

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **INSPECTION**

PERMIT

Permit Number: 090664

This is to certify that ROBERTS DOUGLAS S. ET AL Travis B
has permission to To Amend Permit #09-0584 (Permitting) Eliminating the accessory apartment
AT 40 CRESCENT AVE GREAT DIAMOND ISLAND CB 083A E007001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is put in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board JUL 13 2009 _____
Other _____
Department Name

Frank Mabley 7/13/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0664	Issue Date:	CBL: 083A E007001
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Location of Construction: 90 CRESCENT AVE GREAT DIAM	Owner Name: ROBERTS DOUGLAS S ETAL	Owner Address: 745 JACKSON VALLEY RD	Phone: 207-939-6572
Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Bootby Ave So Portland	Phone: 2079396572
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	Zone: I-R2
Past Use: Vacant Land	Proposed Use: To Amend Permit #09-0584 (Pending) Eliminating the Accessory Apartment <i>Now Single Family Dwelling</i>	Permit Fee: \$30.00	Cost of Work: \$0.00
Proposed Project Description: To Amend Permit #09-0584 (Pending) Eliminating the Accessory Apartment		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: lmd	Date Applied For: 06/23/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Just past 75' setback</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 8 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i># 2009-0058</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>6/29/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____

JUL 13 2009

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**
NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Thomas L. Markley

Signature of Inspections Official

Date

7/13/09

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>90 Crescent Ave GDI</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer Name <u>Travis Bernbe</u> Address <u>67 Boothby Ave</u> City, State & Zip <u>S. Portland, ME 04106</u>	Telephone: <u>939-6572</u>
Lessee/DBA (If Applicable) <u>JUN 23 2009</u>	Owner (if different from Applicant) Name <u>Nancy Connolly</u> Address <u>82 Salem St</u> City, State & Zip <u>Portland, ME 04102</u>	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ <u>3000</u>
Current legal use (i.e. single family) _____ Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>* Ammend permit # 090584</u> <u>Elimante accessory - apartment</u>		
Contractor's name: <u>Travis Bernbe</u>		
Address: <u>67 Boothby Ave</u>		
City, State & Zip <u>S. Portland, ME 04106</u>		Telephone: _____
Who should we contact when the permit is ready: <u>Travis Bernbe</u>		Telephone: <u>939-6572</u>
Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 6/23/09

This is not a permit; you may not commence ANY work until the permit is issue

Revised to A
Applicant: Nancy Jo Connolly Single Family Review Date: 6/26/09
Address: 90 Crescent Ave, Great Falls C-B-L: 003A-E-00

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

permit Amend #09-066A

Zone Location - IR-2

Interior or corner lot -

of Trethewey St

3582.87 sq ft with
decks &
stairs

Proposed Use/Work - To construct only a single family dwelling

Sewage Disposal - Private

Lot Street Frontage - 70' min - 196' Along Bay Ave; 97' Along Crescent

Front Yard - 25' min req - 129' scaled

Rear Yard - 25' min req 25' exactly

Side Yard - 20' min req - 20' shown

Side yard on side st - 20' min req - 86' scaled

Projections -

Width of Lot - 80' min - 80' + shown

Height - 35' MAX - Need prec post grades to figure the height - but 18 ft prec of post - 9 ft do
Not changing the grades - prec post are the same

Lot Area - 20,000 sq ft for a single fam - 32,149.50 sq ft shown

Lot Coverage/Impervious Surface - 20% MAX $\times 32,149.50 = 6429.9$ sq ft MAX

Area per Family - 20,000

Off-street Parking - 2 pkgs req - 3 shown

Loading Bays - N/A

Site Plan - #2009-0058

Shoreland Zoning/Stream Protection - within reviewed under the current

Flood Plains - Panel 8 Zone C what is the area of cleared "old" ordinance
less than 25% - Not 10,000 to
show flood plain line

City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0664	Date Applied For: 06/23/2009	CBL: 083A E007001
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Location of Construction: 0 CRESCENT AVE GREAT DIAM	Owner Name: ROBERTS DOUGLAS S ETAL	Owner Address: 745 JACKSON VALLEY RD	Phone: 207-939-6572
Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Bootby Ave So Portland	Phone: (207) 939-6572
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: To Amend Permit #09-0584 (Pending) Eliminating the Accessory Apartment- Single Family dwelling use	Proposed Project Description: To Amend Permit #09-0584 (Pending) Eliminating the Accessory Apartment - Single family dwelling use
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 06/29/2009
Note: **Ok to Issue:**

- 1) There shall be NO Clearing within 75' of the High Water Mark. There shall be no filling or clearing of the Forested wetlands as shown on the submitted survey. It has been stated that only the house and parking area are to be cleared for building. The silt fences shall be moved out of the 75' setback from th HWM.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. Separate permits and approvals to the ZBA are required for an accessory dwelling unit.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that pre and post grades are the same.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/06/2009
Note: **Ok to Issue:**

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Comments:
 6/26/2009-mes: Spoke to Travis Berube I need some corrections on the site plans and question about floodplain vs HWM on the plans - how much is being cleared on the lot? What is pre & post grades? He will come in at 9:00 on Monday to correct.
 7/6/2009-tm: building and zoning reviews are complete and awaiting DRC approval before issuing permit.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: <i>664</i> 09- 6584	Date Applied For: 06/09/2009	CBL: 083A E007001
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Location of Construction: 90 CRESCENT AVE Great Diamon	Owner Name: ROBERTS DOUGLAS S ETAL	Owner Address: 745 JACKSON VALLEY RD	Phone: 207-772-0202
Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Boothby Ave So Portland	Phone: (207) 939-6572
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family Home w/ an accessory apt - Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths	Proposed Project Description: Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths
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Dept: Zoning	Status: Pending	Reviewer: Marge Schmuckal	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

Dept: DRC	Status: Approved with Conditions	Reviewer: Eric Giles	Approval Date: 07/13/2009	Ok to Issue: <input checked="" type="checkbox"/>
Note:	<ol style="list-style-type: none"> 1) Due to the site's proximity to a highly unstable slope, there shall be NO Clearing of any trees and understory vegetation within 75' of the High Water Mark. There shall be no filling or clearing of the Forested wetlands as shown on the submitted survey. It has been stated that only the house and parking area are to be cleared for building. The silt fences shall be moved out of the 75' setback from th HWM. If any selective clearing or cutting is proposed a plan shall be submitted to the Planning Authority for review and approval. 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily. 3) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26). 4) NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY. 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. 6) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.) 7) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822.The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site. 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind. 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy. 10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy. 			

Comments:

Location of Construction: 90 CRESCENT AVE Great Diamon	Owner Name: ROBERTS DOUGLAS S ETAL	Owner Address: 745 JACKSON VALLEY RD	Phone: 207-772-0202
Business Name:	Contractor Name: Travis Berube	Contractor Address: 67 Bootby Ave So Portland	Phone (207) 939-6572
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

6/24/2009-lmd: Received on 6/23/2009 an amendment to this application eliminating the accessory apartment.

6/18/2009-mes: On June 15th the City Council adopted the new shoreland regulations which have added protections to highly unstable coastal bluffs. This property does have such highly unstable bluffs which are protected. Coproration Counsel also weighed in on whether this application needs to go by the old or new shoreland zoning rules. It needs to meet the new rules per Danielle in Corp. Counsel.

7/13/2009-tm: the DRC approval should be with permit # 0664 which is an amendment to this permit eliminating the accessory apt.

MEMORANDUM

To: FILE

From: Eric Giles

Dept: DRC

Subject: Application ID: 2009-0058

Date: 7/13/2009

See Conditions

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
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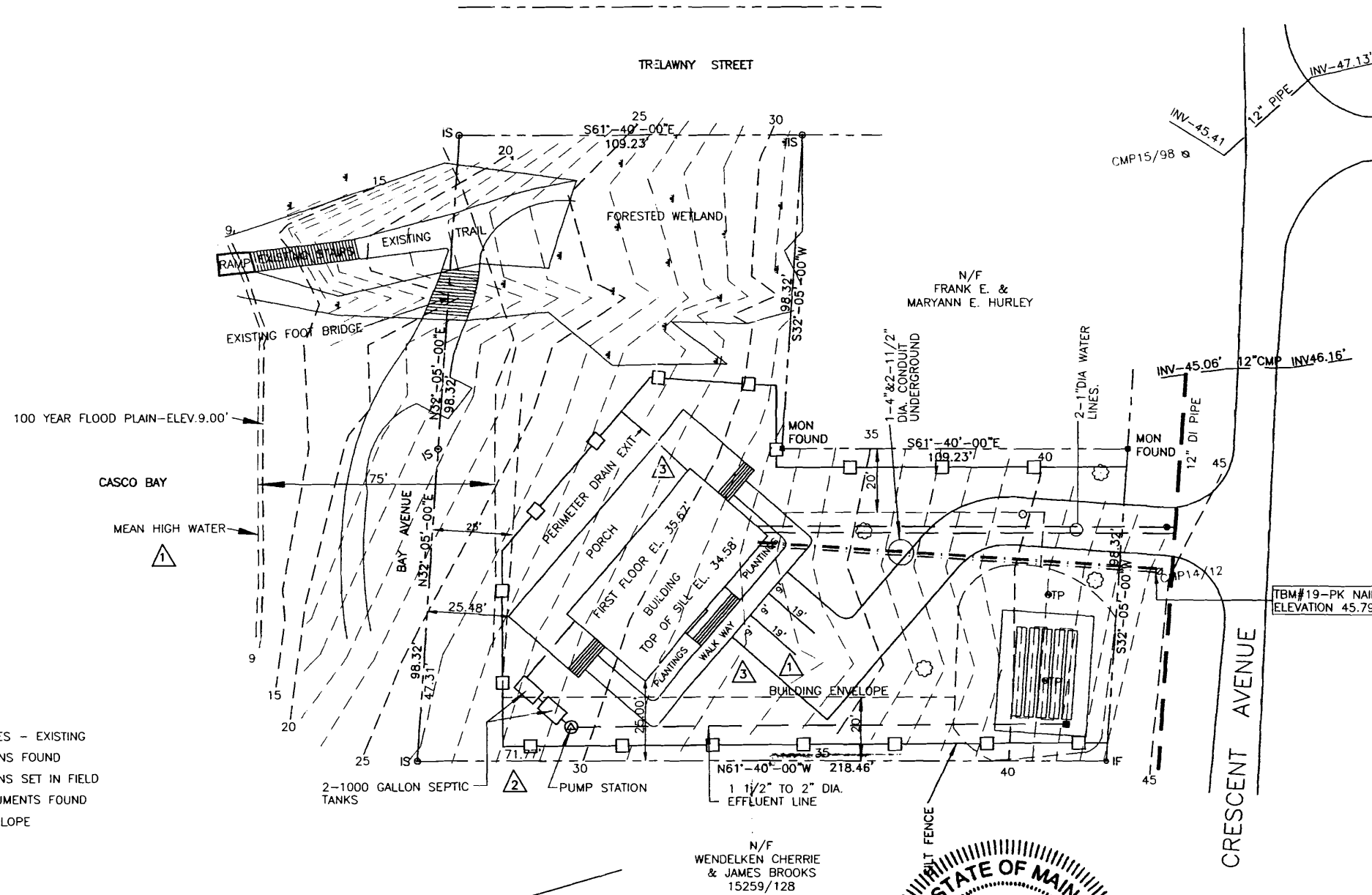
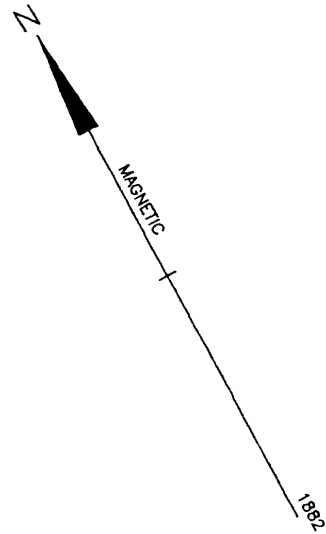
90 Crescent Ave ^{GDI} ~~Flats~~ Island

083-A-E007001

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1)				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	1 2x6 concrete footing 8" mesh walls - concrete Blocks	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4" pipe - filter fabric - stone - sump pump in basement	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	OK		
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2 x 12 1/2" OC			
Lally Column Type (Section R407)	Steel column	OK		
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	3 (2x10) and LVLs	OK		
Sill/Band Joist Type & Dimensions	2x6 PT	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" OC	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" OC	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x10 16" OC	OK		

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	4x7 R57 2x12 16' OC Fasteners per IRC 2003	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	5/8 sheathing MC.	
Fastener Schedule (Table R602.3(1) & (2))	per IRC 2003	
Private Garage (Section R309) Living Space ? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	NA	
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	Asphalt Shingles	
Safety Glazing (Section R308)	NA	
Attic Access (Section R807)	NA	
Chimney Clearances/Fire Blocking (Chap. 10)	2 inch min	OK
Header Schedule (Section 502.5(1) & (2))	See header schedule plans	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	See compliance cert from Rescheck in big plans	OK

Type of Heating System	OK	OK
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways	3	
Interior	2	
Exterior	0	
Treads and Risers (Section R311.5.3)	7 3/4 max Rise	
Width (Section R311.5.1)	3 ft min	
Headroom (Section R311.5.2)	6'8 min	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 net Guards 34-38 Handrails	OK
Smoke Detectors (Section R313) Location and type/Interconnected	Each Bedroom / Level	OK
Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	OK	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)		
Deck Construction (Section R502.2.1)	NA	OK



NOTES

1. DEED AND PLAN REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. IRONS SET ARE 5/8" REBAR (2'-6") LONG
3. ZONE IR7 & SHORELAND ZONING. MINIMUM LOT SIZE 20,000 SF. MIN STREET FRONTAGE 70'. FRONT & REAR SETBACK 25'. SIDE SETBACK 20'.
4. OWNERS OF RECORD: DOUGLAS S. ROBERTS, KATHY SUE ROBERTS, NANCY JO CONNOLLY. 13290/162-32,149.50 SF
5. ASSESSORS MAP - 83A-E-7,8 & 10.
6. WETLAND FLAGS LOCATED BY ALBERT FRICK ASSOCIATES, INC. USING A TRIMBLE SUBMETER GPS UNIT.
7. ELEVATION BASED ON NOAA BRASS DISK. "841 7988 A 1979" ELEVATION ABOVE MTL 7.43'
8. 100 YEAR FLOOD PLAIN TAKEN FROM FEMA COMMUNITY PANEL #230051 NO. 0008 B EFFECTIVE DATE JULY 17, 1986.

REFERENCES

PLAN OF PROPERTY, DIAMOND ISLAND ASSOCIATION PLAN BOOK 4, PAGE 62.

OWNERS

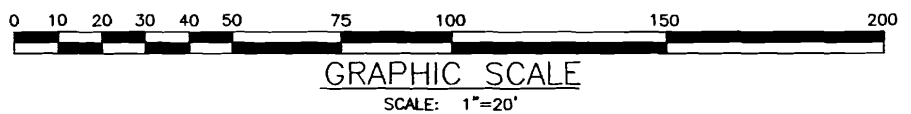
NANCY JO CONNOLLY
82 SALEM STREET
PORTLAND, MAINE 04102

DOUGLAS S. ROBERTS
KATHY SUE ROBERTS
745 JACKSON VALLEY ROAD
OXFORD, NEW JERSEY 07863

LEGEND

- PROPERTY LINES - EXISTING
- IF O PROPERTY IRONS FOUND
- IS O PROPERTY IRONS SET IN FIELD
- EXISTING MONUMENTS FOUND
- - - BUILDING ENVELOPE
- . - . - . WETLANDS
- NEW TREE

CITY OF PORTLAND
APPROVED SITE PLAN
Subject to Dept. Conditions
Date of Approval: APPROVED JUL 13 2008



NOTE

FINISH GRADE SHALL MATCH THE EXISTING GRADE.



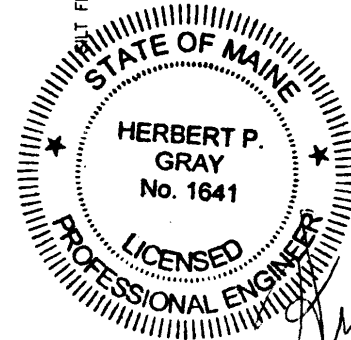
CERTIFICATION

THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.

HERBERT P. GRAY, PLS #387

SURVEYOR

HERBERT P. GRAY
PLS #387
111 SIMMONS ROAD
SOUTH PORTLAND, MAINE
04106

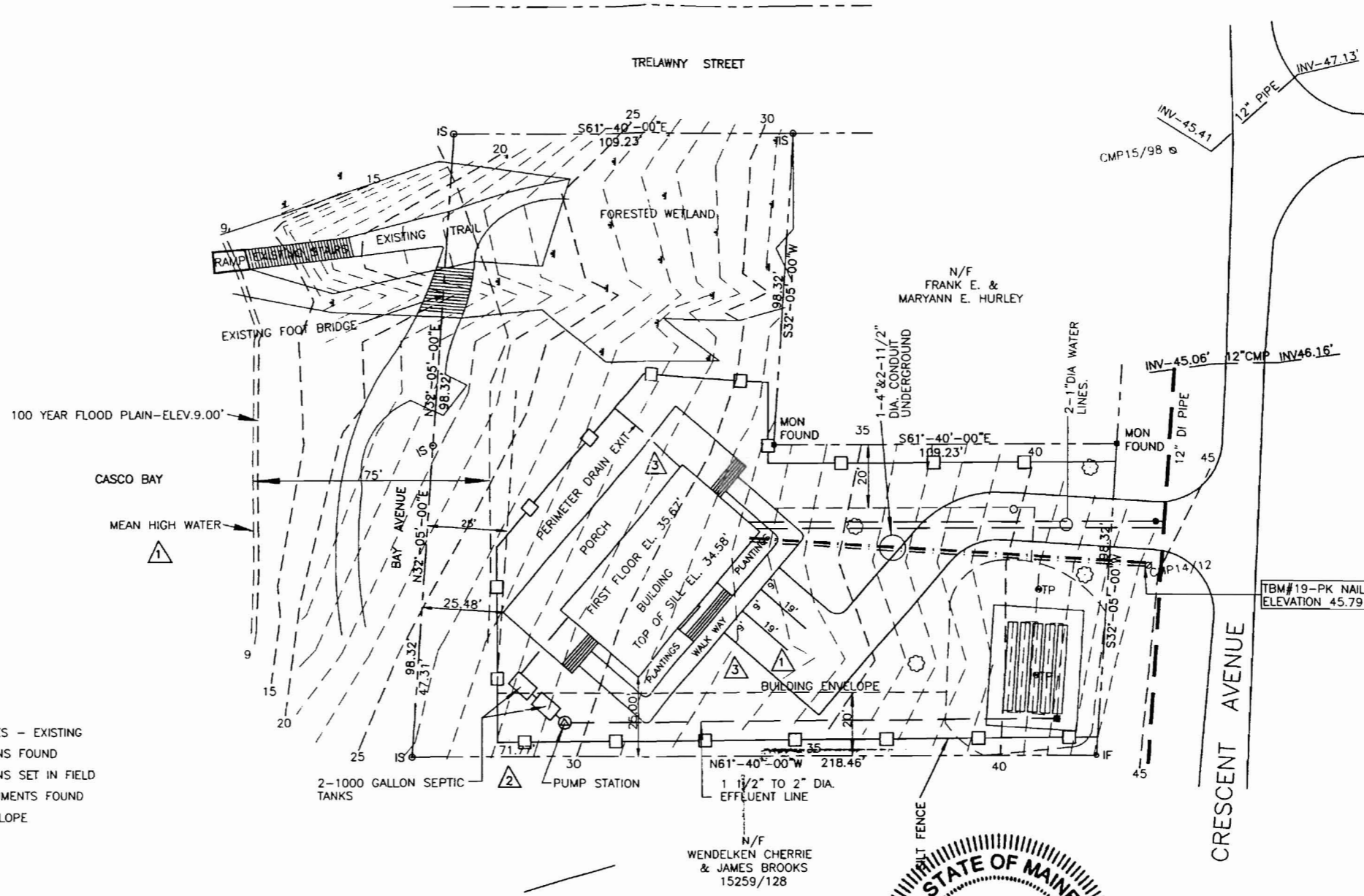
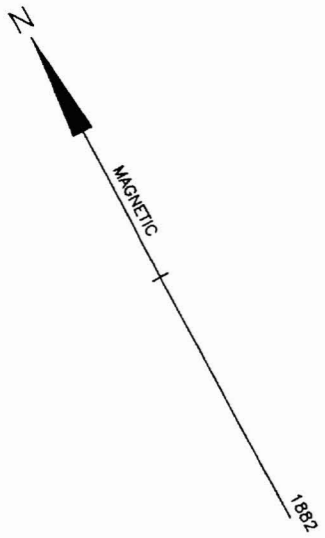


Herbert P. Gray

3	7/09/09	ELIMINATE 1 PARKING SPACE PERIMETER DRAIN EXIT	HPG
2	7/08/09	ADDED FINISH GRADE NOTE MOVED SILT FENCE LINE	HPG
1	6/27/09	ADDED MEAN HIGH WATER LINE DIMENSIONED PARKING SPACES	HPG

SITE PLAN-TOPOGRAPHY PLAN
LAND OF DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY
CRESCENT AVENUE - GREAT DIAMOND ISL.
PORTLAND, MAINE 04109
DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY
HERBERT P. GRAY
111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106

SCALE:	1"=20'	DWG. NO.	
DATE:	06/08/09		
DRAWN BY:	DHG		1
CHECKED BY:	HPG		



- NOTES**
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- PLAN OF PROPERTY, DIAMOND ISLAND ASSOCIATION PLAN BOOK 4, PAGE 62.
- OWNERS**
- NANCY JO CONNOLLY
82 SALEM STREET
PORTLAND, MAINE 04102
- DOUGLAS S. ROBERTS
KATHY SUE ROBERTS
745 JACKSON VALLEY ROAD
OXFORD, NEW JERSEY 07863

LEGEND

- PROPERTY LINES - EXISTING
- IF O PROPERTY IRONS FOUND
- IS O PROPERTY IRONS SET IN FIELD
- EXISTING MONUMENTS FOUND
- BUILDING ENVELOPE
- - - WETLANDS
- NEW TREE

NOTE

FINISH GRADE SHALL MATCH THE EXISTING GRADE.

②

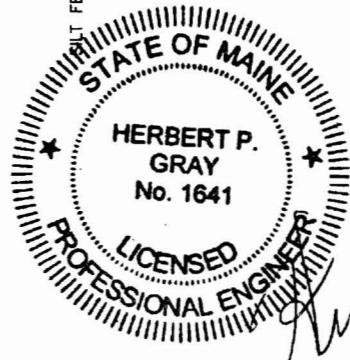
CERTIFICATION

THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.

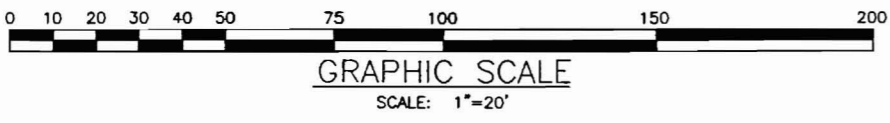
HERBERT P. GRAY, PLS #387

SURVEYOR

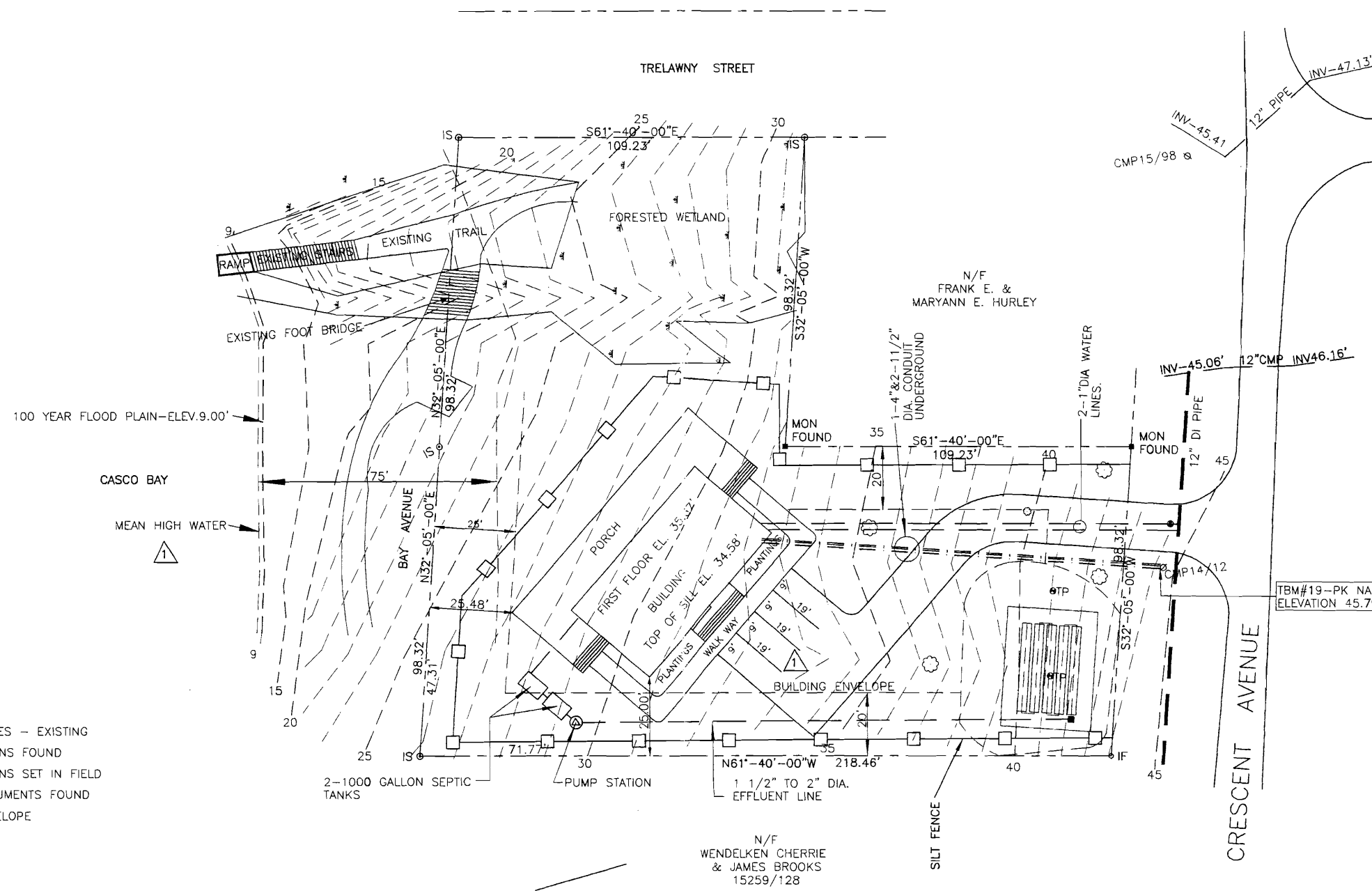
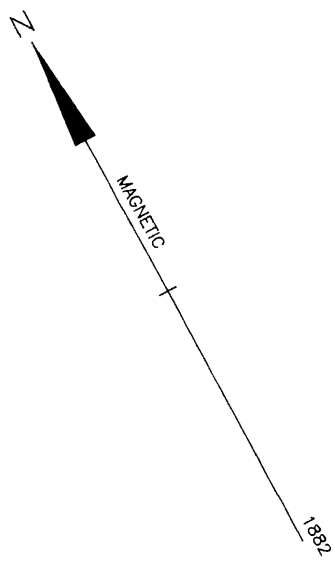
HERBERT P. GRAY
PLS #387
111 SIMMONS ROAD
SOUTH PORTLAND, MAINE
04106



**CITY OF PORTLAND
APPROVED SITE PLAN**
Subject to Dept. Conditions
Date of Approval: APPROVED JUL 13 2008



③	7/09/09	ELIMINATE 1 PARKING SPACE PERIMETER DRAIN EXIT	HPG
②	7/08/09	ADDED FINISH GRADE NOTE MOVED SILT FENCE LINE	HPG
①	8/27/09	ADDED MEAN HIGH WATER LINE DIMENSIONED PARKING SPACES	HPG
SITE PLAN-TOPOGRAPHY PLAN			
LAND OF DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY CRESCENT AVENUE - GREAT DIAMOND ISL. PORTLAND, MAINE 04109 DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY HERBERT P. GRAY 111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106			
SCALE:	1"=20'	DWG. NO.	1
DATE:	06/08/09		
DRAWN BY:	DHG		
CHECKED BY:	HPG		



NOTES

1. DEED AND PLAN REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. IRONS SET ARE 5/8" REBAR (2'-6") LONG
3. ZONE IR2 & SHORELAND ZONING. MINIMUM LOT SIZE 20,000 SF. MIN STREET FRONTAGE 70'. FRONT & REAR SETBACK 25'. SIDE SETBACK 20'.
4. OWNERS OF RECORD: DOUGLAS S. ROBERTS, KATHY SUE ROBERTS, NANCY JO CONNOLLY. 13290/162-32.149.50 SF
5. ASSESSORS MAP - 83A-E-7,8 & 10.
6. WETLAND FLAGS LOCATED BY ALBERT FRICK ASSOCIATES, INC. USING A TRIMBLE SUBMETER GPS UNIT.
7. ELEVATION BASED ON NOAA BRASS DISK. "B41 7988 A 1979" ELEVATION ABOVE MTL 7.43'
8. 100 YEAR FLOOD PLAIN TAKEN FROM FEMA COMMUNITY PANEL #230051 NO. 0008 B. EFFECTIVE DATE JULY 17, 1986.

REFERENCES

PLAN OF PROPERTY, DIAMOND ISLAND ASSOCIATION PLAN BOOK 4, PAGE 62.

OWNERS

NANCY JO CONNOLLY
82 SALEM STREET
PORTLAND, MAINE 04102

DOUGLAS S. ROBERTS
KATHY SUE ROBERTS
745 JACKSON VALLEY ROAD
OXFORD, NEW JERSEY 07863

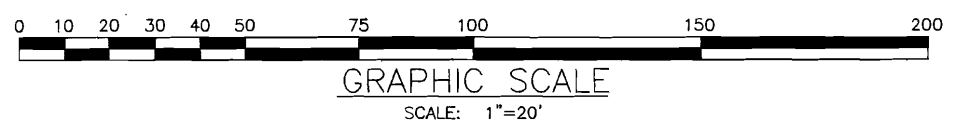
DEPT. OF BUILDING PERMITS
CITY OF PORTLAND, ME

JUN 29 2009

RECORDED

LEGEND

- PROPERTY LINES - EXISTING
- IF ○ PROPERTY IRONS FOUND
- IS ○ PROPERTY IRONS SET IN FIELD
- EXISTING MONUMENTS FOUND
- - - BUILDING ENVELOPE
- . - . - . WETLANDS
- NEW TREE



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HERBERT P. GRAY, PLS #387

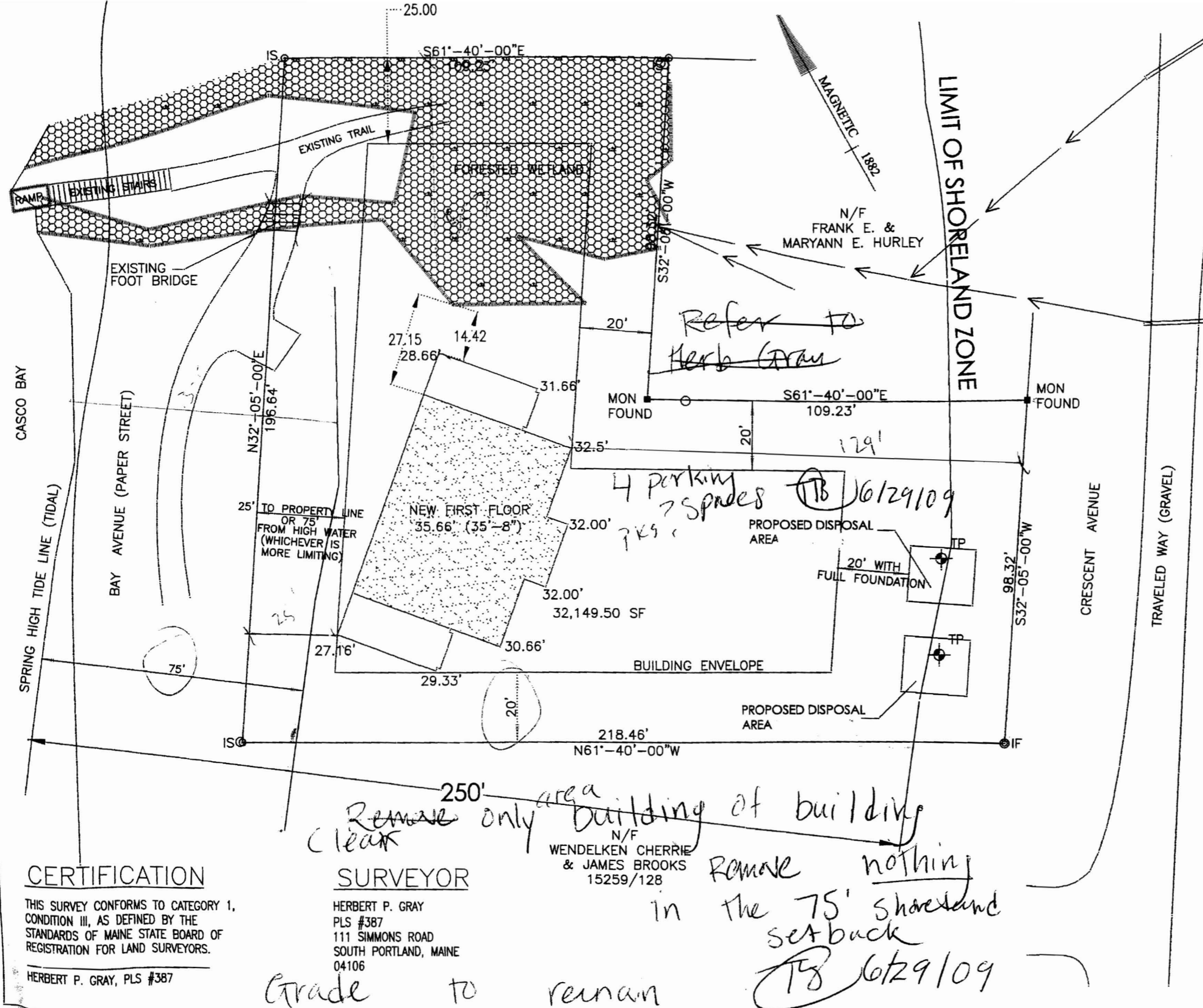
SURVEYOR

HERBERT P. GRAY
PLS #387
111 SIMMONS ROAD
SOUTH PORTLAND, MAINE
04106

Herbert P. Gray

△ 6/27/09	ADDED MEAN HIGH WATER LINE DIMENSIONED PARKING SPACES	HPG
SITE PLAN-TOPOGRAPHY PLAN LAND OF DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY CRESCENT AVENUE - GREAT DIAMOND ISL. PORTLAND, MAINE 04109 DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY HERBERT P. GRAY 111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106		
SCALE:	1"=20'	DWG. NO.
DATE:	06/08/09	1
DRAWN BY:	DHG	
CHECKED BY:	HPG	

A19.
 ANGLE
 60W A19.
 I. TRIM FOR
 MR16.
 O.
 60W A19.
 OWNER TO
 #1-IN, WIRING
 MODEL 1465Y.
 OWNER TO
 (2) T5HO 24W.
 (2) T5HO 54W.
 N SIZES AS
 ECT.



2. IRONS SET ARE 1/2" REBAR - (2'-6") LONG
3. ZONE IR2 & SHORELAND ZONING.
4. OWNERS OF RECORD: DOUGLAS S. ROBERT
 KATHY SUE ROBERT
 NANCY JO CONNOLLY
 13290\162.
5. ASSESSORS MAP - 83A-E-7,8 & 10.

REFERENCES
 PLAN OF PROPERTY, DIAMOND ISLAND ASSOCIATION
 PLAN BOOK 4, PAGE 62.

- LEGEND**
- PROPOSED SEPTIC AREA
 - LIMITS OF SHORELAND ZONE
 - WETLAND AREA
 - SURFACE DRAINAGE
 - SOIL TEST PIT
 - PROPERTY LINES - EXISTING
 - PROPERTY IRONS FOUND
 - PROPERTY IRONS SET IN FIELD
 - EXISTING MONUMENTS FOUND
 - BUILDING ENVELOPE

PROPERTY SURVEY	
LAND OF DOUGLAS S & KATHY SUE ROBERT & NANCY JO CONNOLLY CRESCENT AVENUE - GREAT DIAMOND ISLAND PORTLAND, MAINE 04109 DOUGLAS S & KATHY SUE ROBERT & NANCY JO CONNOLLY	
HERBERT P. GRAY 111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106	
SCALE: 1"=20'	DWG. NO. NC
DATE: 10/25/05	30' Scale
DRAWN BY: DHG	1
CHECKED BY: HPG	

Remove only area building of building clear
Remove nothing in the 75' shoreland setback
Grade to remain the same
 TP 6/29/09

CERTIFICATION
 THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.
 HERBERT P. GRAY, PLS #387

SURVEYOR
 HERBERT P. GRAY
 PLS #387
 111 SIMMONS ROAD
 SOUTH PORTLAND, MAINE 04106

N/F
 WENDELKEN CHERRIE & JAMES BROOKS
 15259/128

ROOF

NOTES IN COLORS AS SELECTED BY OWNER. 2. ALL SWITCHES SHALL BE CONNECTED TO DOOR JAMBS SHALL BE SWITCHED WITH JAMB SWITCHES.

GENERAL NOTES AND SPECIFICATIONS

DIVISION 1 - GENERAL NOTES

1.1 All work shall be performed in accordance with all applicable codes, ordinances and accepted industry standards.
1.2 Contractor shall visit the site, shall base estimates upon present conditions, and shall be required to complete all work shown or indicated.
1.3 Do not scale the drawings. Written dimensions take precedence over depicted sizes and relationships on drawings.
1.4 All dimensions are given to face of gypsum board unless expressly noted otherwise.
1.5 Contractor to perform high quality work in a professional and workmanlike manner.
1.6 Where adjacent surface areas within the project site, but outside of this contract, are disturbed as a result of building operations or storage of materials under this contract, they shall be cleaned of all debris and restored to original grades and condition.
1.7 Contractor shall supply all equipment, labor, tools and scaffolding necessary to complete the work.
1.8 Contractor to coordinate and accommodate all "Not in Contract" work.
1.9 Details noted "Typical" imply all such conditions to be treated similarly.
1.10 Contractor shall furnish a Certificate of Occupancy to the Owner at the time of "Substantial Completion".
1.11 Contractor shall procure and pay for all permits and fees.
1.12 All copies of Drawings, Specifications, Copyrights and the Designs expressed therein are and shall remain the property of the Architect. They are to be used only with respect to this project.
1.13 The Contractor, his agents, servants, employees and sub-contractors shall indemnify the Owner and the Architect from and against any claims that may arise out of this project.
1.14 All work is new unless noted as existing.
1.15 Keep materials under cover and dry. Protect against exposure to weather or any damaging conditions.
1.16 Furnish Port-O-John on site for duration of construction. Bathrooms in the house shall not be used by any of the workers at any time.
1.17 Cleaning shall be the responsibility of the General Contractor. Floors, walls, windows, and all other surfaces shall be cleaned ready for occupancy.
1.18 All materials shall be new and of the grade and quality specified. Trained, experienced persons, skilled in their various crafts, shall perform the Work.
1.19 The entire installation shall be guaranteed against defects in workmanship and material for a period of one year from the date of final acceptance.
1.20 Existing conditions shown or implied are based on the best available but limited information.
1.21 Installation of all material and/or units to be selected by, supplied by, and/or installed by Owner or interior designers, etc. shall be scheduled and co-ordinated by the G.C. to maintain the construction schedule.
1.22 All allowances - credits shall be for the actual purchase price of the items.

DIVISION 2 - DEMOLITION

2.1 Provide temporary barricades and other forms of protection as required to protect Owners and their property.
2.2 Remove debris, rubbish and other materials resulting from demolition & construction operations from building site.
2.3 Provide temporary barricades and other forms of protection as required to protect Owners and their property.

DIVISION 3 - SITE WORK

3.1 Satisfactory soil materials are defined as those complying with ASTM D2487 soil classification groups GW, GP, GM, SM, SW and SP.
3.2 Perform excavation within drip-line of large trees to be hand, and protect the root system from damage.
3.3 Relocate or remove all existing shrubbery, plantings and trees that are within the area of construction.
3.4 Contractor shall stockpile all existing topsoil for re-use and provide new as required so as to provide 4" of topsoil on all altered areas of the site.
3.5 Backfill and compaction against foundation wall shall be trash-free material in 8-inch lifts.
3.6 Footings shall bear on undisturbed, virgin soil and/or supervised compacted fill, free of frost, having a minimum allowable bearing capacity of 2,500 psf.
3.7 The soils at the bottom of the footing excavations should not be exposed to the weather for abnormally long periods.
3.8 The bottom of excavations for footings bearing on sound bedrock must be cleaned of all loose materials before concrete placement.

3.9 All materials at the bottom of footing excavations loosened as a result of excavation operations or other causes must be completely removed until a firm undisturbed material is encountered or compacted in-place as directed by the Architect, or a Geotechnical Engineer, as required by the conditions as found before fill or concrete placement.
3.10 Soil under footings must be protected from freezing.
3.11 Compacted fill if allowed to be placed below footings and floor slabs must consist of clean sand and/or gravel free of deleterious substances.

DIVISION 4 - UNIT MASONRY Section 4.1 - Footing / Concrete Slabs

4.1 Notify and allow architect to inspect soil and reinforcement bar placement prior to the placing of the footing concrete.
4.2 All footings shall be on undisturbed soil, 3-6" minimum below finished grade.
4.3 Reinforcing steel shall be billet steel conforming to A.S.T.M. Spec. A-615-60 (60 ksi minimum yield).
4.4 All concrete shall be stone concrete. Minimum compressive strengths at 28 days shall be as follows:
4.5 Concrete vapor barrier as indicated elsewhere in specifications or on plans shall be 6-mil polyethylene with a lab-tested vapor transmission rating of 0.2 perms.

Section 4.2 - Foundation Wall

4.2 Concrete Masonry Units (C.M.U.) in bearing walls shall be (unless noted otherwise) as specified by A.S.T.M. and shown below:
4.2.1 Foundation walls ASTM C 145 Grade N-1 (75% solid)
4.2.2 Masonry Mortar ASTM C 270, Type S above grade (1 part cement, 1 1/2 to 1 1/2 part hydrated lime, 2 1/4 to 3 times the sum of the volume of cement and lime for sand aggregate).
4.2.3 Build foundation walls of concrete block accurately as shown on drawings.
4.2.4 Lay masonry units in running bond (except as noted otherwise) and cut joints flush.
4.2.5 Build walls straight and plumb, corners level. Fill all joints with mortar as units are laid.
4.2.6 Protect newly laid masonry from exposure to precipitation, excess drying, freezing, soiling, backfill and other harmful elements.

DIVISION 5 - STEEL Section 5.1 - General Steel Materials

5.1 All structural work shall comply with the Maine State Building Code.
5.2 Contractor shall properly shore, brace and make safe all floors, roofs, walls and adjacent property as job conditions require.
5.3 Structural steel shapes & tubing shall conform to the AISC Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings.
5.4 Welding shall conform to the AISC Specifications for the Design, Fabrication and Erection of Structural Steel for Buildings as well as the American Welding Society (AWS) D1.1 "Structural Welding Code - Steel".
5.5 All reinforcing shall be deformed billet steel bars conforming to ASTM A615, Grade 60. Welded wire fabric shall conform to ASTM A185.

5.1.6 Lintels shall be installed over all openings in new or existing masonry wall as follows:
Masonry Opening Lintel
4"1" or less 4" x 3 1/2" x 5 1/2"
4"1" to 7'-0" 4" x 3 1/2" x 5 1/2"

5.1.7 Light gate metal framing shall conform to the requirements of the AWSI "Specifications for the Design of Cold-Formed Steel Structural Members" latest edition, and shall conform to ASTM C-955 and A-466, as appropriate.
5.1.8 All flush framed connections shall be made with approved galvanized steel joist or beam hangers, minimum 1/8 gauge, installed according to manufacturer's recommendations.

DIVISION 6 - CARPENTRY Section 6.1 - Rough Carpentry

6.1.1 Keep materials under cover and dry. Protect against exposure to weather and contact with damp or wet surfaces.
6.1.2 Comply with "WCD 1 - Details for Conventional Wood Frame Construction" by American Forest & Paper Association; American Wood Council (awc.org) and IRC International Residential Code, including nailing, fire stopping, anchorage, framing and bracing.
6.1.3 Glue laminated beams labeled as "laminated veneer lumber (L.V.L.)" are to be "GP Lam 2.0E" as manufactured by Georgia Pacific Corporation.

Section 6.2 - Finish Carpentry

6.2.1 Interior trim shall be clear pine or poplar, continuous pieces, no finger jointed trim.
6.2.2 All trim shall be selected in the field with the Owner and the Architect.
6.2.3 Furnish new shutters as indicated on the drawings.
6.2.4 All framing members where cut to permit passage of piping, ducts, conduit, etc. shall be strapped and braced on each side as per code requirements.

6.2.5 All new stairs shall have oak treads and pine risers. New handrails, balusters and newel posts as shown on details.
6.2.6 Furnish and install a 4'-0" long section "Mock-Up" of railing design for approval before releasing the entire order.
6.2.7 At all locations where paneling occurs, at cabinet islands and at bathroom vanities, install all electrical outlets, cable tv, and teleo horizontally in base.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION Section 7.2 - Building Installation

7.2.1 Provide insulation from physical damage and from becoming wet, soiled or covered with ice snow.
7.2.2 Maintain ventilation space at all eaves. Provide insulation baffles as required.
7.2.3 Provide kraft faced formaldehyde-free fiberglass batt insulation with R values as follows:
7.2.4 Seal all thresholds in sealant. Caulk and seal all windows, doors, and joints.

Section 7.3 - Siding

7.3.1 Provide siding as indicated on the drawings installed over "Tyvek Housewrap".
7.3.2 Siding shall match existing.
7.3.3 Cedar Shake & Shingle Bureau Centigrade Red Cedar Shingles Number One Grade 18" long with 5" EXPOSURE Clear heartwood; 100% edge grain; no defects.

Section 7.4 - Break Roofing

7.4.1 DO NOT BREAK BUNDLES OVER RIDGE.
7.4.2 Provide a Maintenance Stock of 2% of each type color/texture shingle used in the work and place in location as directed by Owner.
7.4.3 Deliver materials in manufacturer's unopened, labeled bundles, rolls or containers.
7.4.4 Proceed with shingle work only after substrate construction and penetrating work have been completed.
7.4.5 Proceed with shingle work only when weather conditions are in compliance with manufacturer's recommendations and when substrate is completely dry.

Section 7.5 - Flashing
7.5.1 Provide minimum 1/2" aluminum step flashing. Shop brake where cranes are visible.
7.5.2 All plumbing vent stacks to be flashed with field fabricated copper collars.
7.5.3 Interior Doors: Provide prehung, 1-3/8" pine doors. Doors shall have full 3-4" jamba, colonial stops and fully mortised brass hinges.

Section 7.9 - Roof Venting

7.9.1 Ridge vent shall be Cor-A-Vent X-5 (8 1/2"). Use "Cor-A-Vent" V-300 at wall-roof intersection.

DIVISION 8 - WOOD DOORS/ WINDOWS & HARDWARE Section 8.1 - Wood Doors & Hardware

8.1.1 Interior Doors: Provide prehung, 1-3/8" pine doors. Doors shall have full 3-4" jamba, colonial stops and fully mortised brass hinges.
8.1.2 Provide hardware allowances as follows:
8.1.3 Comply with manufacturer's instructions and recommendations for installation of door units, hardware, accessories, and other components of work.
8.1.4 Set units plumb, level and true to line, without warp or rack of frames and panels.
8.1.5 Adjust operating panels, screens, and hardware to provide tight fit at contact points and at weather-stripping.

Section 8.2 - Windows

8.2.1 All windows to be Anderson Tilt-Wash series with 1" thick insulated glazing and full height screens.
8.2.2 Refer to elevations for transom locations.
8.2.3 Shop drawings shall be required for all specialty and all elliptical transom units provided by window manufacturer prior to ordering.
8.2.4 Provide tempered glass as required by code.
8.2.5 Flash all exterior window and door units with copper drip cap.
8.2.6 All windows shall have stools furnished and installed by G.C.

DIVISION 9 - FINISHES Section 9.1 - Drywall

9.1.1 General: Comply with requirements of referenced gypsum board application standards and recommendations of gypsum board manufacturer.
9.1.2 Install 1/2" Type III, Grade R, Class I (ASTM C-36) gypsum board with eased radial edge at walls and ceiling on new and renovated areas with tapered edges.
9.1.3 General contractor shall apply three coats of spackle to gypsum board and sand surface to satisfaction of owner's painter.
9.1.4 Perfectly patch all wall, ceiling and trim surfaces as required to be ready for paint including removal of existing wall liners.
9.1.5 Provide manufacturer's standard trim accessories of types indicated for drywall work.
9.1.6 Joint treatments (ASTM C-475) shall be as follows:
9.1.7 Gypsum Board Application and Finishing Standards: ASTM C 840 and GA 216.
9.1.8 Locate exposed end-but joints as far from center of walls and ceilings as possible.
9.1.9 Install gypsum wallboard as follows:
9.1.10 Apply treatment at gypsum board joints (both directions), flanges of trim accessories, penetrations, fasteners heads, surface defects and elsewhere as required to prepare work for decoration.

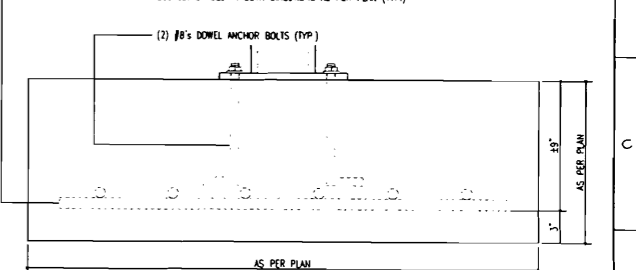
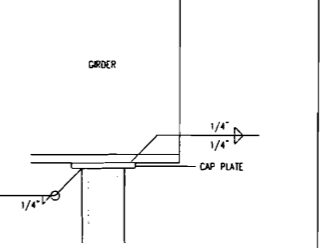
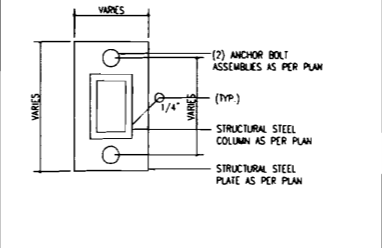
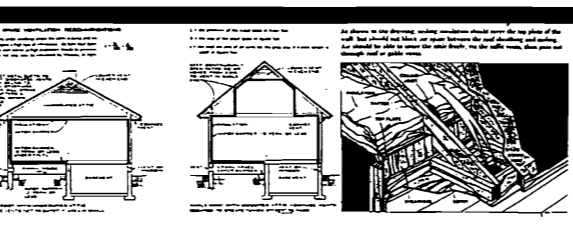
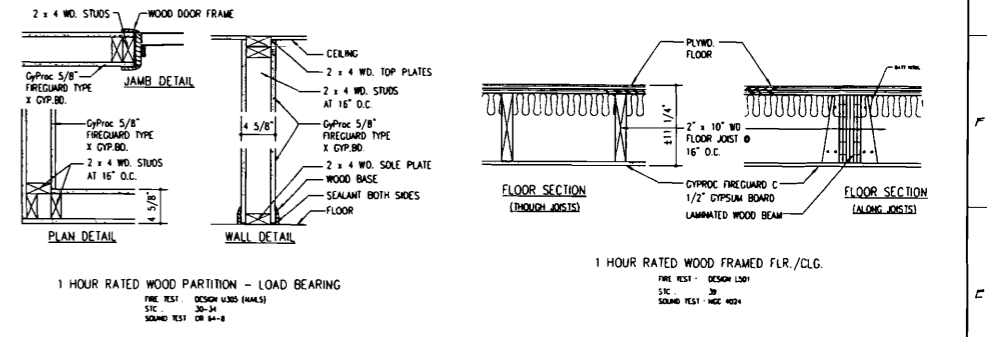
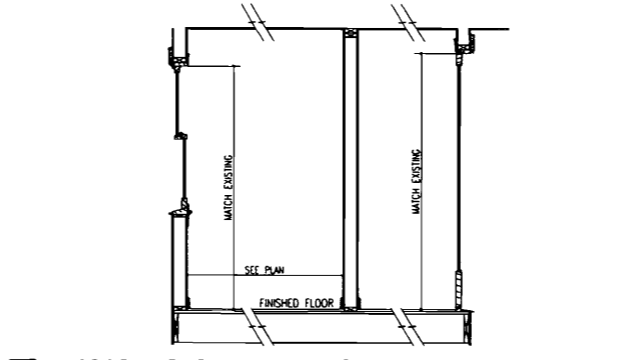
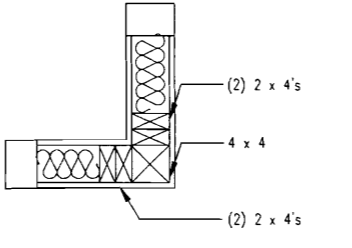
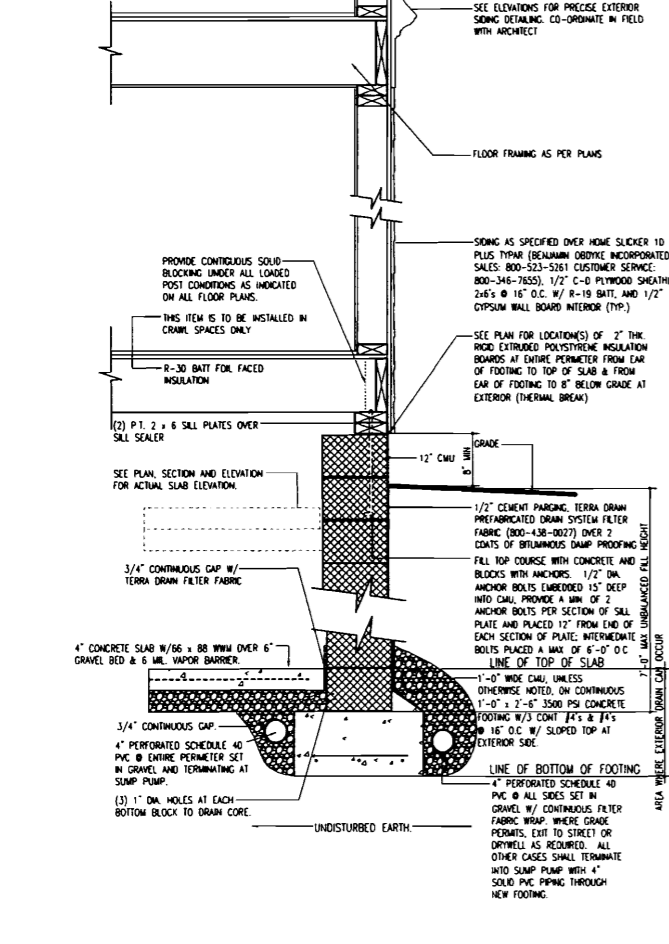
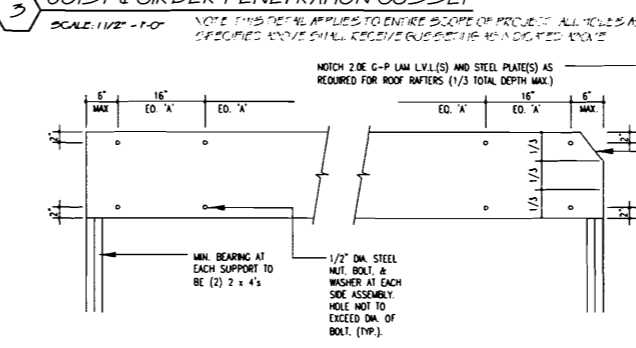
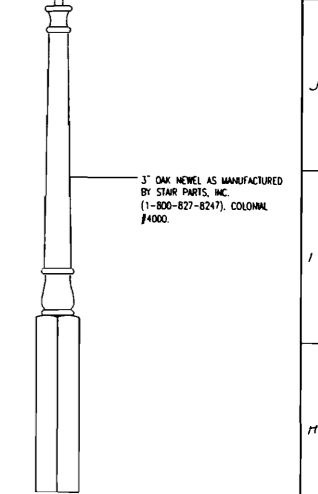
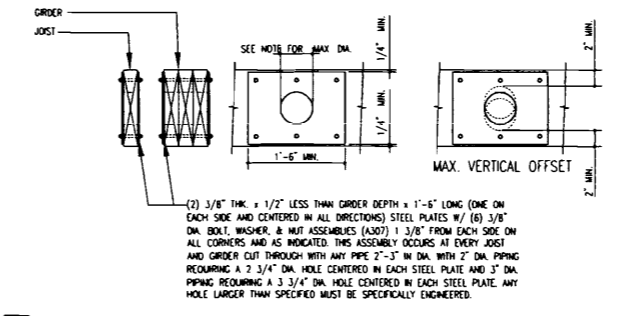
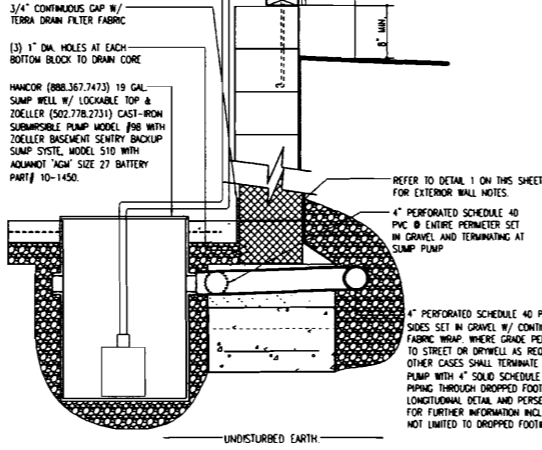
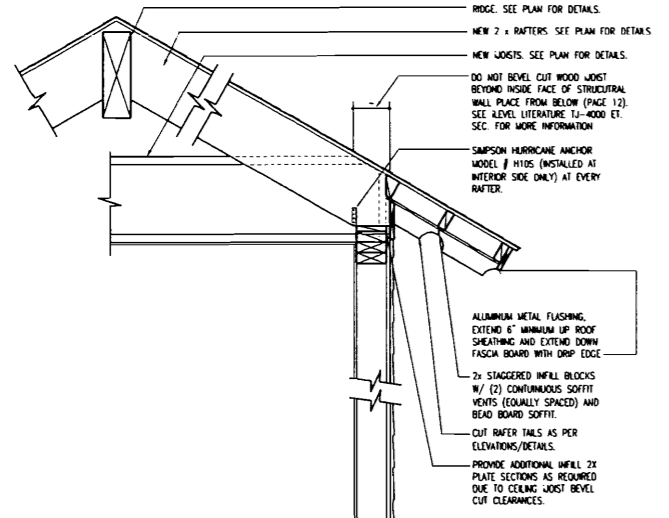
Legend of Construction table with symbols for Edging Partition to Remain, Edging Partition to be Removed, New Partition, New Gyp Pd. over Exst. Framing, 4-4 Foot, 4-6 Foot, Foot Above, Ached Opening, Ceiling / Wall Height.

Loading Criteria table with columns for Floor Loads, Roof Loads, Bathroom, Exterior Decks, and values for 20 lb/sq ft live, 10 lb/sq ft dead, etc.

Area / Volume Calculations table with columns for New First Floor, New Porches, Front Stoop, New Second Floor, Total of New, Total of New + Porches & Stoop, Volume of New.

Project Information table with fields for Address Map, Use Group, Code Jurisdiction, and other project details.

Project title block for New Residence for Mrs. Connolly and Mr. & Mrs. Roberts, Crescent Avenue - GDI Portland, Maine 04109. Includes architect logo, name, address, phone, and drawing number T-2.



Legend of Construction

Existing Partition to Remain
Existing Partition to be Removed
New Partition
New Gyp.D. over Exst. Framing
4 x 4 Post
4 x 6 Post
Post Above
Arched Opening
Ceiling / Wall Height

Loading Criteria:

Floor Loads	20 lbs/sq ft live
Roof Loads	40 lbs/sq ft live
Floor Loads	20 lbs/sq ft dead
Roof Loads	20 lbs/sq ft live
Roof Loads	20 lbs/sq ft dead
Bathroom	40 lbs/sq ft live
Exterior Decks	10 lbs/sq ft live
	10 lbs/sq ft dead

Area / Volume Calculations:

New First Floor	1991.50 FT ²
New Porches	1409.50 FT ²
Front Sloop	134.50 FT ²
New Second Floor	940.50 FT ²
Total of New w/o Porches & Sloop	2,491.50 FT ²
Total of New w/ Porches & Sloop	4,034.50 FT ²
Volume of New	78,581 CU. FT.

Project Information:

Address: 301 Crescent Avenue, Portland, ME 04109
 Zone: R2
 Use Group: R3
 Const. Class: 20
 Code Jurisdictions:
 Residential: 2009 IBC
 State of Maine Building Code (Internal and External)

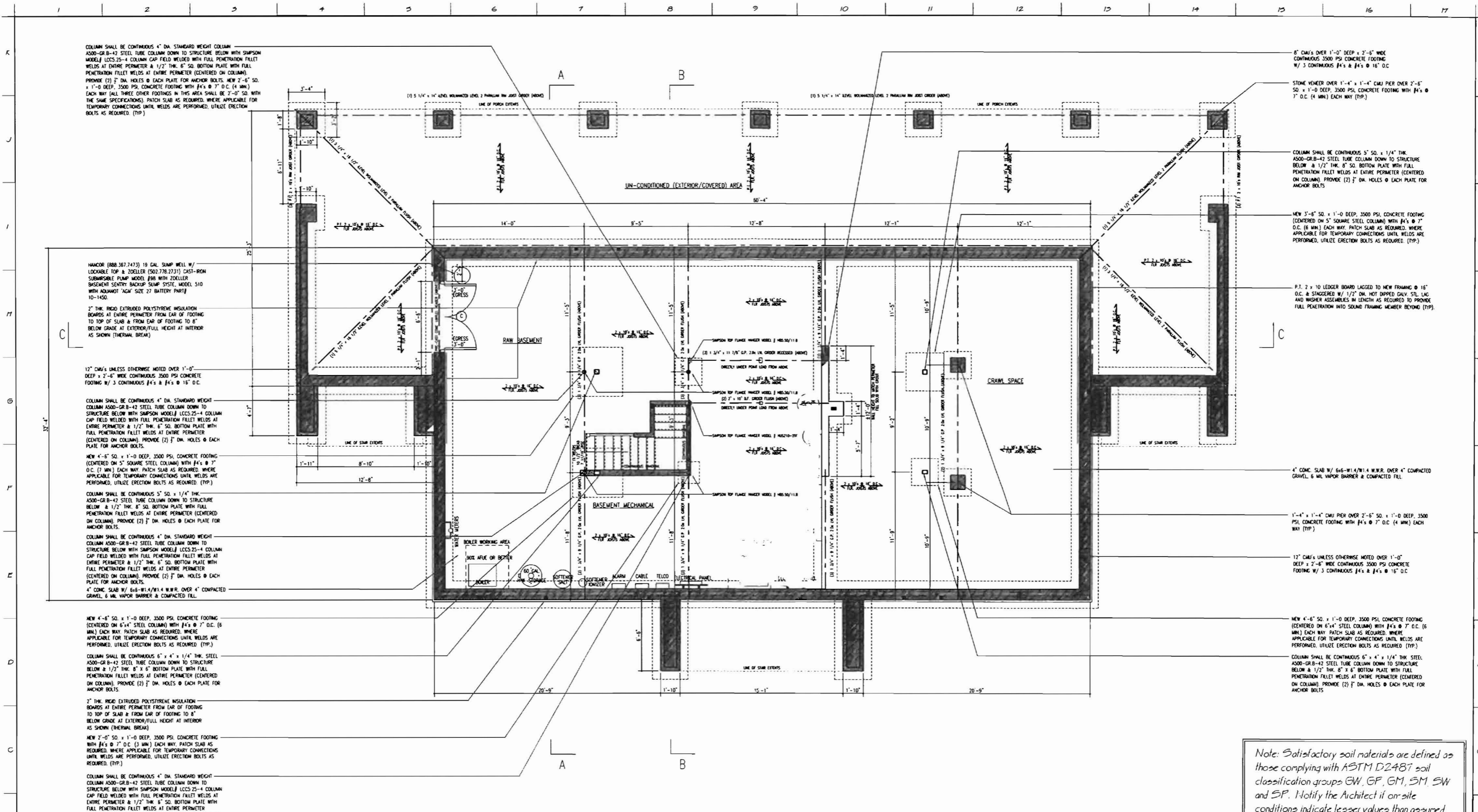
New Residence for:
 Mrs. Connolly and
 Mr. & Mrs. Roberts
 Crescent Avenue - GDI
 Portland, Maine 04109

No.	Date	Revision(s)
1	1/4" = 1'-0" or as noted	
Drawn By:	Checked By:	Project No:

EREZUMA ARCHITECTS L.L.C.
 299 MAIN STREET #205
 MADISON, NEW JERSEY 07940
 PHONE 866.272.9862 FAX 866.272.9862

Craig Erezuma
 NA, LEED-AP
 NJ 016261
 NY 020869-1
 ME 3201

Drawing Title: Details
 Drawing Number: A-0
 Date: 05/12/2009
 Sheet: 4 of 10



Foundation / Basement Plan

Note: Satisfactory soil materials are defined as those complying with ASTM D2487 soil classification groups GW, GF, GM, SM SW and SP. Notify the Architect if on-site conditions indicate lesser values than assumed soil bearing capacity = 2500 PSF & assumed lateral fluid load = 45 PSF.

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:
<ul style="list-style-type: none"> Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.D. over Exst. Framing 4" x 4" Post 4" x 6" Post Post Above Arched Opening Ceiling / Wall Height 	<p>Floor Loads</p> <ul style="list-style-type: none"> 20 lb/sq ft live 10 lb/sq ft dead <p>Floor Loads</p> <ul style="list-style-type: none"> 40 lb/sq ft live 20 lb/sq ft dead <p>Roof Loads</p> <ul style="list-style-type: none"> 20 lb/sq ft live 10 lb/sq ft dead <p>Bathroom</p> <ul style="list-style-type: none"> 40 lb/sq ft live 20 lb/sq ft dead <p>Exterior Decks</p> <ul style="list-style-type: none"> 20 lb/sq ft live 10 lb/sq ft dead 	<p>New First Floor</p> <p>New Porches</p> <p>Front Stoop</p> <p>New Second Floor</p> <p>Total of New w/o Porches & Stoop</p> <p>Total of New w/ Porches & Stoop</p> <p>Volume of New</p>	<p>Address: 233 Main Street Zone: R2</p> <p>Use Group: R2 Const. Class: 2P</p> <p>Code Jurisdiction: Residential</p> <p>2003 I.R.C.</p> <p>State of Maine Planning Code (Uniform and Extended)</p>

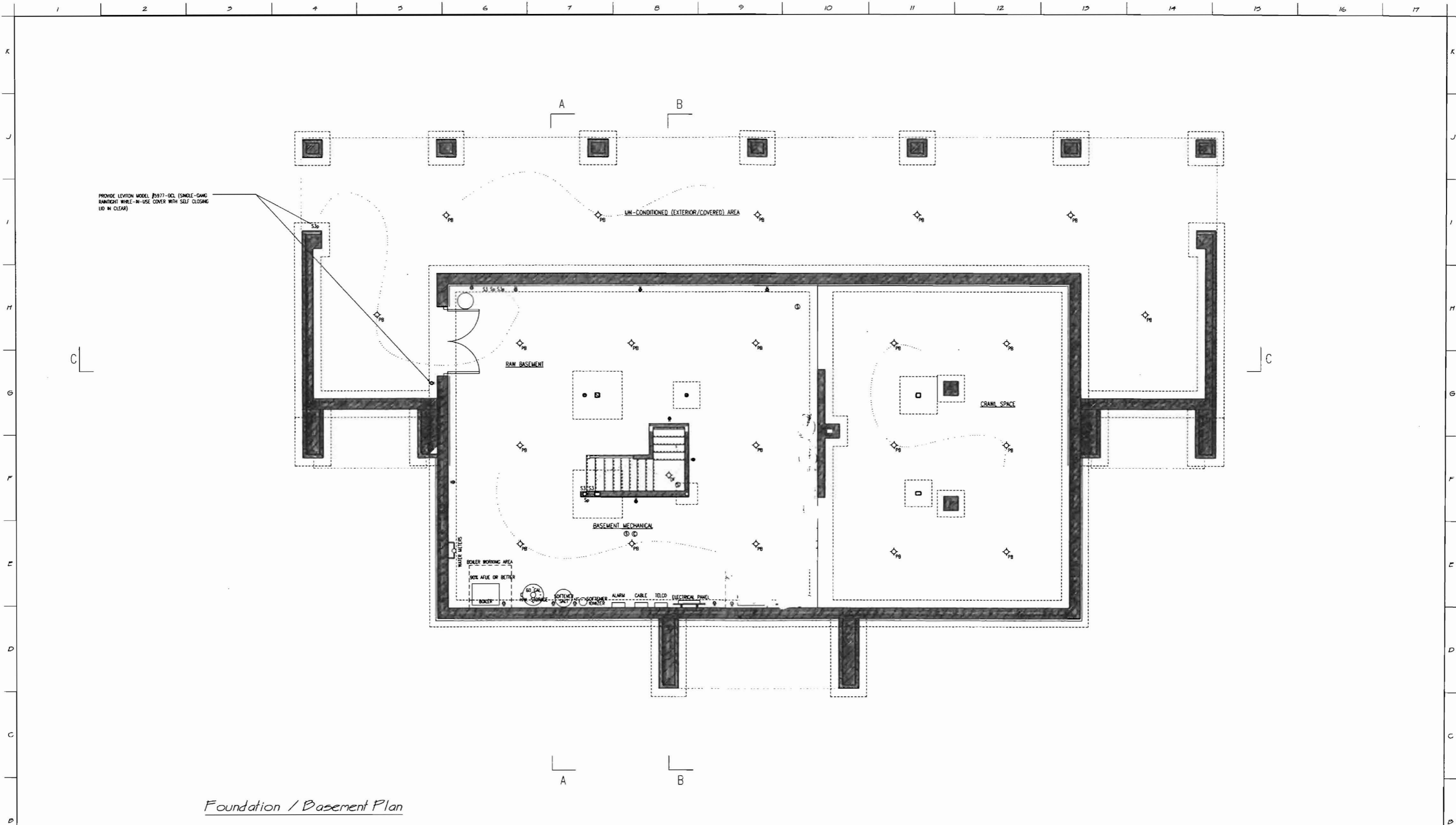
New Residence for:
Mrs. Connolly and
Mr. & Mrs. Roberts
Crescent Avenue - GDI
Portland, Maine 04109

EREZUMA ARCHITECTS LLC.
233 MAIN STREET #233
MADISON, NEW JERSEY 07940
PHONE 866.275.9662 FAX 866.275.9662


Craig Erezuma
NA, LEED-AP
NJ A16261
NY 020869-1
ME 2201

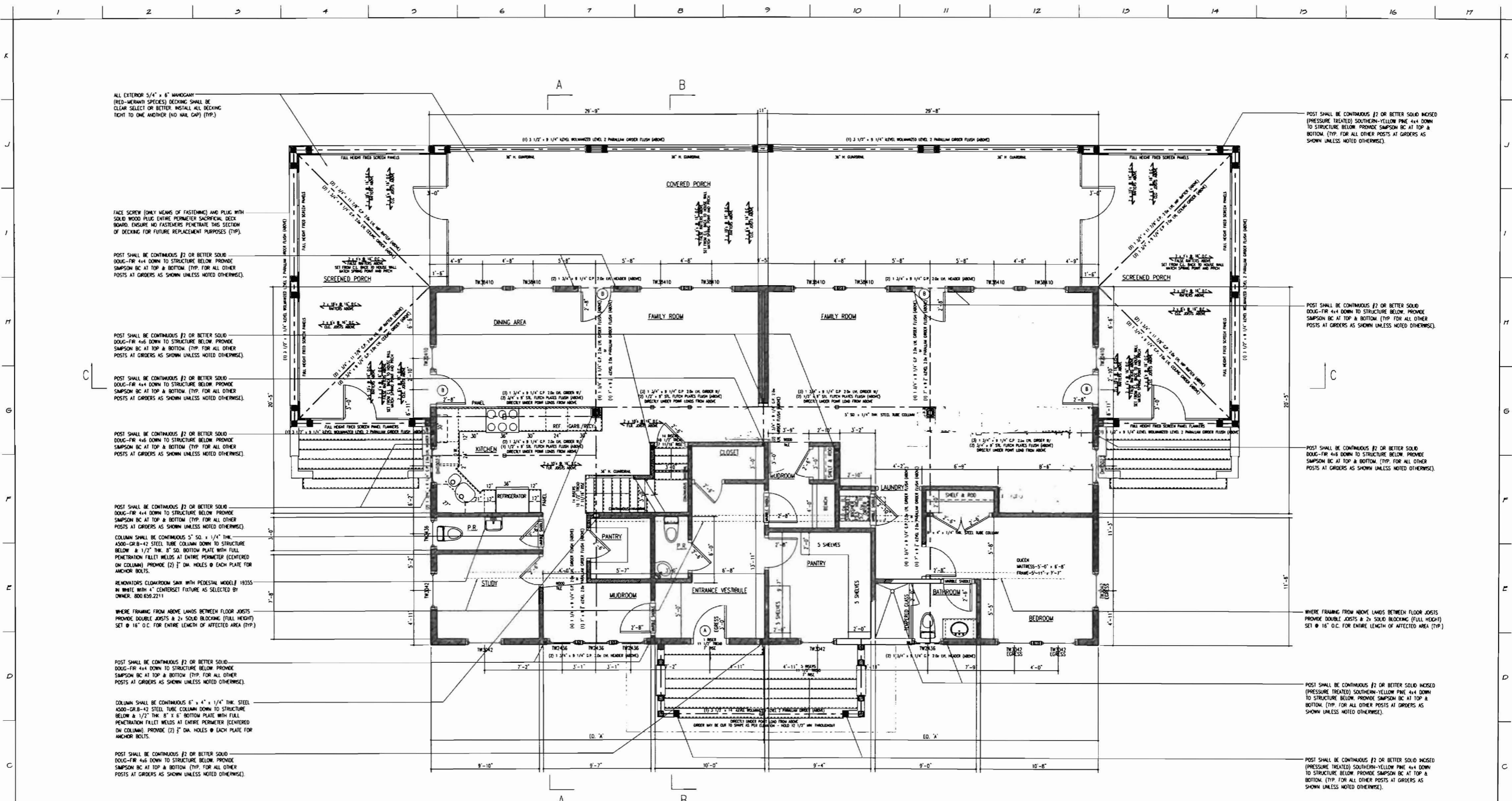
Craig Erezuma

Drawing Title: Construction Plan
Drawing Number: A-1
Date: 05/22/2009
Sheet 5 of 18




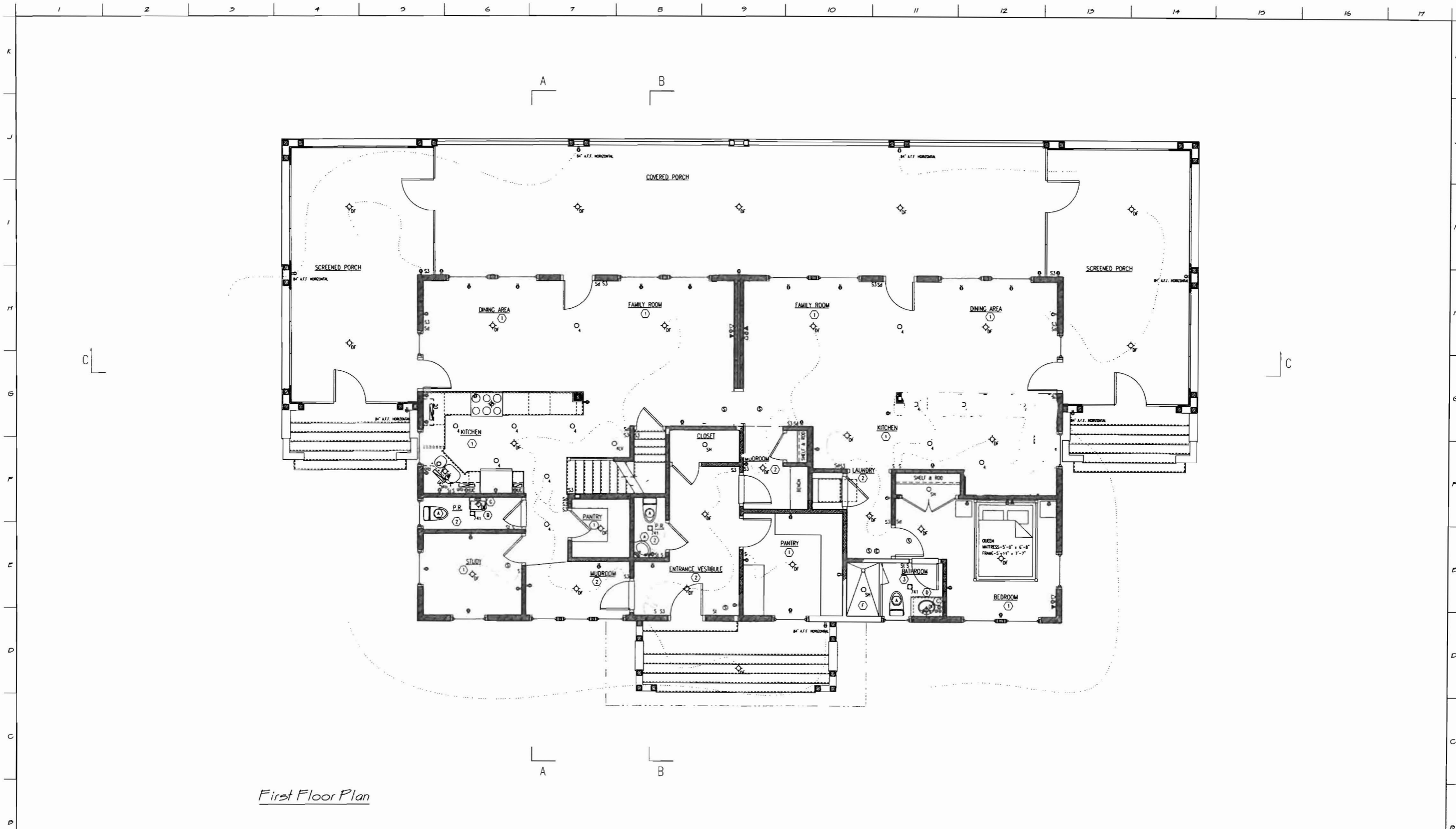
Foundation / Basement Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	<p><small>This drawing and its contents shall be used only for the project and site specified herein. Any other use without the written consent of Erezuma Architects LLC is prohibited. © Erezuma Architects LLC, 2009. All rights reserved.</small></p> <p>No: _____ Date: _____ Revisions: _____</p> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: <u>CL</u> Checked By: <u>CL</u> Project No: _____</p>	 <p>^ Interiors :: Architecture :: Planning ^</p> <p>EREZUMA ARCHITECTS LLC. 225 MAIN STREET #233 MADISON, NEW JERSEY 07940</p> <p>PHONE 866.575.9862 FAX 866.575.9863</p>	<p>Craig Erezuma NA, LEED-AP NJ 016261 NY 020869-1 ME 5201</p> <p><i>Craig Erezuma</i></p> <p>Drawing Title: Lighting, Device & Finish Plan Drawing Number: A-2 Date: 05/23/09 Sheet 6 of 18</p>
<p>Existing Partition to Remain</p> <p>Existing Partition to be Removed</p> <p>New Partition</p> <p>New Gyp/Pld. over Exst. Framing</p> <p>4 x 4 Post</p> <p>4 x 6 Post</p> <p>Post Above</p> <p>Arched Opening</p> <p>Celling / Wall Height</p>	<p>Floor Loads Sleeping Areas 30 lb/sq ft live 10 lb/sq ft dead</p> <p>Floor Loads Other Areas 40 lb/sq ft live 20 lb/sq ft dead</p> <p>Roof Loads Asphalt Roads Only 20 lb/sq ft live 10 lb/sq ft dead</p> <p>Bathroom 40 lb/sq ft live 20 lb/sq ft dead</p> <p>Exterior Decks 70 lb/sq ft live 10 lb/sq ft dead</p>	<p>New First Floor 1391.50 FT.²</p> <p>New Porches Deck & Rwp 1401.50 FT.²</p> <p>Front Sloop 124.50 FT.²</p> <p>New Second Floor 940.50 FT.²</p> <p>Tradeable Area</p> <p>Total of New w/o Porches & Sloop 2491.50 FT.²</p> <p>Total of New w/ Porches & Sloop 4024.50 FT.²</p> <p>Volume of New 78,281 CU FT.</p>	<p>Address: 20015 Map: 534E7B410 Zone: R2</p> <p>Use Group: K2 Const. Class: 39</p> <p>Code Jurisdictions: Residential: 2009 IRC State of Maine Plumbing Code (Internal and External)</p>				














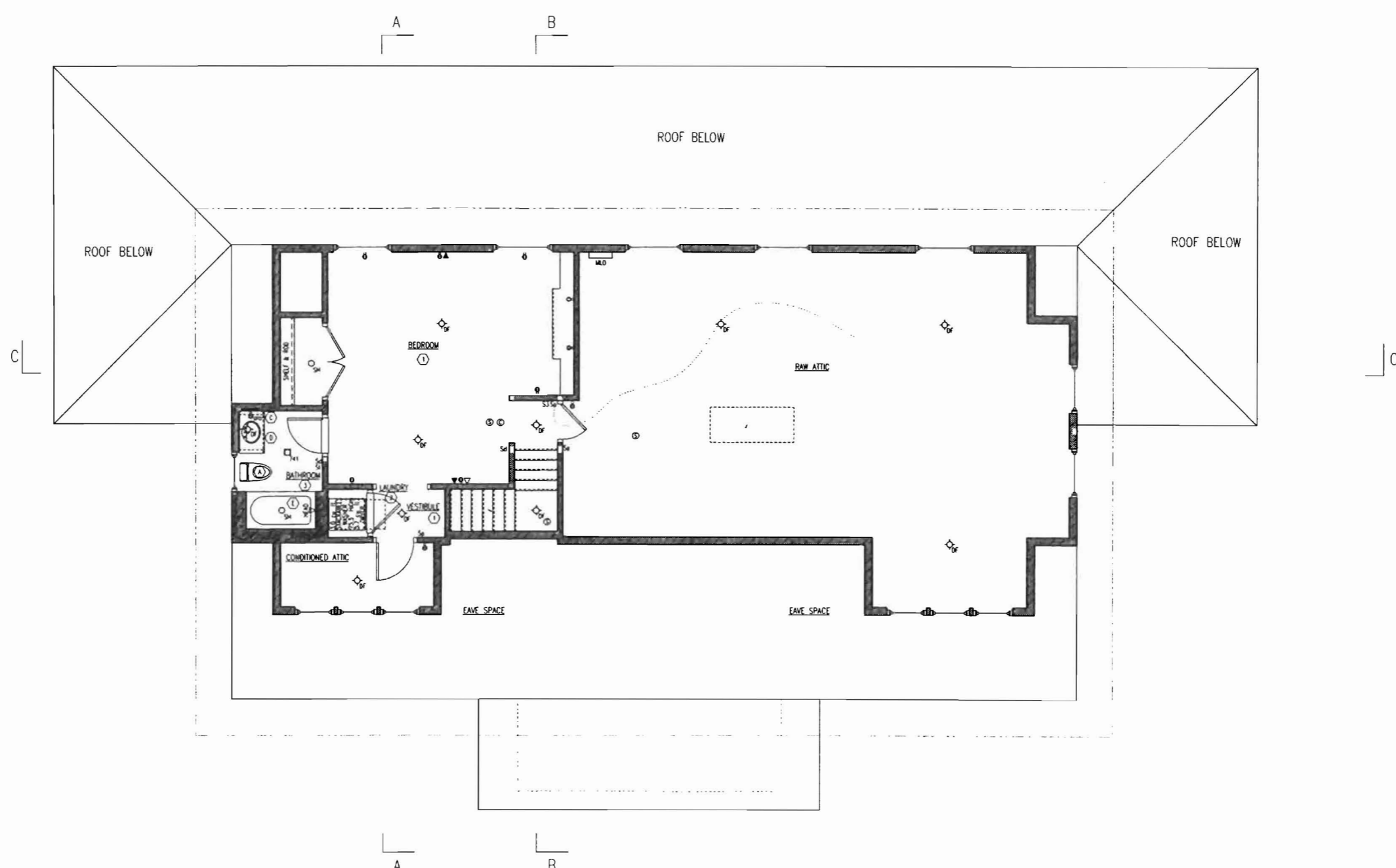
First Floor Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 EREZUMA ARCHITECTS LLC. 233 MAIN STREET #233 MADISON, NEW JERSEY 07940 PHONE 866.773.9862 FAX 866.773.9863	
<ul style="list-style-type: none"> Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.Drl. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Celling / Wall Height 	<ul style="list-style-type: none"> Floor Loads: 20 lb/sq ft live, 10 lb/sq ft dead Floor Loads: 40 lb/sq ft live, 20 lb/sq ft dead Roof Loads: 20 lb/sq ft live, 10 lb/sq ft dead Bathroom: 40 lb/sq ft live, 20 lb/sq ft dead Exterior Decks: 70 lb/sq ft live, 10 lb/sq ft dead 	<ul style="list-style-type: none"> New First Floor: 1,951.50 sq. ft. New Porches: 1,401.50 sq. ft. Front Sloop: 124.50 sq. ft. New Second Floor: 240.50 sq. ft. (habitable area) Total of New w/o Porches & Sloop: 2,498.50 sq. ft. Total of New w/ Porches & Sloop: 4,024.50 sq. ft. Volume of New: 18,220 cu. ft. 	<ul style="list-style-type: none"> Address: 233 Main Street, Zone: R2 Use Group: R3 Const. Class: 30 Code Jurisdictions: Residential, 2003 IRC, State of Maine Plumbing Code (Interpret and Amend) 	No. _____ Date _____ Scale: 1/4" = 1'-0" or as noted Drawn By: C.C. Checked By: C.E. Project No. _____	Date: 05/12/09 Sheet 7 of 18	Drawing Title: Construction Plan Drawing Number: A-3	Date: 05/12/09 Sheet 7 of 18


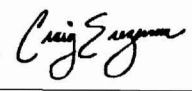


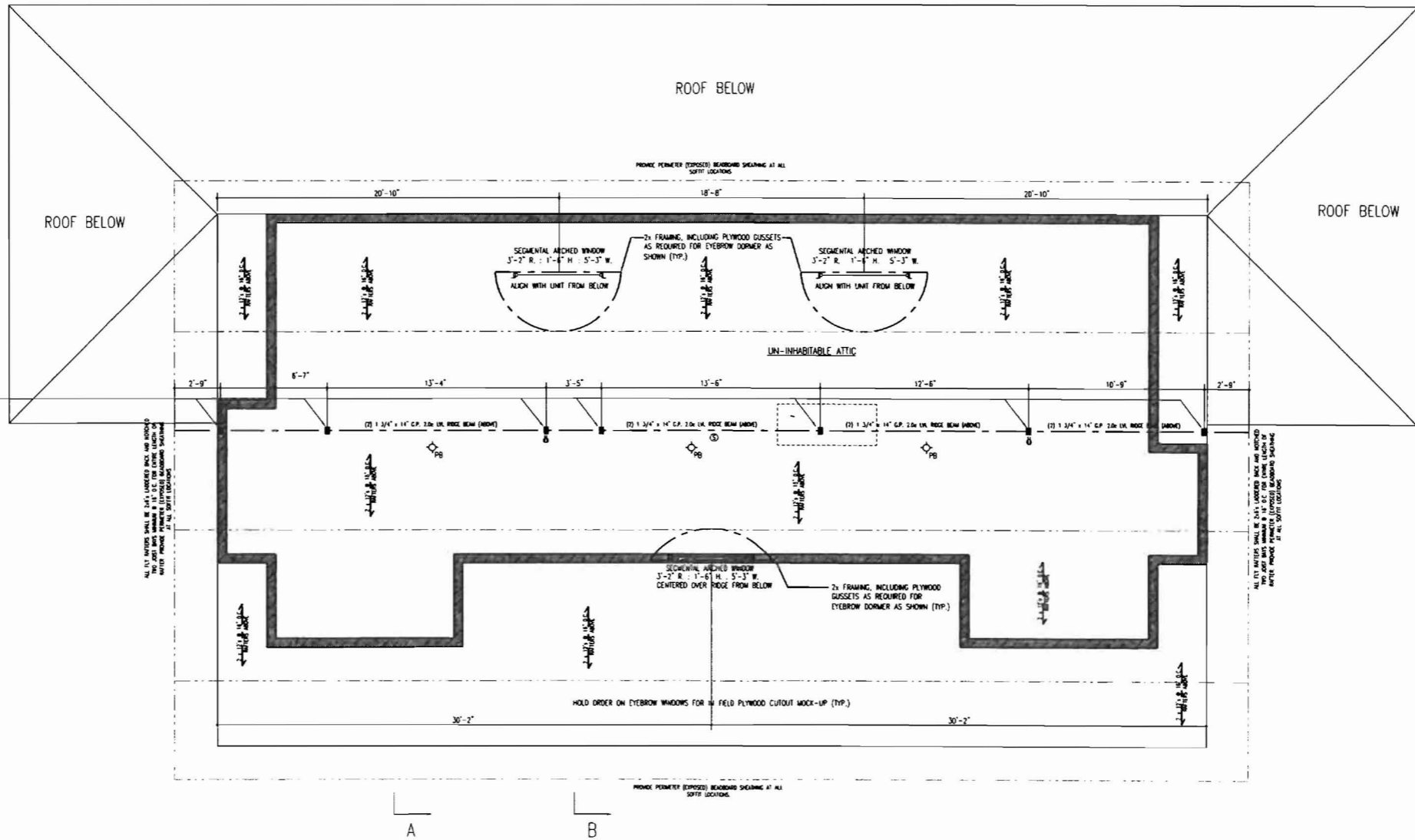
First Floor Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	<small>1. Construction and other work shall be in accordance with the applicable codes and regulations of the State of Maine and the City of Portland, Maine. The architect shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.</small>	 <small>^ Interiors :: Architecture :: Planning ^</small> EREZUMA ARCHITECTS L.L.C. 200 MAIN STREET #200 MADISON, NEW JERSEY 07940 PHONE: 866.273.9862 FAX: 866.273.9863	Craig Erezuma NA, LEED-AP NJ 016261 NY 020859-1 ME 3201 
<ul style="list-style-type: none">  Existing Partition to Remain  Existing Partition to be Removed  New Partition  New Gyp.D. over Exst. Framing  4" x 4" Post  4" x 6" Post  Post Above  Arched Opening  Ceiling / Wall Height 	<p>Floor Loads</p> <ul style="list-style-type: none"> 20 lb/sq ft live 10 lb/sq ft dead <p>Floor Loads</p> <ul style="list-style-type: none"> 40 lb/sq ft live 20 lb/sq ft dead <p>Roof Loads</p> <ul style="list-style-type: none"> 20 lb/sq ft live 10 lb/sq ft dead <p>Bathroom</p> <ul style="list-style-type: none"> 40 lb/sq ft live 20 lb/sq ft dead <p>Exterior Decks</p> <ul style="list-style-type: none"> 70 lb/sq ft live 10 lb/sq ft dead 	<p>New First Floor 1921.50 FT. New Porches 1409.50 FT. Front Stoop 124.50 FT. New Second Floor 940.50 FT. Total of New 2,496.50 FT. Total of New w/ Porches & Stoop 4,024.50 FT. Volume of New 78,581 CU FT.</p>	<p>Address 2019 Map: 03A121810 Zone: R2 Use Group: R3 Cond. Class: 20</p> <p>Code Jurisdictions: Residential: 2003 IRC State of Maine Planning Code (Internal and External)</p>	<p>Drawn By: CE Checked By: CE Project No:</p>	<p>Scale: 1/4" = 1'-0" or as noted</p>	<p>Date: 05/12/2009</p>	<p>Drawing Title: Lighting, Device & Finish Plan Drawing Number: A-4 Sheet 8 of 18</p>





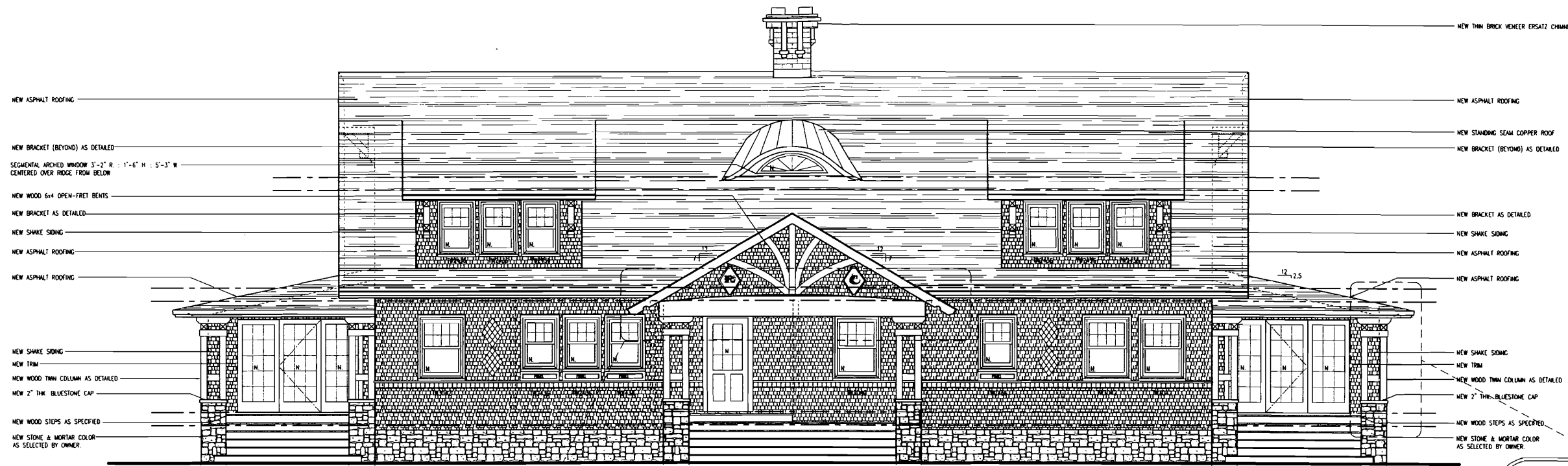
Second Floor Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	<small> All work shall be done in accordance with the provisions of the applicable codes and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals. </small>	 <small> Interiors :: Architecture :: Planning </small>	<small> Craig Erezuma NA, LEED-AP NJ 116261 NY 030869-1 ME 2201 </small> 
<small> Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.D. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height </small>	<small> Floor Loads Sleeping Areas 20 lb/sq ft live 10 lb/sq ft dead Floor Loads Other Areas 10 lb/sq ft live 20 lb/sq ft dead Roof Loads Unavail. From City 10 lb/sq ft live 20 lb/sq ft dead Bathroom 10 lb/sq ft live 20 lb/sq ft dead Exterior Decks 10 lb/sq ft live 10 lb/sq ft dead </small>	<small> New First Floor 1,991.90 SF. New Porches 1,409.90 SF. Side & Rear Front Sloop 124.90 SF. New Second Floor 240.90 SF. Total of New w/o Porches & Sloop 2,491.90 SF. Total of New w/ Porches & Sloop 4,034.90 SF. Volume of New 18,081 CU.FT. </small>	<small> Assessors Map: 02A-E7-B-10 Zone: R2 Use Group: R-3 Cond. Class: 2-3 Code Jurisdictions: Residential: 2009 IRC State of Maine Building Code (General and Exterior) </small>	<small> No. Date Revision(s) _____ _____ _____ _____ _____ Drawn By: C.E. Checked By: C.E. Project No. _____ </small>	<small> Scale: 1/4" = 1'-0" or as noted PHONE 866.375.9862 FAX 866.375.9863 </small>	<small> EREZUMA ARCHITECTS LLC. 220 MAIN STREET #220 MADISON, NEW JERSEY 07940 </small>	<small> Drawing Title: Lighting, Device & Finish Plan Drawing Number: A-6 Date: 05/12/2009 Sheet: 10 of 18 </small>

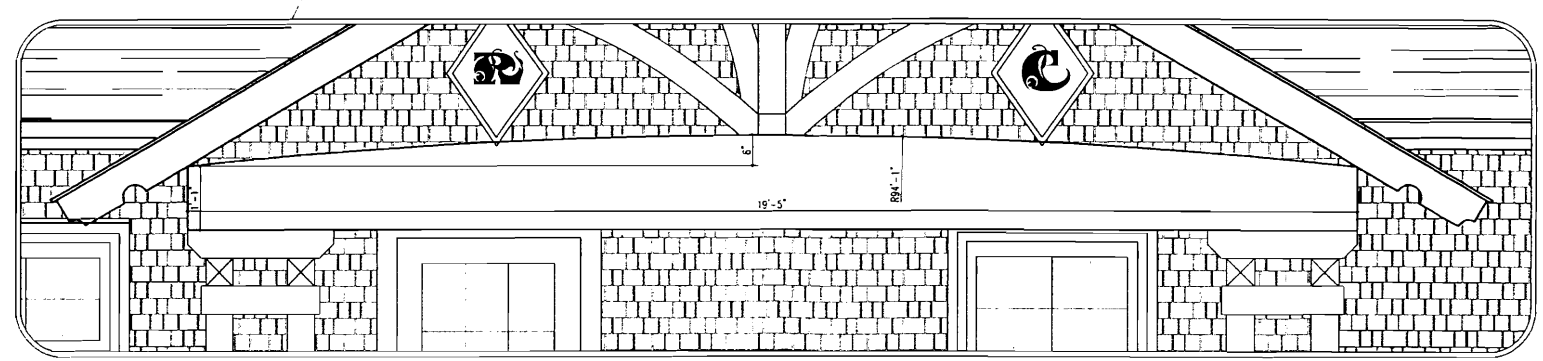


Attic Floor Plan

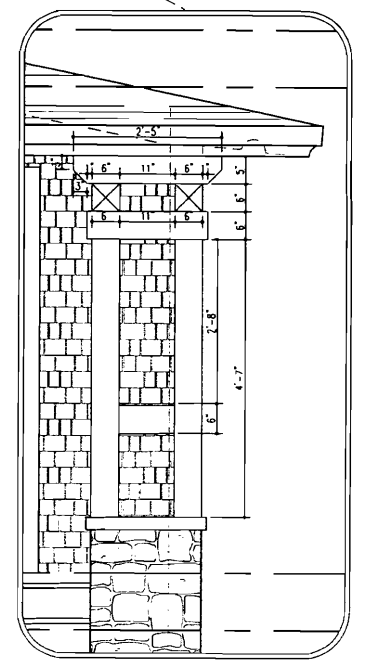
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 ~ Interiors :: Architecture :: Planning ~ EREZUMA ARCHITECTS LLC. 250 MAIN STREET #250 MADISON, NEW JERSEY 07940 PHONE 866.572.9862 FAX 866.572.9863		Craig Erezuma NA, LEED-AP NJ 016261 NY 020869-1 ME 2201  Drawing Title: Construction, Lighting, Device & Finish Plan Drawing Number: A-7 Date: 05/12/2009 Sheet 11 of 18	
Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.D. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height	Floor Loads Sleeping Areas 30 lb/sq ft live 10 lb/sq ft dead Floor Loads Other Areas 40 lb/sq ft live 20 lb/sq ft dead Roof Loads Asphalt/Flt Only 10 lb/sq ft dead Bathroom 40 lb/sq ft live 20 lb/sq ft dead Exterior Decks 70 lb/sq ft live 10 lb/sq ft dead	New First Floor 1951.20 SF New Porches 1409.20 SF Side & Rear Front Stoop 124.20 SF New Second Floor 240.20 SF Habitable Area Total of New 2,491.20 SF w/ Porches & Stoop Total of New 4,024.20 SF w/ Porches & Stoop Volume of New 18,281 CU FT.	Assessor's Map: 20A-21810 Zone: R2 Use Group: R3 Cond. Class: 20 Code Jurisdictions: Residential 2005 IBC State of Maine Planning Code (Internal and External)	Drawn By: C.E. Checked By: C.E. Project No:	Date: (Revision(s)) Scale: 1/4" = 1'-0" as noted	PHONE 866.572.9862 FAX 866.572.9863	Date: 05/12/2009 Sheet 11 of 18		




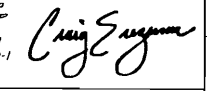
Front Elevation - Crescent Avenue

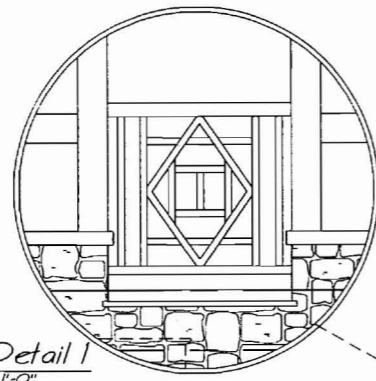


Porch Detail 1
Scale: 3/4" = 1'-0"



Column Detail 1
Scale: 3/4" = 1'-0"

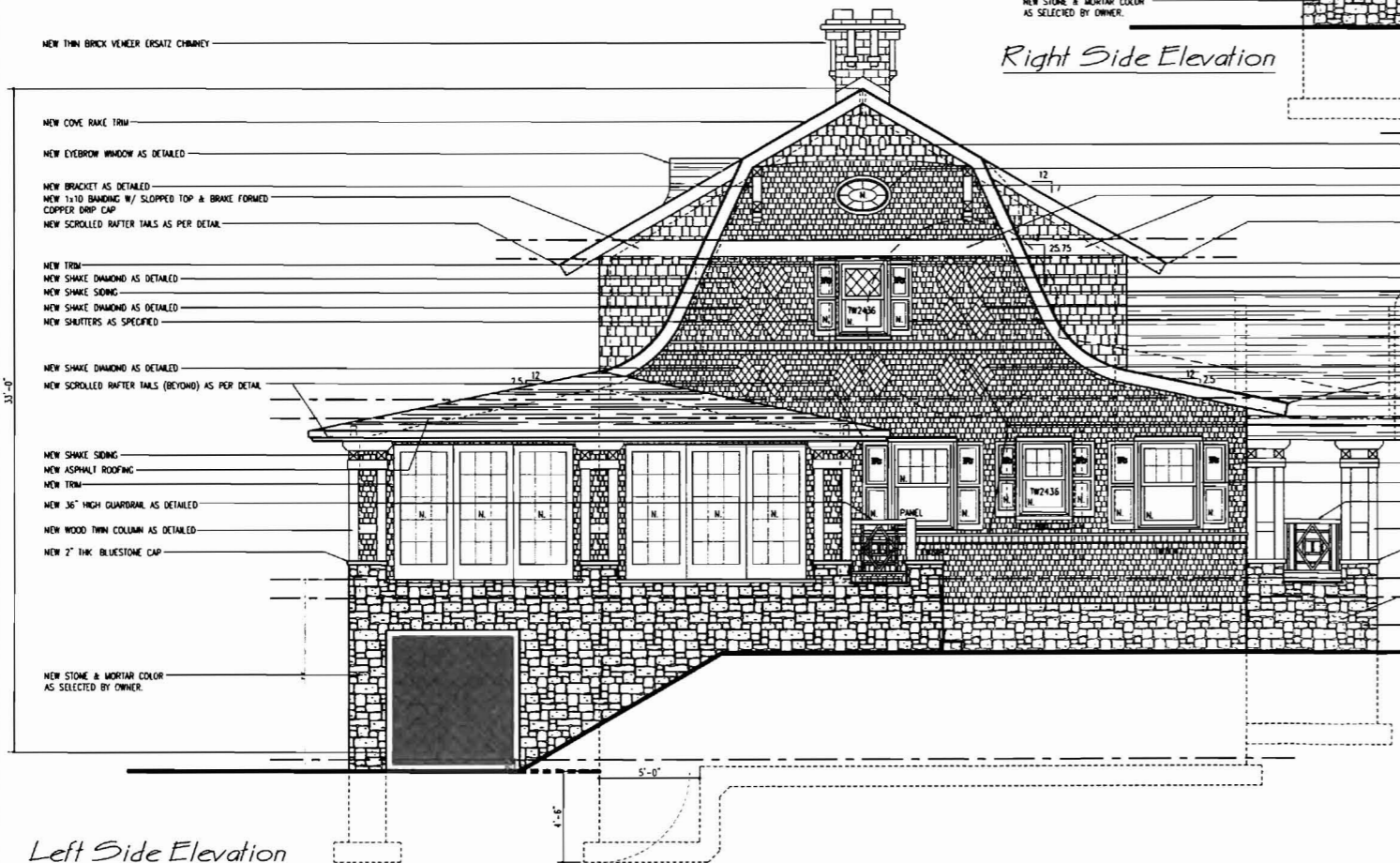
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 EREZUMA ARCHITECTS L.L.C. 235 MAIN STREET #235 MADISON, NEW JERSEY 07940 PHONE 866.375.9662 FAX 866.375.9660		Craig Erezuma AIA, LEED-AP NJ AUG261 NY 030869-1 ME 3201 
Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.Dd. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height	Floor Loads Sleeping Areas 30 lb/sq. ft. live 10 lb/sq. ft. dead Floor Loads Other Areas 40 lb/sq. ft. live 23 lb/sq. ft. dead Roof Loads Asphalt Roofs Only 20 lb/sq. ft. live 10 lb/sq. ft. dead Bathroom 40 lb/sq. ft. live 20 lb/sq. ft. dead Exterior Decks 70 lb/sq. ft. live 10 lb/sq. ft. dead	New First Floor 1951.50 SF. New Porches 1,409.50 SF. Side & Rear Front Stoop 124.50 SF. New Second Floor 210.50 SF. Habitable Area Total of New 2,491.50 SF. w/o Porches & Stoop Total of New 4,024.50 SF. w/ Porches & Stoop Volume of New 78,281 CU. FT.	Addressors Map: 03A21B410 Zone: R2 Use Group: R-3 Cond. Class: 20 Code Jurisdiction: Residential 2005 IRC State of Maine Planning Code (Internal and External)	No. Date Revision(s) Scale: 1/4" = 1'-0" or as noted Drawn By: CE Checked By: CE Project No.	Interior :: Architecture :: Planning Elevation Details Date: 05/22/09 Sheet 12 of 18	Drawing Title: Elevation Details Drawing Number: A-8		



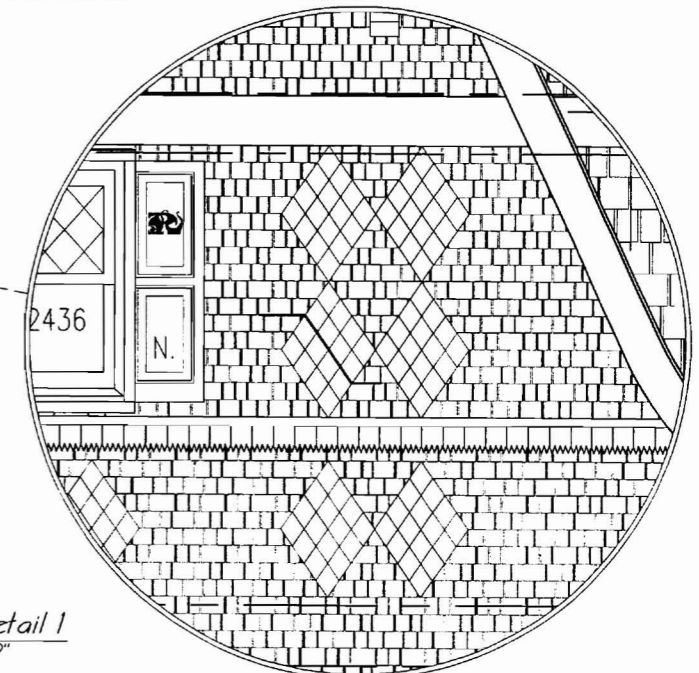
Railing Detail I
Scale 3/4" = 1'-0"





Right Side Elevation

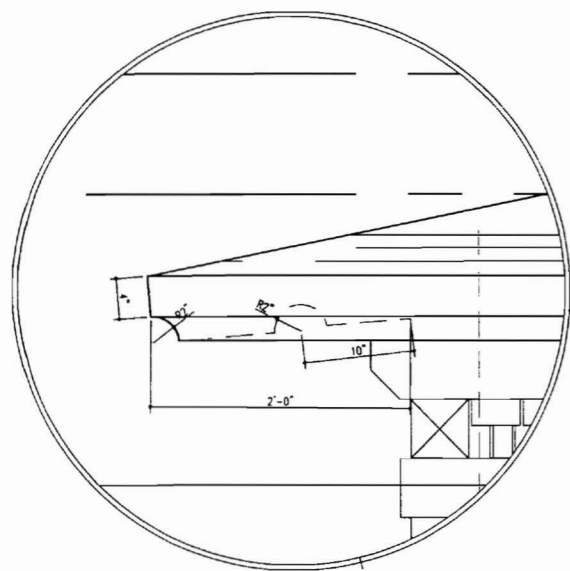


Left Side Elevation

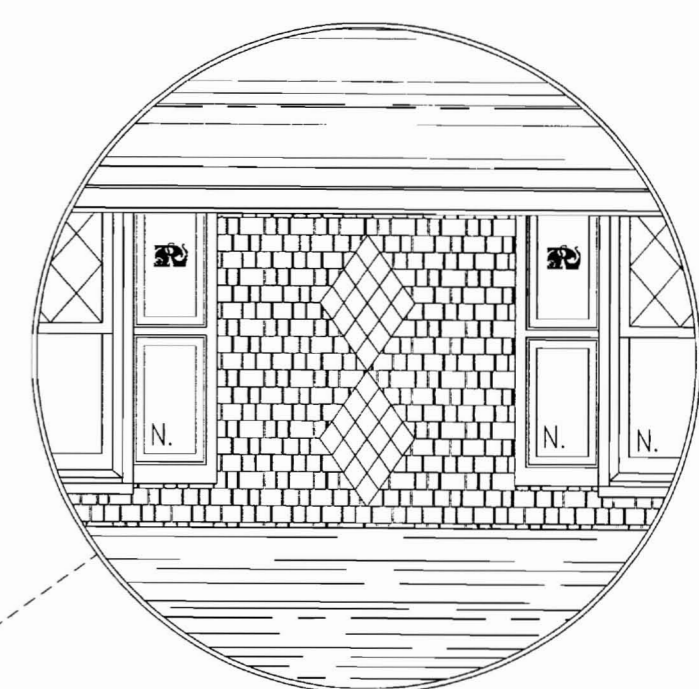


Siding Detail I
Scale 3/4" = 1'-0"

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 EREZUMA ARCHITECTS LLC 255 MAIN STREET #255 MADISON, NEW JERSEY 07940 PHONE 866.713.9662 FAX 866.713.9663		Craig Erezuma NA, LEED-AP NJ 086261 NY 030869-1 ME 9201 
Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp/Dbl. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height	Floor Loads Sleeping Areas Floor Loads Other Areas Roof Loads (Asphalt/Flt. Only) Bathroom Exterior Decks	New First Floor 1951.50 SF New Porches Side & Rear 1409.20 SF Front Stoop 124.20 SF New Second Floor 940.20 SF Total of New w/o Porches & Stoop 2,491.50 SF Total of New w/ Porches & Stoop 4,034.50 SF Volume of New 18,081 CU FT	Assessors Map: B24E1B110 Zone: R2 Use Group: R3 Const. Class: 50 Code Jurisdiction: Residential 2003 IBC State of Maine Planning Code (Internal and External)	No. _____ Date _____ Revison(s) _____ Scale: 1/4" = 1'-0" or as noted Drawn By: CE Checked By: CE Project No. _____	Interior :: Architecture :: Planning EREZUMA ARCHITECTS LLC 255 MAIN STREET #255 MADISON, NEW JERSEY 07940 PHONE 866.713.9662 FAX 866.713.9663	Drawing Title: Elevations Details Drawing Number: A-9 Date: 03/12/09 Sheet 13 of 18		



Rafter Detail 1
Scale: 1/2" = 1'-0"



Siding Detail 2
Scale: 3/4" = 1'-0"



Rear Elevation - Bay Avenue

Legend of Construction

- Existing Partition to Remain
- Existing Partition to be Removed
- New Partition
- New Gyp/D, over Exis. Framing
- 4 x 4 Post
- 4 x 6 Post
- Post Above
- Arched Opening
- Celling / Wall Height

Loading Criteria:

- Floor Loads: 20 lb/sq ft live, 10 lb/sq ft dead
- Floor Loads: 40 lb/sq ft live, 20 lb/sq ft dead
- Other Areas: 20 lb/sq ft live, 10 lb/sq ft dead
- Roof Loads: 40 lb/sq ft live, 20 lb/sq ft dead
- Roof Loads: 20 lb/sq ft live, 10 lb/sq ft dead
- Bathroom: 70 lb/sq ft live, 10 lb/sq ft dead
- Exterior Decks: 10 lb/sq ft dead

Area / Volume Calculations:

New First Floor	1,991.50 FT.
New Porches	1,409.50 FT.
Shed & Rear	
Front Stoop	124.50 FT.
New Second Floor	240.50 FT.
Habitable Area	
Total of New	2,491.50 FT.
Total of New	4,024.50 FT.
of Porches & Stoop	
Volume of New	78,281 CU. FT.

Project Information:

Address: 20012 Map: B2A-C7-B10 Zone: R2
 Use Group: R3 Const. Class: 30

Code Jurisdictions:
 Residential:
 2003 IBC
 State of Maine Planning Code (Ordinal and Extended)

New Residence for:
 Mrs. Connolly and
 Mr. & Mrs. Roberts
 Crescent Avenue - GDI
 Portland, Maine 04109

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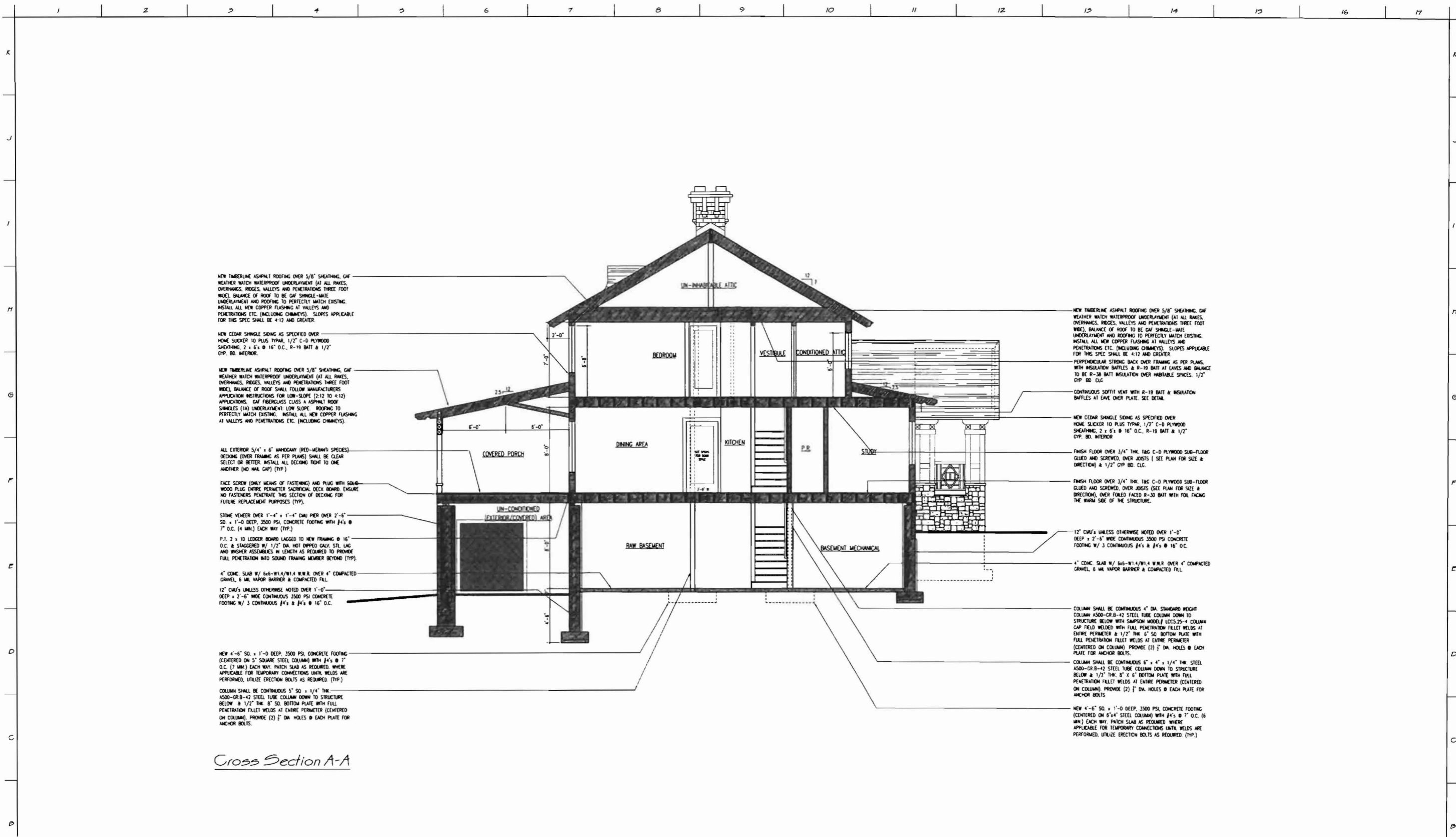
Drawn By: C.C. Checked By: C.E. Project No.:





Interiors :: Architecture :: Planning ::
EREZUMA ARCHITECTS LLC.
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 ME 2201

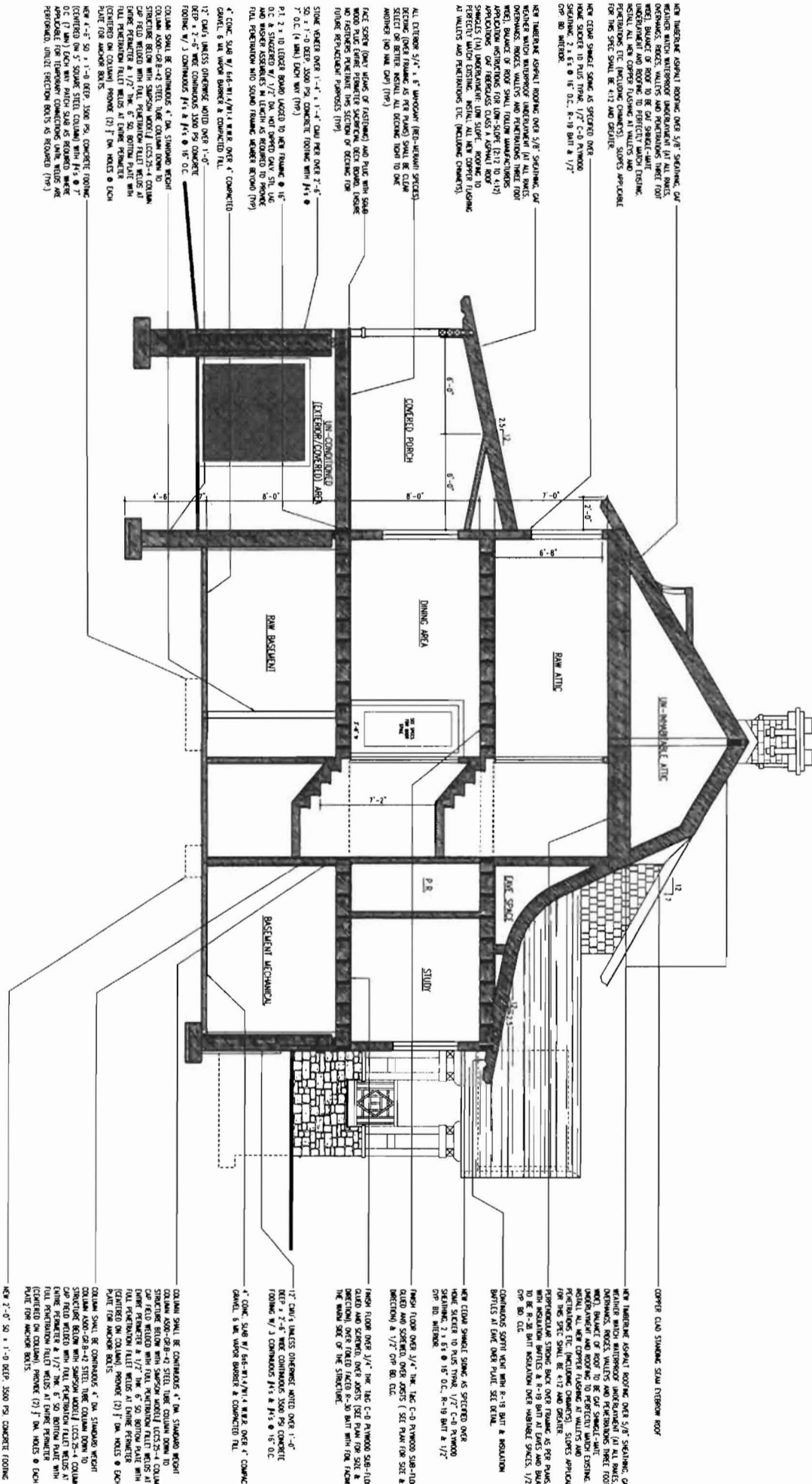
Drawing Title: Elevation Details
 Drawing Number: A-10
 Date: 05/13/2009 Sheet 14 of 18



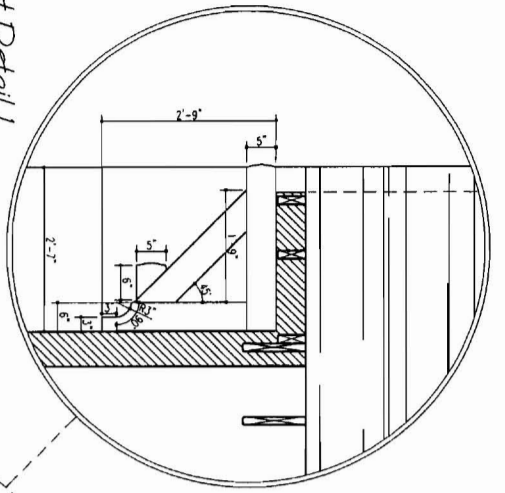
Cross Section A-A

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 EREZUMA ARCHITECTS L.L.C. 255 HAN STREET #255 MADISON, NEW JERSEY 07940 PHONE 866.3729862 FAX 866.3729863		Craig Erezuma AIA, LEED-AP NJ A16261 NY 020869-1 ME 3201 
Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp Bd. over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height	Floor Loads Storage Areas 50 lb/sq ft dead 10 lb/sq ft dead Floor Loads Other Areas 40 lb/sq ft live 20 lb/sq ft dead Roof Loads Normal Roofs Only 50 lb/sq ft live 10 lb/sq ft dead Bathroom 40 lb/sq ft live 20 lb/sq ft dead Exterior Decks 70 lb/sq ft live 10 lb/sq ft dead	New First Floor 1991.50 FT ² New Porches 1409.50 FT ² Deck & Floor Front Sloop 124.50 FT ² New Second Floor 940.50 FT ² Habitable Area Total of New 3,491.50 FT ² w/o Porches & Sloop Total of New 4,024.50 FT ² w/ Porches & Sloop Volume of New 78,260 CU FT	Project Information: Assessors Map: 02ACTB10 Zone: R2 Use Group: R3 Cond. Class: 2P Code Jurisdictions: Residential 2009 IRC State of Maine Plumbing Code (Ordinal and External)	No. Date Remarks Scale: 1/4" = 1'-0" as noted Drawn By: CE Checked By: CE Project No.	Drawing Title: Cross Section Drawing Number: A-11 Date: 09/23/09 Sheet 13 of 18			

Cross Section B-B



<p>Legend of Construction</p> <ul style="list-style-type: none"> Existing Partitions to Remain Existing Partitions to be Removed New Partitions New System over Existing Framing 4" x 8" Stud 4" x 6" Stud 4" x 4" Stud Roof Joist Arched Opening Ceiling / Wall Height 	<p>Loading Criteria:</p> <ul style="list-style-type: none"> Floor Loads: 30 psf live, 10 psf dead Roof Loads: 20 psf live, 10 psf dead Wind Loads: 90 mph W, 100 mph E Exterior Decks: 20 psf live, 10 psf dead 	<p>Area / Volume Calculations:</p> <ul style="list-style-type: none"> New First Floor: 1993 sq ft New Porches: 1409 sq ft New Second Floor: 2400 sq ft New Stairs: 2491 sq ft Total of New: 4034 sq ft Volume of New: 78,981 cu ft 	<p>Project Information:</p> <ul style="list-style-type: none"> Assessor's Map: 04-1-1-100 Zone: R2 Use Group: R2 Code Jurisdiction: 2009 IRC State of Maine Building Code (Amended) 	<p>New Residence for: Mrs. Conolly and Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109</p>	<table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Revised</th> </tr> <tr> <td>1</td> <td>1/1/20</td> <td>Initial</td> </tr> <tr> <td>2</td> <td>2/1/20</td> <td>Revised</td> </tr> </table>	No.	Date	Revised	1	1/1/20	Initial	2	2/1/20	Revised	<p>Architect: EREZUMA ARCHITECTS LLC 230 HAN STREET #203 MONROE, NEW JERSEY 07060 PHONE: 908-279-9822 FAX: 908-279-9823</p>	<p>Client: Mrs. Conolly and Mrs. Roberts Drawing Title: Cross Section A-12 Date: 09/18/2019 Sheet 16 of 18</p>
No.	Date	Revised														
1	1/1/20	Initial														
2	2/1/20	Revised														



NEW CLAD SHEET SHALL BE SET OVER BRICK
WITH AN UNDERLAYMENT OF 3/8" GYP BOARD
OVER BRICK. 2.1.5.1. 8" O.C. R-19 BATT & 1/2"
OP. BR. INSULATION.

Brick Detail 1
Scale 3/4" = 1'-0"

NEW UNDERLAYMENT SHALL BE 3/8" GYP BOARD
OVER BRICK. UNDERLAYMENT SHALL BE
PERFORMED IN ACCORDANCE WITH THE
MANUFACTURER'S INSTRUCTIONS. THE
MANUFACTURER'S INSTRUCTIONS FOR THE
UNDERLAYMENT SHALL BE PERFORMED IN
ACCORDANCE WITH THE MANUFACTURER'S
INSTRUCTIONS. ALL WORK SHALL BE DONE
PERFECTLY AND TO THE SATISFACTION OF
THE ARCHITECT.

ALL EXTERIOR 5/8" x 6" WINDOW (RET-MOUNT SPECIES)
SHALL BE SET IN A 1 1/2" DEEP MORTAR BED
AND SHALL BE FINISHED WITH A 3/4" THICK
MORTAR CEMENT FINISH. ALL WORK SHALL
BE DONE IN ACCORDANCE WITH THE
MANUFACTURER'S INSTRUCTIONS.

STAKE MARKERS OVER 1'-4" x 1'-4" CONCRETE OVER 3'-4"
CONCRETE OVER 3'-4" CONCRETE OVER 3'-4"
CONCRETE OVER 3'-4" CONCRETE OVER 3'-4"
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Cross Section C-C

Legend of Construction		
	Existing Partitions to Remain	
	Existing Partitions to be Removed	
	New Partition	
	New Stud/Over Stud Framing	
	4x6 Stud	
	4x6 Stud	
	Arched Opening	
	Ceiling/Wall Treaty	

Loading Criteria:		
Floor Loads	30 PSF/80 LL	
Roof Loads	20 PSF/120 LL	
Roof/Deck	20 PSF/120 LL	
Roof/Deck	20 PSF/120 LL	
Roof/Deck	20 PSF/120 LL	
Roof/Deck	20 PSF/120 LL	
Roof/Deck	20 PSF/120 LL	
Roof/Deck	20 PSF/120 LL	

Area / Volume Calculations:		
New First Floor	1291 SQ FT	
New Second Floor	1479 SQ FT	
New Garage	1047 SQ FT	
New Porches	1409 SQ FT	
New Deck	1047 SQ FT	
Total of New	4024 SQ FT	
Total of Old	1839 SQ FT	
Value of New	753,360 US\$	

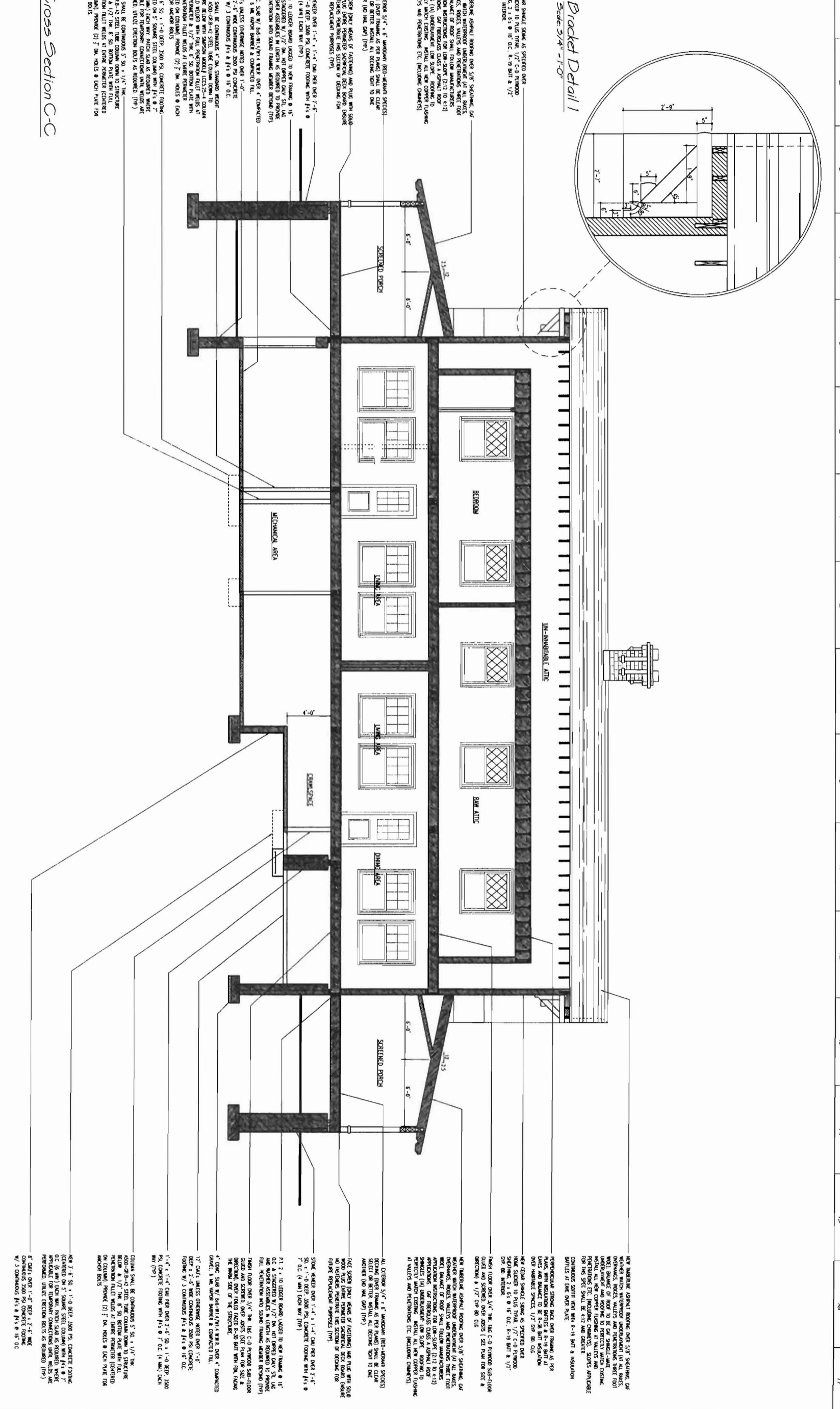
Project Information:

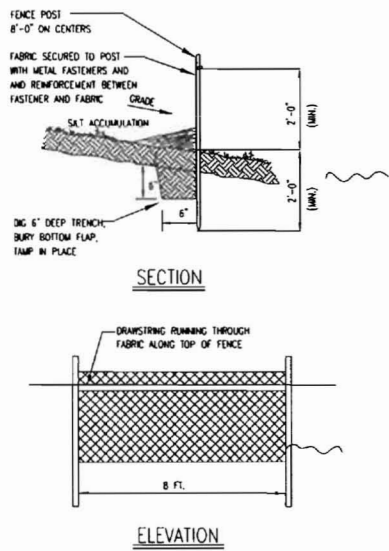
Address: 200 S. Main Street, Portland, ME 04109
 Zone: RZ
 Use Group: R-3 (Residential)
 Code: International Building Code, 2009 Edition
 Designer: ERZUMA ARCHITECTS, L.L.C.
 Address: 220 MAIN STREET #200, PORTLAND, ME 04103
 Phone: (603) 775-0828

Client: New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts
 Crescent Avenue - GDI
 Portland, Maine 04109

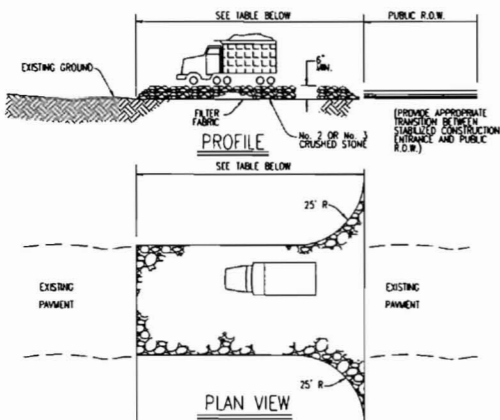
ERZUMA ARCHITECTS, L.L.C.
 220 MAIN STREET #200
 PORTLAND, ME 04103
 PHONE: (603) 775-0828

Design Title: Cross Section A-13
Design Number: A-13
 Date: 02/20/2009





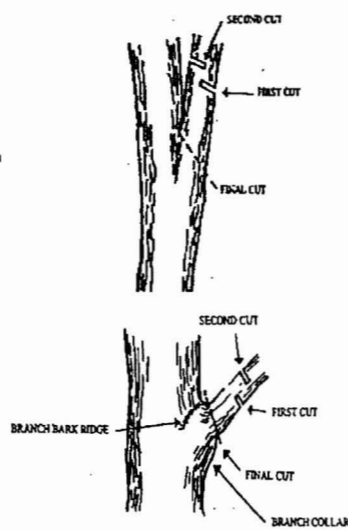
1 BALE SEDIMENT BARRIER DETAIL
SCALE: N.T.S.



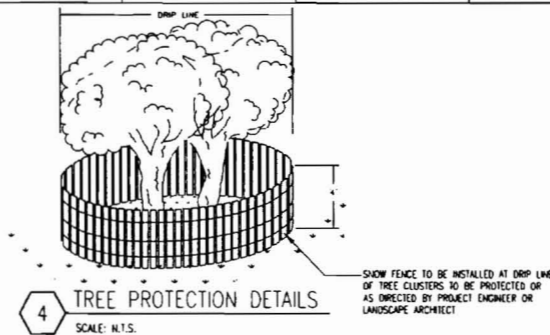
PERCENT SLOPE OF ROADWAY	LENGTH OF STONE BEDDING	COARSE GRAVEL SIZE	FINE GRAVEL SIZE
0 - 2%	100 FT	1/2"	100 FT
2 - 4%	100 FT	1/2"	100 FT
4 - 6%	100 FT	1/2"	100 FT
6 - 8%	100 FT	1/2"	100 FT
8 - 10%	100 FT	1/2"	100 FT
10 - 12%	100 FT	1/2"	100 FT
12 - 15%	100 FT	1/2"	100 FT

* AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING BODY.

2 STABILIZED CONSTRUCTION ACCESS DETAIL
SCALE: N.T.S.



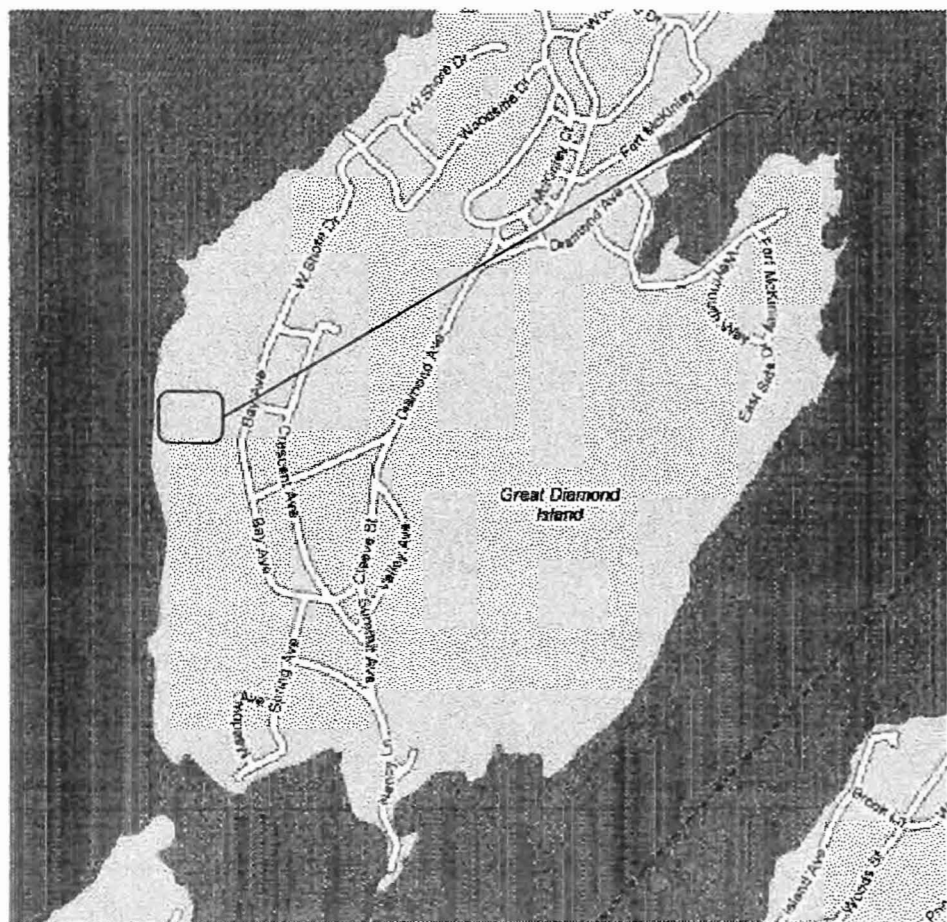
3 LIMB REMOVAL DETAILS
SCALE: N.T.S.



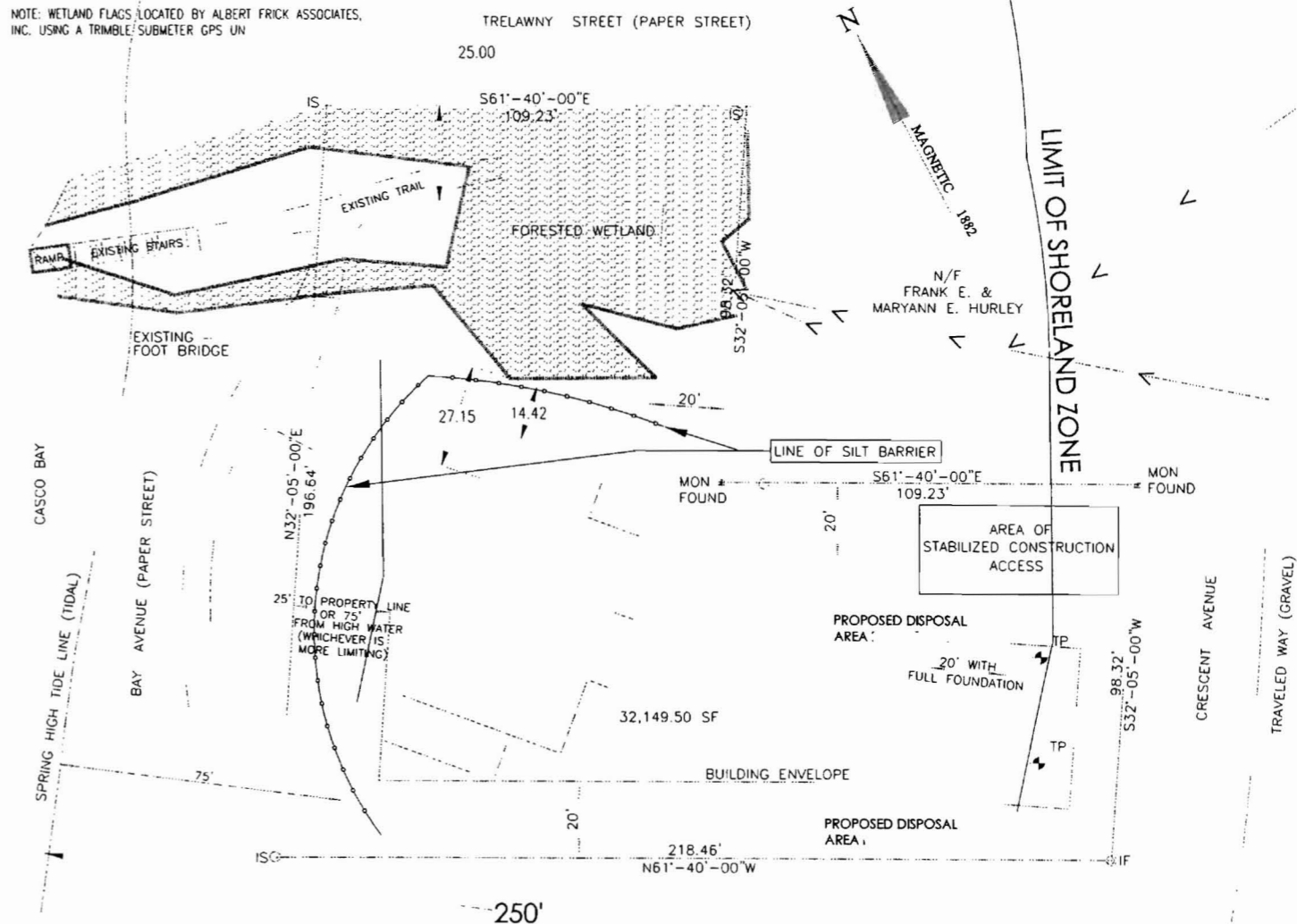
4 TREE PROTECTION DETAILS
SCALE: N.T.S.

SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES

1. INSTALL STAMBLES/FENCE IN LOCATIONS AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 1).
2. INSTALL TEMPORARY DRIVEWAY IN LOCATION AS INDICATED ON THE SITE PLAN AND AS DETAILED (SEE DETAIL 2).
3. FOLLOW TREE PRUNING AS DETAILED (SEE DETAIL 3).
4. INSTALL TREE PROTECTION FENCING AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 4).
5. MAINTAIN NO SITE DISTURBANCE IN TREE DROPLINE AREA AT ALL TIMES DURING CONSTRUCTION SO AS TO PROTECT TREE ROOTS.
6. INSTALL 4" OF TOPSOIL ON ALL DISTURBED AREAS. SEEDING SHALL BE BY OWNER.



Location Map
Scale: N.T.S.



CERTIFICATION

THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.

HERBERT P. GRAY, PLS #387

SURVEYOR

HERBERT P. GRAY
PLS #387
111 SIMMONS ROAD
SOUTH PORTLAND, MAINE
04106

Site Plan
Scale: 1" = 20'-0"

Legend of Construction

- Existing Partition to Remain
- Existing Partition to be Removed
- New Partition
- New Gyp/Dri. over Exst. Framing
- 4 x 4 Post
- 4 x 6 Post
- Post Above
- Arch'd Opening
- 8'-0" Ceiling / Wall Height

Loading Criteria:

Floor Loads	20 lbs/sq. ft. live
Sleeping Areas	10 lbs/sq. ft. dead
Floor Loads	40 lbs/sq. ft. live
Other Areas	20 lbs/sq. ft. dead
Roof Loads	20 lbs/sq. ft. live
Roof Loads	10 lbs/sq. ft. dead
Roof Loads	40 lbs/sq. ft. live
Roof Loads	20 lbs/sq. ft. dead
Bathroom	10 lbs/sq. ft. live
Exterior Decks	10 lbs/sq. ft. live
	10 lbs/sq. ft. dead

Area / Volume Calculations:

New First Floor	1951.50 SF
New Porches	1409.50 SF
Deck & Rear	
Front Sloop	124.50 SF
New Second Floor	340.50 SF
Tablets Area	
Total of New	2,495.50 SF
Total of New	4,024.50 SF
w/ Porches & Sloop	
Volume of New	18,058 CU. FT.

Project Information:

Address: 2019 Map: 02A27B910 Zone: R2
Use Group: R3 Const. Class: 99

Code Jurisdictions:
Residential:
2003 IRC
State of Maine Planning Code (Internal and External)

New Residence for:
Mrs. Connolly and
Mr. & Mrs. Roberts
Crescent Avenue - GDI
Portland, Maine 04109

1/4" = 1'-0" or as noted

No.	Date	Revisions

Drawn By: G.C. Checked By: G.C. Project No.



EREZUMA ARCHITECTS LLC.
255 MAIN STREET #255
MADISON, NEW JERSEY 07940
PHONE 866.275.9662 FAX 866.275.9663

Craig Erezuma
NA, LEED-AP
NJ 116261
NY 020869-1
ME 2201

Drawing Title: Soil & Sediment Control Plan
Drawing Number: A-14
Date: 05/12/2009 Sheet 13 of 13