Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read

Notes, If Any, Attached	PERMIT	Permit Number: 090664
This is to certify thatROBERTS DOUGLA	S.S.ETAI iravis B	
has permission to To Amend Permit #09	-0584 (Penng) Elimenting the co	essory partment
AT 40 CRESCENT AVE GREAT DIAMOND.	SLAND	CB 083A E007001
provided that the person or person of the provisions of the Statutes the construction, maintenance a this department.	of Make and of the	true dress, and of the application on file in
Apply to Public Works for street line and grade if nature of work requires such information.	giver and writte dermission before this builting or part h	A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other ____ Department Name

PENALTY FOR REMOVING THIS CARD

NOTICE IS REQUIRED.

HOL

City of Portland, Maine	- Building or Use	Permit Applicatio	n Permit No:	Issue Date	:	CBL:	
389 Congress Street, 04101	Tel: (207) 874-8703	, Fax: (207) 874-871	6 09-0664			083A E0	07001
Location of Construction:	Owner Name:		Owner Address:			Phone:	
0 CRESCENT AVE GREAT I	DIAM ROBERTS DO	OUGLAS S ETAL	745 JACKSON	VALLEY RI)	207-939-6	572
Business Name:	Contractor Name	:	Contractor Address	-		Phone	
	Travis Berube		67 Bootby Ave S	So Portland		20793965	72
Lessee/Buyer's Name	Phone:		Permit Type:				Zone:
<u> </u>			Amendment to	Single Famil	y		1-1Q
Past Use:	Proposed Use:		Permit Fee:	Cost of Wor	k: Cl	EO District:	7
Vacant Land	To Amend Per		\$30.00		00.00	1	
	(Pending) Elir		FIRE DEPT:	Approved	INSPECT		∕n
	Accessory Ap	<i>7 / '</i> N	l l	Denied	Use Group	» K3	Type: 5 [2
	Now Su	ala tamily				$\alpha \alpha = 0$	a 2 2
	Dwel	ling			1	KC V	103
Proposed Project Description:		<u>J</u>				PC 2/	-60
To Amend Permit #09-0584 (F	Pending) Eliminating th	e Accessory	Signature:		Signature:	<u> // /~ ·//</u>	<u> </u>
Apartment			PEDESTRIAN ACT	TIVITIES DIST	TRICT (P.A	D.) /	
			Action: Appro	oved 🔲 App	proved w/Co	onditions [Denied
			Signature:		n	ate:	
Permit Taken By:	Date Applied For:						
lmd	06/23/2009		Zonin	g Approva	11		
		Special Zone or/Revie	ews Zon	ing Appeal		Historic Prese	rvation
1. This permit application do Applicant(s) from meeting	-	۱. ۱	J.H _				
Federal Rules.	g applicable state and	Shoreland Vy w 57	Varian	ce	<i>+</i> <i>+</i>	ot in Distric	t or Landmark
		15,24 8	ofick] D V. 4 D	
2. Building permits do not in septic or electrical work.	iclude plumbing,	Wetland	Miscel	laneous		Does Not Req	uire Keview
•	:6	Flood Zone	O Gondit	ional Use		Requires Revi	AW
3. Building permits are void within six (6) months of the		7 m		ionar Osc	-	_ Requires Revi	· · · ·
False information may inv		Subdivision	Interpr	etation	-	Approved	
permit and stop all work	8	Subdivision		cution		_ ripproved	
		N Site Plan	_ Approv	/ed		Approved w/C	Conditions
		1 11 2009-	0058		-		
		Maj Minor MM	Denied			Denied	_)
		101 5	ca lutie				>
		Date:	Date:		Date		
JUL 13	3 2009	17	1/04				
JULI	J 2003	·	'' /				
		CERTIFICATI	ON				
I hereby certify that I am the ov	vner of record of the na			is authorized	by the ov	vner of record	d and that
I have been authorized by the o							
jurisdiction. In addition, if a pe							
shall have the authority to enter	all areas covered by si	ich permit at any reaso	nable hour to enfor	ce the provi	ision of th	e code(s) app	olicable to
such permit.							
SIGNATURE OF APPLICANT		ADDRES	S	DATE		PHO	NE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE

DATE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon
Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

<u>X</u>	Footing/Building Location Inspection: Prior to precast piers	o pouring concrete or setting
X	Foundation Inspection: Prior to placing ANY loccupiable space	backfill for below grade
X	Framing/Rough Plumbing/Electrical: Prior to	Any Insulating or drywalling
X	Final/Certificate of Occupancy: Prior to any of NOTE: There is a \$75.00 fee per inspection at	
	e of Occupancy is not required for certain projects. ect requires a Certificate of Occupancy. All project	-
•	the inspections do not occur, the project cannot DLESS OF THE NOTICE OR CIRCUMSTANG	•
	CATE OF OCCUPANICES MUST BE ISSUED ACE MAY BE OCCUPIED.	AND PAID FOR, BEFORE
Signature	of Applicant/Designee	Date
Thom	h. Markey	7/13/09
Signature	of Inspections Official	Date

CBL: 083A E007001 **Building Permit #:** 09-0664

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 90	Cresc	ent Ave G	DI
Total Square Footage of Proposed Structure/	Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Name Wal	nust be owner, Lessee or Buyer JIS Benche Bothly gue ZipS PHI, ME OHI	939-6572
Lessee/DBA (If Applicable) JUN 2 3 2009	Owner (if di Name/VIIII Address & C City, State &	fferent from Applicant) The Connolly Salem St	Cost Of Work: \$ C of O Fee: \$ Total Fee: \$
If vacant, what was the previous use? Proposed Specific use: Is property part of a subdivision? Project description: Ammend	If permit	# 09 058	
Elimante accessory - Contractor's name: Tray's E Address: 67 Bloth by City, State & Zip S. Portland Who should we contact when the permit is read Mailing address:	AVE		elephone: lephone: <u>939 6572</u>
Please submit all of the information of do so will result in the			t. Failure to
n order to be sure the City fully understands the funder request additional information prior to the issumis form and other applications visit the Inspection vision office, room 315 City Hall or call 874-8703.	nance of a pern	nit. For further information or	to download copies of
hereby certify that I am the Owner of record of the narrat I have been authorized by the owner to make this agws of this jurisdiction. In addition, if a permit for work athorized representative shall have the authority to enterovisions of the codes applicable to this permit.	oplication as his, described in thi	her authorized agent. I agree to application is issued, I certify th	conform to all applicable at the Code Official's
121			

Date:

This is not a permit; you may not commence ANY work until the permit is issue

Revised 07-11-08

Signature

Fevised.	to A
Applicant: Nancy To Connolly For	maly Date: 6/26/09
Address: 90 Cresent AVE, GREATOI	8 C-B-L: 0931, E-00>
CHECK-LIST AGAINST Z	ONING ORDINANCE
Date - New	permit Amend #09-0664
Zone Location - IP-7	
Interior or corner lot - I Telaw	My A Sigle Family dwells
Proposed Use Work - To Construct o	ly A Sugli family during
Servage Disposal - Private	J' roccis
Lot Street Frontage - 70'ma - 196 Ala	y Bdy AVE; 97/+ Along Gescent
From 1011 - 60 100 129 50	A (a d
Rear Yard - 25' min reg 25'ex	Actley
Side Yard - 20 min reg - 20 shown 5 de yard on side of - 20 min reg - & Projections	
Projections	6 SCARU
Width of Lot - 80 min - 80'+ Show	on lowest to be hat
Height- 35 MAX - Needpret po	on lowest to has hest - but 18th pred St grades to tissue he hast grades The grades - prei post the hest of - 32,149.50\$ Shown
Lot Area - 20,000 For A Sula	hegrades-prei postare he sall
Los Coverage Impervious Surface - 206 m	(X X 2 7
Los Coverage Impervious Surface - 20% my Area per Family - 20,000	1 1 32,14950 = 64.29.9 Pary
Off-street Parking - 2 pkg - 8	but
Loading Bays - NA	
Site Plan - # 2009 - 0058	
Shoreland Zoning/Stream Protection - w ha	reviewed under the course of
Flood Plains - PAnel 8 7mc A	A of Clashed "old" ordinance
Shoreland Zoning/Stream Protection - a thin Flood Plains - PAnel 8 Zone C what is The Ac what is The Ac	less Than 25 02 - Not 10 000
in a man was a man come	

City of Portland, Maine - Buil 389 Congress Street, 04101 Tel: (•		Permit No: 09-0664	Date Applied For: 06/23/2009	CBL: 083A E007001
Location of Construction: 0 CRESCENT AVE GREAT DIAM			wner Address: 745 JACKSON V	Phone: 207-939-6572	
Business Name:			Contractor Address: 67 Bootby Ave So Portland		Phone (207) 939-6572
Lessee/Buyer's Name	Phone:		ermit Type: Amendment to Si	ngle Family	
Proposed Use: To Amend Permit #09-0584 (Pending Apartment- Single Family dwelling u		sory To Am	Project Description: end Permit #09-05 ent - Single family	84 (Pending) Elimi	nating the Accessory
Note: 1) There shall be NO Clearing within shown on the submitted survey. I fences shall be moved out of the angle of the	t has been stated that on	Mark. There shally the house and p	•	clearing of the Fores	Ok to Issue:

- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that pre and post grades are the same.

Reviewer: Tom Markley **Approval Date:** 07/06/2009 **Dept:** Building **Status:** Approved with Conditions Ok to Issue:

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.

approval. Separate permits and approvals to the ZBA are required for an accessory dwelling unit.

- 4) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.

Comments:

6/26/2009-mes: Spoke to Travis Berube I need some corrections on the site plans and question about floodplain vs HWM on the plans how much is being cleared on the lot? What is pre & post grades? He will come in at 9:00 on Monday to correct.

7/6/2009-tm: building and zoning reviews are complete and awaiting DRC approval before issuing permit.

Permit No: 166 4 CBL: Date Applied For: City of Portland, Maine - Building or Use Permit 06/09/2009 09-8584 083A E007001 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716 Location of Construction: Owner Name: Owner Address: Phone: 90 CRESCENT AVE Great Diamon **ROBERTS DOUGLAS S ETAL** 745 JACKSON VALLEY RD 207-772-0202 **Business Name:** Contractor Name: Contractor Address: Phone Travis Berube 67 Bootby Ave So Portland (207) 939-6572 Lessee/Buyer's Name Phone: Permit Type: Single Family **Proposed Project Description:** Proposed Use: Single Family Home w/ an accessory apt - Build new 4,024 sq ft Build new 4,024 sq ft Single Family Home w/ an accessory Single Family Home w/ an accessory apartment 2 bedrooms 4 baths apartment 2 bedrooms 4 baths Status: Pending Reviewer: Marge Schmuckal **Approval Date: Dept:** Zoning Ok to Issue: Note: **Approval Date: Dept:** Building Status: Pending Reviewer: Ok to Issue: Note: 07/13/2009 Reviewer: Eric Giles **Approval Date:** Dept: DRC **Status:** Approved with Conditions Ok to Issue: Note: 1) Due to the site's proximity to a highly unstable slope, there shall be NO Clearing of any trees and understory vegetation within 75' of the High Water Mark. There shall be no filling or clearing of the Forested wetlands as shown on the submitted survey. It has been stated that only the house and parking area are to be cleared for building. The silt fences shall be moved out of the 75' setback from th HWM. If any selective clearing or cutting is proposed a plan shall be submitted to the Planning Authority for review and approval. Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintaned daily. 3) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26). NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY. The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions. A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)

7) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of

8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator

prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments:

Location of Construction:	Owner Name:		Owner Address:	Phone:
90 CRESCENT AVE Great Diamon	ROBERTS DOUGLA	S S ETAL	745 JACKSON VALLEY RD	207-772-0202
Business Name:	Contractor Name:		Contractor Address:	Phone
	Travis Berube		67 Bootby Ave So Portland	(207) 939-6572
Lessee/Buyer's Name	Phone:		Permit Type:	
			Single Family	

6/24/2009-lmd: Received on 6/23/2009 an amendment to this application eliminating the accessory apartment.

6/18/2009-mes: On June 15th the City Council adopted the new shoreland regulations which have added protections to highly unstable coastal bluffs. This property does have such highly unstable bluffs which are protected. Coproration Counsel also weighed in on whether this application needs to go by the old or new shoreland zoning rules. It needs to meet the new rules per Danielle in Corp. Counsel.

7/13/2009-tm: the DRC approval should be with permit # 0664 which is an amendment to this permit eliminating the accessory apt.

MEMORANDUM

To:

FILE

From: Eric Giles

Dept: DRC

Subject: Application ID: 2009-0058

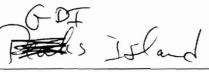
Date: 7/13/2009

See Conditions

Approval Conditions of DRC

- 1 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 4 A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 5 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 6 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 7 NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY.
- 8 All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 9 Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintaned daily.
- O1 Due to the site's proximity to a highly unstable slope, there shall be NO Clearing of any trees and understory vegetation within 75' of the High Water Mark. There shall be no filling or clearing of the Forested wetlands as shown on the submitted survey. It has been stated that only the house and parking area are to be cleared for building. The silt fences shall be moved out of the 75' setback from th HWM. If any selective clearing or cutting is proposed a plan shall be submitted to the Planning Authority for review and approval.

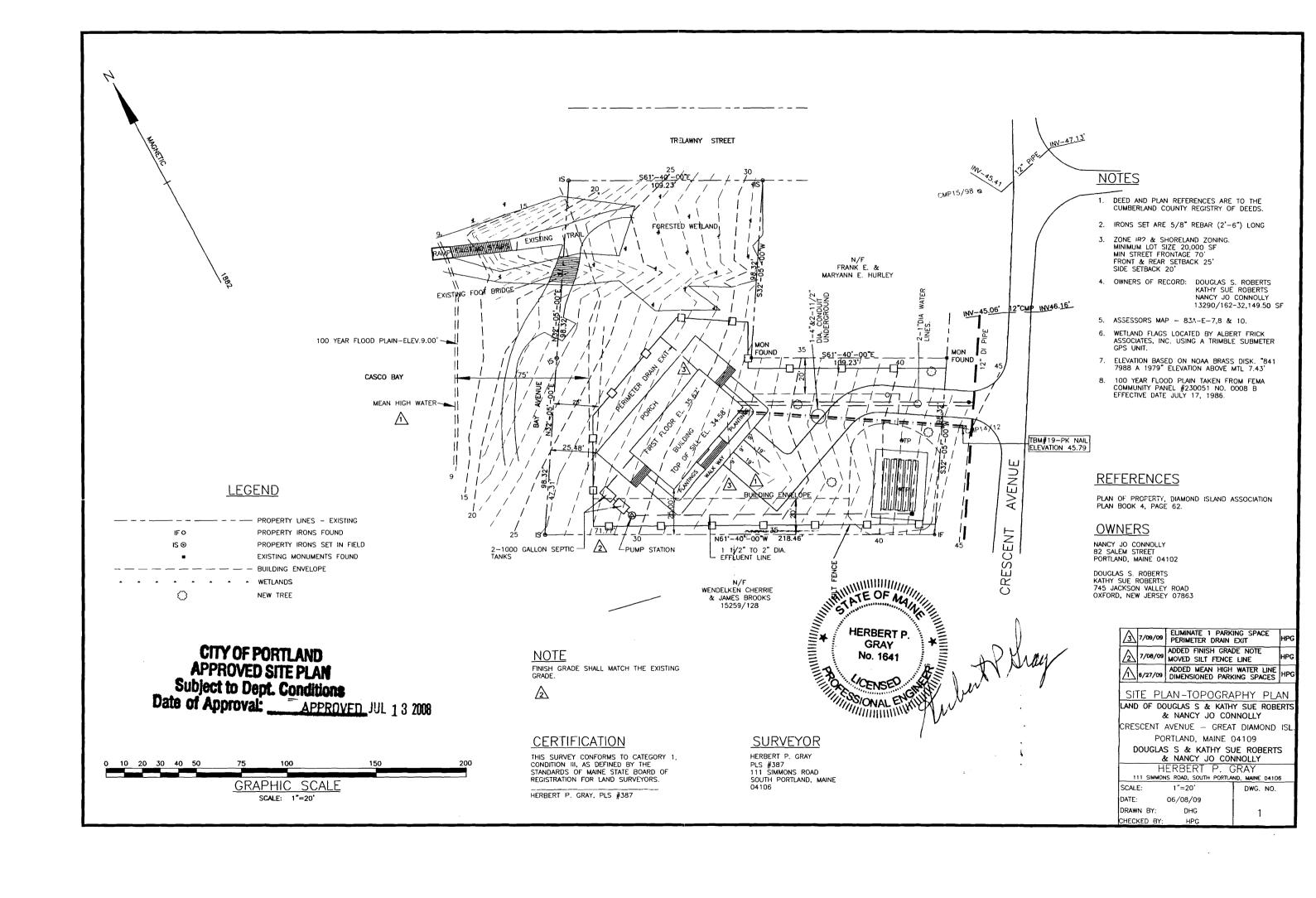
96 CRESCENT Are Foods Island 083-A-E007001

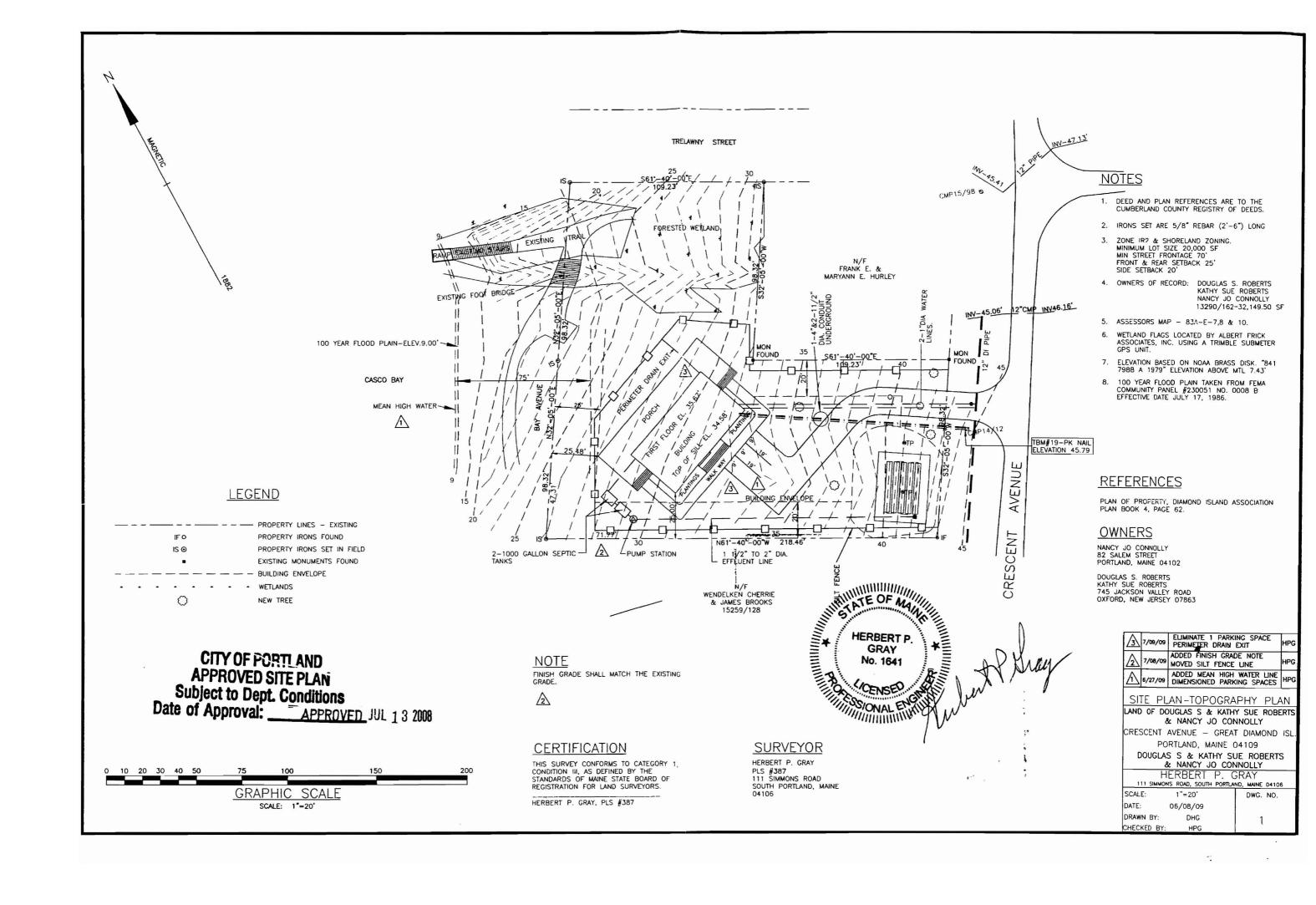


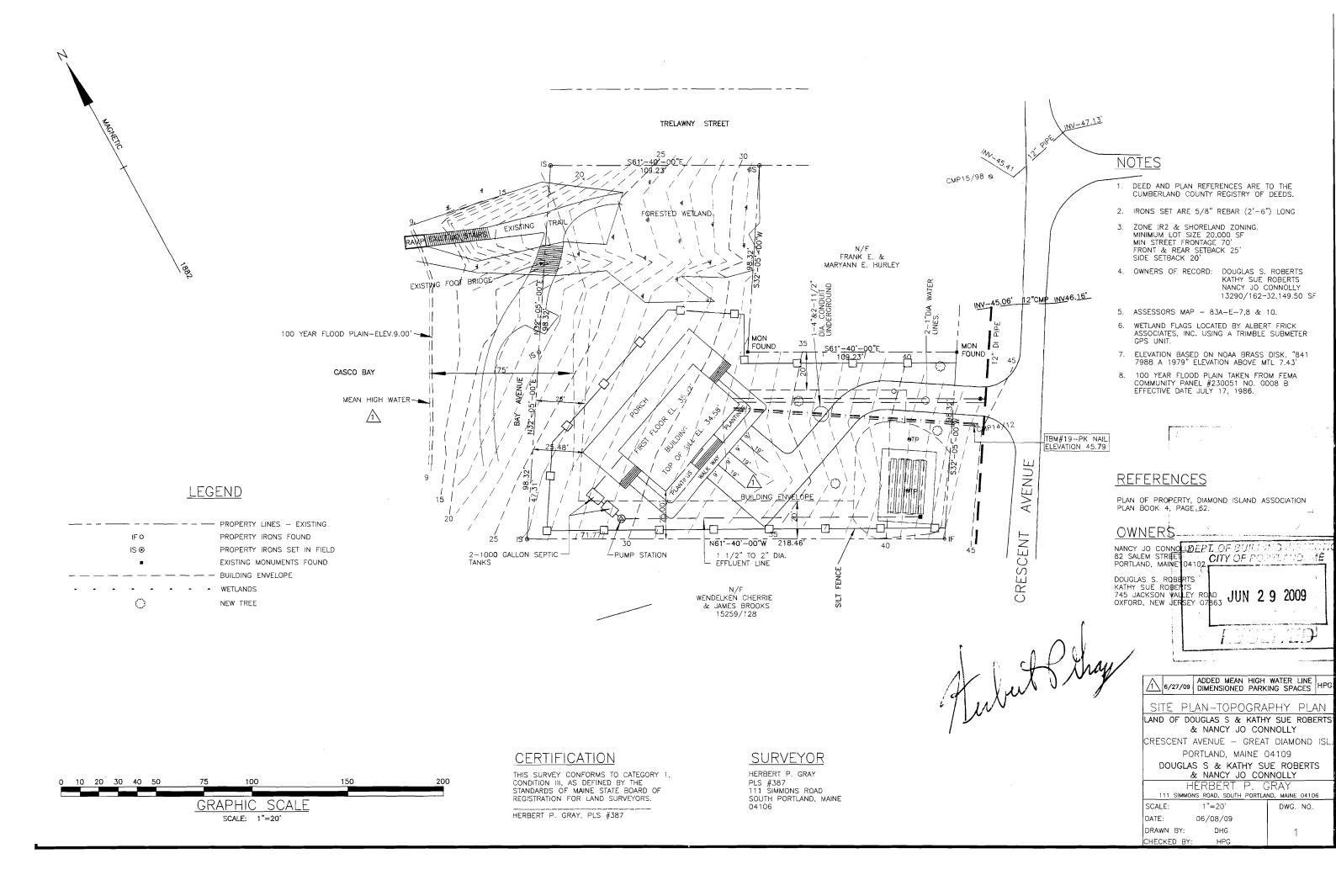
	120	000
ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.	1)	
Component	Submitted Plan	Findings Revisions Date
STRUCTURAL Footing Dimensions/Depth	1 Jx6 Concrete for too 8" net walls - where to Blocks	oll
(Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	Blocks	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4"pepe - Filter fahre- Stone - Sump pumper Baseny	000
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	Ou
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2×12.1, "OC	
Lally Column Type (Section R407)	Steel columnor.	010
Girder & Header Spans (Table R 502.5(2)) Built-Up Wood Center Girder Dimension/Type	3(x,0) and LULS 2x6 pt 2x10 16 °CC	OK
Sill/Band Joist Type & Dimensions	2X6 0T	OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2×10 16 °CC	Oh
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2×10 16 0C	DL
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) andR802.4(2))	2×10 1600	DL

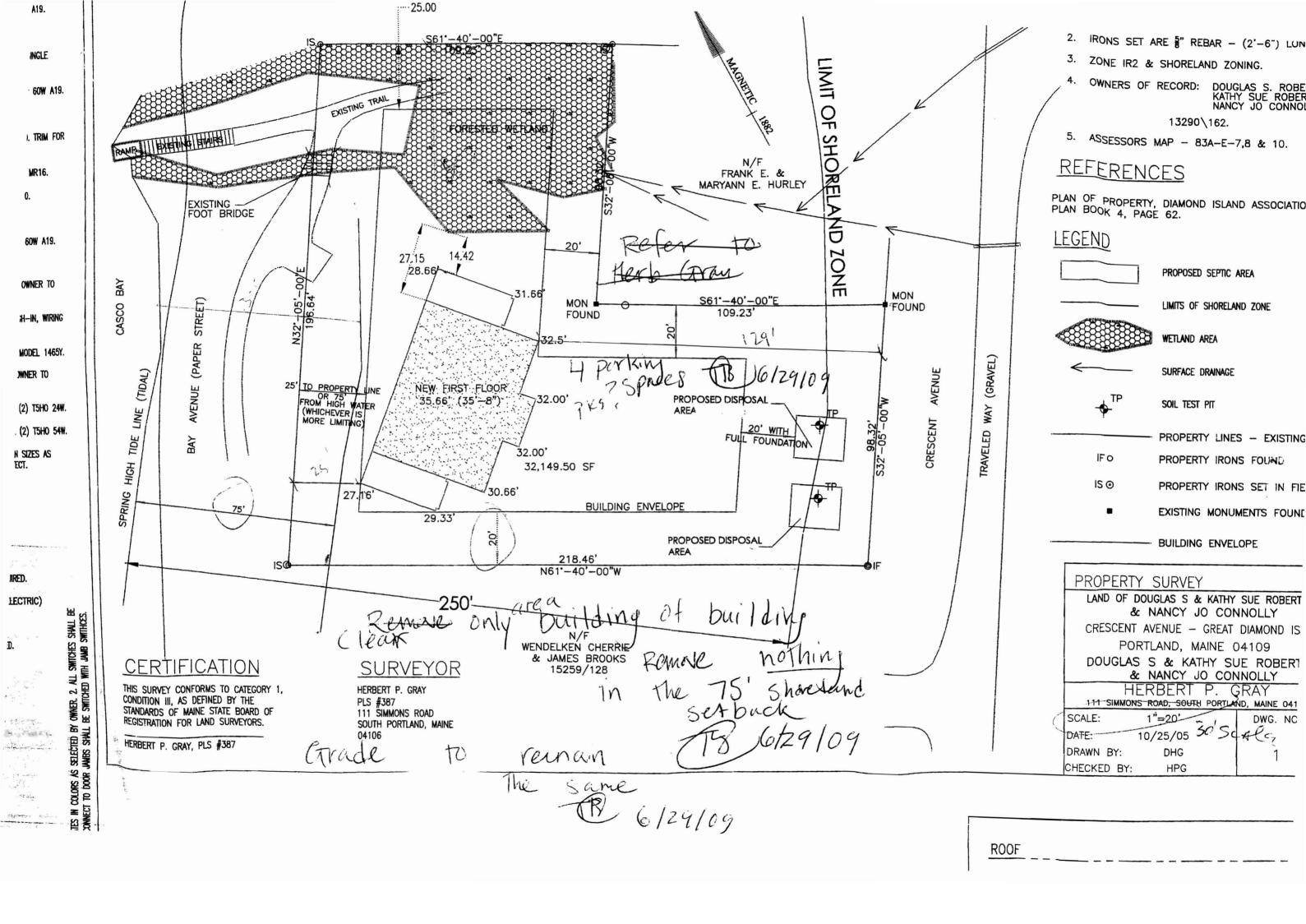
Pitch, Span, Spacing& Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section	Fusienes per TRC 2013 5/8 shadhing MC.	OŁ	
R802.3 & R802.3.1)	rus enas par TRC 2013		
Sheathing; Floor, Wall and roof Table R503.2.1.1(1)	5/8 shouther Mc.		
Fastener Schedule (Table R602.3(1) & (2))	per JRC 2003		
Private Garage			
(Section R309)			
Living Space ?			
(Above or beside)	2 14		
Fire separation (Section R309.2)	NA NA		
Opening Protection (Section R309.1)			
Emergency Escape and Rescue Openings (Section R310)	Egress Windmis	OK	
Roof Covering (Chapter 9)	Asphalt Shryles		
Safety Glazing (Section R308)	No		
Attic Access (Section R807)	, NA		
Chimney Clearances/Fire Blocking (Chap. 10)	2 Inch min	OK	
Header Schedule (Section 502.5(1) & (2)	see her de sche dule plans	OR	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Del compliance Con from Rescheck in Bis Plans	OK	

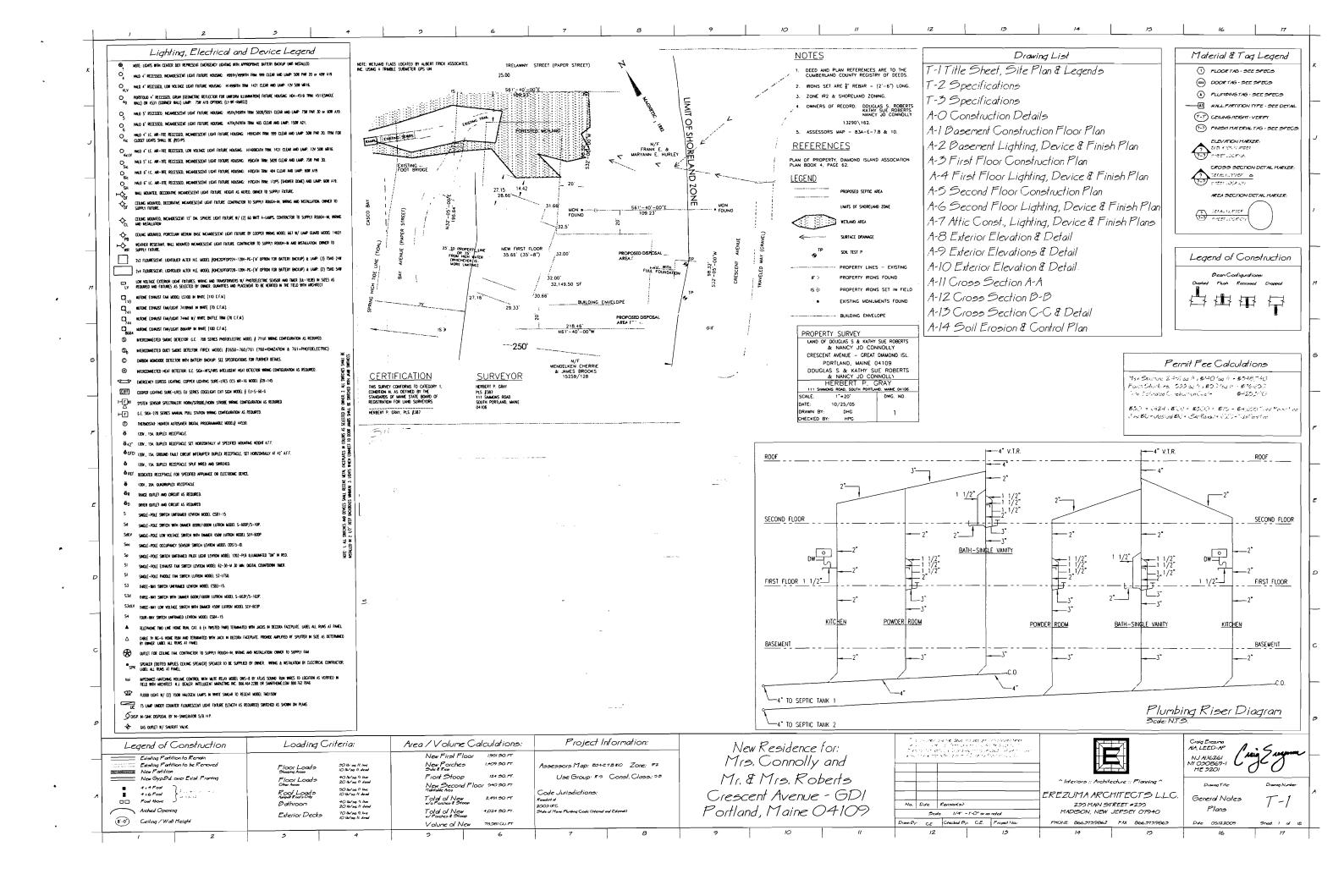
Type of Heating System	DV.	dr
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways	3	
Interior		
Exterior	9(
Treads and Risers	7 3/4 mar Rise 3 Ft men	
(Section R311.5.3)	1 - 1	
Width (Section R311.5.1) Headroom (Section R311.5.2)	6"8 mm	
Guardrails and Handrails (Section R312 & R311.5.6 – R311.5.6.3)	36 met Guards 34-38/fandre	
Smoke Detectors (Section R313) Location and type/Interconnected	EACH BEDSOM / Level	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)	16	
Dwelling Unit Separation (Section R317) and IBC – 2003 (Section 1207)	OE	86
Deck Construction (Section R502.2.1)	NA	OIC





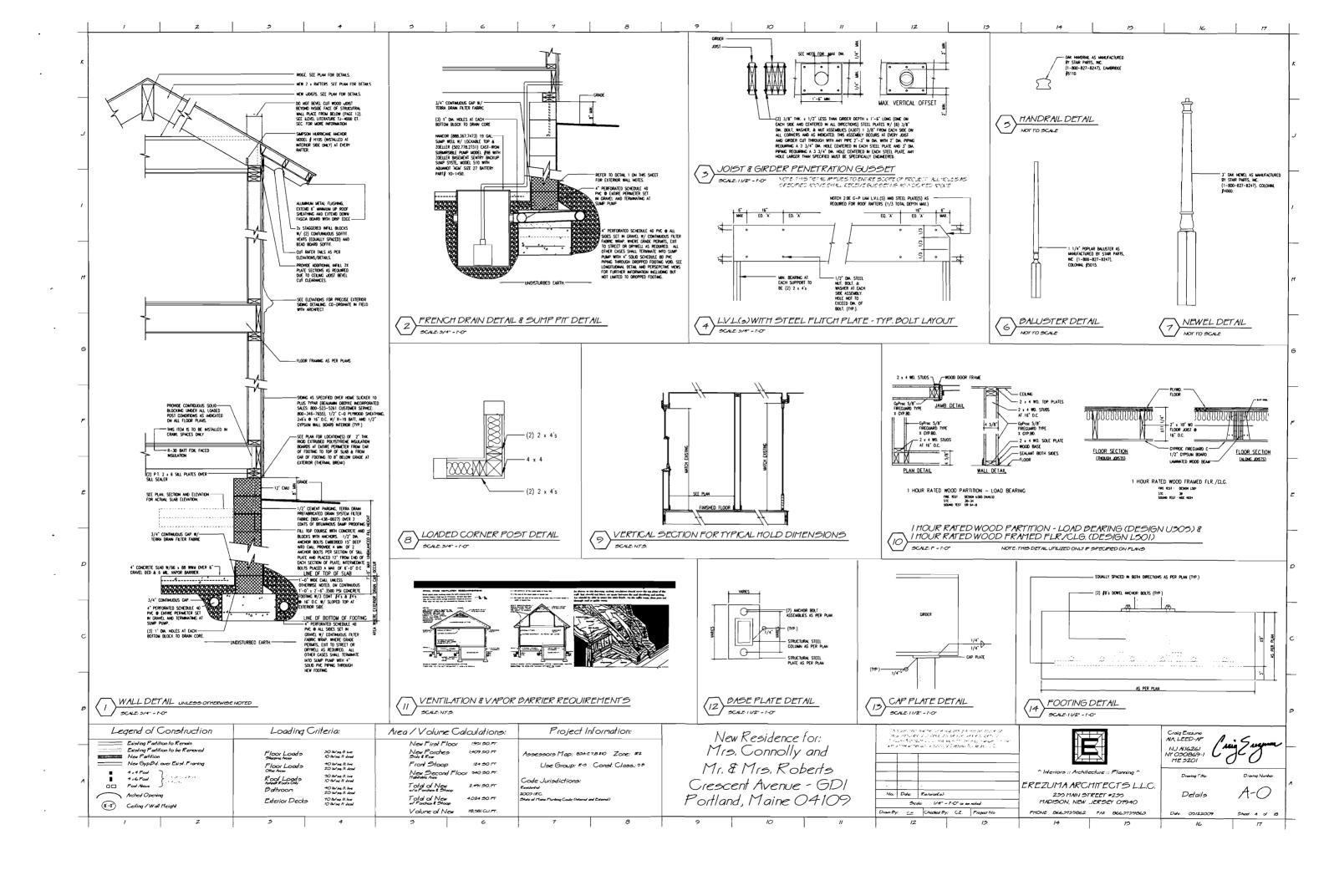


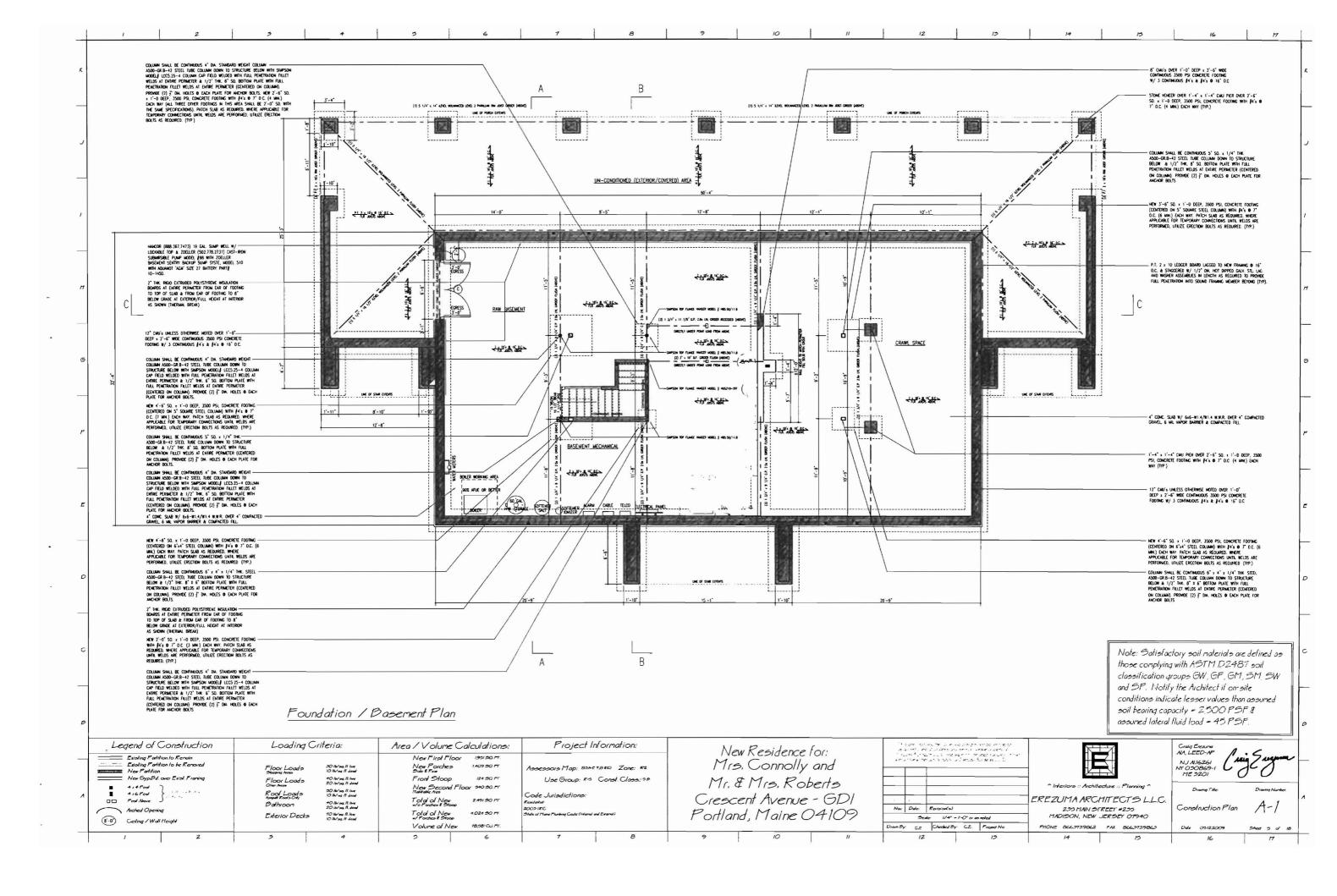


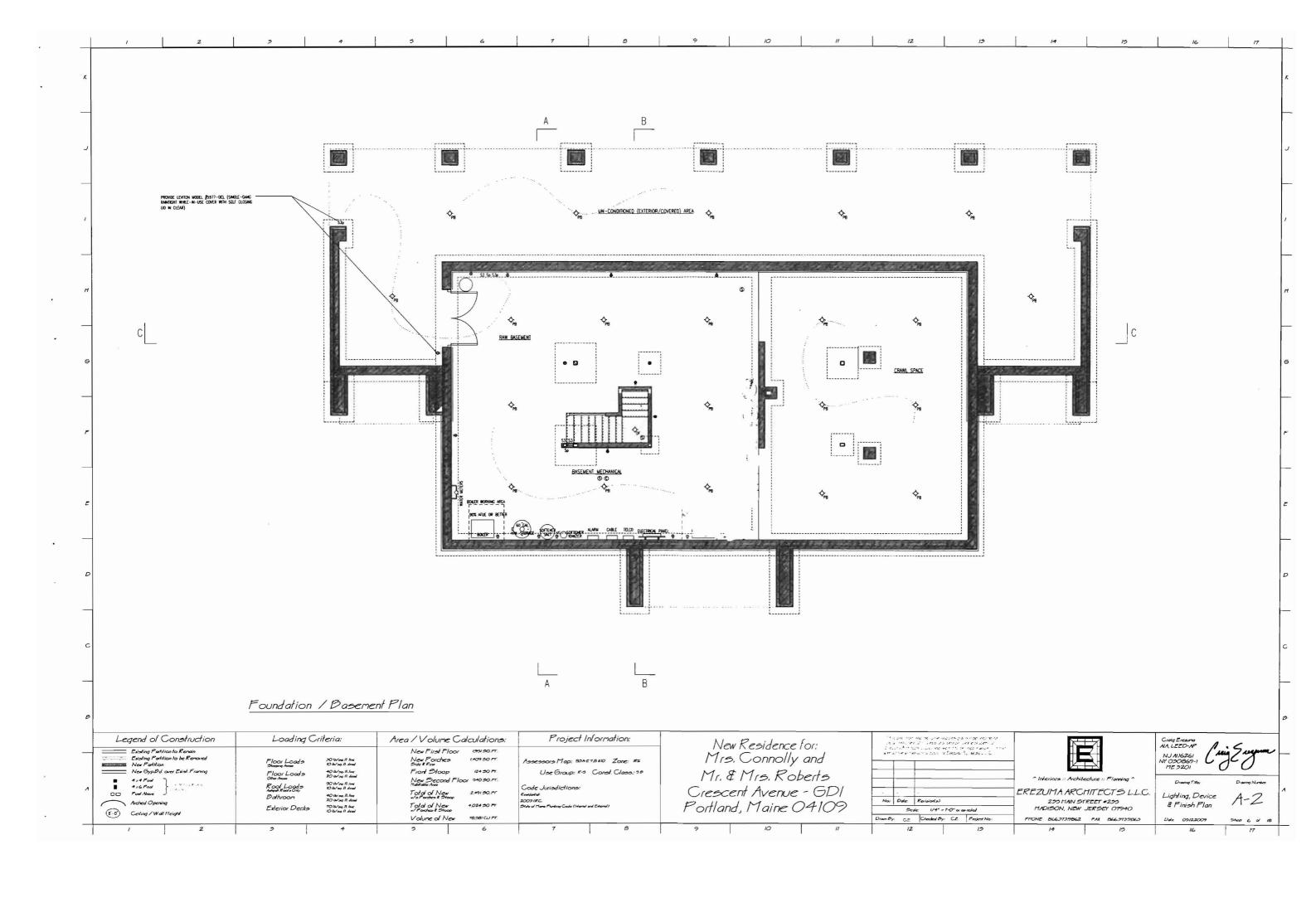


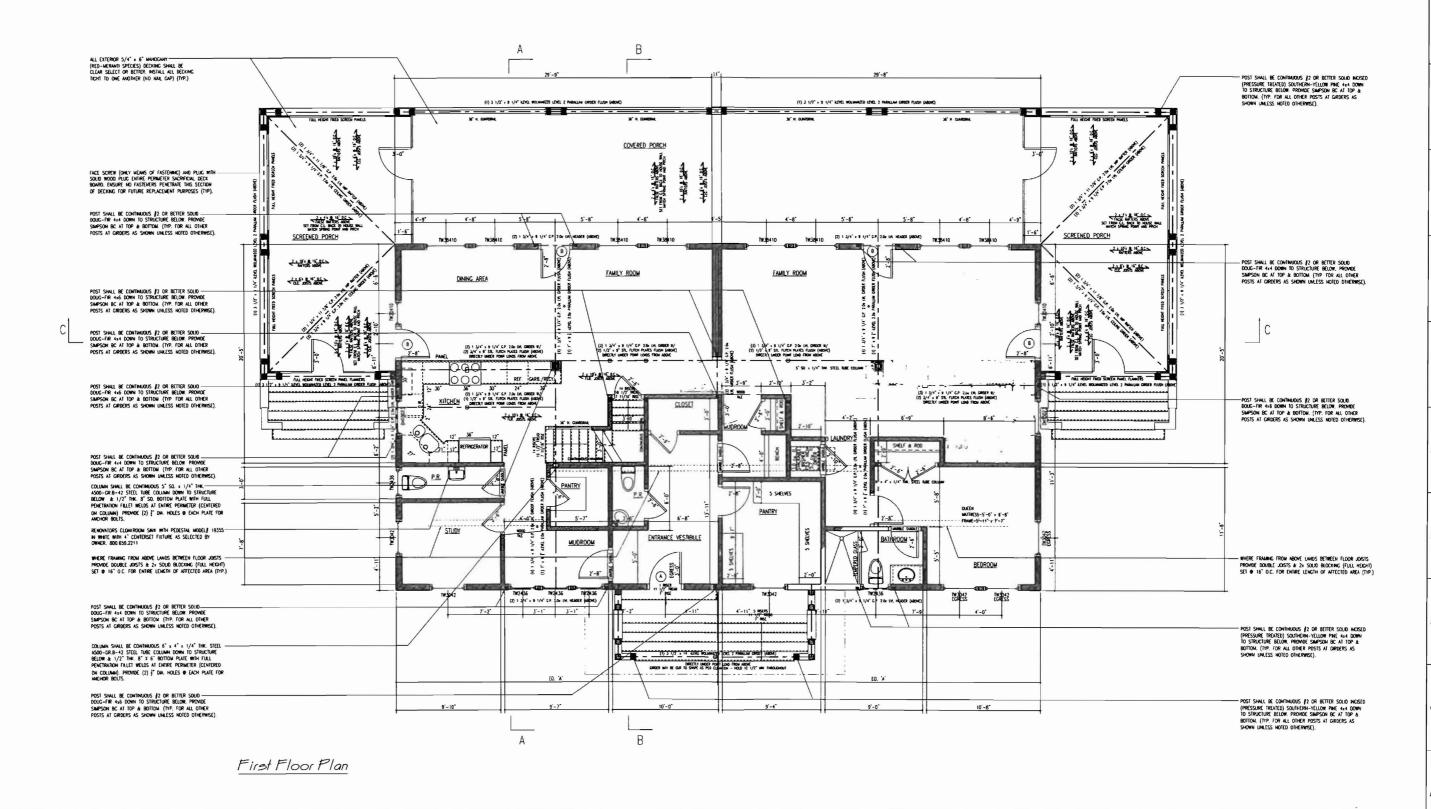
7	GENERAL NOTES AND SPECIFICATIONS						
- 1	DIVISION 1 - GENERAL NOTES	must be comple	the bottom of footing excavations loosened as a result of excavation operations or other causes tely removed until a firm undisturbed material is encountered or compacted in-place as directed	5.1.6Lintels shall be installed over all opening	ngs in new or existing masonry wall as follows:	6.2.5All new stairs shall have oak treads and pine risers. New handraits, balusters and newel posts as shown on details.	Section 7.5 - Flashing 7.5.1 Provide minimum 16oz. aluminum step (lashing. Shop brake where creases are visib
1 -	1.1.1 All work shall be performed in accordance with all applicable codes, ordinances and accepted industry	by the Architect placement.	t, or a Geotechnical Engineer, as required by the conditions as found before fill or concrete	Masonry Opening Lint	ici * x 3 1.2* x 5 16*	6.2.6F wraish and install a 4'-0" long section "Mock-Up" of railing design for approval before releasing the entire order.	metals with bituminous coating.
١.	standards. [.1.2Contractor shall visit the site, shall base estimates upon present conditions, and shall be required to com	3.1.10 Soil under foo	otings must be protected from freezing.		x 3 1/2 x 5 16"	6.2.7At all locations where paneling occurs, at cabinet islands and at bathroom vanities, install all electrical outle	7.5.2All plumbing vent stacks to be flashed with field fabricated copper collars. Existing with 16 oz. copper and counter flashed and soldered according to "Slate Roofs" detailed.
- "	1.1.2 Contractor shall visit the site, shall make estimated upon present controlled, and shall be required to some work shown or indicated. Contractor shall verify all dimensions and conditions in the field and notify the Architect of any discrepancies or inconsistencies prior to submitting bid and executing construction.	3 1 1) Compacted fil	If if allowed to be placed below footings and floor stabs must consist of clean sand and or gravel ous substances. The materials must be placed in lifts not exceeding twelve inches in thickness	a 31-2" legs are horizor b. Provide 1 angle for ca		cable tiviand telephorizontally in base	rts. Association, 1926). Chimmey enckets to be copper and soldered according to "Slate flashing to be 16 oz. copper. All face flashing to be 16 oz. copper. All valley flashi brake formed according to "Slate Roofs" details.
-	1.1.3 Do not scale the drawings. Written dimensions take precedence over depicted sizes and relationships of	used for till as	ed to a minimum of 95 percent of the maximum Modified Procter density for the each material determined according to ASTM D1557 latest edition. All compacted fill placement must be	e. Provide minimum 6" d. Lintels over 4'-0" sha		DIVISION 7 - THERMAL AND MOISTURE PROTECTION Section 7.2 - Building Insulation	Section 7.9 - Roof Venting
	drawings. Variations in drawing size may take place due to drafting and printing processes.	by the Architec	Geotechnical Engineer on a resident basis. Compacted fill sub-grade(s) must also be inspected to a Geotechnical Engineer, as required by the conditions as found before fill placement.	5.1.7 Light gage metal framing shall conform	m to the requirements of the AWSI "Specifications for the Design of	7.2.1 Protect insulation from physical damage and from becoming wet, soiled or covered with ice snow. Comply with manufacturer's recommendations for handling, storage and protection during installation.	7.9.1 Ridge vent shall be Cor-A-Vent X-5 (8 ½"). Usc "Cor-a-vent" V-300 at wall-root
1.	1.1.4All dimensions are given to face of gypsum board unless expressly noted otherwise. Windows and doors are located by centerline.	3.1.12 Construct nev	s driveway as indicated on the Site Plan.	appropriate.	s" latest edition, and shall conform to ASTM C-955 and A-466, as	7.2.2 Maintain ventilation space at all caves. Provide insulation baffles as required. Baffles shall run from face of exterior framing to beyond elevation of insulation within attic. Baffles located in cathedral ceiling shall be	
J 1	1.1.5 Contractor to perform high quality work in a professional and workmanlike manner.	DIVISION 4 - UI Section 4.1 - Foo	NIT MASONRY ting / Concrete Slabs	5.1.8All flush framed connections shall be n gauge, installed according to manufactu	made with approved galvanized steel joist or beam hangers, minimum 18 urer's recommendations.	continuous to ridge gable power vent as specified elsewhere.	mortised brass hinges. Face panel to match existing raised or flat panel. Verify pan
1	1.1.6 Where adjacent surface areas within the project site, but outside of this contract, are disturbed as a result building operations or storage of materials under this contract, they shall be cleaned of all debris and result of the contract.	of .	· ·		to L.V.L., steel or flitch plate girder, set these girders 1/4" clear below	7.2.3 Provide kraft faced formaldehyde-free fiberglass batt insulation with R values as follows: Rafter Ceilings R - 19	ordering. Hardware shall match existing. 8.1.2 Provide hardware allowances as follows:
	original grades and condition.	footing concret		top of lumber, to allow for shrinkage.	unns (above and below beam) shall receive 'a' thick minimum web	Ceilings R - 38 Walls R - 19	Per lockset, interior door \$80 Per pair lockset for pair of interior doors \$100
	1.1.7 Contractor shall supply all equipment, labor, tools and scaffolding necessary to complete the work. 1.1.8 Contractor to coordinate and accommodate all "Not in Contract" work.	_	tll be on undisturbed soil. 3'-6" minimum below finished grade. et shall be billet steel conforming to A.S.T.M. Spec. A-615-60 (60 ksi minimum yield).		pe of the beam centered on the load unless otherwise specified.	7.2.3 Provide 3" thick sound attenuation blankets at all partitions surrounding and floors below bathrooms and are all water and sanitary pipes.	Per lockset exterior door \$150 8.1.3 Comply with manufacturer's instructions and recommendations for installation of de
	1.1.9 Details noted "Typical" imply all such conditions to be treated similarly.	Deformations is	n accordance with A.S.T.M. A-305 (fy=40,000 psi). W.W.R. shall conform to A.S.T.M. A-185. If slabs shall be centered in the slab. Provide spacers, chairs, and ties as required and necessary	System Guide No. 7.00. Immediately a	t system complying with Steel Structures Painting Council (SSPC)-Paint after erection, clean field welds, bolted connections, and abraded areas of		accessories, and other components of work.
_, ,	1.1.10 Contractor shall furnish a Certificate of Occupancy to the Owner at the time of "Substantial Completion"	for assembling.	placing and supporting all reinforcement in proper position.		eas using same material as used for shop painting.	Section 7.3 - Siding	8.1.4Set units plumb, level and true to line, without warp or rack of frames and panels. Fanchor frames and fixed panels securely.
	1.1.13 Contractor shall procure and pay for all permits and fees.	4.1.3Furnish and ins manufactures d	stall rebar grounding & bonding clamp & grounding wire sized as required and installed as per irections.	DIVISION 6 - CARPENTRY Section 6.1 - Rough Carpentry		7.3.1 Provide siding as indicated on the drawings installed over "Tyvek Housewrap".	8.1.5Adjust operating panels, screens, and hardware to provide tight fit at contact points smooth operation and weather-tight closure.
1	1.1.12 All copies of Drawings, Specifications, Copyrights and the Designs expressed therein are and shall reproperty of the Architect. They are to be used only with respect to this project.	ain the 4.1.4Pitch basement	and crawl space slabs to sump pit.	6.1.1 Keep materials under cover and dry. Pr Stack lumber as well as plywood and o under temporary coverings including p	rotect against exposure to weather and contact with damp or wet surfaces, other panels; provide for air circulation within and around stacks and outside the and circular materials.	· ·	8.1.6Clean pre-finished door and frame surfaces promptly after installation, exercising ca
1	1.1.13 The Contractor, his agents, servants, employees and sub-contractors shall indemnify the Owner and the		barrier as indicated elsewhere in specifications or on plans shall be 6-mil polyethylene with a r transmission rating of 0.2 perms. Protect vapor barrier during all phases which includes		overtional Wood Frame Construction" by American Forest & Paper	7.3.3 Cedar Shake & Shingle Bureau Certigrade Red Cedar Shingles Number One Grade 18" long with 5" EXPOSURE Clear heartwood; 100% edge grain; no defects. Nails shall be driven flush but not so that the head crushes the wood. They shall be placed approximately 3.4% to 1" from the side edges of the	
	Architect from and against any claims that may arise out of this project. The Owner and Contractor sha indemnify the Architect against claims arising from the project. The Architect's liability terminates at the	removal of proj	ections which might puncture the barrier.	Association / American Wood Council	(awe.org) and IRC International Residential Code, including nailing, fire ing. Code requirements for spacing, sizing, spans and cuts shall be	shingles shakes and 1 3 above the butt line of the following course. Each roof shingle/shake shall be secur with two, corrosion-resistant nails. Cedar Shake and Shingle Bureau (604) 820-7700.	8.1.7 Institute protection required through remainder of construction period, to ensure that damage or deterioration at time of acceptance.
	of receipt of a certificate of occupancy for the project. The Contractor and Owner waive any claims ago Architect in situations involving disputes between the Owner and the Contractor.	nst the 4.1.6Grout for gener	ral brick repair. Use Type N mortar consisting of 1 part Type I Portland Cement 1 part Type S 2 to 3 times the volume of cement and lime of ASTM C144 (sand) aggregate.	strictly observed.		Section 7.4 - Shingle Roofing	Section 8.2 - Windows 8.2.1 All windows to be Anderson Till- Wash series with 'a" thick insulated glazing and I
rr 1	1.1.14 All work is new unless noted as existing.		all be stone concrete. Minimum compressive strengths at 28 days shall be as follows: a. Footings, walls, piers, slabs 500 psi	by Georgia Pacific Corporation. Providence	inated veneer lumber (L.V.L.)" are to be "GP Lam 2.0E" as manufactured ide 4" x 6" bearing under all girders as indicated on drawings or minimum s. Provide 12" bolts 16" o.e. staggered top and bottom where built-up.	7.4.1 DO NOT BREAK BUNDLES OVER RIDGE.	brass hardware and screens for casement units. All exterior casing trim and sills to verify in field. Sizes as noted on the drawings and as per field dimensions. FIELD
1	1.1.15 Keep materials under cover and dry. Protect against exposure to weather or any damaging conditions		a. Footings, waits, piers, salos 500 psi b. Grout for concrete block walls 2500 psi c. Re-tempering of concrete is strictly prohibited	Refer to details for L.V.L. with flitch pl	late & joist girder penetration gusset details.	7.4.2Provide a Maintenance Stock of 2% of each type/color/texture shingle used in the work and place in location directed by Owner.	POLICE OPENINGS IN SIST DIVITE A DOUBLE OF PROOF THE ARRANGE
1.	1.1.16 Furnish Port-O-John on site for duration of construction. Bathrooms in the house shall not be used of the workers at any time.	y any 4.1.8Concrete subje	ct to potentially destructive weathering action such as freezing and thaving shall be air-entrained	6.1.4All metal hangers and hardware shall b a specific hanger/item is specified, use	be by Simpson Strong Tie as specified on plans. Where no designation of the most economical hanger/item.	7.4.3 Deliver materials in manufacturer's unopened, labeled bundles, rolls or containers. Store materials to avoid	8.2.2 Refer to elevations for transom locations.
- 1	1.1.17 Cleaning shall be the responsibility of the General Contractor. Floors, walls, windows, and all others shall be cleaned ready for occupancy. Turn over building broom clean. The owner will wash windows	rísces Installation sha	nt (percent by volume of concrete) shall be not less than 5 percent or more than 7 percent). If be in accordance with ACI 301 & ACI 318, Specifications for Concrete for Buildings.		Douglas Fir. or better, 1450 psi minimum, factory marked.	water damage, and store rolled goods on end. Comply with manufacturer's recommendations for job-site storage and protection.	8.2.3 Shop drawings shall be required for all specialty and all elliptical transom units proving manufacturer prior to ordering.
	shall be cleaned ready for occupancy. Turn over building proom clean. The owner will wash windows plumbing fixtures.	Section 4.2 - Fou	indation Walf	6.1.6All framing shall be plumb and square.	, true, well braced, pinned together with good joints and true bearings. I.R.C. and good practice. Laser-level all kitchen and bathroom ceilings	7.4.4 Proceed with shingle work only after substrate construction and penetrating work have been completed.	8.2.4Provide tempered glass as required by code.
1	1.1.18 All materials shall be new and of the grade and quality specified. Trained, experienced persons, skilled their various crafts, shall perform the Work.	in 4.2.1Concrete Maso and shown belo	erry Units (C.M.U.) in bearing walls shall be (unless noted otherwise) as specified by A.S.T.M.	and floors with adequate furring as requ	uired.	7.4.5Proceed with shingle work only when weather conditions are in compliance with manufacturer's recommendations and when substrate is completely dry.	8.2.5Flash all exterior window and door units with copper drip cap.
6	1.1.19 The entire installation shall be guaranteed against defects in workmanship and material for a period of		Bearing Walls ASTM C 90 Grade N-1 (54* solid)	6.1.7All structural work shall be literal as po		7.4.6Asphalt Plastic Cement shall conform to ASTM D 2822, designed for trowel application. Hip and Ridge	8.2.6All windows shall have stools furnished and installed by G.C. (see spees for stool p number unless matching existing). No picture framing of windows.
	year from the date of final acceptance. 1.1.20 Existing conditions shown or implied are based on the best available but limited information. If condi-	d loiet D	g to Footing ASTM C 145 Grade N-1 (100% solid) learing Top 8" ASTM C 145 Grade N-1 (100% solid)		(2) 2 x 10's	Shingles shall be job-fabricated units cut from actual shingles used. Nails shall be aluminum or hot-dip galvanized 11 or 12-gage, sharp-pointed, conventional roofing nails with barbed sharks, minimum 3/8' dian bend and of inflicing length to receive 1/4/1 into paid decline or to receive the bound of the sharp of th	nder programs process
Ι,	encountered that differ from those shown, noted or implied, all work in that specific area is to stop and Architect is to be notified. No work shall continue in such areas without the permission of the Architect.	 4.2.2 Masonry Mor 	rtar -ASTM C 270, Type S above grade (1 part cement, 1/4 to 1/2 part hydrated lime, 2 1/4 to 3 of the volume of cement and lime for sand aggregate). Type M below grade (1 part cement to 3	Up to 10'-0" opening use "The values do not apply to conditions with	th framine corners or loaded posts above.	head, and of sufficient length to penetrate 3/4" into solid decking or to penetrate through plywood sheathing. Metal Drip Edge shall be a minimum of .024" painted finish aluminum sheet, brake-formed to provide 3" rot deck flange, and 1-1/2" faseia flange with 3/8" drip at lower edge. Furnish in 8" or 10' lengths. Metal Fland	Section 9.1 - Drywall
,	1.1.21 Installation of all material and/or units to be selected by, sumplied by and/or installed by Owner or into	parts for sand a	aggregate). Re-tempering of mortar is strictly prohibited.		al members, indicated on drawings, with architect prior to ordering and	shall be .024" mill finish sheet aluminum unless otherwise noted as copper and job-cut to sizes and configurations required.	gypsum board manufacturer, for environmental conditions before, during and after a
}	designers, etc. shall be scheduled and co-ordinated by the G.C. to maintain the construction schedule. I commencement of the work, the contractor shall notify the Owner of all quantities of Owner supplied in	terial should be wette	nits in running bond (except as noted otherwise) and cut joints flush. Masonry units when dry ed down before laying up and units should be fully bedded in mortar when laid. Do not lay	installation.		7.4.7Examine substrate and conditions under which shingling work is to be performed and must notify Contractor	Ventilate building spaces as required to remove water in excess of that required for material immediately after its application. Provide materials and installations which
F	and/or units not specifically called out in these construction documents. 1,1.22 All allowances - credits shall be for the actual purchase price of the items.	•	which are wet or frozen.	6.1.10 All plates to be doubled with splices:	staggered over studs only. r all walls parallel to joist length unless specifically noted otherwise.	writing of unsatisfactory conditions. Do not proceed with shingling work until unsatisfactory conditions hav been corrected.	applicable fire-rated assemblies tested per A.S.T.M. E-119. 9.1.2Install 1-x* Type III. Grade R. Class I (ASTM C-36), gypsum board with eased radia
	DIVISION 2 - DEMOLITION	(2" less than no	on walls of concrete block accurately as shown on drawings. Key mesh or Durowall reinforcing ominal width of walls) in alternate block courses. Bond walls together at intersections. Fill voids th concrete. Fill core solid and add #6 rebar at 40° oc. along entire wall. Provide steel anchor			7.4.8Clean substrate of any projections and substances detrimental to shingling work. Cover knotholes or other minor voids in substrate with sheet metal flashing secured with roofing nails.	new and renovated areas with tapered edges. Install comentitious board on all areas water-resistant in all bathrooms. Attach gypsum board, type "X" gypsum board, wa
	2.1.1Provide temporary barricades and other forms of protection as required to protect Owners and their pro	bolts with hex	huts and flat washers complying with ASTM A-307.	6.1.13 All doors or trimmed openings to have	ve (2)-2" x 4" studs at jambs minimum.	7.4.9Coordinate installation of shingles with flashing and other adjoining work to ensure proper sequencing. Do	cementitious board with construction adhesive (i.e. Liquid Nails Tub Surrounds LN- drywall serews. All basement drywall shall be moisture resistant drywall lifted off s
	2.1.2Remove debris, rubbish and other materials resulting from demolition & construction operations from site. Transport and legally dispose of materials off site. If hazardous materials are encountered during	4.2.6Protect newly liding harmful elemen	laid masonry from exposure to precipitation, excess drying, freezing, soiling, backfill and other nts.	6.1.14 All joists to have 3 's" minimum bear headers to have metal hangers.	ring over plates or as otherwise indicated on drawings. Flush beam and	install shingle roofing until all vent stacks and other penetrations through roofing have been installed and are securely fastened against movement.	Install 5'8" type "X" gypsum board on walls and ceilings in all garages. 9.1.3General contractor shall apply three coats of spackle to gypsum board and sand surfi
	site. I managori and regarly dispose of materials of the I mazardous materials are encountered under demolition operations, comply with applicable regulations, laws, and ordinances concerning removal, had and protection against exposure or environmental pollution. Burning of removed materials is not permit		stone veneer and mortar color shall be as selected by Owner. Mortar utilized shall be "Colored anufactured by Keystone Cement Company (no substitutions). Architect has colored mortar		ig, centered in spans of floor joists exceeding 8'-0". Do not allow cross	7.4.10 Apply one layer felt horizontally over entire surface, lapping succeeding courses 2" minimum and fasten with sufficient nails to hold in place until shingle application. Install starter strip of roll roofing or inverted	painter.
- ,	DIVISION 3 - SITE WORK	samples. Cons	truct sample panels 2'-0" square for approval two weeks before proceeding with construction.	members to come in contact with each	other, leave a 'a" gap.	shingles with tabs removed; fasten shingles in pattern, weather exposure and number of fasteners per shingle recommended by manufacturer. Use horizontal and vertical chalk lines to ensure straight coursing. Provide	 9.1.4 Perfectly patch all wall, ceiling and trim surfaces as required to be ready for paint in ice wall liners.
E .	3.1.1 Satisfactory soil materials are defined as those complying with ASTM D2487 soil classification groups	W.GP. exposed brick j	aight and plumb, courses level. Fill all joints with mortar as units are laid. Full head joints. Too joints to match existing. Lay solid brick walls with common bond or to match existing. Verify		neous blocking, fire-stopping and bracing as required.	& water shield in locations as indicated elsewhere in this document and on the drawings.	9.1.5Provide manufacturer's standard trim accessories of types indicated for drywall work
	GM, SM, SW and SP. Notify the Architect if on-site conditions indicate lesser values than assumed so capacity = 2500 PSF & assumed lateral fluid load = 45 PSF.	-	reinforcing shall be continuous and lapped at all splices, comers, and intersections a minimum o	6.1.17 All piping and electrical penetrations 6.1.18 All framing members where cut to pe	• •	7.4.11 Comply with installation details and recommendations of shingle manufacturer and NRCA Steep Roofin Manual.	9.1.6 Joint treatments (ASTM C-475) shall be as follows:
?	3.1.2Perform excavation within drip-line of large trees to remain by hand, and protect the root system from Relocate all removed soil on property to locations as directed by the Owner.	image. 30 bar diamete	rs (unless noted otherwise).	on each side as per code requirements.	Provide miscellaneous framing around openings as required.	7.4.12 Install metal flashing, vent flashing and edge protection as indicated and in compliance with details and recommendations of the NRCA Steep Roofing Manual. Ridge vent(s) / Gable vent(s) / Powered vent(s)	a. Joint Tape: Paper reinforcing tape.
	3.1.3 Relocate or remove all existing shrubbery, plantings and trees that are within the area of construction.	enfy superimposed p	and proper measures must be used so as not to damage, bulge or tip walls due to any pressure. Shoring, bracing, etc. shall be employed until the full dead load of the building is on the		locking, furring, stripping and similar items in direct contact with try to 15% moisture content after treatment.	be installed in combination with soffit vents.	 b. Joint Compound: Ready-mixed vinyl-type multi-purpose grade for entire interest. c. Water-Resistant Joint Compound: Special water-resistant type for treatment of
	with Owner if contractor is to relocate or remove shrubbery, plantings and trees before work occurs. Pr codar mulch in quantities as required for temporary housing of to-be-relocated plantings as directed by field. Locate plantings away from any direct duration of sunlight. Water as necessary.	wner in	de la companya del companya de la companya del companya de la comp	6.1.20 Plywood sub-flooring and sheathing	to be APA rated 32: 16 exposure 1.	7.4.13 Asphalt Roof: Install 5.8" "thk. C-D Exposure 1 plywood sheathing, GAF weather watch waterproof underlayment (at all rakes, overhangs, ridges, valleys and penetrations three foot wide and three feet at eave from face of wallt), balance of roof to be GAF shingle-mate underlayment and roofing to perfectly match.	cut edges of water-resistant and cementitious backing board. All products subject to compliance with requirements as per U.S.G. Co.,
D	1.1.4 Contractor shall stockpile all existing topsoil for re-use and provide new as required so as to provide 4°	shall he 100° • :	es in masonry unit types occur, or decrease in wall thickness, the top 8" course of wall below solid.	6.1.21 Plywood underlayment to be APA in	nterior, Group 1, exposure 1.	from size of wait), balance of fool to be GAF shingle-mate underlayment and rooting to perfectly match existing. Install all new copper flashing at valleys and penetrations etc. (including chimneys). Slopes applie for this spec shall be 4:12 and greater.	
"	topsoil on all altered areas of the sile. Rake out and level soil to finish grade. Leave all areas ready for by Owner.	eeding DIVISION 5 - S	TEEL neral Steel Materials	construction adhesive at plywood unde	nesive at plywood sub-floor installations and underlayment grade or ayment installation which meets APA-AFG-01 performance spees (i.e.	7.4.14 Asphalt Roof-Low Slope Application: Install 5.8" thk. C-D Exposure I plywood sheathing, GAF west	9.1.7Gypsum Board Application and Finishing Standards: ASTM C 840 and GA 216.
1:	3.1.5Backfill and compaction against foundation wall shall be trash-free material in 8-inch lifts. Backfill to		work shall comply with the Maine State Building Code.	•	02 VOC Compliant). Nail/screw before adhesive sets.	watch waterproof underlayment (at all rakes, overhangs, ridges, valleys and penetrations three foot wide and three feet at eave from face of wall), balance of roof shall follow manufacturers application instructions for	9.1.8 Locale exposed end-butt joints as far from center of walts and ceilings as possible, ar 1'-0" in alternate courses of board. Install ceiling boards in the direction and manner
_	compacted to 95° maximum dry density for cohesive soil and 98° for granular soil in accordance with A.S.T.M. D-1557. Care must be taken not to damage the foundation walls or the damp-proofing and waterproofing.		Il properly shore, brace and make safe all floors, roots, walls and adjacent property as job	Install all decking tight to one another (meranti species) decking shall be clear select or better. (no nail gap).	low-slope (2:12 to 4:12) applications. GAF Fiberglass Class 'A' Asphalt Roof Shingles (1a) Underlay ment: I Slope. Roofing to perfectly match existing. Install all new copper flashing at valleys and penetrations etc. (including chimneys)	at least 1'-0". Install wall/partition boards vertically to avoid end-butt joints wherever and similar high walls, install boards horizontally with end joints staggered over stud
	3.1.6 Footings shall bear on undisturbed, virgin soil and or supervised compacted fill, free of frost, having		ire. I shapes & tubing shall conform to the AISC Specifications for the Design, Fabrication and	6.1.24 Attach all decking lumber to framing surface 1 16".	with stainless steel, pneumatically actuated nails imbedded into finish	7.4.15 Copper Roof: Copper Roofing Sheets: Cold-rolled copper sheet complying with ASTM B 370 temper	gypsum boards in accordance with referenced standards and manufacturer's recomme otherwise indicated.
- 17	minimum allowable bearing capacity of 2,500 psf. Contractor shall notify Architect of any doubtful conditions responsible for verifying the presence of the required bearing conditions.	s but Erection of Str tubing shall co	netural Steel for Buildings. Structural steel shapes shall conform to ASTM A36 or A992 & steel inform to ASTM A-500 Grade B. Bolts shall be 3.4 inch diameter high strength ASTM A325.	Section 6.2 - Finish Carpentry		designation, H00, unless otherwise indicated (for lead-coated applications, refer to Wayne Scale for further information including but not limited to edge soldering) over base sheet underlayment installed as per	9.1.9Install gypsum wallboard as follows:
c	3.1.7The soils at the bottom of the footing excavations should not be exposed to the weather for abnormally periods. Care must be taken to preserve the natural state and supporting capacity of the soil at the botte.	Field connection	ons shall be welded or shall be 3.4" diameter unfinished bolts conforming to ASTM A307, unless		i pine or better with biscuit butt joints, primed all sides by G.C. prior to libe clear pine, primed all sides by G.C. prior to installation. Plywood C.	manufactures directions, 3.4" thk. B-C Exposure 1 plywood sheathing with miscellaneous framing as require match plan and elevation spees, and or provide a minimum of 'a' per foot slope (plans and elevations shall) represented by matching only provided and the statement of the provided plant of the plant of the provided plant of the provided plant of the provided plant of the plant of	a. On ceilings apply gypsum board prior to wall partition board application to the b. On partitions walls apply gypsum board vertically (parallel), unless otherwise sheet lengths which will minimize end joints.
	exervations. These soils will loosen and or soften rapidly in the presence of excess water. Agitation of workers or machines will significantly increase the rate of deterioration of the soils. For these reasons,	nv for Building shall	conform to the AISC Specifications for the Design, Fabrication and Erection of Structural Steel is well as the American Welding Society (AWS) D1.1 "Structural Welding Code - Steel".	6.2.2Interior trim shall be clear pine or popl	lar, continuous pieces, no finger jointed trim. Install with minimum	precedence). Provide materials and types of fasteners, solder, welding rods, protective contings, separators, scalants and accessory items as recommended by copper sheet manufacturer and fabricator for copper roofin work, except as otherwise indicated. Provide components required for a complete roof system. Ruise the	
	water collecting in excavations must be removed as quickly as possible. If the soils are disturbed, they removed until a firm undisturbed material is encountered, given sufficient time to re-stabilize, or comp	nust be Welding shall	be performed by certified welders. Welding electrodes shall be ASTM A233, Class E70XX,	number of joints using full length piece and stagger joints in adjacent members	es to the greatest extend possible. Use scarf joints at all end-to-end joints s. Do not install finish carpentry until required temperature and relative	leading wood shingle edge on a cant to prevent "line corrosion" and thus breaking the bond between wood shingle and copper flashing. Separate dissimilar metals by painting each metal surface in area of contact with	h a 9.1.10 Apply treatment at gypsum board joints (both directions), flanges of trim accesse
	in-place as directed by the Architect, or a Geotechnical Engineer, as required by the conditions as found 3.1.8The bottom of excavations for footings bearing on sound bedrock must be cleaned of all loose material	shall conform	shall be deformed billet steel bars conforming to ASTM A615. Grade 60 Welded wire fabric to ASTM A185	humidity conditions have been stabilize 6.2.3All trim shall be selected in the field w	ed and will be maintained in installation areas.	bituminous coating by applying rubberized asphalt underlayment to each metal surface, or by other permaner separation as recommended by manufacturers of dissimilar metals.	a. Apply joint tape at joints between gypsum boards, except where trim accessor
'	3.1.3.1 he bottom of excavations for footings bearing on sound bedrock must be cleaned of an foose materials and broom effect excavation must be mechanically scaled of loose materials and broom elean state before concrete placement.	c in a		6.2.4Furnish new shutters as indicated on th	he drawings. Shutters shall be manufactured by Kingsland Architectural	H. Wayne Scale E-mail: wscale \hat{q} cda.copper.org	 Apply joint compound in 3 coats (not including pre-fill of openings in base), at coats and after last coat.
B				Millwork 860,542.6981. Material shall "New York" style shutter hinge and sol	II be manogany and style shall "Farmington" shutter with copper cap. lid brass shutter holder. All parts sized as required for each fenestration	Pocopson, PA 19366-01-4 Tel: 610 793-3868 Fax: 610 793-3863	
L				and unit shown (typ.)			
L	Legend of Construction Loading (vriteria:		oject Information:	New Residence	for each near and the derivate section of the area as a section of the area as a section where area as a section where area as a section where a section of the area as a s	CIOIG EICENTO NA, LEED-NP
\dashv	Culating Partition to Remain Cuisting Partition to be Removed	20 lb/sq. 11. lwe	New First Floor 190190 FT New Porches 1409 20 FT Assessors T	1ap: 83A-E7,8 810 Zone: 182	Mrs. Connolly	And whenever a disease are not as the second of the second	NJ NJ 6261
	Now Patition 1 1001 L0003 Skeeping Areas	10 lb/sq. fl dead 40 lb/sq. fl. line		1ap: 85A:E7,8 \$10 Zone: 182 (Oup: 8-2 Const. Class.: 20			NY 090869-1 U
	+ ++ Pod Olher Avers	20 lb/ sq. [1, dead 20 lb/ sq. [1, lwc	New Second Floor 240 20.FT.	·	Mr. & Mrs. Rol		^ Interiors :: Architecture :: Planning ^ Drawing Title
1	1 16 Fool Nove R OOI LOOMS Nove Pool Nove P althroom	10 lW sq. 11 dead 40 lW sq. 11 lwc	Told of New 2,491 90 PT Residential	ction s :	Crescent Avenue		PEZUMA ARCHITECTS L.L.C.
	Arched Opening Exterior Decko	20 lb/sq ft deod 70 lb/sq lt.line 10 lb/sq ft deod	2003 IKL	Code (Irland and Edemal)	Portland, Maine C	No. Date Revision(s): Scale: 1/4" - 1"-0" or as noted	235 MAIN STREET #235 General Notes MADISON, NEW JERSEY 07940
	(8'-0') Celling / W dl Meight		· · · · · · · · · · · · · · · · · · ·				

	2	4 3	6	7 8	9 10	
Section 9.3 - Ceramic Tile 3.3.1 Standards: Adhesive and grout materials and installation standards o	of the American National Standards Institute	9.4.16 INTERIOR PAINT SCHEDULE:		DIVISION 16 - ELECTRIC	AL/FIRE LIFE SAFETY	
(ANSI) and Handbook for Ceramic Tile Installation by the Tile Cou the work, except as otherwise noted.	neil of America. (current Edition) apply to	Gypsum Drywall Systems (except bathrooms):		Section 16.1 - General	ld electrical system to comply with the N.F.P.A. National Electrical Code,	
	d and desired TO	Eggshell Emulsion Finish: 3 Coats. First Coat: Interior Latex Base Primer Coat.		Underwriter's Laboratories ar	all other authorities having jurisdiction. Contractor shall provide all items.	
2.3.2Contractor to provide ceramic tile installation at all areas as indicate selected by owner. Tile at floor and wall conditions shall be set in tr	I on the drawings. Tile and grout as roweled latex portland cement mortar.	(i.e. S.W. Pro Block B51-W20)	xcept bathrooms		or methods listed, mentioned or scheduled on the drawings and or specifications, equipment, and incidentals necessary for their completion. All work to be	The state of the s
Sub-straight shall be as follows:		(i.e. S.W. White Pigmented Shellac) Second and Third coats: Interior Eggshell Lat	bathrooms only ex Base Paint	coordinated with work of oth	r trades. All piping and electrical penetrations shall be centered in joist depth.	Table 1—Creat Proportions by Valence (ed. 3). Parts by relation. Parts by relation. 3.
Floors: Direct adhere over 1, ** Durock or Wonderboard		(i.e. S.W. Duration Home or Superpaint)	lrywall only		e for damage to any other work caused by the installation of his her work.	Type of perturbation and of hydrand hone measurable a fame form condition
(no or equals) installed as per manufacturers directions Walls: Direct adhere to water resistant gypsum board.		(i.e. S.W. Cashunere) plaster	oniv		amp 120 240 60Hz Single Phase underground electrical service NLC main panel new work (one panel for each side).	
Walls & Ceiling in Shower Area: Direct adhere over '3" Durock or Wonderboard	4	Painted Woodwork and Hardboard: Semi-Gloss Enamel Finish: 3 Coats.		16.1.3 Label circuits on circuit bro	Control Contro	Two. 1 Sin to 2 Shah Yang the good good
(no or equals) installed as per manufacturers direction	ms and metal lathe mechanically fastened to	First Coat: Interior alkyd Undercoat. (i.e. S.W. Pro Block HS B79-W810) voc ec	meliant		•	
sub-floor and embedded in thin set over ice and wate (sub-floor) with continuous turned up perimeter edge	es sealed with Lexel Clear All Purpose	Second and Third Coats: Interior Semi-Gloss	Alkyd.	16.1.4 All RX wiring with plastic thermoplastic insulation rated	oxes. All interior wiring to be Romex, 14 gauge THWN copper wire with 600 volts. No aluminum.	Court. 1 976 by 274. to lines the man 5 476 larger the man of 1976 and 1976 to
elastomeric compound manufactured by Sashoo 800.	289.7290 and available at Jacger Lumber	(i.e. S.W. Pro Classic XP B34-W555) voc o	ompliant	16.1.5 Verify all device locations		constitution and the constitution of the const
and and and and		Radient Barrier (bottom of installed roof sheathing): E-Barrier by Sherwin Williams (B68 S100)				
Section 9.4 - Painting 9.4.1 Contractor shall include priming of exterior trim prior to installation.	exterior doors and fascia sotlit boards, as	#50-000 (0.00 0.00 0.000 0.0000 (0.000000000		16.1.6 Contractor shall furnish and required by Owner's fixture(s)	install all bulbs for fixtures to be provided by Contractor as specified and or	
specified below, in complementary color to top coat. Allow 24 hour	re-coat time.	Section 9.5 - Wood Flooring 9.5.1Provide material and installation in accordance with	referenced manufacturers instructions.	16 1 7 All switches recentacles a	d plates are to be as specified. Provide dimmers as indicated, color as selected by	TABLE 1—ASTM C 270 Proportion Specification Requirements (rel. 4)
4.2Scal all new and newly exposed CMUs where storage or habitable s	spaces occur with S.W. H.&C. Block Shield	9.5.2All new wood flooring and steps (entire residence) sl		owner.	plates are to be as specified. I fortide officiales as indicated, color as selected by	Proportions by volume (originalities, materials)
Masonry Water proofing.		finished with one coat sealer and two coats of Polyur	eseal BP polyurethane in Gloss or Satin to mate	h existing 16.1.8 All down-light frame in kits	in insulated ceiling conditions shall be "insulated ceiling" type housings for	Portland centeral Aggregate ratio
9.4.3 Work includes painting and finishing of interior and exterior expose except as otherwise indicated.	d items and surfaces throughout project.	(Safe Building Solutions 262,968.5070).		buried in insulation condition		blended convent. M S N M S N or line putty loose condition)
AND STATE OF THE S	asial and and business are features as	DIVISION 10 - SPECIALTIES			hish and install thermal photoelectric smoke detectors in each bedroom and at each	
9.4.4Single Source Responsibility: Provide primers and other undercoat finish coats (i.e. Sherwin Williams). Use only thinners approved by	paint manufacturer, and use only within	Section 10.3 - Bathroom Accessories 10.3.1 Contractor shall install bathroom accessories as fun	nished by owner.	Detector units shall be a min	than 10'-0" long) with battery backup. Connect units in tandem with each other, num of 3'-0" away from any bathroom door, HVAC supply grille, and HVAC	
recommended limits. Every effort shall be made to comply with VC Transport Commission (OTC).	IC restriction standards as per the Ozone	10.3.2 Install accessories in accordance with manufacturer	's instructions, using fasteners appropriate to su	return grille. Units in bedroot b-straight the bedroom door. Power ve	ns shall be no closer than 4" to any side-wall and no further than 3".0" away from its shall be wired to smoke detection system so as to automatically cut off if smok	-t-
2.4.5Deliver materials to job site in original, new and unopened packages	s and containers bearing manufactures	and recommended by manufacturer of unit. Install p			and the state of t	Mortar Coment M Not less than 2% and M not upon than 3 kines
name and label. Store materials not in actual use in tightly covered	containers. Maintain containers used in	owner in field.			mish and install are receptacles and carbon monoxide detectors within 10' or less	s be sum of the
storage of paint in a clean condition, free of foreign materials and re necessary and adequately protected from fire hazards and health haz	sidue. Protect from freezing where eards resulting from handling, mixing and	DIVISION 12 - FURNISHINGS Section 12.1 - Cabinetry			ch level with bettery backup. Detector units shall be a minimum of 3-0" away C supply grille, and HVAC return grille	separate volunta of committees makerials.
application of paints.		12.1.1 All kitchen / butler pantry cabinets, tops, appliance		oughing	interes.	그리는 그리고
9.4.6Apply water-base paints only when temperature of surfaces to be pa	inted and surrounding air temperatures are	and final hook-ups. Coordinate with owner's kitchen Match kitchen vendors' drawings with respect to all I	vendor and closely follow kitchen vendor's dra	wings. 10.1.12 Furnish and install a	nulti-tone door-bell and button(s) as required and as selected by Owner for the	
between 50 deg. F (10 deg. C) and 90 deg. F (32 deg. C), unless oth printed instructions.	erwise permitted by paint manufacturer's	most current drawings available.	/ more an entrock to sign off on all change	s non une	s shall be located after gypsum board has been installed, with owner and architec	1 . The 18 th 18 t
,		DIVISION 15 - MECHANICAL				
3.4.7Do not apply paint in snow, rain, fog or mist, or when relative humi- surfaces, unless otherwise permitted by paint manufacturer's printed		Section 15 - HVAC		1-888-432-8932. Provide por	ve radiant under-floor heating system by Bask Technologies LLC. er as required. Provide one installation kit per room. Supply and install Digital	
ž 0,50		15.1.1 General: Provide Design build mechanical system: Laboratories, 2006 International Energy Conservation	n Code (residential & multifamily under three s	Programmable Sun Touch Fi	or-Stat. Install as per manufacturer recommendations including using cement	Note—Two sar-entraining materials should not be contained in morter
4.8Provide best quality grade of various types of coatings as regularly manufacturers. Lead content in pigment, 0.00° • lead, as lead metal	based on the total non-volatile (dry-film) of	1F.C.C. 2004 403 6 F 6 C 6 I D.C. 2004	M1401.3 Sizing e.g. A.C.C.A. Manual J heatin	g/cooling and ground intensity along	acturers' video prior to installation. Provide and utilize one "Loud Mouth" circui tilize as per manufacturer directions and give alarm to Owner at completion of	
paint by weight.		provide all items, articles, materials, operations or m	ethods listed, mentioned or scheduled on the dra	wings work.	-	
4.9Accepted Alternate Manufacturers:		and/or specifications, including all labor, materials, of All work to be coordinated with work of other trades				
Benjamin Moore Pratt & Lambert		joist depth.	, , , , , , , , , , , , , , , , , , ,	Tag Description		
Pittsburgh Paints		15.1.2 Install new LP gas and electric fired boiler units (o	ne per side) (with all applicable accessories as p	er code) as	son solid 1 242 this sained and decorate	
4.10 Applicator must examine areas and conditions under which painting		manufactured by Utica.		(2) 1'-4" +/- (f.v.) double par	pson solid 1 3/4" thick raised panel door with SDL sidelights and Reeb Millwork Corp. Ultra-View wood screen(s) sash only	
Contractor in writing of conditions detrimental to proper and timely rust, scale, grease, moisture, scuffed surfaces, or conditions otherwi-	completion of work. Do not paint over dirt, se detrimental to formation of a durable	13.1.3 Performance Efficiency Requirements	6	(no glass sash) w deluxe hare	ware kits and 2" thick oak saddle.	
paint film.		Heating System must maintain interior temperature of 70 degrees F at 0 degrees F ambient temperature.			mon double pane SDL 9 lite door with Reeb Millwork Corp. Ultra-View wood	
4.11 General: Perform preparation and cleaning procedures in accorda		Cooling System must maintain interior temperature o 75 degrees F at 95 degrees F ambient temperature.	r.		ash) w/deluxe hardware kit and 2" thick oak saddle.	
and as herein specified, for each particular substrate condition. Clear paint or surface treatments. Remove oil and grease prior to mechan	sical cleaning. Program cleaning and		A FI IFF	C (2) 3-0" steel insulated doo	s (flat penel).	
painting so that contaminants from cleaning process will not fall on	o wet, newly painted surfaces.	Boiler efficiency (Conditioned Basement) 90%		B		REScheck Software Version 4.2.1
Wood: Clean wood surfaces to be painted of dirt, oil, or other forci		15.1.4 Materials: ductwork shall be constructed so as to co	onform to SMACNA.	Door Schedule Notes:		IVI
and sandpaper, as required. Seal tops, bottoms, and cut-outs of unprivarish or equivalent sealer immediately upon delivery to job.	imed wood doors with a heavy coal of	15.1.5 All joints of duct systems shall be made substantial	y airtight by means of tapes, mastics, gasketing	or other Plumbing Fixture Legend a	d Notes	Compliance Certificate
	mate dimentions	approved closure systems.		Plumbing Fixture Legend a	u nuc	Energy Code 2003 IECC
9.4.12 Mix and prepare painting materials in accordance with manufactur		Closure systems used with rigid fibrous glass ducts s	hall comply with UL 181A and shall be marked	Tag Description		Location Portland, Maine Construction Type Single Family
9.4.13 Apply paint in accordance with manufacturer's directions. Use ap- substrate and type of material being applied. Paint colors are to be:		"181A-P" for pressure-sensitive tape "181 A-M" for mastic			4S and seat (clongated model).	Glazro Aire Percentage 14%. Heating Dogwe Doys 7378
indicated in the contract documents. Provide finish costs that are co	mpatible with prime paints used. Sand	"181 A-H" for heat-sensitive tape.		B Renovators Cloakroom sin Owner, 800,659,2211	with pedestal Model* 19355 in white with 4" center-set fixture as selected by	Construction Site: Owner/Agent: Designer/Contractor:
lightly between each succeeding enamel or varnish costs.		Closure systems used with flexible air ducts and flex	ible air connectors shall comply with UL 181B	and shall be C Med cabinet - Furnished by		Construction are: Cwine negative Design efforting or: Mrs Corolly and Mr. & Min. Roberts Crescent Ave Engurer Auchiects
9.4.14 During progress of work, remove from site discarded paint materi- work day.	als, rubbish, cans and rags at end of each	marked "181B -FX" for pressure-sensitive tape		E Tub - American Standard S	It in sink (see drawings for size) on cherry cabinet allow \$350 / linear foot. ectra recess bath 60" x 32"x 16"h. allow \$500 for mixing value.	Graw Damond Natura 235 Main Street Portland ME 04109 Suse xx353
00000 50		"181B -M" for mastic.		F Stall shower - tile shower f	oor, ceiling and walls with brass-framed glass door allow \$500 for mixing valve, ner and installed by G.C. with adequate fasteners into solid framing behind for	Madison, NJ 07940
0.4.15 EXTERIOR PAINT SCHEDULE: General Painted Wood:		Duct connections to flanges of air distribution system		nanically actual weight of mirror		ses 313 stept
Painted Wood Trim:		fastened. Crimp joints for round ducts shall have a comechanically fastened by means of at least three she		ll be		Completice 4.6% Sedies Than Code Masonum UA 521 Your UA 527
Semi-gloss Emulsion Finish: 2 Coats.		15.1.6 G.C. to furnish and install ductwork as required, to				Assembly Gross Gavey R Cont R Graing UA Area or Value Value of Cor
First Coat: Exterior Latex Base Primer Coat. (i.e. S.W. Pro Block B51-W20)				Tag Description		
Second Coat: Exterior Serni-gloss Latex Base Paint		15.1.7 G.C. to furnish and install insulated (min. R-8) due	twork, as required, to exterior, for bathroom ext	1 3:4 tipek Select grade,	trip oak flooring, red or white to match existing over rosin paper lapped and	Second Floor City Flat Celling or Science Truss 1355 36 0 0 0 41
(i.e. S.W. Duration Exterior or Superpaint)		15.1.8 All ducts in the outside walls and unconditioned an	eas shall be insulated with 1" thick fiberglass w	ap with 2 Ceramic tile allow \$7.50	ab-straight for a squeak free installation. for material only: Extend tile on floor only including 6" high perimeter round	TW3845 Wood Frame Double Pane with Low-E 90 0:330 30
Stained Wood (new paint over previously stained): Flat Stain.: 2 coats		vapor barrier.	1200 MD M 1200 9 5 0 900	edge base tile. G.C. to s	al at completion of work.	TW3046 Wood Frame Couble Pane with Low-E 30 0330 10
First Coat: Alkyd Primer		15.1.9 Provide a one year labor warranty from date of sub modifications or adjustments for a properly functionic		in tub/shower area with	for material only: Extend tile on floor and four feet up walls. Full height on wall iagonal pattern on ceiling, G.C. to seal at completion of work.	
(i.e. S.W. Pro Block HS B79-W810) Second Cost: Exterior Solid Latex Stain.			ng system			First Roor Whood Frame, 16" o c 1850 19 0 0 96 TW08410 Whood Frame Double Pane with Low-E 154 0.330 51
(i.e. S.W. Duration Exterior or Superpaint)		Section 15.2 - Plumbing 15.2.1 General: Provide design build plumbing system to a	conform to the National Standard Plumbing Co.	de and		TW/2010 Wood Fame Double Pave with Lov-E 22 0.330 7
Painted Cementitious Siding:		applicable requirements of any local codes having ju	risdiction. Contractor shall provide all items. ar	ides.		TW3042 Wood Frame Double Pane with Low-E 83 0390 27
Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100* Acrylic Base Primer Coat		materials, operations or methods listed, mentioned or all labor, materials, equipment, and incidentals neces	sary for their completion. All work to be coordi	nated with		PV/2AG Mod Frame Double Paner with Low-E 46 0.330 15
(i.e. S.W. Pro Block B51-W20)		work of other trades. All piping and electrical penetr responsible for damage to any other work caused by	ations shall be centered in joist depth. Contract			DHT0042 Viryl Frame Double Pane with Low-E 15 0:300 5 Front Door Solid 21 0:200 4
(No Alkyd Primer due to saponification*) ("Saponification is the hydrolysis of an ester under bas	sic conditions to form an alcohol and the sale					9 Let Dons Said 84 0 200 17
of a carboxylic acid. Saponification is commonly used to	o refer to the reaction of a metallic alkali	15.2.2 Keep materials under cover and dry. Protect against	st exposure to weather or any damaging condition	as.		Basement Walt Masonry Block with Empty Cells 1951 0.0 10.0 105
(base) with a fat or oil to form soap.) Second Coat: Exterior Semi-gloss Latex Base Paint		15.2.3 All waste shall be P.V.C. schedule 40, vent pipe sh roof shall be copper, all water risers shall be 3:4" cop	all be P.V.C. schedule 40 and vent penetrations	through		With height 8.0' Depth below grade 8.0'
		groups shall have separate accessible ball valves. Al	I ball valves shall be manufactured by Boston o	r Apotlo (no		Insulation depth 80
(i.e. S.W. Duration Exterior or Superpaint)		or equals) All gas piping shall be black pipe schedu be 1.8" per foot for soil lines larger than 3" in diame	ter and 's" per foot for soil lines 3" in diameter	stope shall or less.		Completion Statement. The proposed building design described here is consistent with the building plans, specifications, and other chapters are stated in the proposed building design described here is consistent with the building plans, specifications, and other chapters are stated in the proposed building design described here is consistent with the building plans.
(i.e. S.W. Duration Exterior or Superpaint) Painted Stucco:		22 11 E 25 10 PE 10 PE 10 PE				colonates assessment for projection of the projection of the same and the projection of the colonial c
(i.e. S. W. Duration Exterior or Superpaint) Painted Stucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100° a Acrylic Base Primer Coat		15.2.4 Furnish and provide three new 12" frost-free sill ed	located in an accessible and conditioned space)			Name - Tide Signature Date
(i.e. S. W. Duration Extendr or Superpaint) Painted Shoco: Seme-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100** Acrylic Base Primer Coat (i.e., S. W. A100)		and Architect. Provide boiler drain after ball valve (aite darie formiste desiries commerce			
(i.e. S. W. Duration Extendr or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100* Acrylic Base Primer Coat (i.e. S. W. A100) (No Altvd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint		and Architect. Provide boiler drain after ball valve (negative pitch from the sill cock outlet towards the b	other drain for winter draining purposes.			
(i.e. S.W. Duration Extenior or Superpaint) Painted Stucco: Semu-gloss Emulsion Finish: 2 Coats. First Coat: Extenior Latex 100° Acrylic Base Primer Coat (i.e., S.W., A100) (No Altxyl Primer due to saponification)		negative pitch from the sill cock outlet towards the b 15.2.5 Furthest plumbing fixture (excluding sill cocks) sh	all receive Taco Plumb n' Plug model =006-BC-	-SPNP		
(i.e. S. W. Duration Extendr or Superpaint) Painted Shocco: Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100* Acrylic Base Primer Coat (i.e. S. W. A100) (No Alkyd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint		negative pitch from the sill cock outlet towards the b	all receive Taco Plumb n' Plug model =006-BC-	-SPNP retions.		
(i.e. S.W. Duration Extenor or Superpaint) Painted Stucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100* Acrylic Base Primer Coat (ii.e. S.W. A100) (No Alk'd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint		negative pitch from the sill cock outlet towards the b 15.2.5 Furthest plumbing fixture (excluding sill cocks) sh	all receive Taco Plumb n' Plug model =006-BC-	-SPNP actions.		
(i.e. S.W. Duration Exterior or Superpaint) Painted Stucco: Sema-gloss Emulsion Finish: 2 Coats. Final Coat. Exterior Latex 100° a Acrylic Base Primer Coat (i.e. S.W. A 100) (No Altx4 Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A 100)		negative pitch from the sill cock outlet towards the b 15.2.5 Furthest plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode	all receive Taco Plumb n' Plug model =006-BC- = 258-4 (3 4" sweat) installed as per unit instri	actions.		
(i.e. S. W. Duration Extendr or Superpaint) Painted Shocco: Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100* Acrylic Base Primer Coat (i.e. S. W. A100) (No Alkyd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint	Loading Crite	negative pitch from the sill cock outlet towards the be 15:2.5 Furthers plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode	all receive Taco Plumb n' Plug model =006-BC- = 258-4 (3 4" sweat) installed as per unit instri	Project Information:	NI=P=-:1	Tomas, minus in and mission must decime a series of the form of the series of the seri
(i.e. S.W. Duration Extenor or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100° 4 Acrylic Base Primer Coat (i.e. S.W. A100) (No Altxd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100)	Loading Crite	negative pitch from the sill cock outlet towards the b 15.2.5 Furthest plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode	all receive Taco Plumb in Plug model #006-BC = 258-4 (3.4" sweat) installed as per unit instit Calculations:	actions.	New Residence	TOT: Securitary to the control of th
(i.e. S. W. Duration Extenor or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latex 100* Acrylic Base Primer Coat (i.e. S. W. A100) (No Altx4 Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S. W. A100) Legend of Construction Lucking Fortillon to Renoin Lucking Fortillon to be Renoved		negative pitch from the sill cock outlet rowards the b 15.2.5 Furthest plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode eria: Area / Volume New First Fill New Parches	all receive Taco Plumb in Plug model #006-BC. 1 = 258-4 (3.4" sweat) installed as per unit installed as per unit installed as per unit installed. Calculations:	Project Information:	New Residence	TOT: Securitary to the control of th
(i.e. S.W. Duration Extendr or Superpaint) Painted Shoco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100* Acrylic Base Primer Coat (i.e. S.W. A100) (No Altyd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100) Legend of Construction Establing Portition to Renain Establing Portition to the Renaved Now Portition Now Portition	Floor Loads X Staping Aces	negative pitch from the sill cock outlet towards the b 15:2.5 Furthest plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode 27:1 a: Area / Volume New First Fit New Forches 20:4:5 Force 20:4:5 Forc	all receive Taco Plumb in Plug model #006-BC. = 258-4 (3.4° sweat) installed as per unit install Calculations: DOI: 1991-20-17 1.409-20-17 Assect	Project Information:	Mrs. Connolly	tor; and formation of the control
(i.e. S.W. Duration Extenor or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100° 4 Acrylic Base Primer Coat (i.e. S.W. A100) (No Altvd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100) Legend of Construction Eusling Fortilion to Renown Eusling Fortilion to be Renowed Now Partition Now Partition Now Partition	Floor Loads XX Ploor Loads XX Other hears 22	negative pitch from the sill cock outlet towards the b 15:2.5 Furthers plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode Stria: Area / Volume New Find Fill New Forches Of Was 11 her Of Was 10 feet Of Was	all receive Taco Plumb in Plug model #006-BC. = 258-4 (3.4" sweat) installed as per unit installed as per uni	Project Information:	Mrs. Connolly	tor: Continue Con
(i.e. S.W. Duration Extenor or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100° + Acrylic Base Primer Coat (i.e. S.W. A100) (No Altvd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100) Legend of Construction Lucking Fortillion to Renown Exacting Fortillion to Renown Now GypPd over Exist. Franking	Floor Loods X Skeping Aces Floor Loods 4 Che Aces	inegative pitch from the sill cock outlet towards the bills 2.5 Furthest plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode (Union) with Taco Bronze Shut-Off Union Set mode (Union) with Taco Bronze Shut-Off Union Set mode (Union) with Taco Bronze Shut-Off Union Set Meet (Union) Set Meet	all receive Taco Plumb in Plug model #006-BC. = 258-4 (3.4" sweat) installed as per unit installed as per uni	Project Information: Project Information: 2019 Map: 804678810 Zone: 82 Use Group: 83 Const. Class: 3	Mrs, Connolly Mr, & Mrs, Rob	for: Continue Con
(i.e. S.W. Duration Extenor or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100° 4 Acrylic Base Primer Coat (i.e. S.W. A100) (No Altxd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100) Legend of Construction Eucling Fortilion to Remoin Eucling Fortilion to be Removed Now Partition Now Fortilion Now Fortilion Fortilion To Be Painting 1 + + + Foot 1 + - + Foot 2 Foot New	Floor Loads 20 20 20 20 20 20 20 20 20 20 20 20 20	inegative pitch from the sill cock outlet towards the b 15.2.5 Furthers plumbing fisture (excluding sill cocks) sh (Union) with Taco Bronze Shui-Off Union Set mode (Union) Il here (Union) Il her	all receive Taco Plumb in Plug model #006-BC. 1 = 258-4 (3.4" sweat) installed as per unit instal Calculations: Out 1991-90-17 1409-90-17 1719-90	Project Information: Project Information: 2012 Map: 80AC18110 Zone: 80 Use Group: 80 Const. Class. 20 Unisolictions:	Mrs. Connolly	berts - GDI - REZUMA ARCHITECTS LLC.
(i.e. S.W. Duration Extendr or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100* Acrylic Base Primer Coat (i.e. S.W. A100) (No Altvd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100) Legend of Construction Eucling Portition to Remain Eucling Portition to the Remain Lucking Portition to the Remain Now Sypbid one Eucl. Francing 1 + + Food 1 + + Food 1 + + Food 1 + + Food 1 + + + Food 2 + + + + Food 3 + + + + Food 3 + + + + Food 4 + + + + Food 3 + + + + Food 4 + + + + Food 4 + + + + Food 6 + + + + + Food 7 + + + + Food 8 + + + + + Food 8 + + + + + + + + + + + + + + + + + + +	Floor Loads 20 Supply Area Floor Loads 20 Cities Aven 20 Supply Radio Ody 20 Radio Ody 20 Supply Radio Ody	inegative pitch from the sill cock outlet towards the bills 2.5 Furthest plumbing fixture (excluding sill cocks) sh (Union) with Taco Bronze Shut-Off Union Set mode (Union) with Taco Bronze Shut-Off Union Set mode (Union) with Taco Bronze Shut-Off Union Set mode (Union) in the Shut-Off Union Set in the	all receive Taco Plumb in Plug model #006-BC. = 258-4 (3.4" sweat) installed as per unit instal Calculations: DOI 1991-20-17 1499-20-17 1249-20-17 Floor 90-20-17 Code 2,491-20-17 Resident	Project Information: 2012 Map: 82457.880 Zone: 82 Use Group: 82 Cored. Class. 2 Jurisdictions:	Mrs. Connolly Mr. & Mrs. Rob Crescent Avenue	tor: Constitution Constitution
(i.e. S.W. Duration Extenor or Superpaint) Painted Shucco: Semi-gloss Emulsion Finish: 2 Coats. First Coat. Exterior Latex 100° 4 Acrylic Base Primer Coat (i.e. S.W. A100) (No Altxd Primer due to saponification) Second Coat: Exterior Semi-gloss Latex Base Paint (i.e. S.W. A100) Legend of Construction Eucling Fortilion to Remoin Eucling Fortilion to be Removed Now Partition Now Fortilion Now Fortilion Fortilion To Be Painting 1 + + + Foot 1 + - + Foot 2 Foot New	Floor Loads 20 20 20 20 20 20 20 20 20 20 20 20 20	inegative pitch from the sill cock outlet towards the b 15.2.5 Furthers plumbing fisture (excluding sill cocks) sh (Union) with Taco Bronze Shui-Off Union Set mode (Union) Il here (Union) Il her	all receive Taco Plumb in Plug model 2006-BC. 1 = 258-4 (3.4" sweat) installed as per unit install Calculations: Out 1991-20.FT 1,499-20 FT 1,499-20 FT 2,491-20 FT Code: 1,491-20 FT 2,491-20	Project Information: Project Information: 2012 Map: 80AC18110 Zone: 80 Use Group: 80 Const. Class. 20 Unisolictions:	Mrs, Connolly Mr, & Mrs, Rob	tor: Constitution Constitution

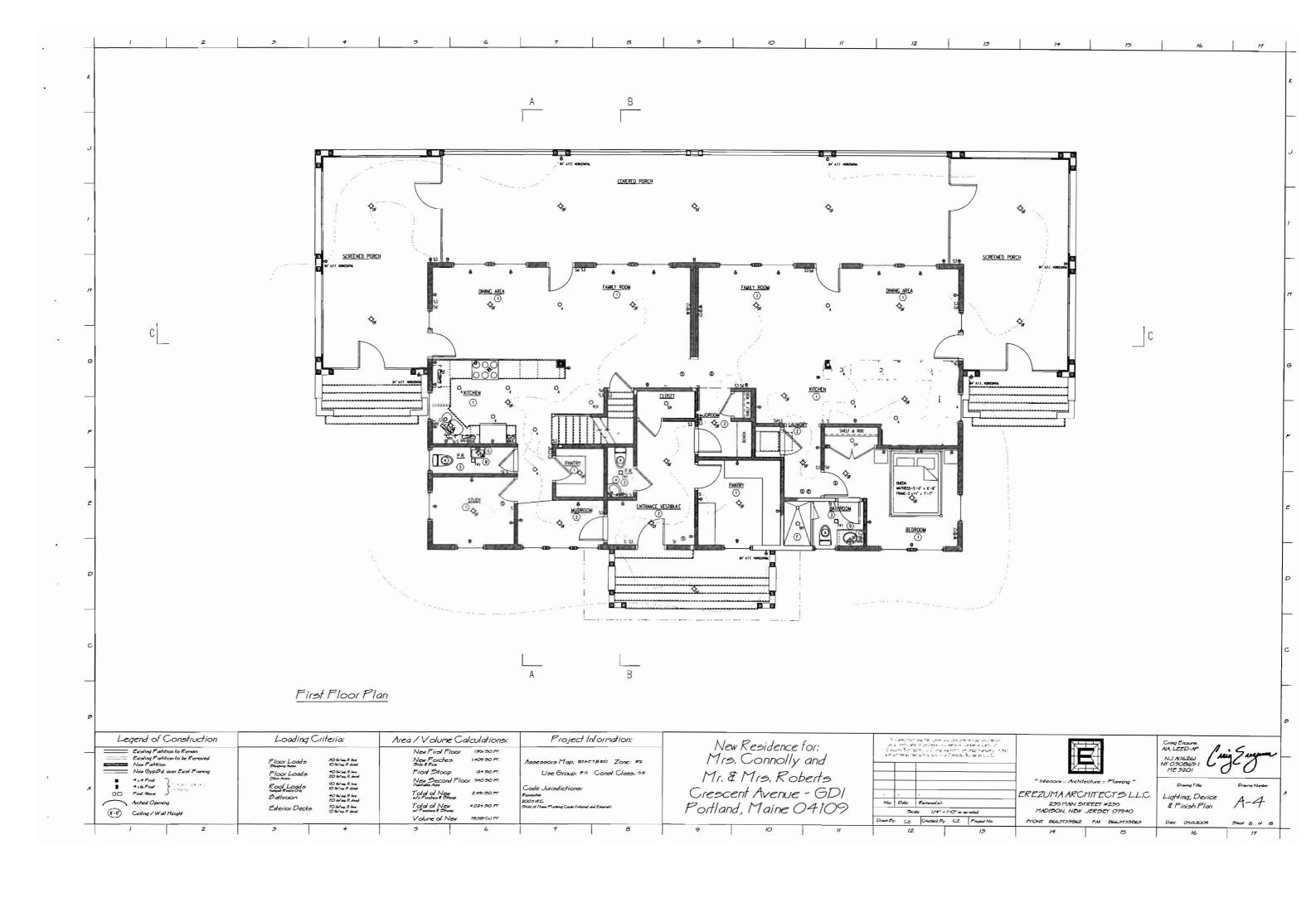


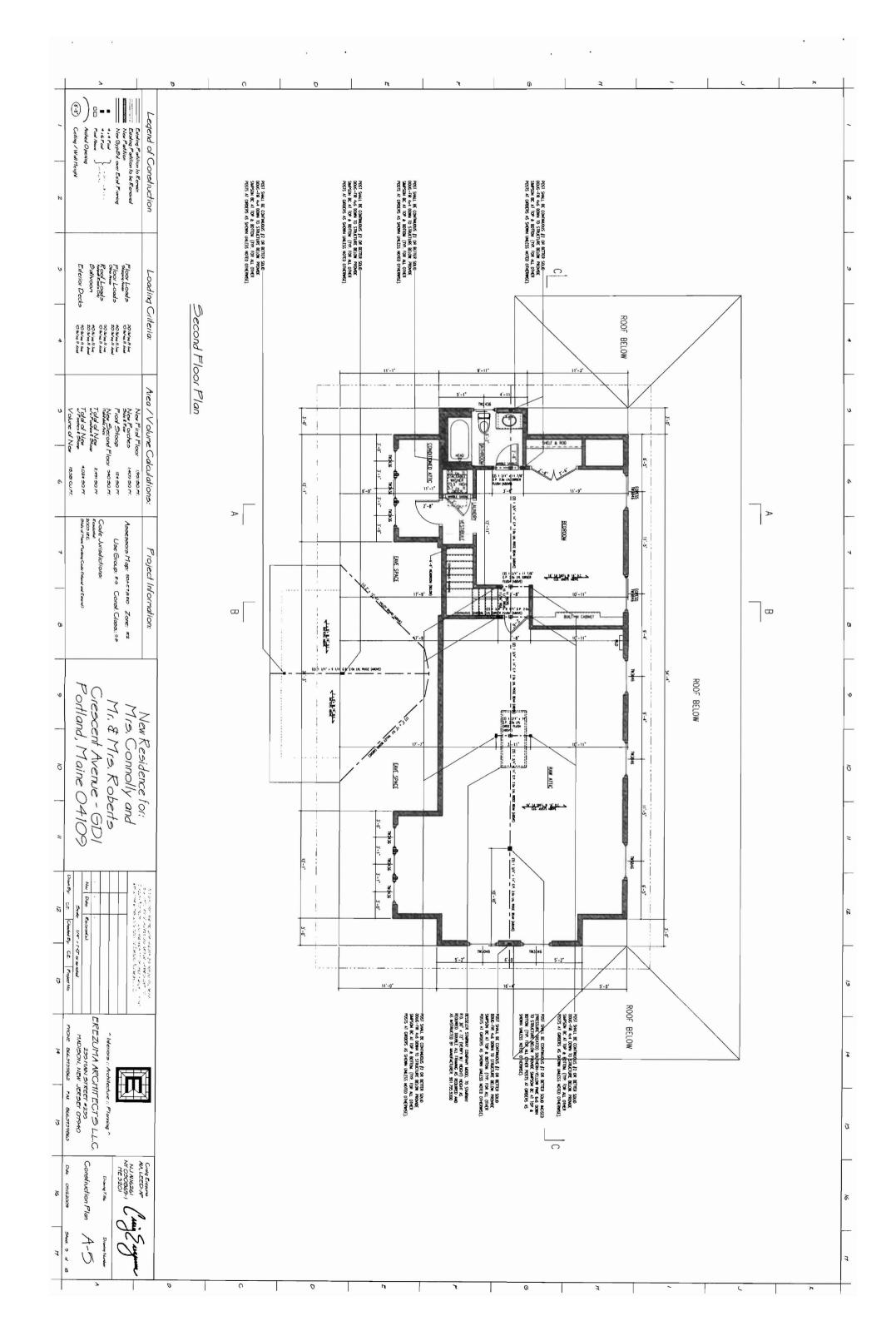


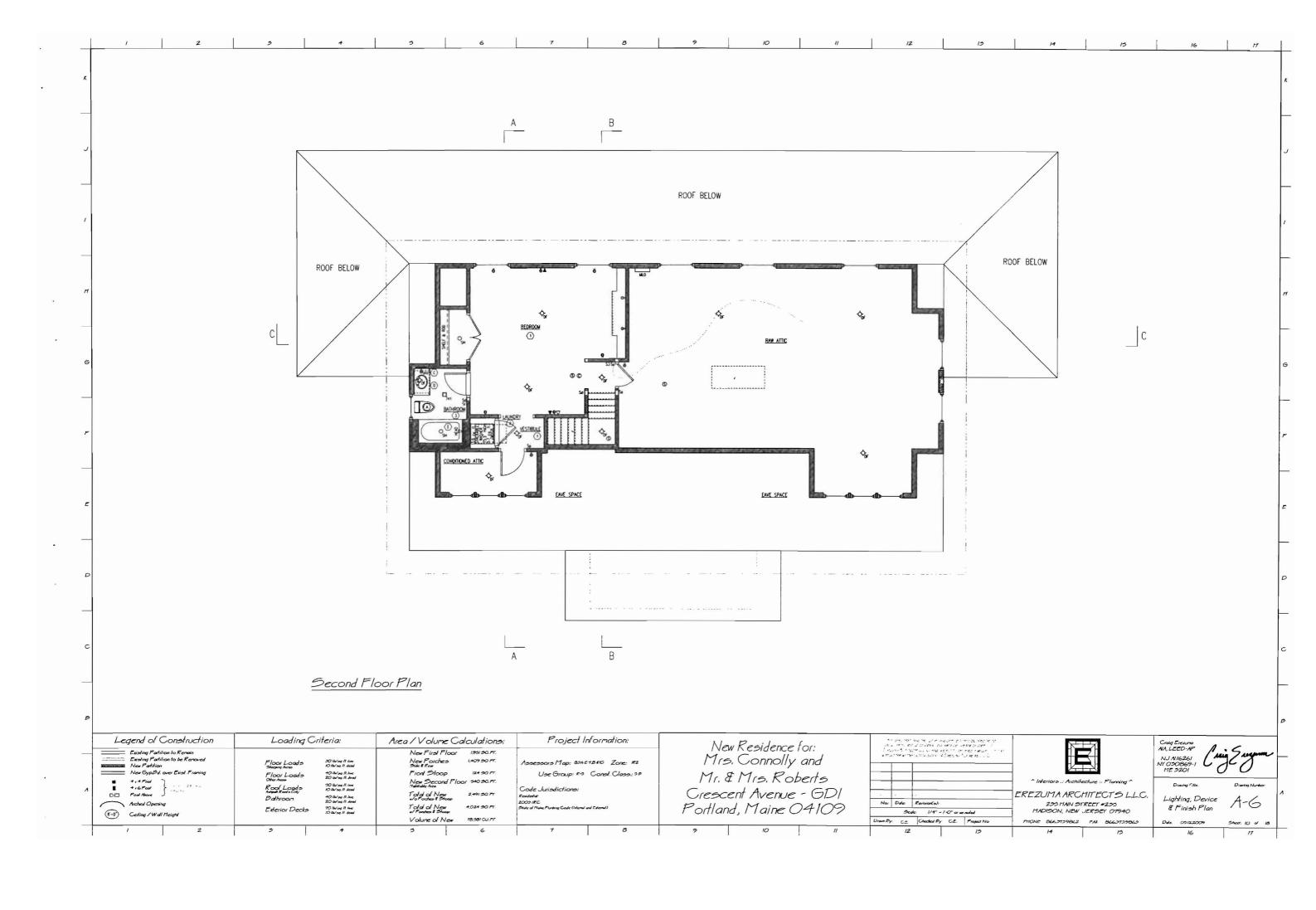


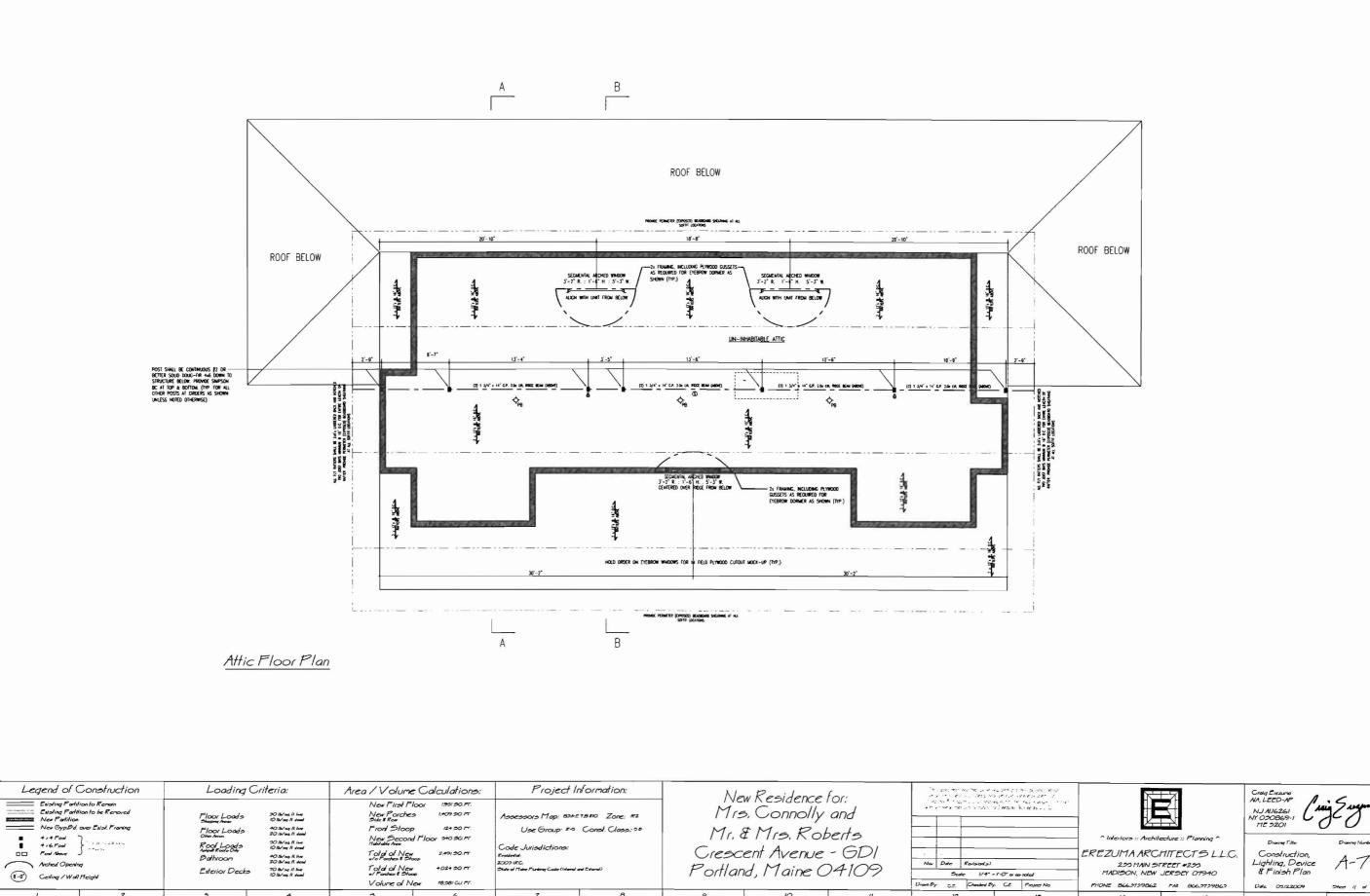


	Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for:	this decreased was the continue contract representation of the contract of the		Crolg Ercauno NA, LEED-NP 1 . C	
A	Elisting Patition to Renain Elisting Patition to be Renaved Second New Patition New Patition New Coyled over Elist Francing	Floor Loads 50 N/ss ft live Stepping from 10 N/ss ft live Office ft live Office ft live Office ft live Office ft live Stepping ft live Steppin	New First Floor 199190.FT. New Porches 140790 FT. Side From Floop 12490 FT New Second Floor 24090 FT Hall Methods 14090 FT	Nocoporo Map: BOACTBERO Zone: #2 Upe Group: #9 Corpl. Class: 98	Mrs. Connolly and	Proposition and represent the representation of the second	^ Interiors :: Architecture :: Planning ^	NJ NJ N6261 (Ning Sugaram NT 020869-1 (Ning Sugaram NT 0201 (Ning Sugaram NT 0201 (Ning Nobel Nobel Nobel Ning Nobel Nobel Ning Ning Ning Ning Ning Ning Ning Ning	Je 0
	# 4.6 Peal Peal Nove Norhed Opening (\$-0) Celling / Wall Height	and Name) Both hoor 20 Arms 11. New Delth hoor 20 Arms 11. New Exterior Decks 10 Arms 11. New Exterior Decks 10 Arms 11. New	Told of New 2.491.50.FT We Forther & Steep Told of New 4.024.50.FT We Forther & Steep Volume of New 78.581.CU.FT.	Code Juriadictions: Residuits 2003 IRC State of Home Plumburg Code (Internal and External)		No: Date Restrict(s). State 1/4" -1-0" or as noted Drawn Dy: C.s.: Checked Dy: C.L.: Project No.	EREZUMA ARCHITECTS L.L.C. 233 MAIN STREET #233 MADISON, NEW JERSEY 07940 PHONE BULLTONESSE2 FM BULLTONESSE3	Construction Plan A-3	, 1
_	1 2	2 4	5 6	7 8	9 10 11	12 15	14 15	16 17	_









Dde 00122009

Volume of New

