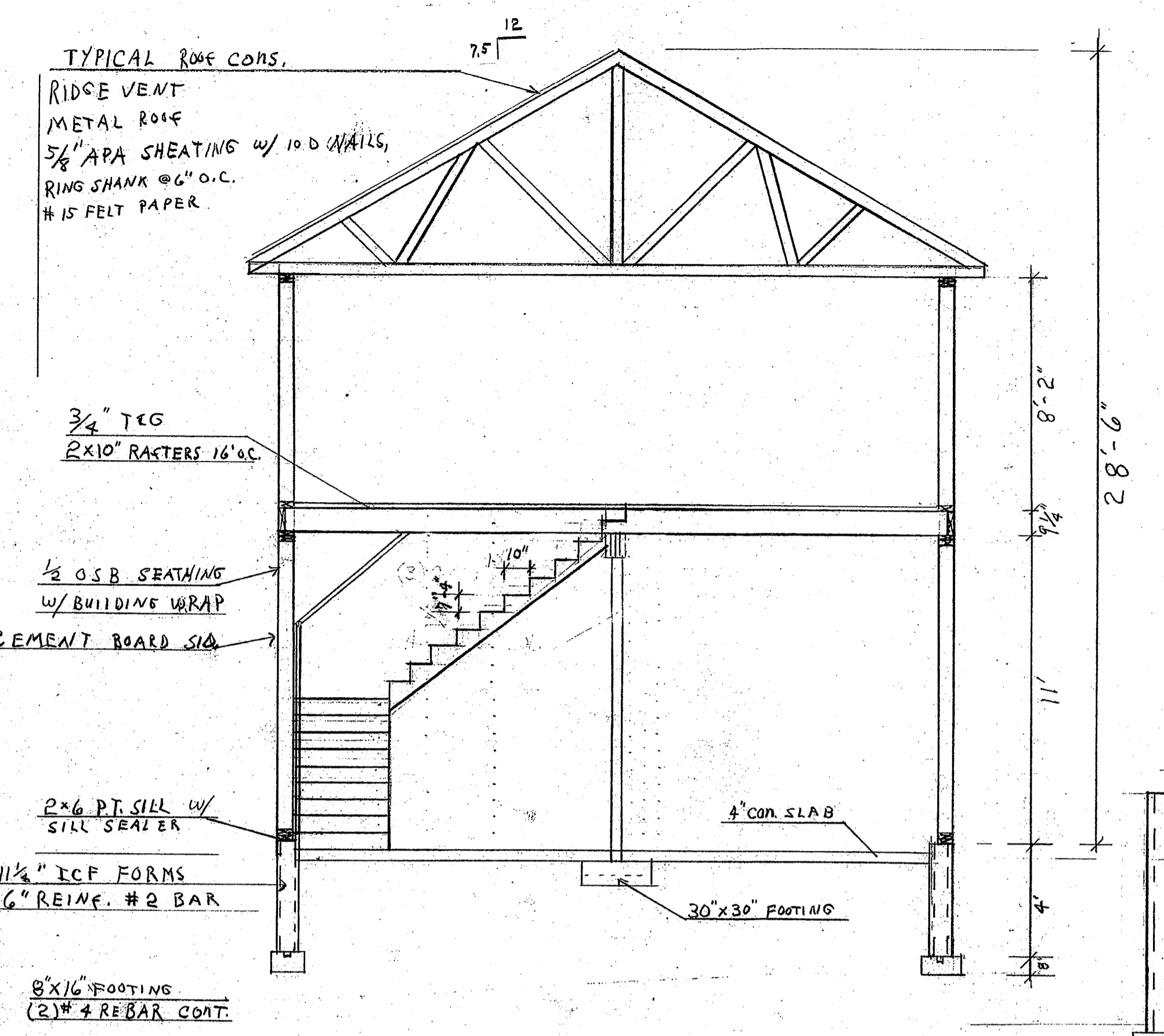
GUTTERS

All gutters shall be made of aluminum or as otherwise shown on drawings. Gutters should be secured a minimum of every 4'-0" with approved fasteners.

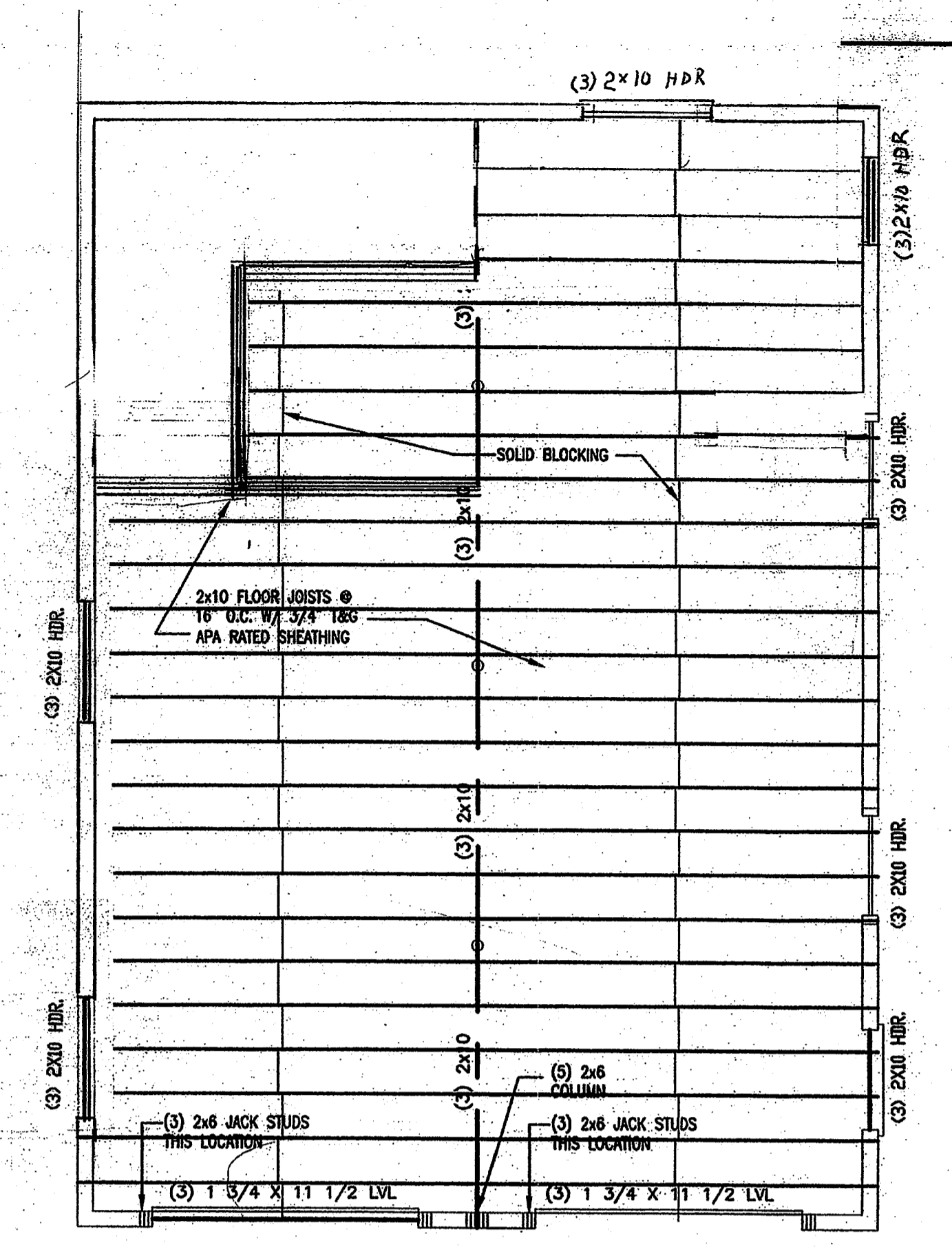
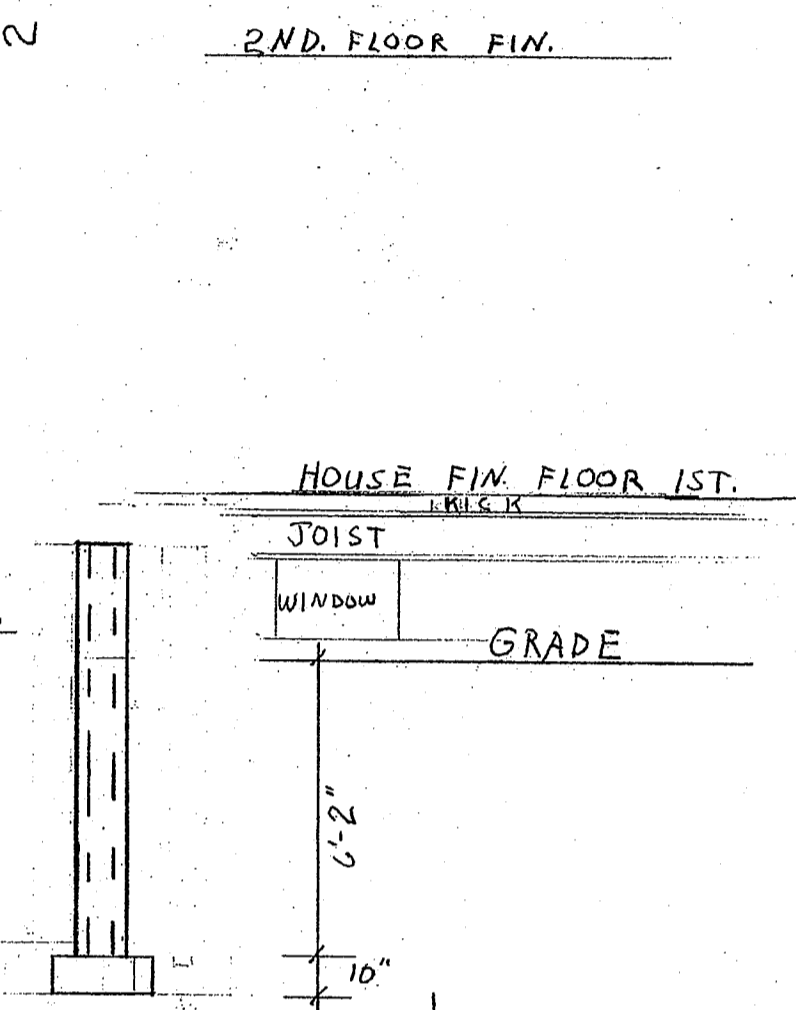
ABBREVIATIONS

AFF	above finish floor	JST	joist
ARCH	architect (ural)	LAM	laminate (d)
BSMNT	basement	LL	Live Load
BRG	bearing	LVL	Laminated Veneer Lumber
BD	board	MFG	manufacturer
BLDG	building	MAX	maximum
BM	beam	MECH	mechanical
CAB	cabinets	MIN	minimum
CLG	ceiling	NO	number
CIR	"center, centered"		
CC	center to center		
CLR	clear (once)	o.c.	on center
CONC	concrete	OPT	optional
CONSTR	construction	psi	pounds per square inch
CONT	continuous	psf	pounds per square foot
d	penny (nail size)	QTY	quantity
DL	Dead Load	REQD	required
DIAM	diameter	R.O.	rough opening
DRWG	drawing	S.C.	solid core
EW	each way	SQ	square
ELEC	electric (al)	STD	standard
ELEV	elevation	STOR	storage
EXT	exterior	T&G	tongue & groove
FIN	finished	TYP	typical
FLR	floor	UNO	unless noted otherwise
FD	floor drain	VERT	vertical
FTC	footing	W C	water closet
FDN	foundation	W	(steel section i.e. W12x5)
GA	gauge	W/	with
GWB	gypsum wall board	WWM	welded wire mesh
HOR	header	WD	wood
HORIZ	horizontal		
HB	hose bib		
INT	interior		

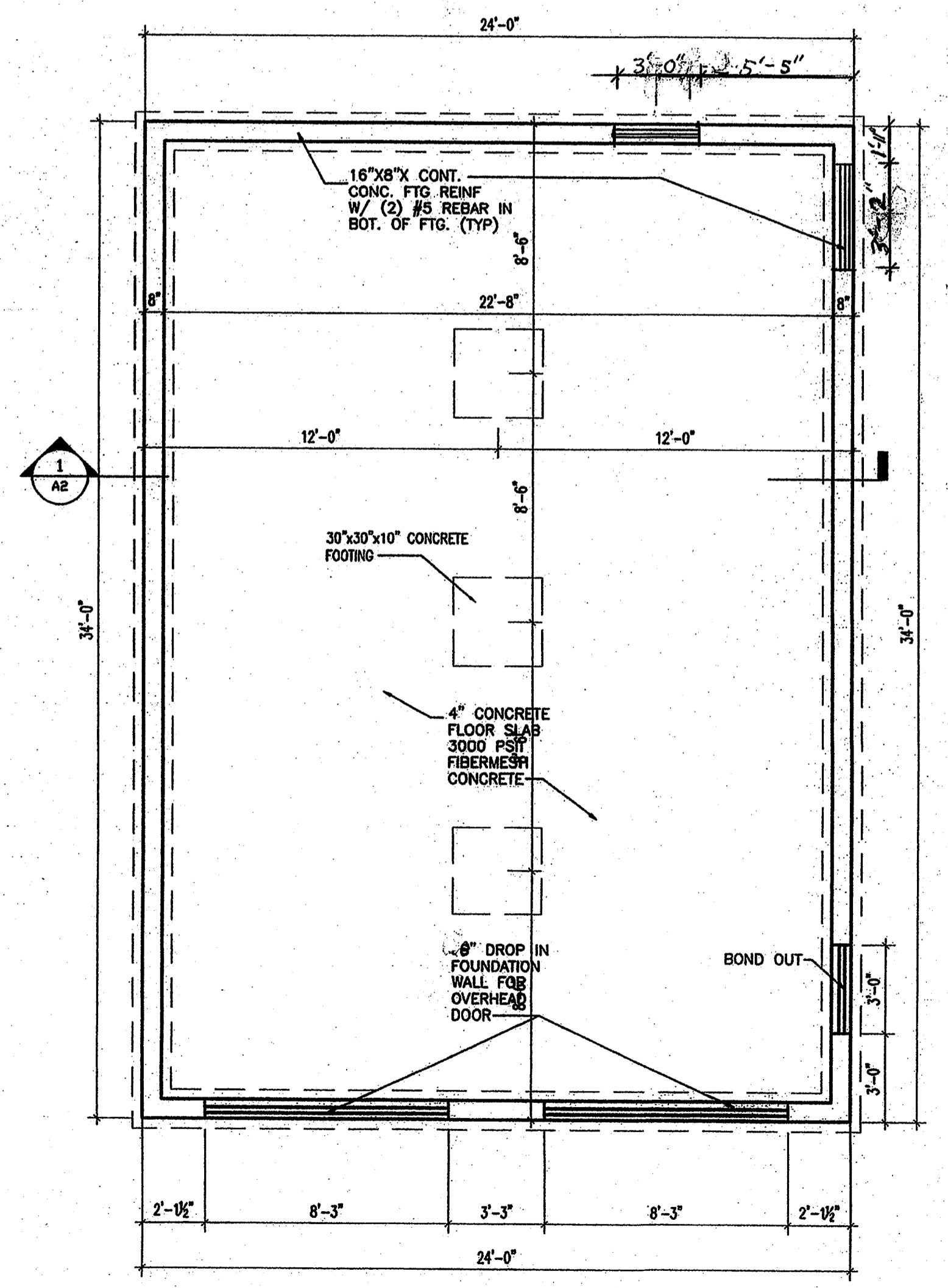
ARCHITECTURAL DRAWING INDEX	
C 1	COVER SHEET / GENERAL NOTES
A 1	FLOOR PLANS
A 2	EXT. ELEVATIONS
A 3	BUILDING SECTIONS
A 4	DETAILS - SECTIONS
S 1	FOUNDATION/BASEMENT PLAN
S 2	FRAMING PLANS
S 3	ROOF FRAMING PLANS / ROOF PLAN
E 1	ELECTRICAL PLANS



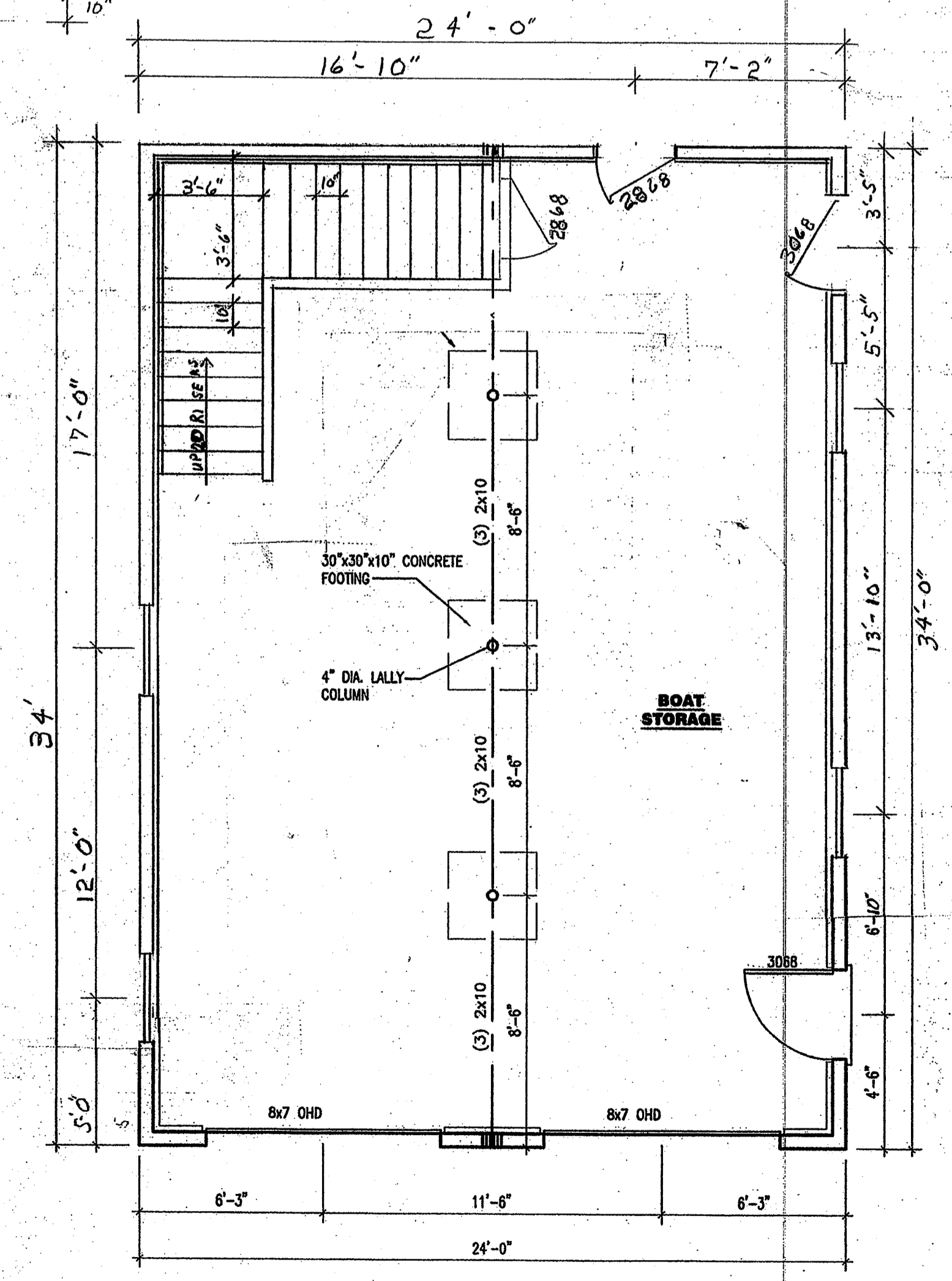
ATTACHED BOAT HOUSE



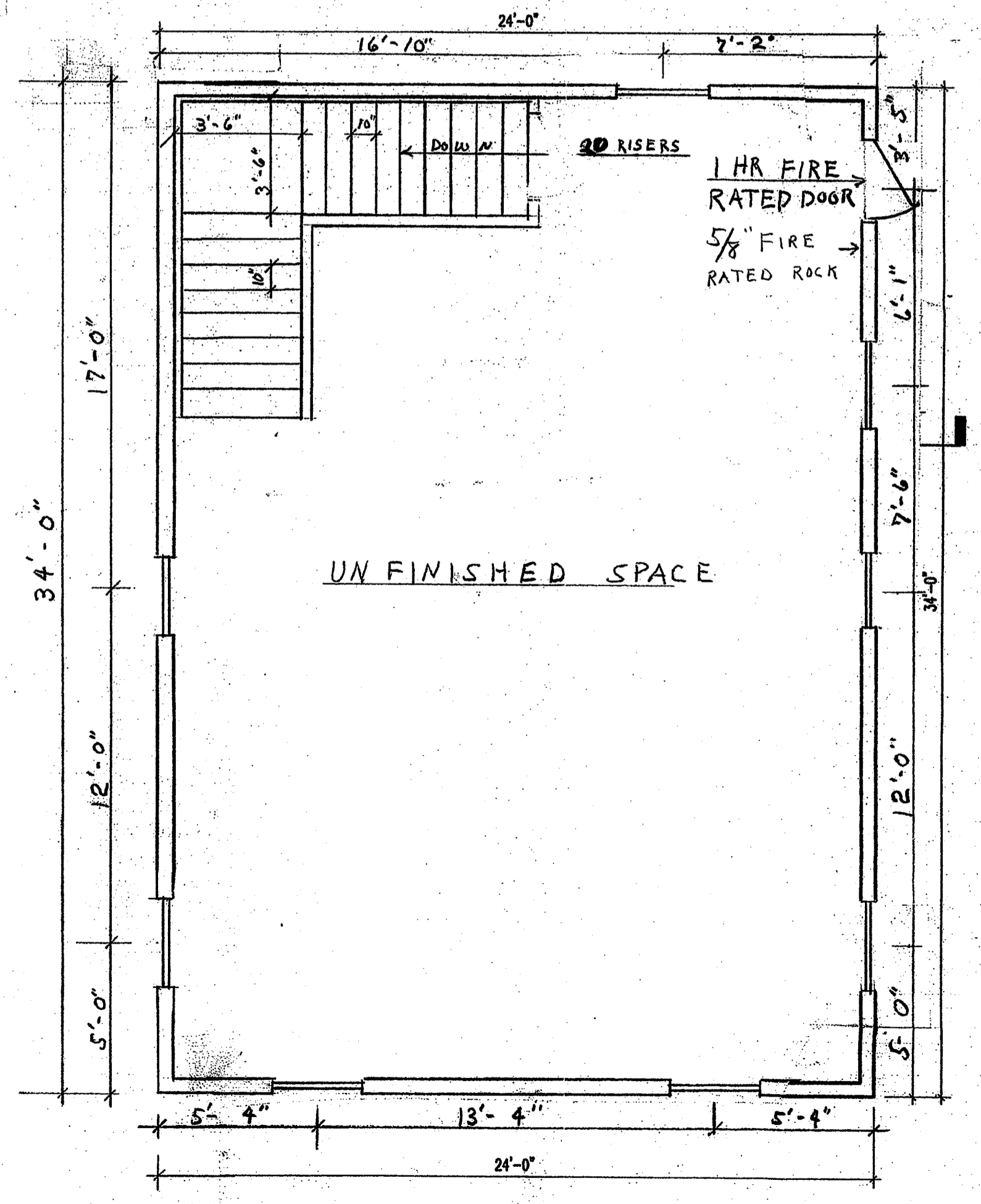
SECOND FLOOR FRAMING PLAN
1/4" = 1'-0"



FOUNDATION PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"

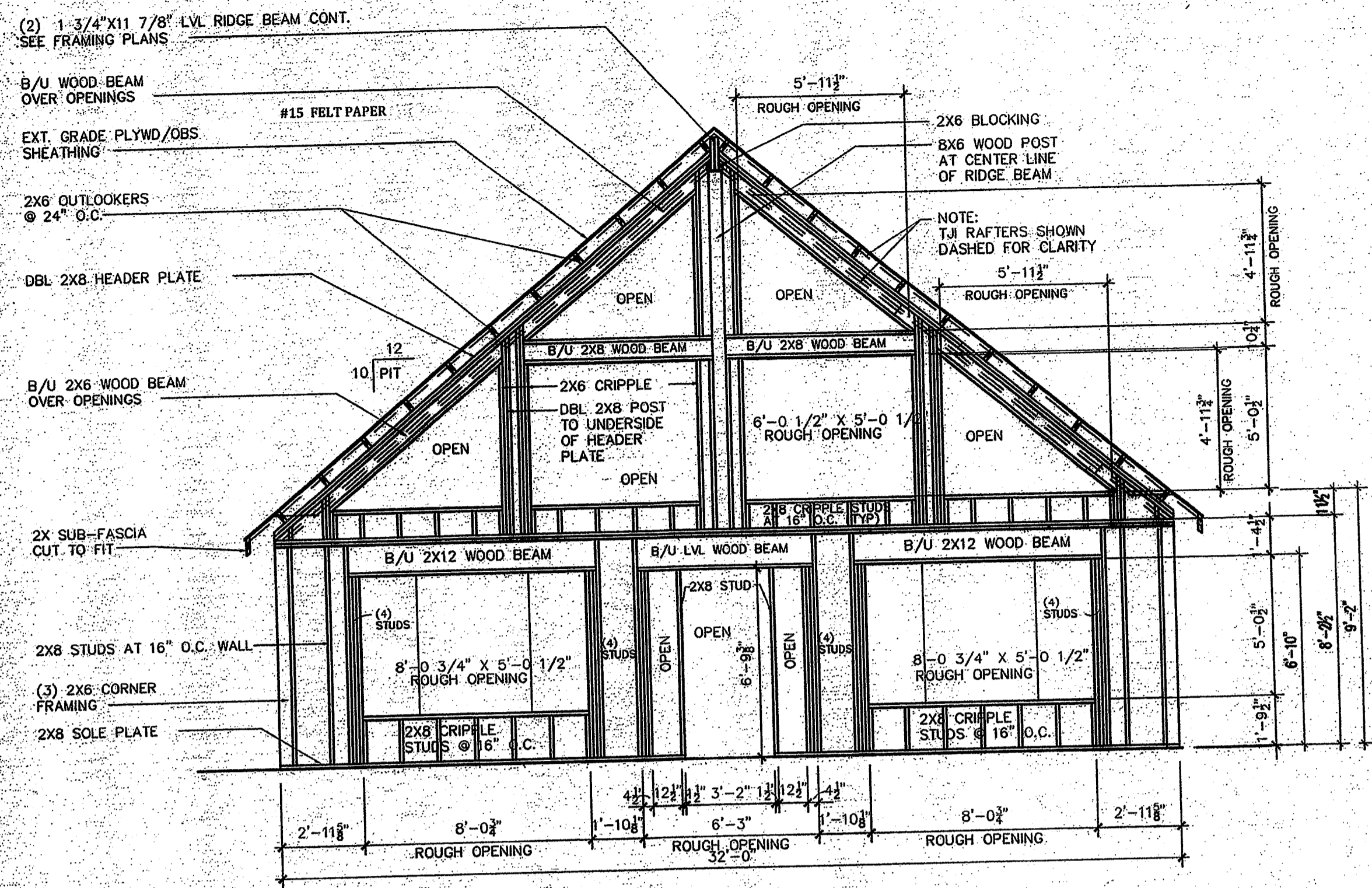


SECOND FLOOR PLAN
1/4" = 1'-0"

MOONEY RESIDENCE
27 SUNSET AVE.
GREAT DIAMOND ISLAND
PORTLAND, MAINE

DRAWINGS THIS SHEET
FLOOR PLANS
FOUNDATION PLAN
FRAMING PLAN

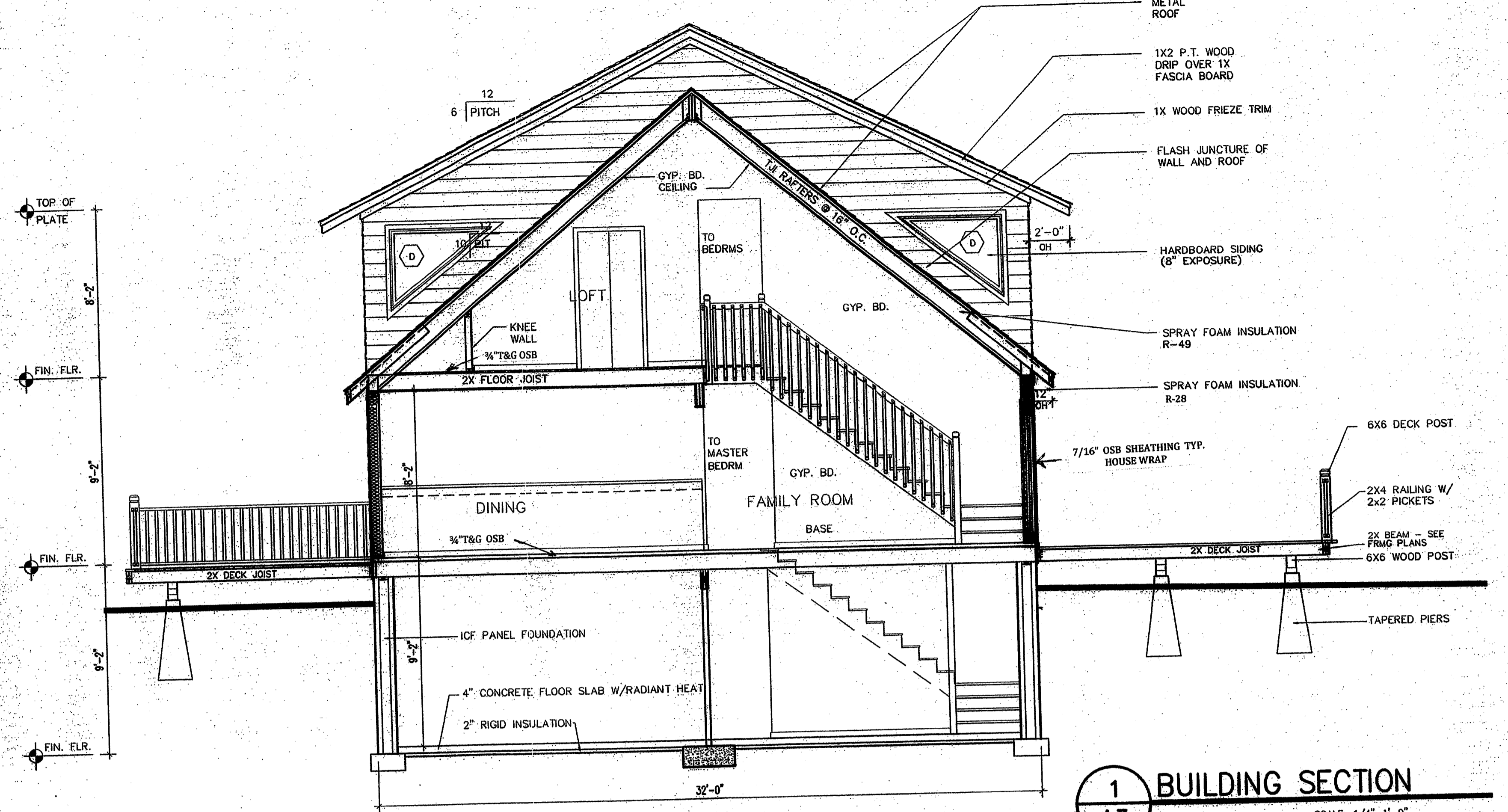
A1



4 FRONT WALL FRAMING LAYOUT

A3

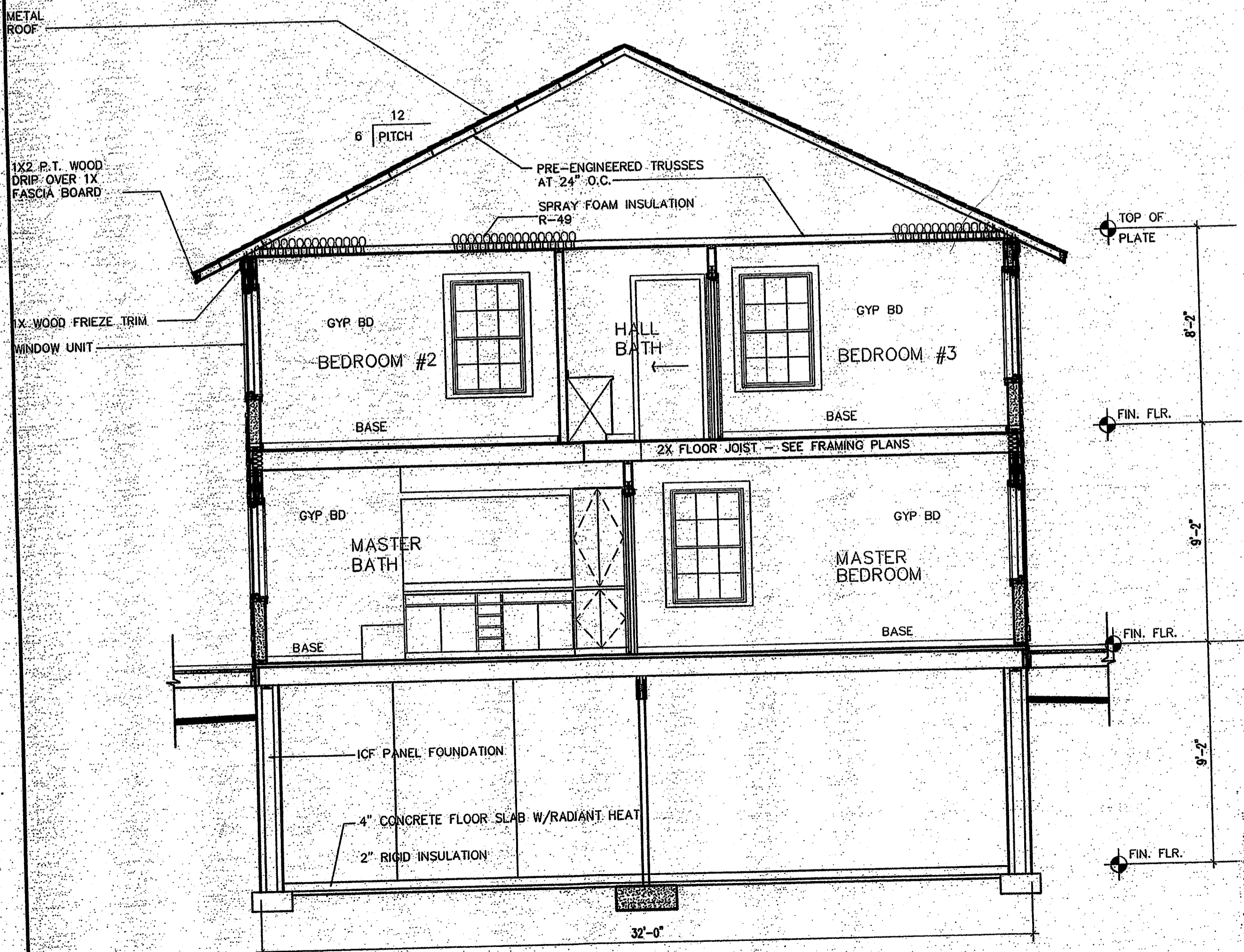
SCALE: 1/4"=1'-0"



1 BUILDING SECTION

A3

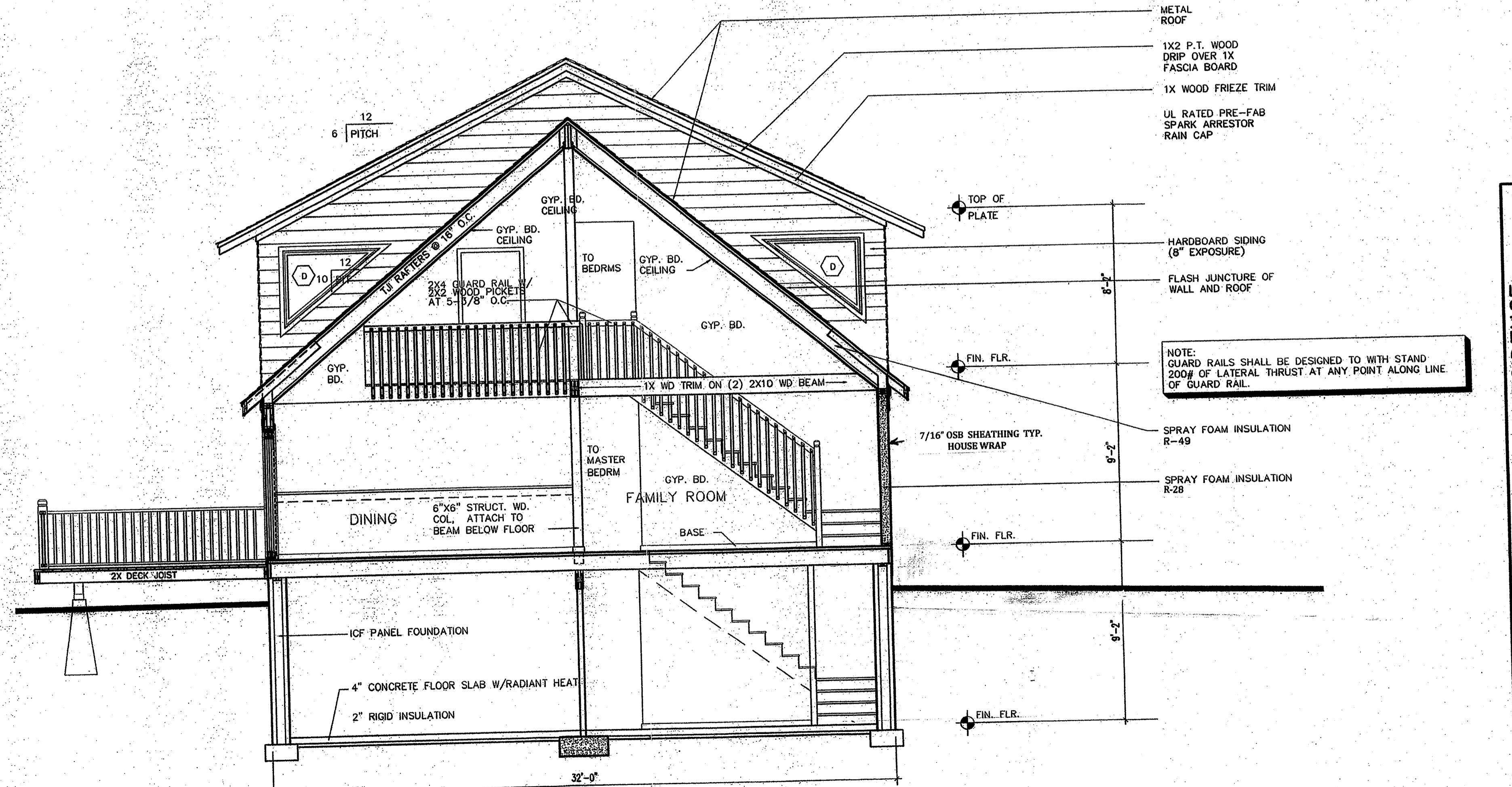
SCALE: 1/4"=1'-0"



3 BUILDING SECTION

A3

SCALE: 1/4"=1'-0"



2 BUILDING SECTION

A3

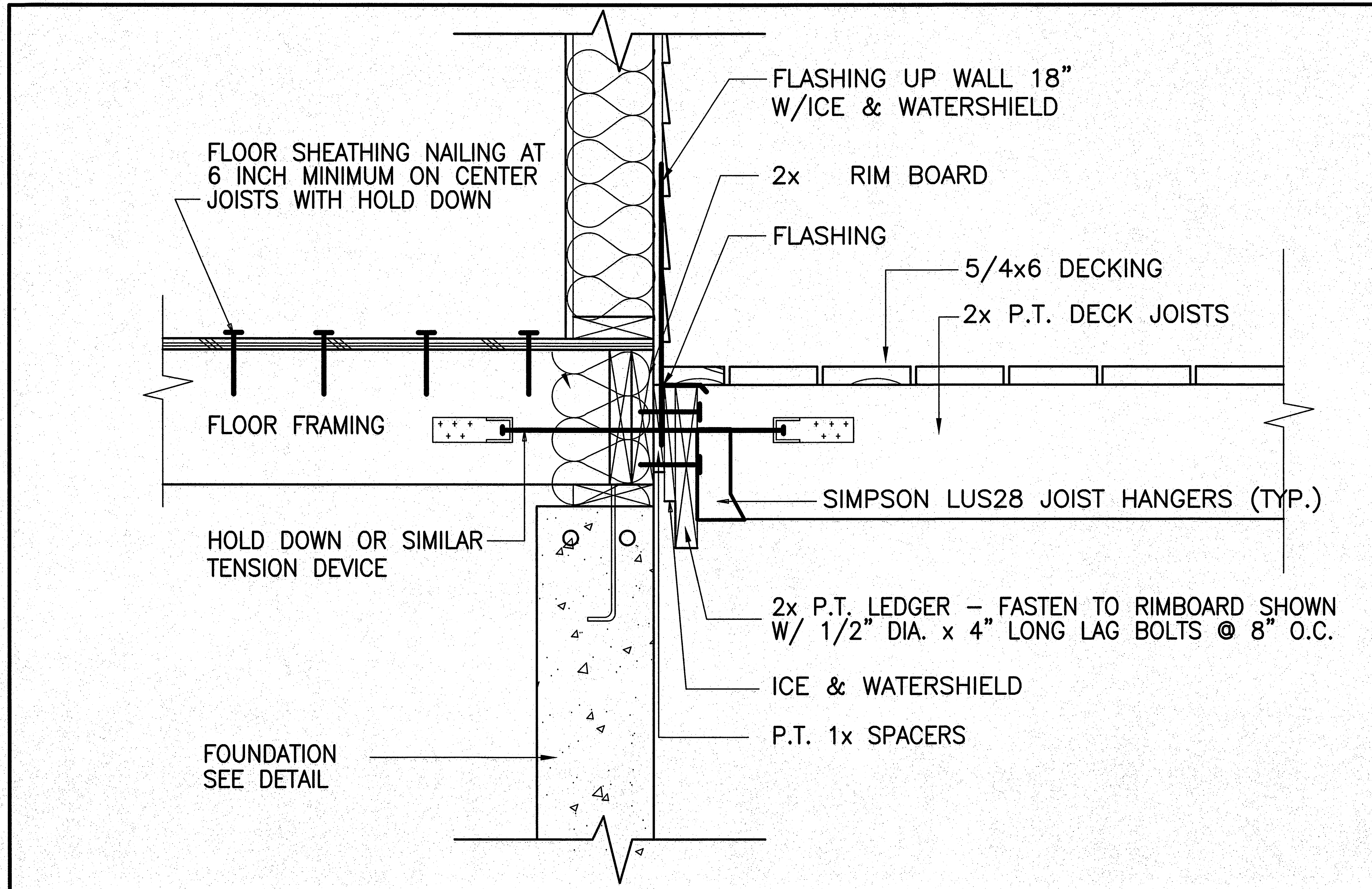
SCALE: 1/4"=1'-0"

NOTE: GUARD RAILS SHALL BE DESIGNED TO WITH STAND 200# OF LATERAL THRUST AT ANY POINT ALONG LINE OF GUARD RAIL.

MOONEY RESIDENCE
 27 SUNSET AVE.
 GREAT DIAMOND ISLAND
 PORTLAND, MAINE

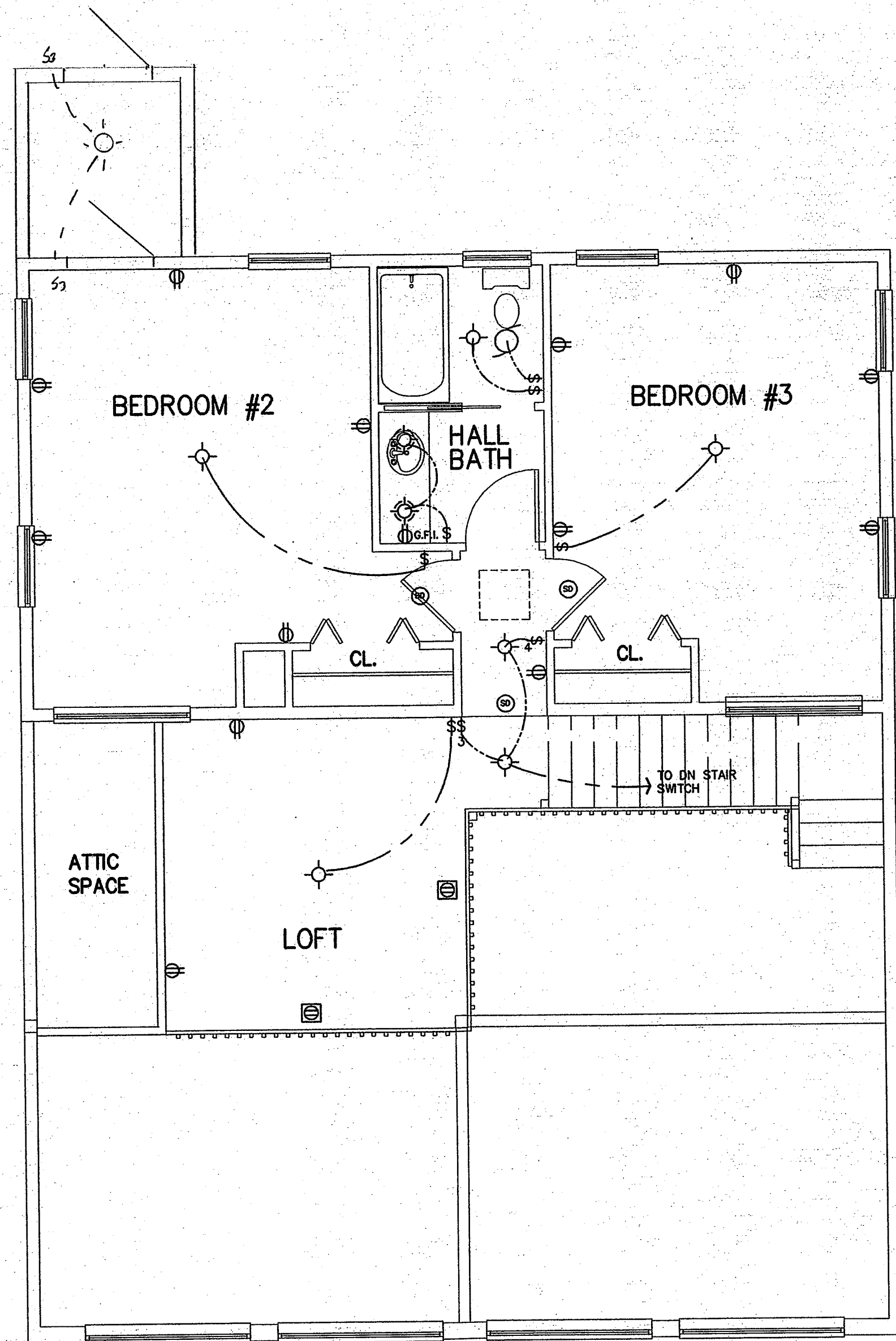
DRAWINGS THIS SHEET
 BUILDING SECTIONS

A3

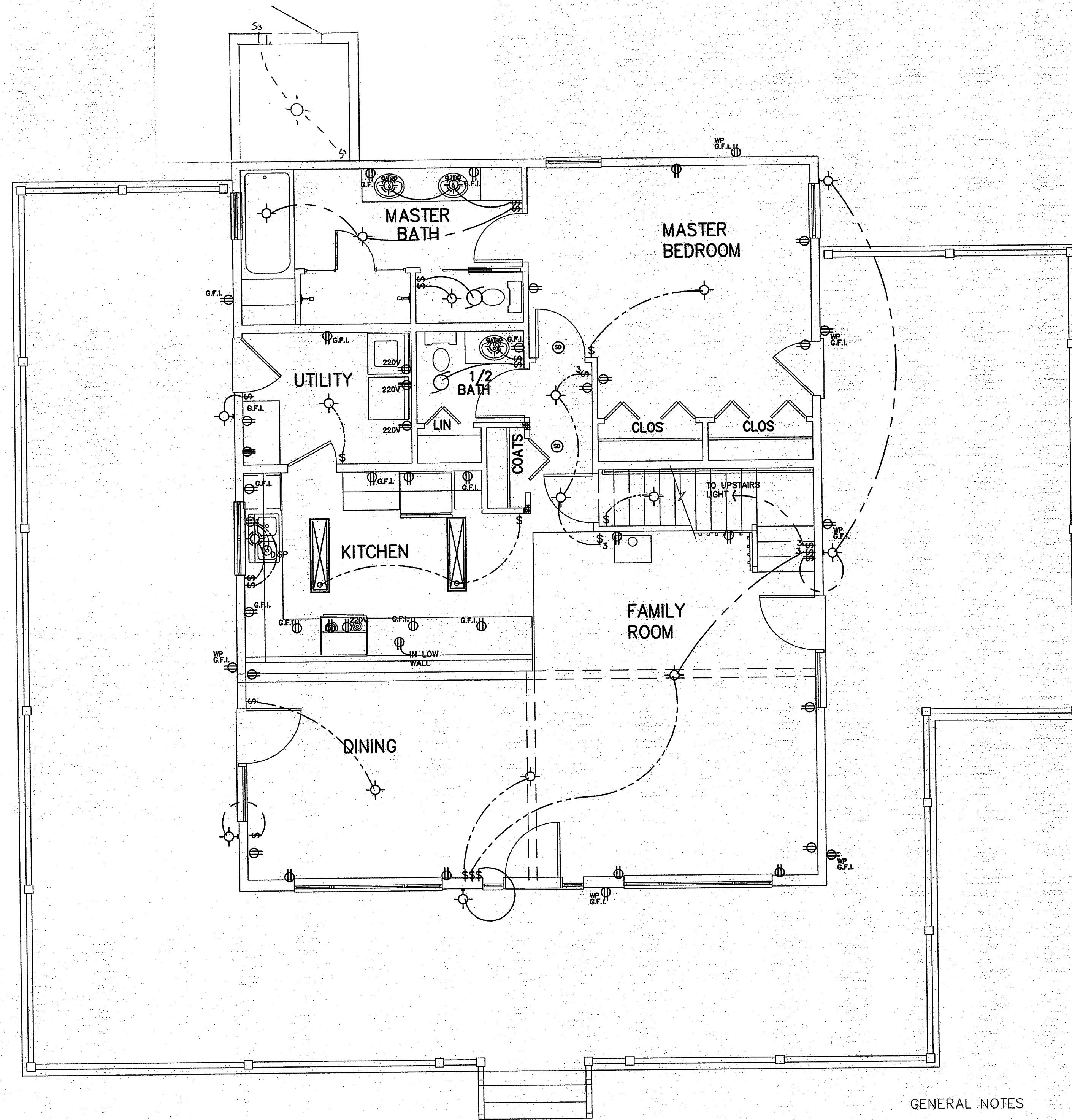


1

DECK /JOIST CONNECTION DETAIL FOR LATERAL LOADS SCALE: 1"=1'-0



2ND FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"



1ST FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"

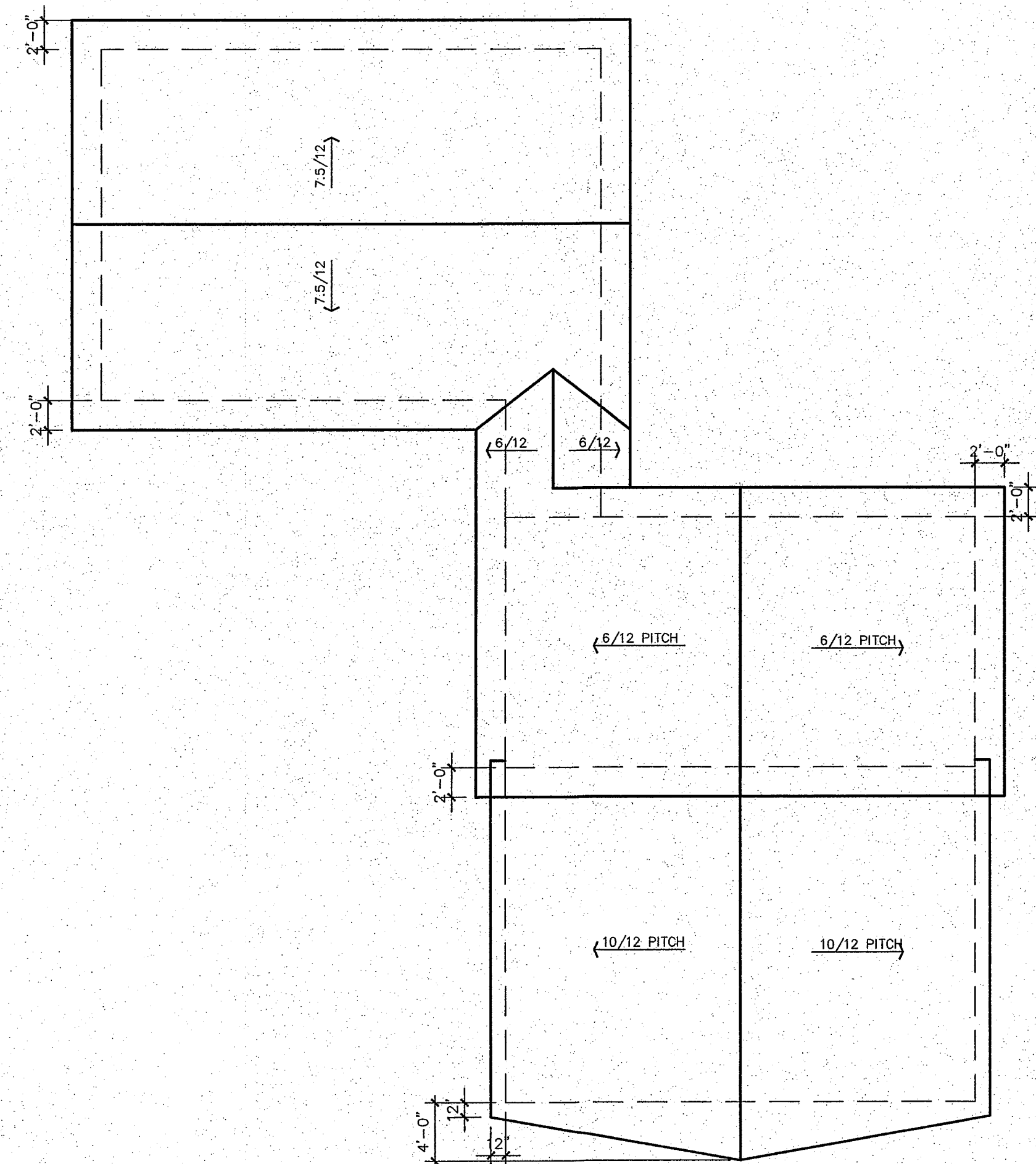
GENERAL NOTES
 ALL ELECTRICAL DEVICES IN BEDROOMS (LIGHTS, FANS, OUTLETS) ARE TO BE WIRED TO AN "ARC FAULT PROTECTION CIRCUIT."

SYMBOL LEGEND			
	DUPLEX 110V RECEPTACLE		WALL FIXTURE
	WEATHERPROOF OUTLET		48" FLUORESCENT LIGHT FIXTURE
	GROUND FAULT INTERRUPT RECEPTACLE		RECESSED ADJ. CEILING SPOTLIGHT
	220V RECEPTACLE		CEILING FAN/LIGHT
	SPLIT RECEPTACLE		EXTERIOR SPOTLIGHT
	FLOOR DUPLEX RECEPTACLE		COMB. LIGHT & EXHAUST FAN
	SINGLE POLE SWITCH		EXHAUST FAN (50 CFM. MIN.)
	3-WAY SWITCH		COMBO SMOKE DETECTOR AND CO DETECTOR AC/DC W/ BATTERY BACKUP INTERCONNECTED
	4-WAY SWITCH		TELEPHONE OUTLET
	SWITCH W/ DIMMER		DOOR BELL BUTTON SWITCH
	SWITCH W/ TIMER		SMOKE DETECTOR AC/DC W/ BATTERY BACKUP INTERCONNECTED
	CEILING LIGHT FIXTURE		
	RECESSED LIGHT FIXTURE W/ NON BREAKABLE LENS		
	PULL CHAIN LIGHT FIXTURE		

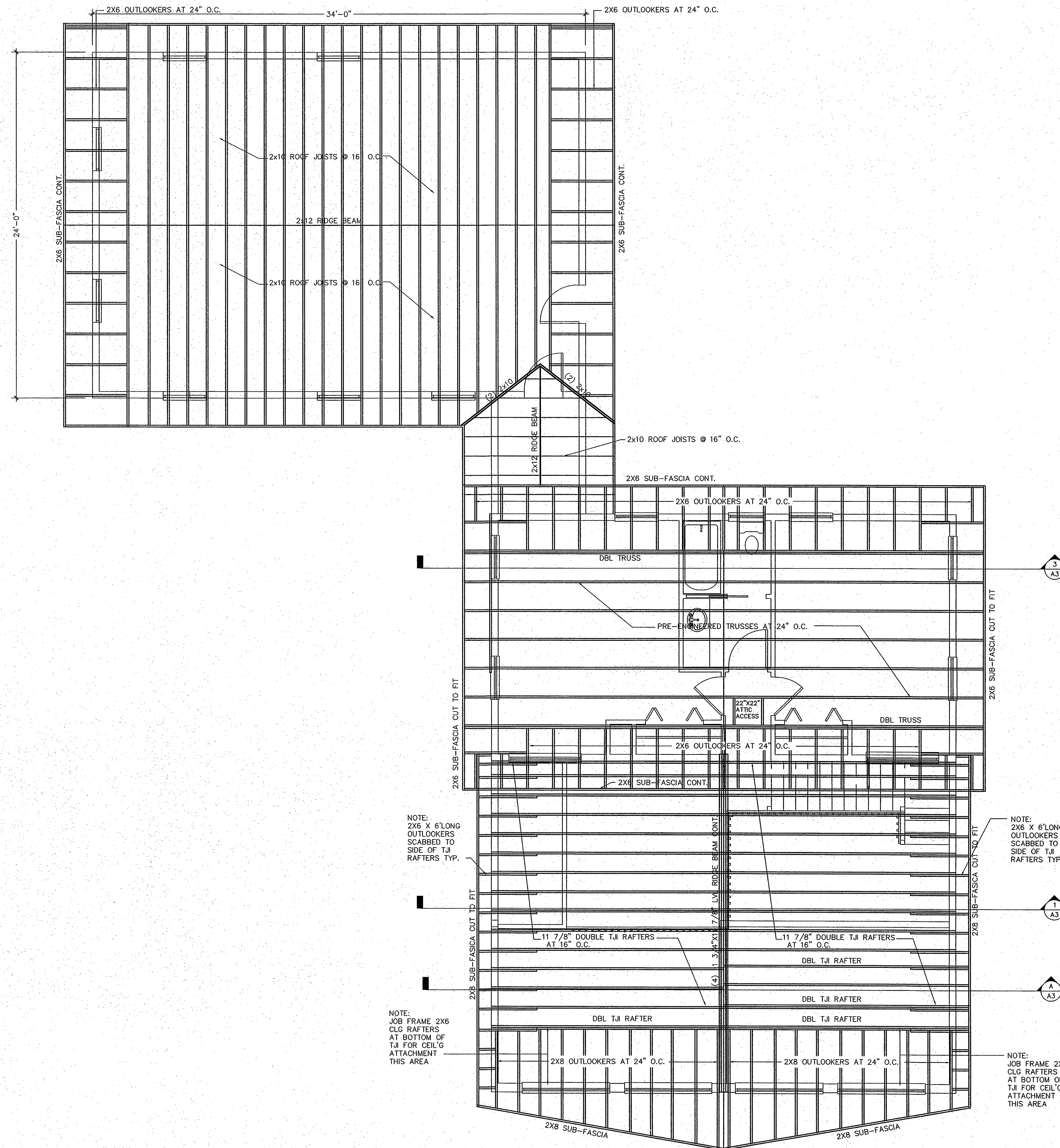
MOONEY RESIDENCE
 27 SUNSET AVE.
 GREAT DIAMOND ISLAND
 PORTLAND, MAINE

DRAWINGS THIS SHEET
 ELECTRICAL PLANS
 NOTES





ROOF PLAN SCALE: 1/8"=1'-0"

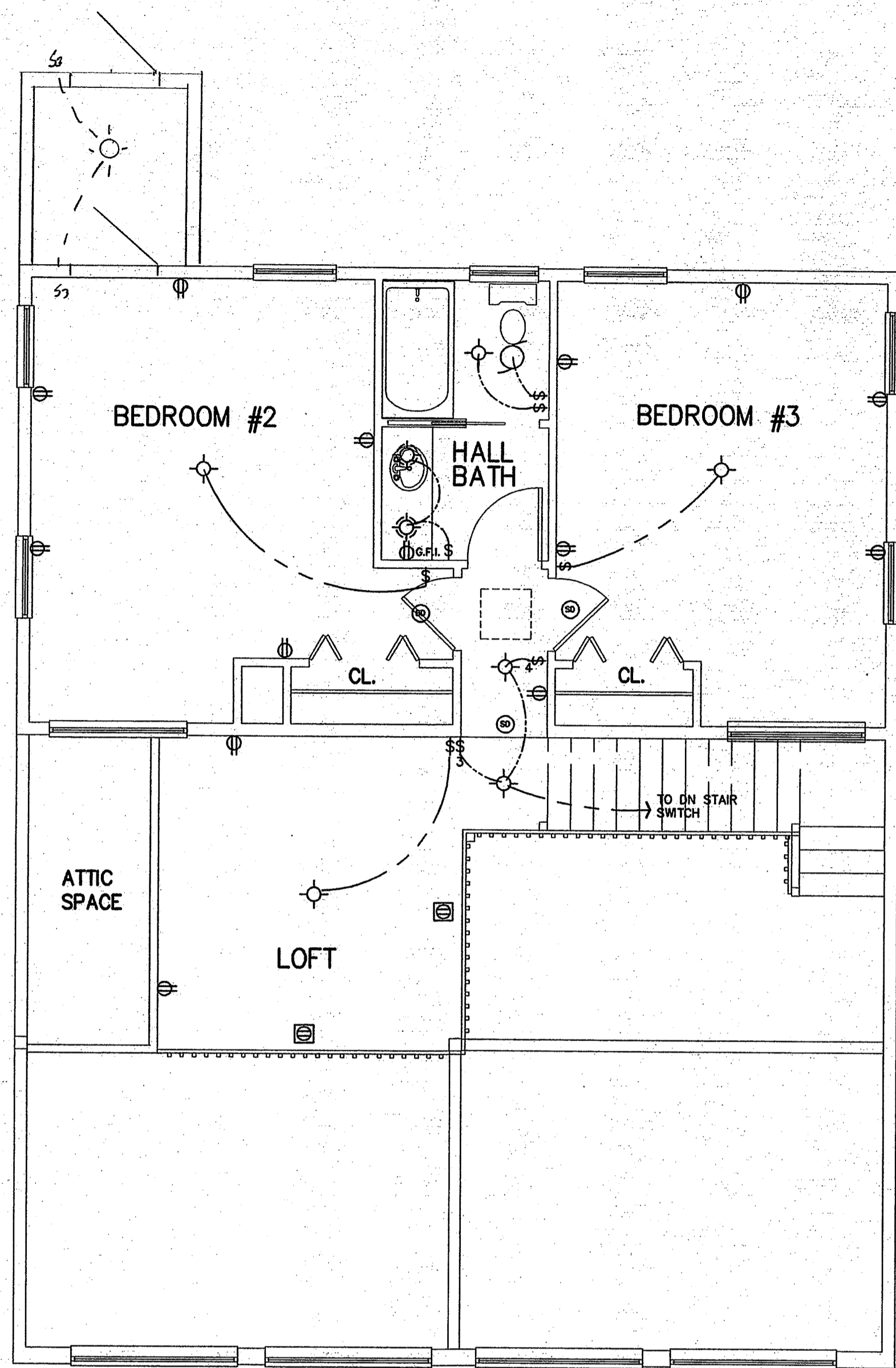


ROOF FRAMING PLAN SCALE: 1/4"=1'-0"

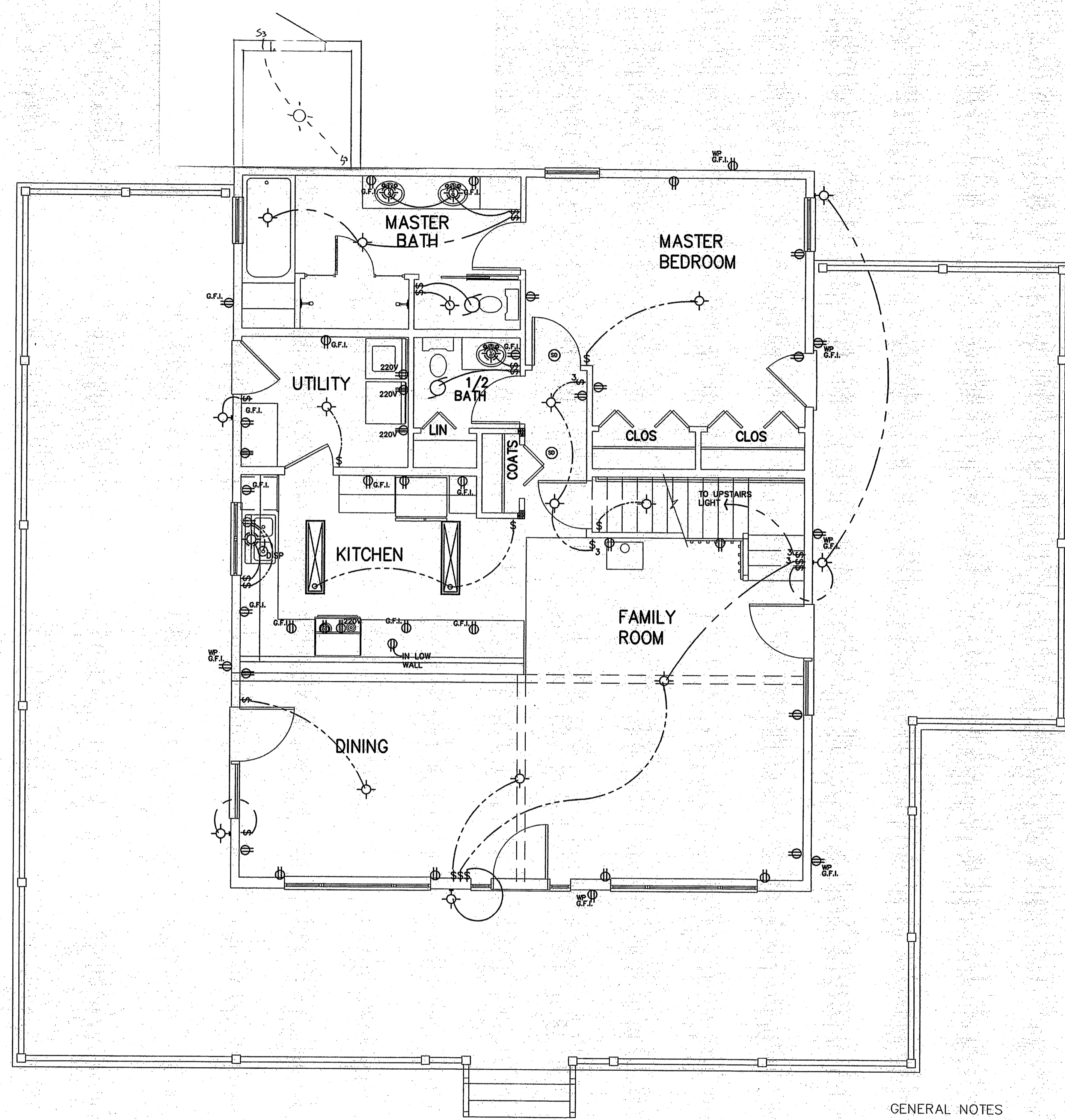
MOONEY RESIDENCE
27 SUNSET AVE.
GREAT DIAMOND ISLAND
PORTLAND, MAINE

DRAWINGS THIS SHEET
ROOF FRAMING PLAN
ROOF PLAN

S3



2ND FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"



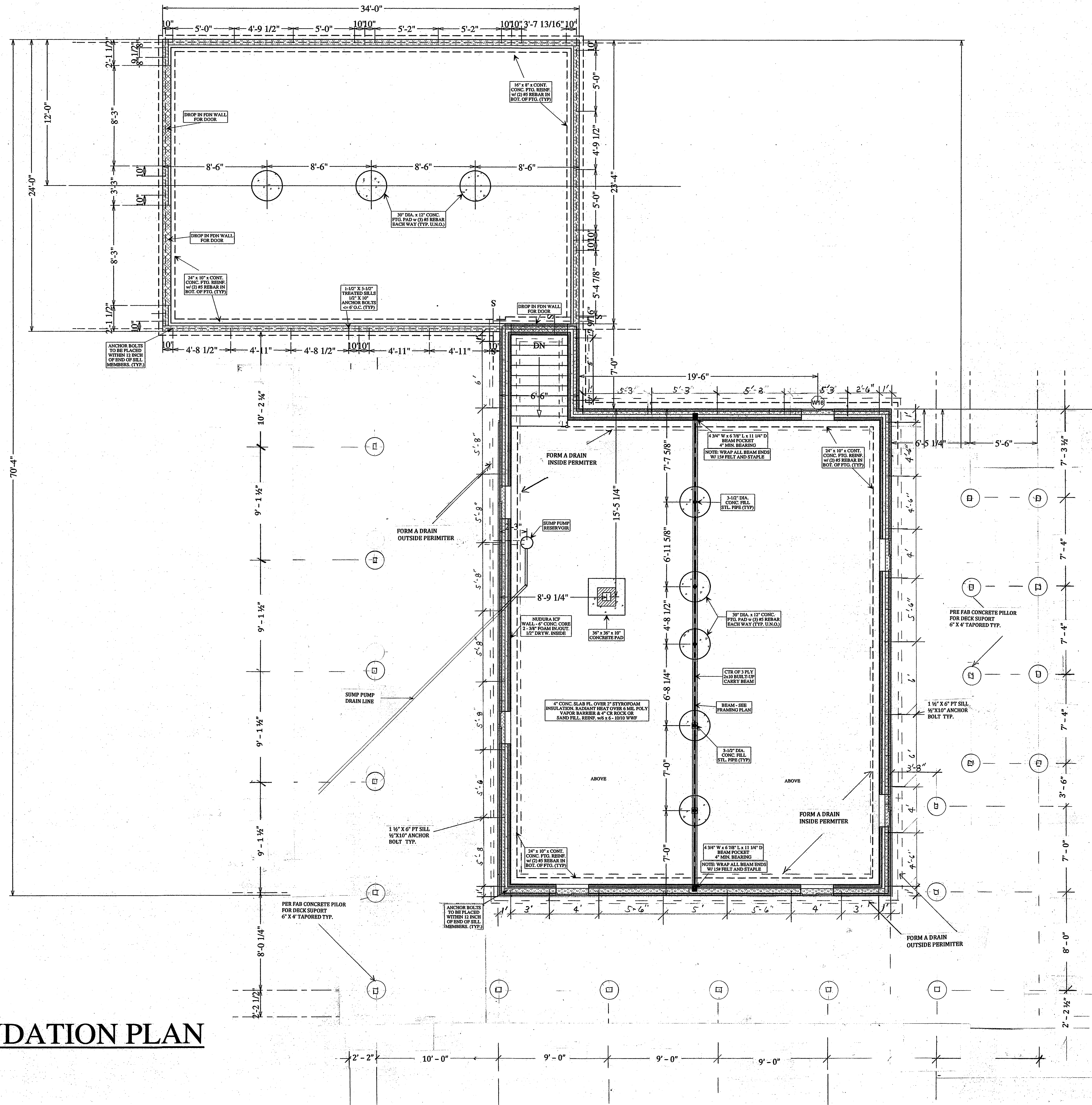
1ST FLOOR ELECTRICAL PLAN SCALE: 1/4"=1'-0"

GENERAL NOTES
 ALL ELECTRICAL DEVICES IN BEDROOMS (LIGHTS, FANS, OUTLETS)
 ARE TO BE WIRED TO AN "ARC FAULT PROTECTION CIRCUIT."

SYMBOL LEGEND	
	DUPLEX 110V RECEPTACLE
	WEATHERPROOF OUTLET
	GROUND FAULT INTERRUPT RECEPTACLE
	220V RECEPTACLE
	SPLIT RECEPTACLE
	FLOOR DUPLEX RECEPTACLE
	SINGLE POLE SWITCH
	3-WAY SWITCH
	4-WAY SWITCH
	SWITCH W/ DIMMER
	SWITCH W/ TIMER
	CEILING LIGHT FIXTURE
	RECESSED LIGHT FIXTURE W/ NON BREAKABLE LENS
	PULL CHAIN LIGHT FIXTURE
	WALL FIXTURE
	48" FLUORESCENT LIGHT FIXTURE
	RECESSED ADJ. CEILING SPOTLIGHT
	CEILING FAN/LIGHT
	EXTERIOR SPOTLIGHT
	COMB. LIGHT & EXHAUST FAN
	EXHAUST FAN (50 CFM. MIN.)
	COMBO SMOKE DETECTOR AND CO DETECTOR AC/DC W/ BATTERY BACKUP INTERCONNECTED
	TELEPHONE OUTLET
	DOOR BELL BUTTON SWITCH
	SMOKE DETECTOR AC/DC W/ BATTERY BACKUP INTERCONNECTED

MOONEY RESIDENCE
 27 SUNSET AVE.
 GREAT DIAMOND ISLAND
 PORTLAND, MAINE
 DRAWINGS THIS SHEET
 ELECTRICAL PLANS
 NOTES

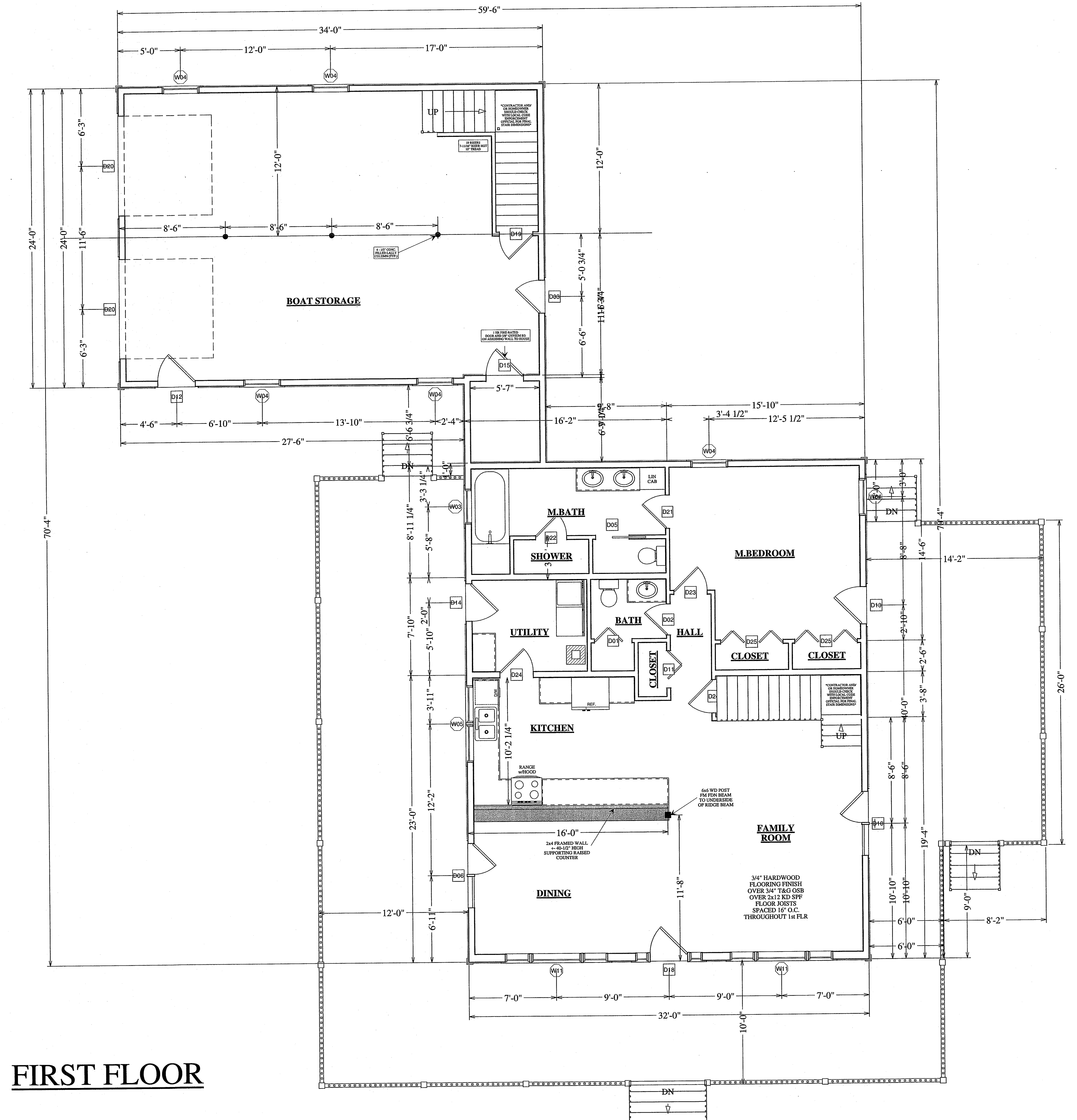
FOUNDATION PLAN



FOUNDATION PLAN
FLOOR PLANS
ELEVATIONS

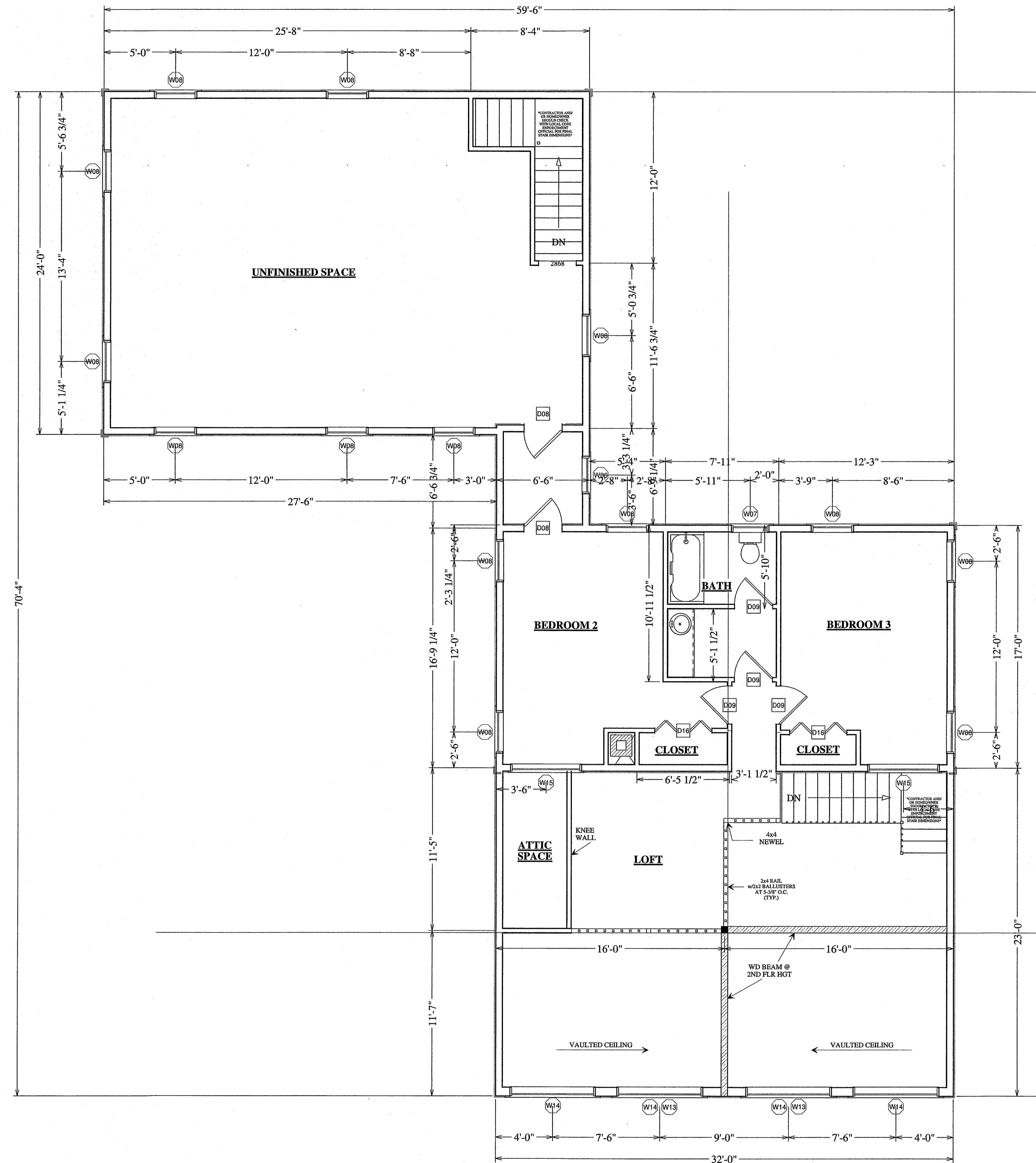
MOONEY RESIDENCE
27 SUNSET AVE.
GREAT DIAMOND ISLAND
PORTLAND, MAINE

A1



FIRST FLOOR

FOUNDATION PLAN FLOOR PLANS ELEVATIONS	<p>MOONEY RESIDENCE 27 SUNSET AVE. GREAT DIAMOND ISLAND PORTLAND, MAINE</p>	<p>A2</p>
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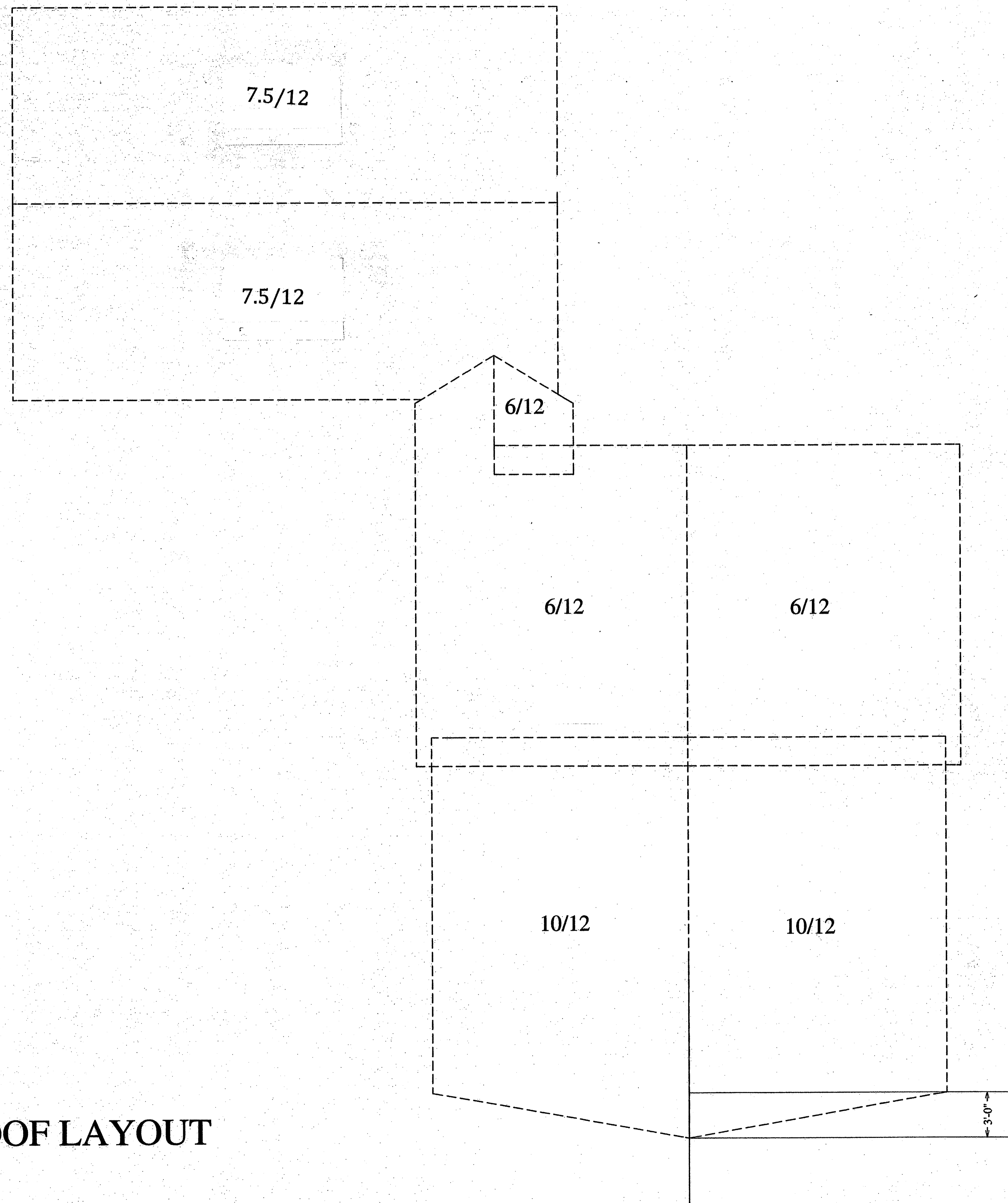


SECOND FLOOR

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FOUNDATION PLAN
 FLOOR PLANS
 ELEVATIONS

A3



ROOF LAYOUT

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 27 SUNSET AVE.
 GREAT DIAMOND ISLAND
 PORTLAND, MAINE

FOUNDATION PLAN
 FLOOR PLANS
 ELEVATIONS

A4



FRONT ELEVATION



RIGHT ELEVATION

FOUNDATION PLAN
FLOOR PLANS
ELEVATIONS

MOONEY RESIDENCE
27 SUNSET AVE.
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PORTLAND, MAINE

A5



REAR ELEVATION



LEFT ELEVATION

FOUNDATION PLAN
FLOOR PLANS
ELEVATIONS

MOONEY RESIDENCE
27 SUNSET AVE.
GREAT DIAMOND ISLAND
PORTLAND, MAINE

A6

WINDOW SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	EGRESS	DESCRIPTION	CODE
W03	C	1	1		DOUBLE HUNG	244DH2836
W04	E	6	1		DOUBLE HUNG	244DH3049*
W05	B	1	1		MULLED UNIT	244DH3036-2
W06	C	1	2		DOUBLE HUNG	2244DH2836
W07	C	1	2		DOUBLE HUNG	244DH2836
W08	E	14	2		DOUBLE HUNG	244DH3049*
W11	A	2	1		MULLED UNIT	244DH2050-244FX4050-244DH2050
W13	G	2	2		FIXED GLASS	P6050
W14	H	4	2		FIXED GLASS	FF6050
W15	D	2	2		FIXED GLASS	FF5042
W16	I	7	0		LEFT SLIDING	HS3216

DOOR SCHEDULE						
NUMBER	LABEL	QTY	FLOOR	EGRESS	DESCRIPTION	CODE
D01	L	1	1		INT BIFLD HOLLOW CORE	3068BF
D02	L	1	1		INT HNGD SOLID CORE	2668
D03	N	1	1		EXT HNGD 9LT	2868
D05	I	1	1		INT SOLID CORE - PKT FRAME	2868
D06	A	1	1		EXT FRENCH	5068
D08	P	2	2		EXT HNGD 6PNL	2868
D09	F	4	2		INT HNGD SOLID CORE	2868
D10	A	1	1		EXT 5068 FRENCH	5068
D11	L	1	1		INT BIFLD HOLLOW CORE	308BF
D12	O	1	1		EXT HNGD 9LT	3068
D13	B	1	1		EXT FRENCH	3068
D14	E	1	1		EXT 9LT HNGD	3068
D15	M	1	1		STL FRM SOLID PANEL FIRE-RATED	3068
D16	G	2	2		INT BIFOLD HOLLOW CORE	4068BF
D18	C	1	1		EXT 3068 W/2 SIDELITES	3068-2SL
D19	P	1	1		EXT HNGD 6PNL	2868
D20	Q	2	1		INS OVHD DCOR	8070
D21	R	1	1		INT SOLID CORE	2868
D22	K	1	1		INT GLASS SHWR	2668
D23	R	1	1		INT HNGD SOLID CORE	2868
D24	F	2	1		INT HNGD SOLID CORE	2868
D25	S	2	1		INT BIFOLD HOLLOW CORE	5068BF

FOUNDATION PLAN
FLOOR PLANS
ELEVATIONS

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PORTLAND, MAINE

A7