Form # P 04 DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK **CITY OF PORTLAND** Please Read BU Application And Notes, If Any, Permit Number: 090584 PERMIT ISSUED Attached This is to certify that ROBERTS DOUGLAS S ETA Travis B has permission to _____ Build new 4,024 sq ft Single Fa SEP - 1 2009 ly Home inlaw rtment_2 drooms 4 baths AT Q₀ CRESCENT AVE Great Diamond Island 083A E00700L provided that the person or persons, first or composition accepting this permit shall comply with all of the provisions of the Statutes of Marie and of the Composition of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department. Noti tion of espectio Apply to Public Works for street line nd written dermissic rocured A certificate of occupancy must be and grade if nature of work requires procured by owner before this buildbefo his building or pa hereof is such information. or othe ing or part thereof is occupied. lathe éd-in. 24

HOU

OTHER REQUIRED APPROVALS

Fire Dept. ______

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Jhon as N. Markey 8/31/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

NOTICE IS REQUIRED.

389 Congress Street, 04101 Tel: (207) 874-8703	, rax: (207) 874-871	ο	09-0584	<u> </u>		083A E	00/001
Location of Construction:	Owner Name:			Owner	r Address:			Phone:	-
90 CRESCENT AVE Great Diamon ROBERTS DO		DUGLA	S S ETAL	745.	JACKSON V	ALLEY RI)	207-772-0	0202
Business Name: Contractor Nam				Contra	actor Address:			Phone	
	Travis Berube				ootby Ave So	Portland		20793965	572
Lessee/Buyer's Name	Phone:			Į.	t Type: gle Family				Zone: I-R-Z
Past Use:	Proposed Use:		<u> </u>	Permi	it Fee:	Cost of Wor	k:	CEO District:	i
Vacant Land	Single Family				\$4,345.00	\$424,39	00.00	1	
	accessory apt			FIRE	DEPT:	Approved	INSPEC	CTION:	T 10
	ft Single Familiaccessory apar				-	Denied	Use Gro	oup: <i>R</i> 3	Type: 513
	baths						-	-RC 7	1203
Dunnered Duniagt Description	L			ļ			-		
Proposed Project Description: Build new 4,024 sq ft Single Family I	Home w/ an acce	essorv a	partment 2	Signat	ure.		Signatu	m)	Type:5B 1203 8/31/89
bedrooms 4 baths	TOTHE W/ all acce	osony a	rai unont 2		STRIAN ACTI	VITIES DIST		A.D.)	13110 1
									Danied
				Action	n: Approv	ed App	proved w/G	Conditions	Denied
				Signat	ture:			Date:	
-	oplied For: 9/2009				Zoning	Approva	ıl		
This permit application does not	preclude the	Spe	cial Zone or Revie	ws	Zonin	g Appeal		Historic Pres	ervation
Applicant(s) from meeting applic Federal Rules.		∏ Sh	oreland with	for	Variance	;	-	Not in Distric	ct or Landmark
2. Building permits do not include p septic or electrical work.	olumbing,	🗆 w	etland HWW	ί Λ	Miscella	neous		Does Not Rec	quire Review
3. Building permits are void if work within six (6) months of the date		FIG	ood Zone	Syg	Condition	nal Use	2 11.	Requires Rev	riew
False information may invalidate permit and stop all work		☐ Su	bdivision	حر	Interpret	ation (ا و ا	Approved	
		T si	e Plan		Approve	d 1 _6		Approved w/	Conditions
DEDMIT ICCUE	D]	Maj [Minor MM	T 6	Denied	47		Denied	
PERMIT ISSUE			or Ly con a	MM	Date: 7/1	6/09	Da	nte:	_
i l		Date.	~ 7/11	7/14	Date.	*/ 			-) -
SEP - 1 2009)			"					
	1 1			,					
CITY OF PORTL	AND								
Uniterrent	ARU								
			ERTIFICATION					_	
I hereby certify that I am the owner of I have been authorized by the owner to									
jurisdiction. In addition, if a permit for									
shall have the authority to enter all are									
such permit.									
SIGNATURE OF APPLICANT			ADDRESS			DATE		РНО	NE .
RESPONSIBLE PERSON IN CHARGE OF W						DATE		PHO	

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers
 X Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space
 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
 X Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects <u>DO</u> require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Signature of Inspections Official

459/1/

Date

CBL: 083A E007001 **Building Permit #**: 09-0584

Location of Construction:	Owner Name:		Owner Address:	Phone:	
90 CRESCENT AVE Great Diamon	ROBERTS DOUGLAS S ETAL		745 JACKSON VALLEY RD	207-772-0202	
Business Name:	Contractor Name:		Contractor Address:	Phone	
	Travis Berube		67 Bootby Ave So Portland	(207) 939-6572	
Lessee/Buyer's Name	Phone:		Permit Type:		
			Single Family		

- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintaned daily.
- 3) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 4) NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY.
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

Comments

6/24/2009-lmd: Received on 6/23/2009 an amendment to this application eliminating the accessory apartment.

6/18/2009-mes: On June 15th the City Council adopted the new shoreland regulations which have added protections to highly unstable coastal bluffs. This property does have such highly unstable bluffs which are protected. Coproration Counsel also weighed in on whether this application needs to go by the old or new shoreland zoning rules. It needs to meet the new rules per Danielle in Corp.

7/13/2009-tm: the DRC approval should be with permit # 0664 which is an amendment to this permit eliminating the accessory apt.

7/20/2009-mes: On 7/16/09 the ZBA approved a conditional use appeal for the accessory DU. - I need verification of amount of area that is to be cleared -will give to Bldg to review - WAIT for Marge's final sign off on lot clearing- The main structure was approved under the previous Shoreland Zoning requirements.

8/31/2009-tm: spoke to Travis Berube and informed him that Marge Schmuckal still reqires info on suare feet of land disturbance, He said he will have it to Marge by Tomorrow, 01 Sept 09. Will issue permit when Marge signs off.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: Date Applied For: CBL: 09-0584 06/09/2009 083A E007001

505 Congress server, o rior ren (201) 01 1 0103, 1 4111 ((201) 01 . 011	`		
Location of Construction:	Owner Name:		Owner Address:		Phone:
90 CRESCENT AVE Great Diamon	ROBERTS DOUGLAS S ETAL		745 JACKSON VALLEY RD		207-772-0202
Business Name:	Contractor Name:		Contractor Address:		Phone
	Travis Berube		67 Bootby Ave So	Portland	(207) 939-6572
Lessee/Buyer's Name	Phone:		Permit Type:		
			Single Family		

Proposed Use:

Proposed Project Description:

Single Family Home w/ an accessory apt - Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths

Dept: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

09/01/2009 **Approval Date:**

Ok to Issue:

Note:

1) All other approvals listed on the previous permit are still in force.

- 2) The area of land being cleared is given as 7911 sq ft. There shall be no more than 10,000 square feet of undergrowth cleared for lawn. The rest of the lot SHALL REMAIN UNDISTURBED.
- 3) This property shall remain a single family dwelling with an accessory dwelling unit as approved by the Zoning Board of Appeals. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building

Status: Approved with Conditions

Reviewer: Tom Markley

Approval Date:

08/31/2009

Ok to Issue:

Note:

- 1) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.
- 2) The appliance and venting shall be installed in accordance with the UL listing, IMC 2003 and NFPA 211.
- 3) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC
- 4) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every
- 6) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 7) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 8) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 9) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.

Dept: DRC

Status: Approved with Conditions

Approval Date:

07/13/2009

Note:

Reviewer: Eric Giles

Ok to Issue:

1) Due to the site's proximity to a highly unstable slope, there shall be NO Clearing of any trees and understory vegetation within 75' of the High Water Mark. There shall be no filling or clearing of the Forested wetlands as shown on the submitted survey. It has been stated that only the house and parking area are to be cleared for building. The silt fences shall be moved out of the 75' setback from th HWM. If any selective clearing or cutting is proposed a plan shall be submitted to the Planning Authority for review and approval.

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

	Location/Address of Co	nstruction:		Diamond Island, Po	rtland, Maine		
	Total Square Footage of 4.024	Proposed Structure/A s f		Square Footage of Lot 32,149.50 sf Number of Stories 2			
ľ	Tax Assessor's Chart, Blo	ock & Lot	Applicant * <u>n</u>	nust be owner, Lessee or Buyer	r* Telephone:		
	Chart# Block#	Lot#	Name Na	ncy Jo Connolly			
	83A E 7,8 & 10		Address 82	Address 82 Salem Street 207-772-0203			
			City, State &	Zip Portland, Me. O	4102		
ŀ	Lessee/DBA (If Applical	ole)	Owner (if di	fferent from Applicant)	Cost Of	1	
	Travis Berube	9	Name		Work: \$ 424,390.00	-	
	67 Boothby Av South Portlar		Address		C of O Fee: \$		
	04106	•	City, State &	City, State & Zip JUN - 9 2009 Total Fee: \$_			
Current legal use (i.e. single family) Single family Number of Residential Units 2							
If vacant, what was the previous use?							
Proposed Specific use: single family w/ inlaw apartment							
Is property part of a subdivision? yes If yes, please name Great Diamond Island Asso Project description:							
	A year rou	nd home with a	an inlaw	apartment 70000	Bld Fee 41	300.00	
Concident to All Concident to Allow						300 10	
	Contractor's name:	Travis Berube	e	, ,		75.06	
	Address:	67 Boothby Av	venue		TOTAL COLU		
	City, State & Zip	South Portlar	nd, Maine	04106 Te	elephone: 207-939-6572	645,00	
Who should we contact when the permit is ready: Travis Berube Telephone: 207-939-6572							
Mailing address: 67 Boothby Avenue, South Portland, Me. 04106							
				the applicable Checklis	st. Failure to		
		مطه منه فانتممه النسب		damial afa mani+			

do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:		Date:	June 8, 2009	
This is no	t a permit; you may not	t commence AN	JY work until the permit is issue	

Revised 09-26-08

Applicant: Mancy Jo Connolly Date: 6/16/09
Applicant: Mancy Jo Connolly Date: 6/16/09 Address: 90 Cre Scent AVE, GREATER ISC-B-L: 83A-E-78=10
Date- New Sugle family = # 09-5161
Zone Location - IR-Z
Date - New Sylvaming ORDINANCE Sylvamily = #09-056 Zone Location - IR-Z Interior or Corner lot - of relawny St Approved A
Proposed Use Work-To construct New Smels family dwelling
Proposed UserWork-To Construct New Smels family dwelling Servage Disposal- Private An Accessory dwelling unt Conditional use Af
Loi Street Frontage - 70' mm - 196' Along BAy AVE & 97+ Along Cresc
Front Yard - 18 9 - 13 9 - 10
Rear Yard - 25' min 25 / extet
Side Yard - 20'mm - 20' Show 2BA 7/16, Side yand on 5: de 5 - 20'mm - 86' Scaled Projections -
Width of Lot - 80' min 80'+ 8how 11 ~
Height - 35' MAX 33' han lowerd to Wesherd - No Change of Grade Der Contractor Lot Area - 30,000 f mm for I family + Accessory D. U 32,149,50 J. Va Lot Coverage Impervious Surface - 20% Wax 06 429 CM HANN
Lot Area - 30,000 mm for I family + Accessory D. U 32,149,50 to Tive
(Lot Coverage Impervious Surface - 20% WX 66429, C) The Many
Area per Family - 4 30,000 for family + Accesson Dy - 32 149.50
Off-street Parking - & perlunt of & PARTS Teg - 3 8 how
Loading Bays - NA Per Acesson
Sile Plan- Full for A Zunt
Shoreland Zoning/Stream Protection - whin over 75 from HWM
Flood Plains - Panel 8 - Zame C
Protected Constan Bluffs & Not med fect when I family Higheyunstable Bldg bermit 155 held

Albert Frick, SS, SE James Logan, SS, SE Matthew Logan, SE Brady Frick, SE Bryan Jordan, SE William O'Connor, SE

November 12, 2008 February 21, 2009 revision

Maggie Connolly
Langan Engineering & Env. Services
30 South 17th Street, Suite 1300
Philadelphia, PA 19103-4005

Re: Connolly, Crescent Lane, Great Diamond Island, Portland

Dear Maggie:

You requested that I send you a Site Plan of the property and show the required setbacks defining the available building window, per the City of Portland's building setback requirements, and Maine Department of Environmental Protection, Natural Resource Protection Act setbacks.

The building window on the subject property is defined by a 25' front and 20' side. The setback to Casco Bay is 75' from the spring high tide elevation. The forested wetland on the parcel, which is in the Shoreland zone (i.e. within 250' of the spring high tide elevation of Casco Bay can not be filled without a DEP NRPA permit). It would be prudent to maintain a sufficient setback to the wetland boundary with any proposed building or deck so that construction and proper building grading can be established without impacting the wetlands. (See enclosed DEP NRPA Rules, Chapter 305, Section 2: Activities adjacent to protected natural resources). Also, proposed building with a full foundation needs to be a minimum of 20'; from the proposed septic and 15' if it is on a slab. Please see attached Site Plan.

Please contact me if you have any questions or additional matters for discussion.

Respectfully,

Albert Frick

AF/nd

Enc.

cc. Herb Gray, P.E.

CITY OF PORTLAND, MAINE

ZONING BOARD OF APPEALS

per Deborah Ruther

IR-2 Island Residential Zone Accessory Dwelling Unit

Conditional Use Appeal

DECISION

Date of public hearing:

July 16, 2009

Name and address of applicant:

Nancy Jo Connelly

82 Salem St.

Portland, ME 04102

Location of property under appeal: 90 Crescent Ave., Great Diamond Island

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

Atty Cloutier

> Nancy Jo Connelly - See above

> Tammy Robinson - Diamond Island

Exhibits admitted (e.g. renderings, reports, etc.):

> 3 written festimonies from local abouttons / 2 against (or at least 1 island resident) 1 questioning (?)

Findings of Fact and Conclusions of Law:

The Applicant is requesting a conditional use permit for a property located within the IR-2 zone, in order add an accessory dwelling unit. The gross floor area of the principal building is 3,993 sq. ft. and the gross floor area of the accessory dwelling unit is 1,158 sq. ft., or 29% of the gross floor area of the principal building. The lot area is 32,149 sq. ft. There are no open outside stairways or fire escapes above the ground floor.

- A. Conditional Use Standards pursuant to Portland City Code §14-145.9(a)(1):
- 1. The accessory dwelling unit is located within and is clearly subordinate to a principal single-family detached dwelling.

Satisfied ____ (4) Not Satisfied ____

Reason and supporting facts:

> Applicant plans, testimony, written documentation

2. The accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building and shall have a minimum floor area of four hundred (400) square feet.

Satisfied (4) Not Satisfied ____

Reason and supporting facts:

> Applicant testimony, documentation

	3. The lot area shall be thirty thousand (30,000) square feet. Satisfied (1) Not Satisfied
	Satisfied V(1) Not Satisfied
	Reason and supporting facts:
	> Application, testimony
	7 City continuation
floor.	4. There shall be no open outside stairways or fire escapes above the ground
	Satisfied Not Satisfied
	Reason and supporting facts:
>	Applicant / Atty testimony, documentation
style of exterior and exte	5. Any additions or exterior alterations such as facade materials, building form, ch, and exterior doors shall be designed to be compatible with the architectural the building and preserve the single-family appearance of the building. The design of new construction including facade materials, building form, roof pitcherior doors shall have a single-family appearance. Satisfied Not Satisfied
	Reason and supporting facts:
>	Testimony, Submitted drawing
•	71 Soon Caraming

 A lower level dwelling unit shall have a minimum two-thirds of its floor-to-ceiling height above the average adjoining ground level.
Satisfied / (1) Not Satisfied
Reason and supporting facts: > Appliant testimony, submitted plans
7. Either the accessory unit or the principal dwelling shall be occupied by the owner of the lot on which the principal building is located, except for bona fide temporary absences
Satisfied Not Satisfied
Reason and supporting facts:
> Applicant testimony > Written documentation
> Written documentation
8. All sanitary waste shall be disposed of by a public sewer, subsurface sewerage system or other method in compliance with state and local regulations.
Satisfied Not Satisfied
Reason and supporting facts:
7 Applicant testimony
7 Applicant testimony 7 Written documentation

from such a use in that zone. Yes No (4) Reason and supporting facts:		Yes No
2. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area. Yes ALA DAR No (1) Reason and supporting facts: 7 3 letters from concerned citizens - Noteo; 7 Applicant testimony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (1) Reason and supporting facts:		Reason and supporting facts:
Public or the surrounding area. Yes Who No (1) Reason and supporting facts: 7 3 ctters from concerned citizens - Noteo; 7 Applicant testimony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (1) Reason and supporting facts:		No compelling evidence that this application is unique
Public or the surrounding area. Yes Who No (1) Reason and supporting facts: 7 3 letters from concerned citizens - NOTED; 7 Applicant testmony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (1) Reason and supporting facts:		
Public or the surrounding area. Yes White No (1) Reason and supporting facts: 73 etters from concerned citizens - Noteo; 7 Applicant testmony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (1) Reason and supporting facts:		
Public or the surrounding area. Yes Why DAR No (1) Reason and supporting facts: 73 etters from concerned citizens - Noteo; 7 Applicant testmony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (1) Reason and supporting facts:		
Reason and supporting facts: 73 etters from concerned citizens - NOTED; 7 Appliant testimony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (9) Reason and supporting facts:	public	or the surrounding area.
73 letters from concerned citizens - NOTED; 7 Applicant testimony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (9) Reason and supporting facts:		Yes $M \otimes No $ No $No $ (1)
7 Applicant testimony/written documentation indicates hothing unusual 3. Such impact differs substantially from the impact which would normally occ from such a use in that zone. Yes No (9) Reason and supporting facts:		Reason and supporting facts:
3. Such impact differs substantially from the impact which would normally occurred from such a use in that zone. Yes No (1) Reason and supporting facts:		
from such a use in that zone. Yes No (1) Reason and supporting facts:	7	Applicant testimony/written documentation indicates hothing unusual
Reason and supporting facts:		3. Such impact differs substantially from the impact which would normally occur on a use in that zone.
		Yes No (4)
Λ , Λ , Λ , Λ , Λ		Reason and supporting facts:
Applicant testimony/abumentation;	A	pplicant testimony (documentation;

Conditional Use Standards pursuant to Portland City Code §14-474(c)(2):

В.

Conclusion: (check one)
Option 1: The Board finds that all of the standards (1 through 5) described in section A above have been satisfied and that not all of the factors (1 through 3) described in section B above are present, and therefore GRANTS the application.
Ontion 2: The Board finds that all of the standards (1 through 5) described in

section A above have been satisfied, and that while not all of the factors (1 through 3) described in section B above are present, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

Option 3: The Board finds that not all of the standards (1 through 5) described in section A above have been satisfied and/or that all of the factors (1 through 3) described in section B above are present, and therefore DENIES the application.

Dated: 7.16.09

O:\OFFICE\maryc\zba\IR-2 conditional use appeal accessory dwelling connolly

From: To: Danielle West -Chuhta Schmuckal, Marge 6/11/2009 11:41:23 AM "Pending" Applications

Date: Subject:

Marge:

Yesterday we were discussing an application that you had just received and you were wondering if the new shoreland provisions (which the City has not yet adopted, but will adopt in about a week) would apply to the application.

Under Maine Law if an application is "pending" when an ordinance is amended, 1 M.R.S.A.§ 302 requires that the review be completed under the original ordinance, unless the new ordinance contains a retroactivity clause.

Section 302 defines "substantive review" as a "review of that application to determine whether it complies with the review criteria and other applicable requirements of law."

Maine courts have found that an application is "pending" if the administrative official or board has started to treat the application as complete and has begun to review it for substantive compliance with the requirements of the ordinance, absent a contrary definition of "pending application" in the ordinance. See Littlefield v. Inhabitants of the Town of Lyman, 447 A.2d 1231 (Me. 1982); Maine Isle Corp., Inc. v. Town of St. George, 499 A.2d 149 (Me. 1985).

Preliminary review of an application for "completeness", however, generally does not constitute a substantive review. See Waste Disposal Inc. v. Town of Porter, 563 A.2d 779, 781 (Me. 1989). Moreover, the fact that an application was delivered to or received and receipted by staff does not make an application "pending," absent ordinance language to the contrary. See P. W. Associates v. Town of Kennebunkport, CV-88-716 and CV-89-29 (Me. Super. Ct., York Cty., Nov. 20, 1989).

This, however, is not the end of the analysis. It is also necessary to determine if the applicant has vested rights to proceed. The Maine Law Court (in Sahl v. Town of York, 2000 ME 180, 760 A.2d 266) held that "in order for a right to proceed with construction under the existing ordinance to vest, three requirements must be met: (1) there must be the actual physical commencement of some significant and visible construction; (2) the commencement must be undertaken in good faith . . . with the intention to continue with the construction and to carry it through to completion; and (3) the commencement of construction must be pursuant to a validly issued permit." The court went on to note that "rights may not vest solely because a property owner: (1) filed an application for a building permit; (2) was issued a building permit; (3) relied on the language of the existing ordinance; or (4) incurred preliminary expenses in preparing and submitting the application for a permit.

Based on the above law and the facts (i.e. that you just received the application, no review has taken place, no approval has been granted and no work undertaken) I think that the application in question is not pending and therefore the new shoreland regulations (once enacted) would most likely be applicable.

Thanks a lot,

Danielle

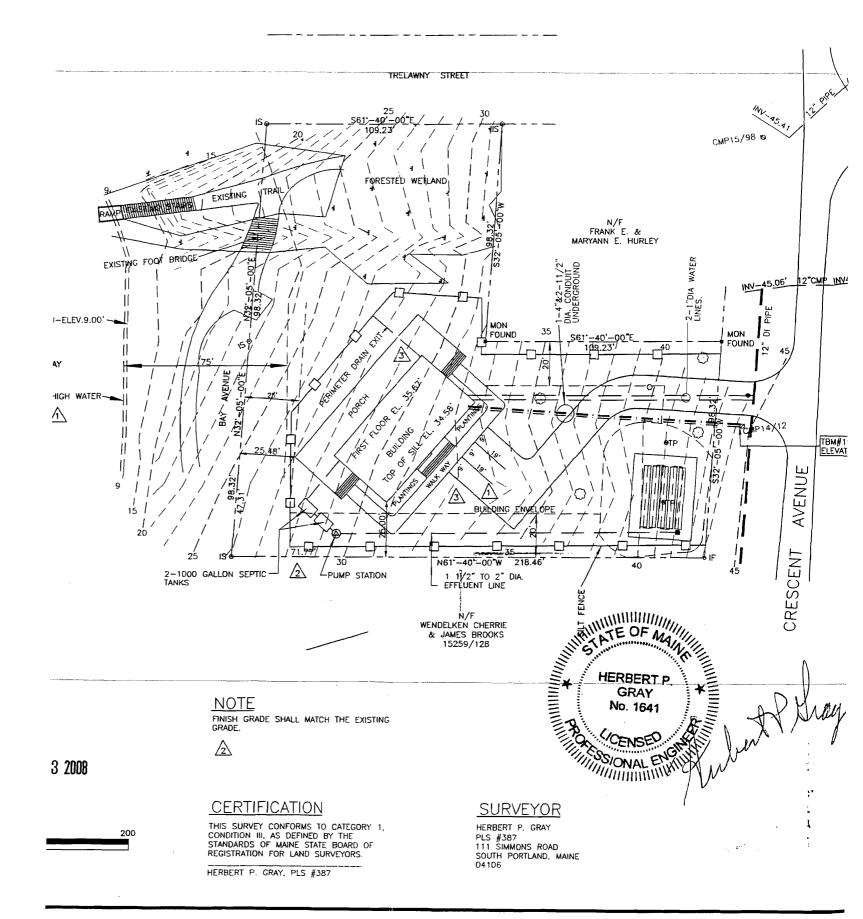
Danielle P. West-Chuhta Associate Corporation Counsel City of Portland, Maine

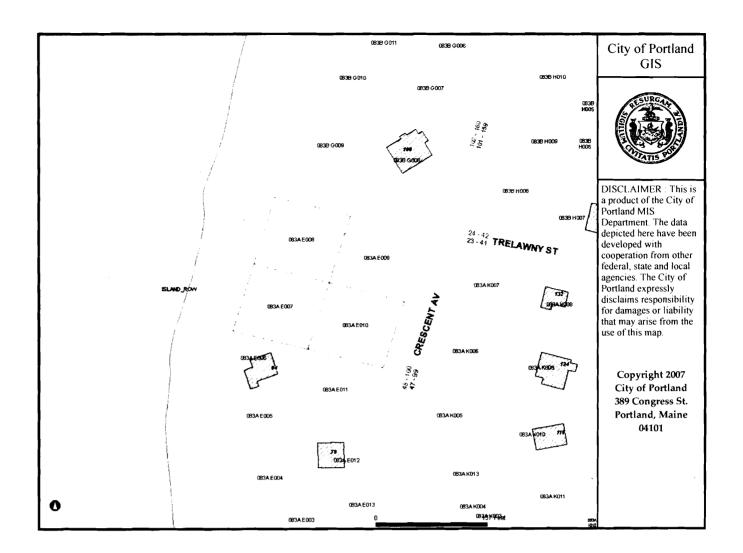
CC:

Barhydt, Barbara

 $\tilde{\lambda}^{n}$

V)





IR-2 Zone

FAX



To for Lold cared Elizabeth U
Fax Number: $766-567$
From: Marge Schweth
Fax Number:
Date: 7/16/09
Regarding: GRT Q ISC. APPEX
Total Number Of Pages Including Cover:
Phone Number For Follow-I In:

Comments:

I hope This helps you

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207)874-8693
Fax: (207) 874-8716
http://www.portlandmaine.gov/

Travis Berube
67 Boothby Ave
South Portland, Maine 04106
207-939-6572
tberube@maine.rr.com

LOT CLEARING PLAN FOR 90 CRESCENT AVE

Clearing needed for house, porches and walkways:

Clearing needed for driveway:

Clearing needed for septic tanks and leach field:

TOTAL NEEDED:

4,871 sqft.

1,800 sqft.

7,911 sqft.

PLEASE NOTE:

- -Planting is to be redone to recover clearing in areas needed to excavate septic and leach field and also around the perimeter of the building.
- -No clearing whatsoever is to be done within the 75' shore land setback or the areas label wetlands; nor shall any equipment or persons operate in these areas.

Thank You,

Travis Berube

SEP - 1 2000

CLOUTIER, CONLEY & DUFFETT, P.A.

A Professional Association Attorneys at Law 465 Congress Street Portland, Maine 04101-3528

James F. Cloutier Mark A. Cloutier Gerard P. Conley, Jr. Thomas W. Cloutier Neale A. Duffett Andrew J. Cloutier

AREA CODE 207
TELEPHONE 775-1515
TELEFAX 774-7984
mainelegal@aol.com
James F. Cloutier
Maine Bar # 2126

June 12, 2009

Danielle West Chuhta
Office of Corporation Counsel
Portland City Hall
389 Congress Street
Portland, Maine 04101

Via email:

dwchuhta@portlandmaine.gov

mes@portlandmaine.gov

Re: N

Nancy Connolly et al., Great Diamond Island Map 83 A-E 7, 8 & 10

Dear Danielle:

Thank you for your voice message. I have been asked to represent Nancy Connolly and her Sister and brother in law, Douglas and Kathy Sue Roberts family in relation to obtaining a building permit for construction of a home on Great Diamond Island. When, after literally years of planning financing, studying wetlands, finding ways to meet zoning laws and developing a game plan for moving permanently to the island after constructing a home, the owners presented a plan for a two unit construction project to the Planning Dept. and learned that accessory dwelling units, which they intended to use to create a small apartment for Nancy in conjunction with a larger home for Doug and Kathy, required approval as a conditional use by the Zoning Board Of Appeals.

Undaunted, they paid the several thousand dollar building permit fee and were told that the application would remain in abeyance until The Zoning Board Of Appeals has ruled. In the circumstances, the earliest that they could get on the ZBA agenda was the July meeting, assuming they generate the necessary paperwork promptly. There were also informed that the City Council has, in second reading next Monday night, revisions of the shoreland zoning ordinances which were required by the DEP to be enacted by July 1, 2009. Included in those proposals was a setback from bluffs which appears to apply to their area of Great Diamond Island, although that particular bluffs have not been evaluated. In essence, this regulation will make the property basically unbuildable given the additional setback which is likely to be required and the sensitive nature of some of the area of the property, where wetlands need to be protected, etc.

Nancy then had one or more telephone conversations with Marge Schmuckel, inquiring concerning whether they would be grandfathered with the application pending in the event that the Zoning Board Of Appeals allows the accessory unit as a conditional of use. Incidentally, in the famous last words department, examination of the standards the board reviews suggest to the applicants that there is nothing remarkable about their application which would cause the issuance of a conditional use permit to be in question.

My basic question to your office is whether the act of the Planning Department in accepting the application for a building permit for a single-family home with an accessory unit, followed by the determination that the application requires the conditional use permit constitutes sufficient action on the merits of the application at this point for it can be considered pending under pertinent zoning rules, thereby creating a vested right to proceed under current regulations. If so, can we confirm that the approval of a conditional use permit would allow for the processing of the building permit application to issuance of the permit in the regular

course under the existing rules, as opposed to any new requirements which might be enacted as early as Monday evening.

My second question is predicated on the possible conclusion that the application would not be considered pending at this time. It appears to me that the family could file an application for a single-family residence using the same footprint which would plainly be pending and entitled to consideration under the now existing rules. This would entitle the family to a building permit for the existing designed structure so long as the improvements to create the accessory unit were deleted from the application. Thereafter, the family could present an application for a conditional use permit to the ZBA and, if the same is approved, file an amendment to the building permit or seek an additional building permit to install the unit.

Since I have not been involved in conversations with Marge Schmuckel, I am forwarding a copy of this letter to her to keep her apprised of the status of the application. I look forward to meeting and talking with you about this at your convenience, and will call again on Monday for that purpose..

Thank you for your assistance concerning this matter.

Very truly yours,

James F. Cloutier

CITY OF PORTLAND, MAINE DEVELOPMENT REVIEW APPLICATION LANNING DEPARTMENT PROCESSING FOR

PLANNING DEPARTMENT PROCESSING FORM Zoning Copy

2009-0058

Application I. D. Number

Roberts Douglas S Etal	Ma	arge Schmuckal	6/9/20 Applio	009 cation Date
Applicant	•			
745 Jackson Valley Rd , Oxford, NJ 07863 Applicant's Mailing Address				e Family w/ inlaw apartment ct Name/Description
Travis Berube		Crescent Ave G	reat Diamond Island	·
Consultant/Agent		Address of Prop		
Agent Ph: (207)939-6572 Agent F	Fax:	083A E007001		
Applicant or Agent Daytime Telephone, Fax		Assessor's Refe	rence: Chart-Block-Lo	
Proposed Development (check all that apply): • New Building	Building Addition	inge Of Use 🗸 Res	idential Office Retail
Manufacturing Warehouse/Distrib	ution Parking Lot	Apt 0 Condo 0	Other (specify)	
Proposed Building square Feet or # of Units	Acreage of Site	Proposed Total Disturbed	Area of the Site	Zoning
Check Review Required:				Design Review
Site Plan (major/minor)	Zoning Conditional - PB	Subdivision # of lots		DEP Local Certification
Amendment to Plan - Board Review	Zoning Conditional - ZBA	Shoreland	Historic Preservation	Site Location
Amendment to Plan - Staff Review		Zoning Variance	Flood Hazard	Housing Replacement
After the Fact - Major		Stormwater	Traffic Movement	Other
After the Fact - Minor		PAD Review	14-403 Streets Revie	
Fees Paid: Site Plan \$50.00	Subdivision	Engineer Review	\$250.00	Date 6/9/2009
Zoning Approval Status:		Reviewer		
Approved	Approved w/Conditions See Attached		Denied	
Approval Date A	pproval Expiration	Extension to		Additional Sheets
Condition Compliance				Attached
	signature	date		
Performance Guarantee	Required*	Not Require	d	
* No building permit may be issued until a pe	erformance guarantee has	been submitted as indicate	d below	
Performance Guarantee Accepted	ale			
	date	an	nount	expiration date
Inspection Fee Paid				
	date	am	ount	
Building Permit Issue				
	date			
Performance Guarantee Reduced				
	date	remainir	ng balance	signature
Temporary Certificate of Occupancy		Conditions (S	see Attached)	
	date			expiration date
Final Inspection				
	date	sigr	nature	
Certificate Of Occupancy				
	date			
Performance Guarantee Released				
	date	sigr	ature	
Defect Guarantee Submitted	submitted data		ount.	overeties deta
E Defeat Ourse the Del	submitted date	am	ount	expiration date
Defect Guarantee Released				

signature

Moetings & Conversations RE, 83A-E-7-8-10 GRT & Island [10/1/08] Zisopa BADAA met with Herb Gray marge met with Narcy Consllywork Daughten Maggie on her phone (Discussed The Conditional Use Appeal-The Section of Ordinance is Attached tomy Notes! 3/13/09 I not with Herb Gray Concern This perty - describing what was needed for Apenut Appl Named Condly attended a shore Land Zong Nagroborhood meeting At The Casco Bag Feet Teaming that Rick knowland pre-Sendid. She received information in The proposed bluff provided in that neeting From:

Rick Knowland

To:

Danielle West -Chuhta; Marge Schmuckal

Date:

6/15/2009 11:29:25 AM

Subject:

Re: Great Diamond Island - Nancy Conolly

Marge, As discussed Mary Connolly attended a shoreland zoning neighborhood meeting on May 20, 2009 at the Casco Bay Ferry Terminal. She received information on the proposed bluff regulations at the meeting.

>>> Marge Schmuckai Monday, June 15, 2009 >>>

Here are the dates that I met with folks concerning this lot. I did not document the walk-in from Herb Gray who I met at the counter maybe a month ago.

October 1, Barbara B. & I met with Heb Gray at 2:00 pm to go over the property. We discussed shoreland zoning and the conditional use appeal.

On the same day at 3:00 pm I met alone with Nancy Conally with her daughter Maggie on her phone. We discussed the conditional use appeal and shoreland zoning. I attached a copy of that appeal section to my informational notes.

March 13, 2009: At 10:00 am I met with Herb Gray concerning this property. - I described what was needed for a permit and appeal applicatrion.

June 9, 2009 This office received a building permit application for the construction of a new single family dwelling with an accessory dwelling unit as allowed under a conditional use appeal to the Zoning Board of Appeals. As of this date June 15, 2009, this office has not received a conditional use application for the July 16, 2009 concerning the accessory dwelling unit.

From: To: Marge Schmuckal
Danielle West -Chuhta

Date: Subject:

6/15/2009 11:32:09 AM Re: Nancy Connolly GDI Matter

Danielle,

the Board is pretty good at looking only at the Conditional Use standards for the accessory unit. If the applicant changes the current building permit application for a single family only, and goes forward immediately and breaks ground to start construction on the foundation, then at least some sort of "substantial" work has begun. If the structure has "substantially" begun on the full footprint, then the use would not essentially change the building that was already approved and would not affect a separate review for shoreland zoning.

At least, those are my thoughts right now. Does this help in anyway?

Marge

>>> Danielle West -Chuhta 6/15/2009 11:16:45 AM >>> Marge:

I have done some additional research with regard to the Nancy Connolly matter. As I indicated in my last message, I think that since you have not undergone substantive review of the application it is not pending. Your screening of the application to determine adequacy of the information presented and to see if it complies with the review criteria does not bestow pending status on the application.

Given this conclusion, and the shoreland regulations will go into effect 30 days after they are enacted (i.e. around July 15th) and since Ms. Connolly needs to obtain Conditional Use Permit from the ZBA (and such review would most likely not take place until after July 15th), I think that Ms. Connolly's application would most likely not be pending (i.e. reviewed under the old shoreland requirements).

With regard to the vested rights analysis, I think that she has also not obtained vested rights (yet) since neither the submission of her permit application, nor the issuance of the permit (when and if it happens), establishes vested rights.

Based on the above conclusions, I think that Attorney Cloutier's suggestion regarding submission of a building permit (without the accessory unit) seems like an acceptable alternative. My one concern with this idea is that it involves the subsequent submission of conditional use permit application to the ZBA (which would not meet on this issue until after July 15th) and an amendment to the building permit. As such, if the new shoreland regulations go into effect on July 15th, and the ZBA meets after this date, then it seems to me that we would have to apply the new shoreland requirements to the Conditional Use Permit application.

What are your thoughts? Do you think that this would affect the ZBA's decision with regard to the accessory structure?

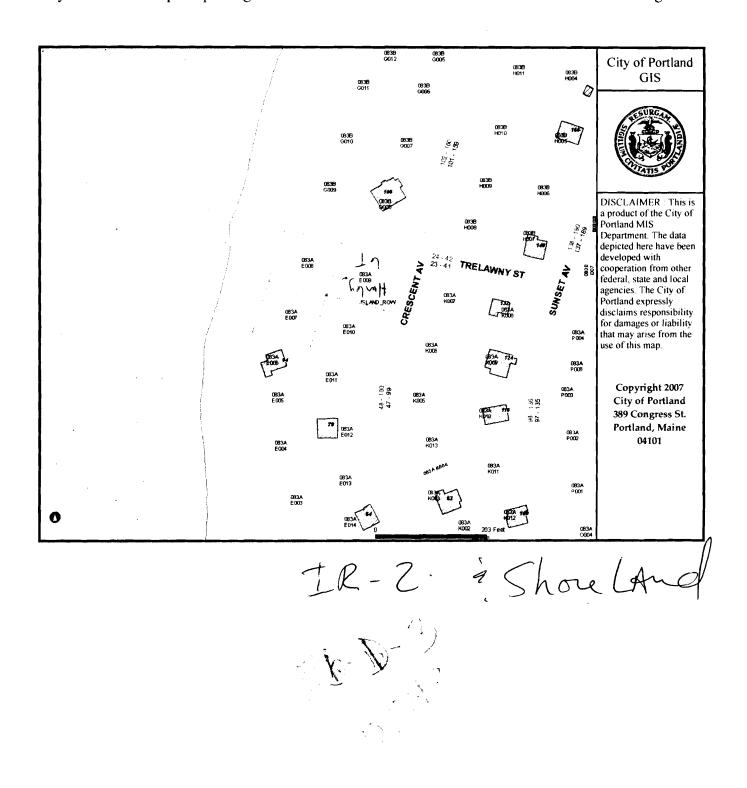
Thanks a lot,

Danielle

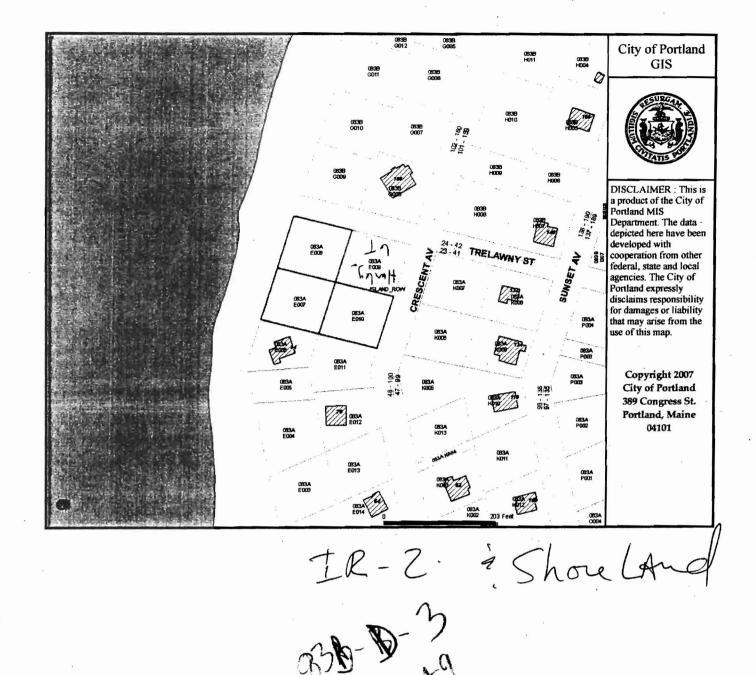
Danielle P. West-Chuhta Associate Corporation Counsel City of Portland, Maine CC:

Barbara Barhydt; Rick Knowland

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the No	ew Search butto	n at the bottom of				At 2,00
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Owner Address Book/Page Legal		745 JI	FS DOUGLAS S ET ACKSON VALLEY R D NJ 07863		7.	9
		L 83A-E- BAY AV CRESCI	/162 -7-8-10 /E TRELAWNEY ST ENT AVE DIAMOND ISLAND		hoe	LAND
	Current Ass	sessed Valuati	on		AT	3:00 pc
	Land \$157,400	Building \$ 0.00		Total \$157,400	who	NAME O
Property Infor				(v) (· · ·	Dang	Ma Mag
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Outbuildings						
Туре	Quantity	Year Built	Size	Grade	c	ondition
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		New Se	earch!)		
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conditional use permit, subject to the provisions of section 14-474 (conditional uses) of this article and any special provisions, standards or requirements specified below:

(a) Residential:

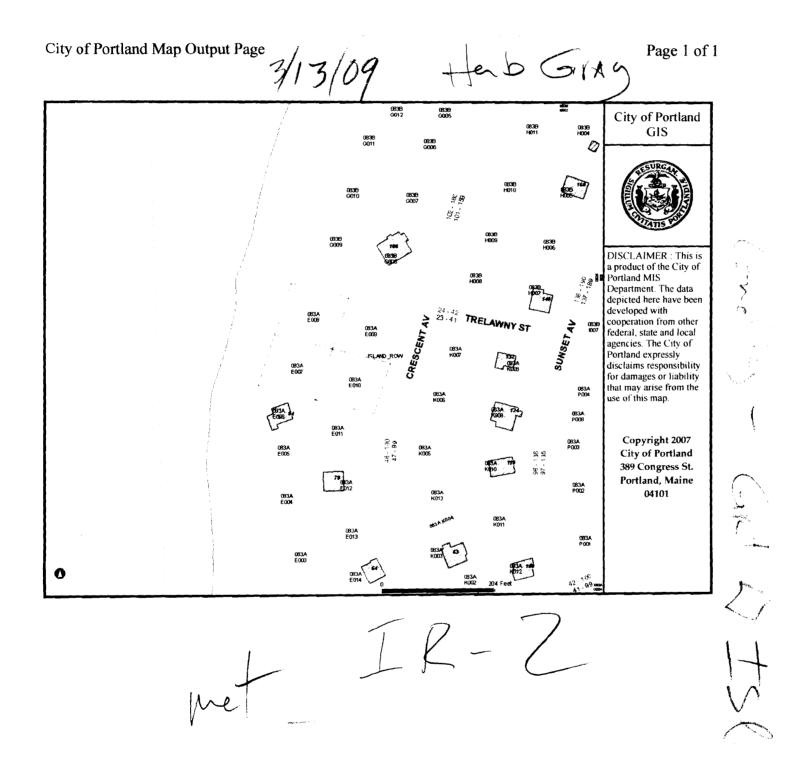
- 1. (Accessory dwelling unit within and clearly subordinate to a principal single-family detached dwelling provided that:
 - a. The accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building and shall have a minimum floor area of four hundred (400) square feet;
 - b. Lot area shall be thirty thousand (30,000) square feet;
 - c. There shall be no open outside stairways or fire escapes above the ground floor;
 - d. Any additions or exterior alterations such as facade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the single-family appearance of the building. The exterior design of new construction including facade materials, building form, roof pitch and exterior doors shall have a single-family appearance;
 - e. A lower level dwelling unit shall have a minimum two-thirds of its floor-to-ceiling height above the average adjoining ground level;
 - f. Either the accessory unit or the principal dwelling shall be occupied by the owner of the lot on which the principal building is located, except for bona fide temporary absences; and

- g. All sanitary waste shall be disposed of by a public sewer, subsurface sewerage system or other method in compliance with state and local regulations.
- (b) Institutional: Any of the following uses provided that, notwithstanding section 14-474(a) (conditional uses) of this article or any other provision of this Code, the planning board shall be substituted for the board of appeals as the reviewing authority:
 - 1. Schools and other educational facilities;
 - Churches or other places of worship;
 - 3. Private clubs or fraternal organizations excluding yacht clubs and marinas;
 - 4. Municipal uses, provided that outside storage and parking areas are suitably screened and landscaped to ensure compatibility with the surrounding neighborhood;

Such uses shall be subject to the following standards if the total land area of the use is two (2) acres or more:

- a. In the case of expansion of existing such uses onto land other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established residential area;
- b. The proposed use will not cause significant displacement or conversion of residential uses existing as of July 15, 1985, or thereafter; and
- c. In the case of a use or use expansion which constitutes a combination of the above-listed

14-163



Property Search Detailed Results

Page 1 of 1

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number

Parcel ID Location Land Use 1 of 1 083A E007001 CRESCENT AVE VACANT LAND

Owner Address

ROBERTS DOUGLAS S ETAL 745 JACKSON VALLEY RD OXFORD NJ 07863

Book/Page Legal

13290/162 83A-E-7-8-10

BAY AVE TRELAWNEY ST CRESCENT AVE

CRESCENT AVE
GREAT DIAMOND ISLAND 32151 SF

Current Assessed Valuation

Land \$157,400

Building \$ 0.00 Total \$157,400

Property Information

Year Built

Stule

Story Height

Sq. Ft.

Total Acres

Bedrooms

Full Baths

Half Baths

Total Rooms

Attic

Basement

Outbuildings

Туре

Quantity

Year Built

Siz

Grade

Condition

Sales Information

Date 08/29/1997 03/13/1995

Type LAND LAND

Price \$73,000 \$55,000 Book/Page 13290-162 12005-126

Picture and Sketch

Picture

Sketch

Таж Мар

Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or emailed.

New Search!

051248

WARRANTY DEED

Maine Statutory Short Form

KNOW ALL MEN BY THESE PRESENTS THAT, WE, FRED C. DURST AND MARILYN C. DURST of Falmouth, County of Cumberland and State of Maine, for consideration paid, grant to DOUGLAS S. ROBERTS AND KATHY SUE ROBERTS, of 745 Jackson Valley Road, Oxford, NJ 07863, a one-half interest as JOINT TENANTS, and to NANCY JO CONNOLLY, a one-half interest, said half interests to be held as tenants in common, with WARRANTY COVENANTS, the following:

Certain lots or parcels of land, situated on Great Diamond Island, in the City of Portland, Cumberland County, Maine, being Lots numbered 158, 159 and 160 on the southerly side of Trelawny Street at the intersection of said Trelawny Street and Bay Avenue as shown on the plan entitled "Plan of Property belonging to the Diamond Island Association," recorded in the Cumberland County Persistry of Deeds in Plan Book 4 Page 62 Registry of Deeds in Plan Book 4, Page 62.

Said lots are also depicted on Portland Tax Map 83A, Block E as Lots 7,8 & 10.
Subject to zoning and building restrictions of record, restrictive covenants and easements of record and public utilities servicing the property.

Being the premises described in the deed from C. Stuart Laughlin, Jr. to the grantors herein dated July 13, 1995 and recorded in said Registry in Book 12005, Page 126.

Witness our hands and seals this 29th day of August, 1997.
RECEIVED
RECORDED REGISTRY OF DEEDS

The P

1997 AUG 29 PH 1: 40

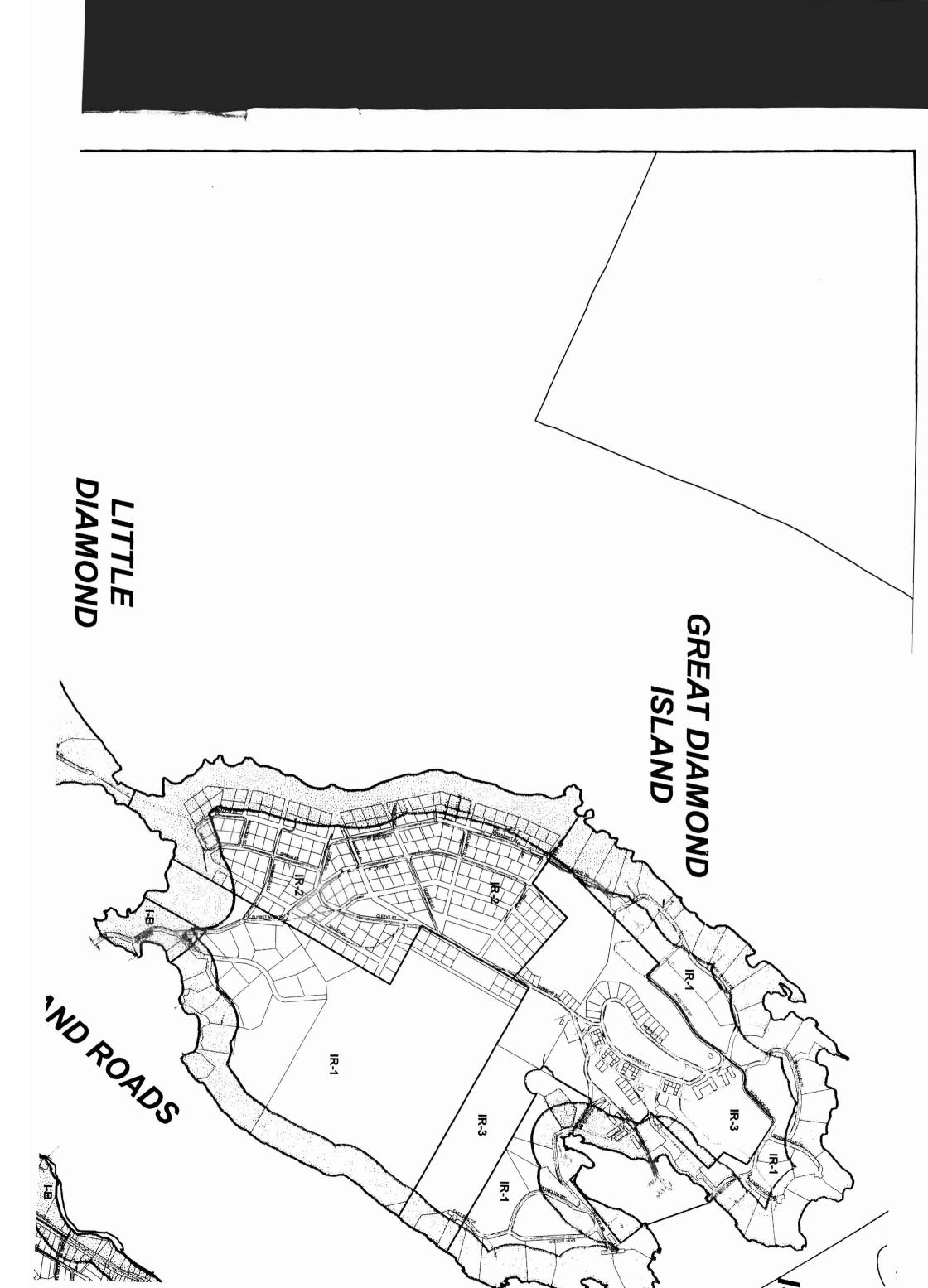
CUMBERLAND COUNTY Jalla 13 OBrein

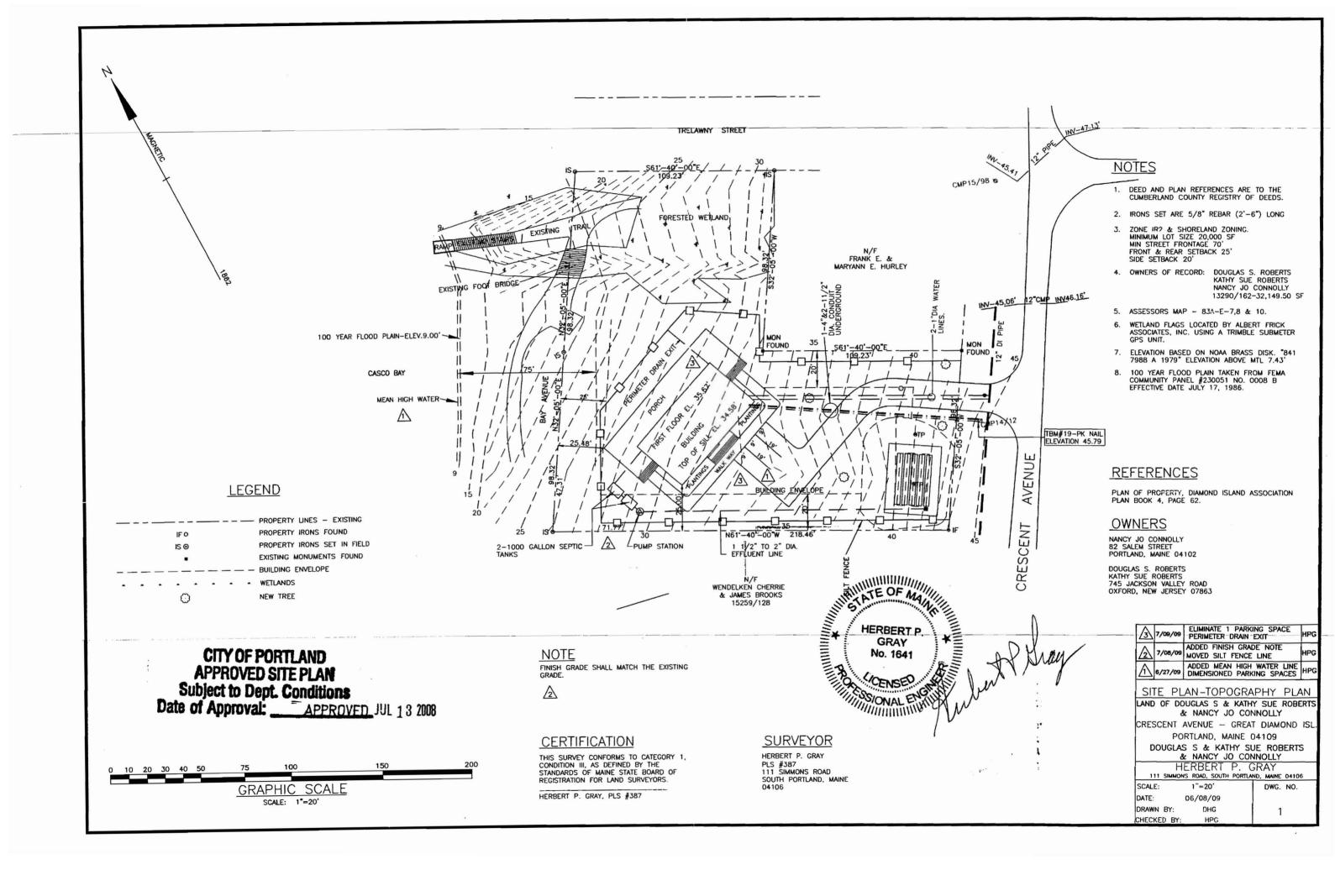
State of Maine County of Cumberland

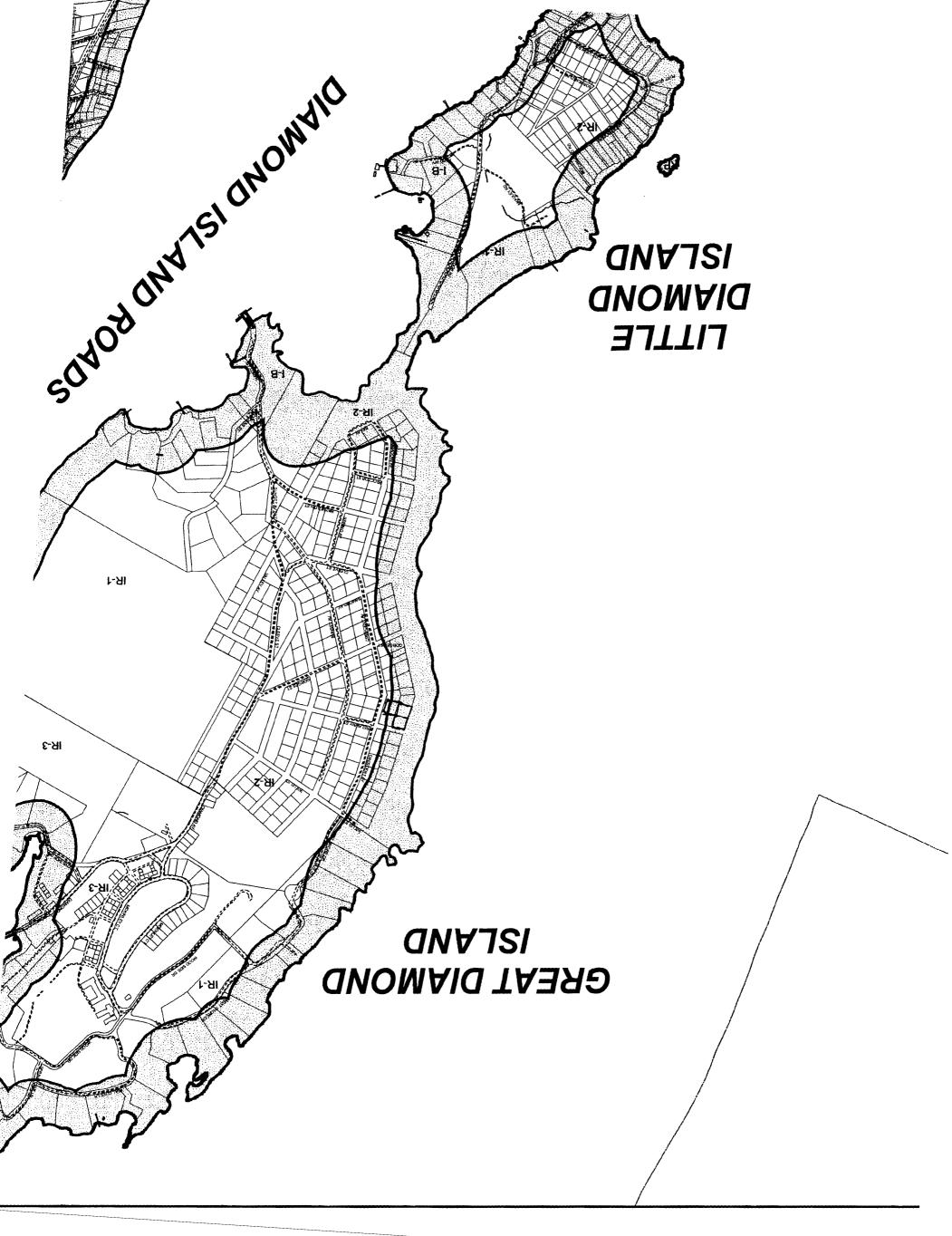
August 29, 1997

Personally appeared FRED C. DURST and MARILYN C. DURST and acknowledged the foregoing to be their free act and deed

Adrian G. McCarron, Attorney at Law

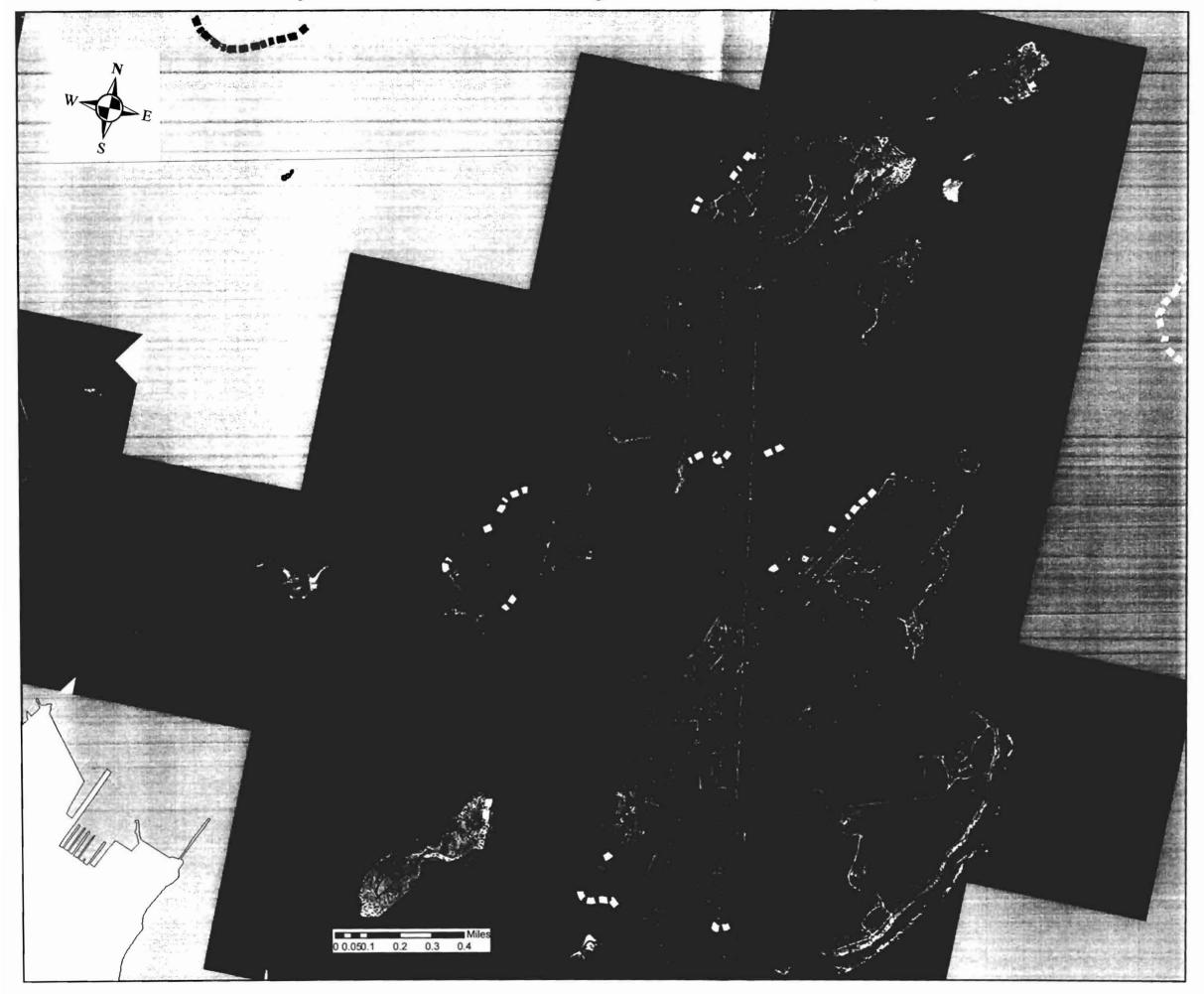






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City of Portland Planning and Urban Development



Shoreland Zoning **Coastal Bluff** Stability

Diamond, Peaks, Cushing, and House Islands

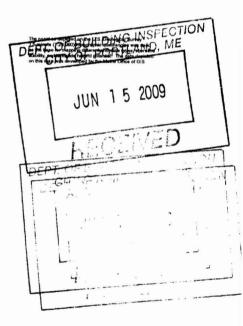


Shoreland Zoning Overlay

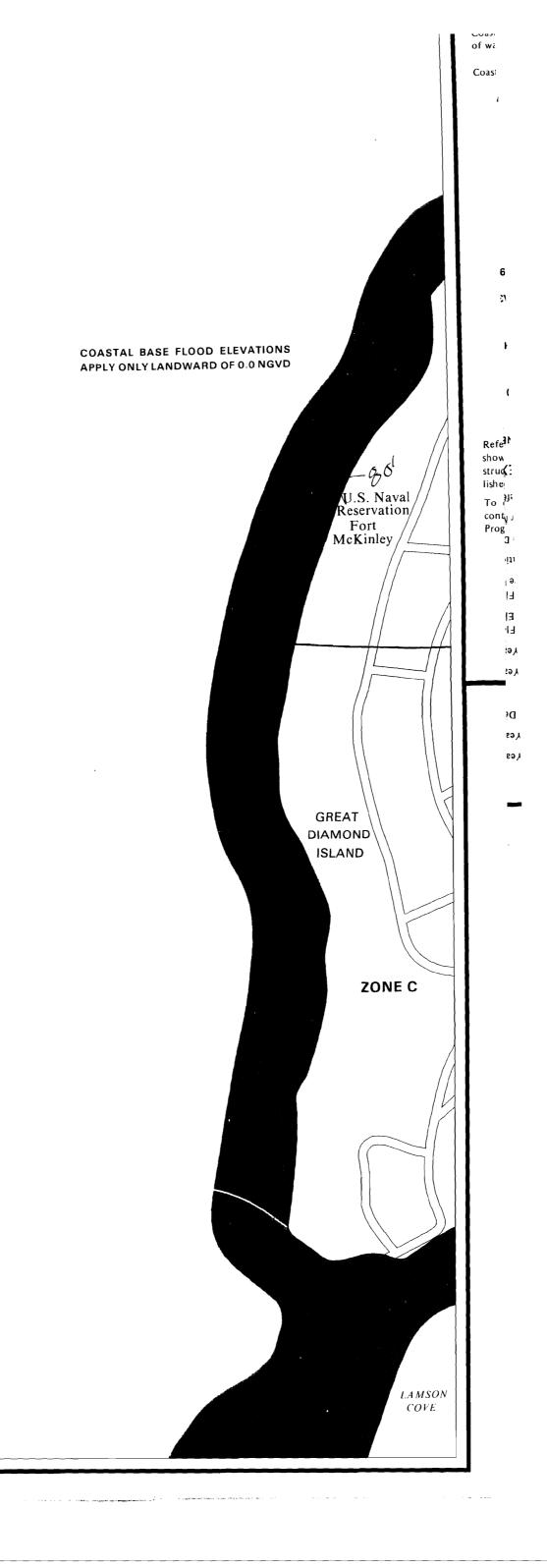
Bluff Hazards Stability

■■■ H - Highly Unstable

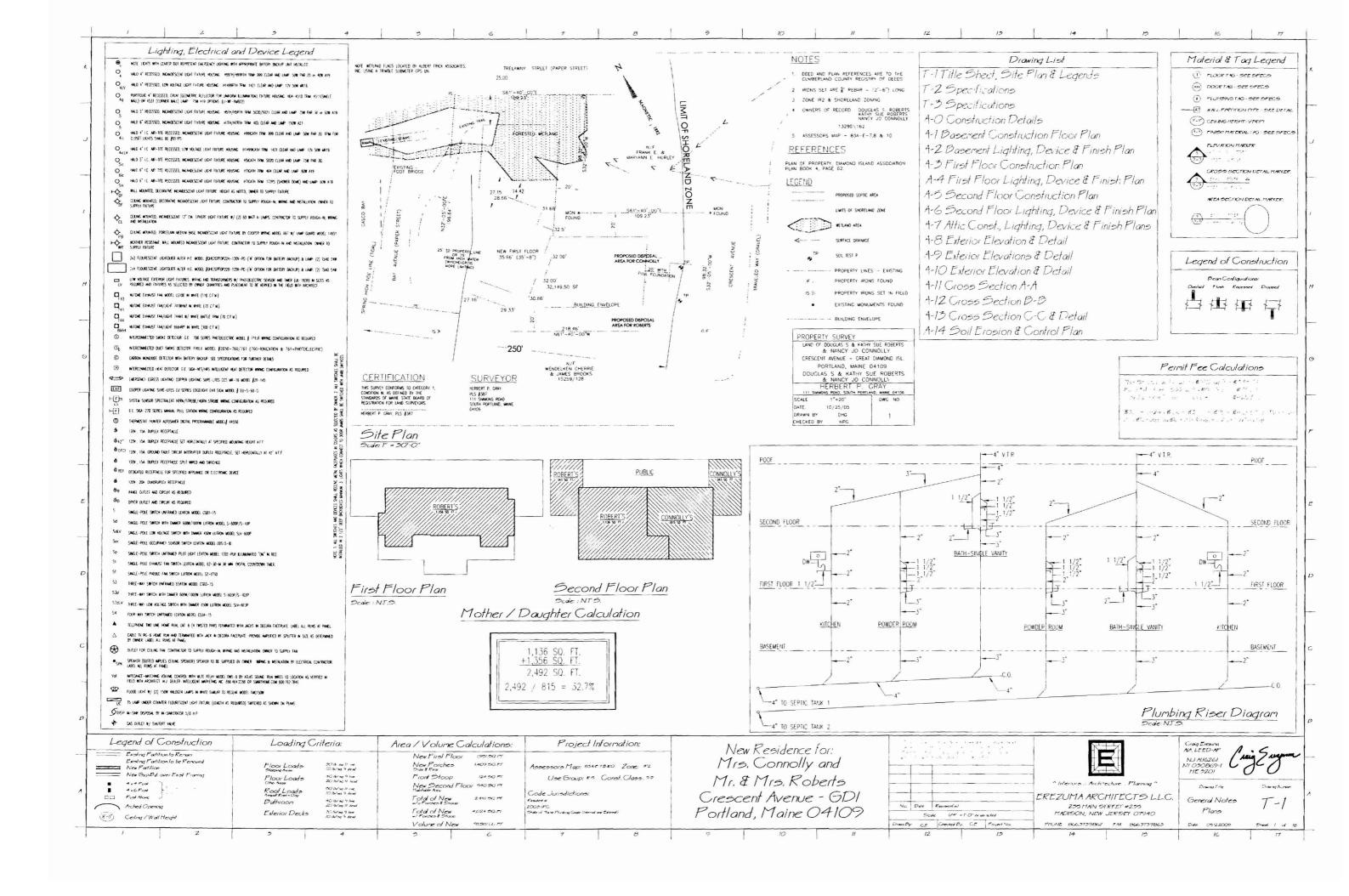
U - Unstable







BAY



ENERAL NOTES AND SPECIFICATIONS	3/19All materials at the bottom of footing excavations loosened as a result of excavation operations or other causes	5.1.6Lintels shall be installed over all openings in new or existing masonry wall as follows:	6.2 5All new stairs shall have oak treads and pine risers. New handralls, balusters and newel posts as shown on	Section 7.5 - Flashing
IVISION 1 - GENERAL NOTES 1 All work shall be performed in accordance with all applicable codes, ordinances and accepted industry.	must be completely removed until a firm undisturbed material is encountered or compacted in-place as directed by the Architect, or a Geotechnical Engineer, as required by the conditions as found before fill or concrete placement	Masonry Opening Lintel	details. 6.2.61 urnsh and install a 4'-0" long section "Mock-Up" of railing design for approval before releasing the entire	35 CHOOL 1.3 - F LEASHING 7.5 I Provide minimum Hooz aluminum step flashing. Shop brake where creases are visible. Separate from dissar metals with bituminous coating.
Standards 2 Contractor shall visit the site shall base estimates upon present conditions, and shall be required to complete	3.1.10 Soil under footings must be protected from freezing	411 or less 1, 41 x 3 1, 21 x 5 167 411 to 7.07 1, 51 x 3 1, 21 x 5 167	order	7.5 2All plumbing vent stacks to be flashed with field fabricated copper collars. Existing channeys to be step flas with 16 or copper and counter flashed and soldered according to "Slate Roofs" details (National Slate
2 Contractors shall visit the site shall base estimates upon present conditions, and shall be required to comprete work shown or indicated. Contractor shall verify all themsensons and conditions in the field and notify the Architect of any discrepancies or inconsistencies prior to submitting bid and executing construction.	3.1.11 Compacted fill if allowed to be placed below footings and floor slabs must consist of clean said and or gravel free of deleterious substances. The materials must be placed in hith not exceeding twelve inches in thickness.	b Provide I angle for each 4" of wall thickness	6.2.7 Att all locations where paneling occurs, at cabinet islands and at bathroom vanities, install all electrical outlets, cable 1.v. and teleo horizontally in base	Association, 1926: Chimmer crickets to be copper and soldered according to "Slate Roofs" details. All step flashing to be 16 or copper. All face flashing to be 16 oz, copper. All valley flashing shall be 20 oz copper brake formed according to "Slate Roofs" details.
3Do not scale the drawings. Written dimensions take precedence over depicted sizes and relationships on drawings. Variations in drawing size may take place due to drafting and printing processes.	and be compacted to a minimum of 95 percent of the maximum Modified Procter density, for the each material used for fill as determined according to ASTM D1557 latest edition. All compacted fill placement must be inspected by a Geotechnical Engineer on a resident basis. Compacted fill sub-gradeds) must also be inspected.	d Lintels over 4-0° shall be fireproofed	DIVISION 7 - THERMAL AND MOISTURE PROTECTION Section 7.2 - Building Insulation 7.2 Protect insulation from physical damage and from becoming wet, soiled or covered with ice snow Comply	Section 7.9 - Roof Venting
. AAII dimensions are given to face of gypsum board unless expressly noted otherwise. Windows and extendoors are located by concrline.	by the Architect, or a Geotechnical Engineer, as required by the conditions as found before fill placement letion 3.1.12 Construct new driveway as indicated on the Site Plan	5.1.7 Light gage metal framing shall conform to the requirements of the AWSI "Specifications for the Design of Cold-formed Steel Structural Members" latest edition, and shall conform to ASTM C-955 and A-466, as appropriate	with manufacturer's recommendations for handling, storage and protection during installation.	7.9.1 Ridge vent shall be Cor-A-Vent X-5 (8/5°). Use "Cor-a-vent" V-3(8) at wall-roof intersection. DIVISION 8 - WOOD DOORS/WINDOWS & HARDWARE.
5 Contractor to perform high quality work in a professional and workmanlike manner	DIVISION 4 - UNIT MASONRY	5.1.8All flush framed connections shall be made with approved galvanized steel joist or beam hangers, minimum 18 gauge, installed according to manufacturer's recommendations.	7.2.2 Maintain verifiation space at all caves. Provide insulation bailler as required. Bailler shall run from face of externor framing to beyond elevation of insulation within aftic. Bailles focated in cathedral ociling shall be continuous to ridge gable powers out as specified elevebare.	Section 8.1 -Wood Doors & Hardware 8.1 Unterior Doors: Provide prehung. 1-3 8" pine doors. Doors shall have full, 3.4" jambs, colonial stops and full mortised brass hinges. Face panel to match existing raised or flat panel. Verify panel style with Owner prov
6 Where adjacent surface areas within the project site, but outside of this contract, are disturbed as a result of building operations or storage of materials under this contract, they shall be cleaned of all debns and restore	ed to 41.1 Notify and allow architect to inspect soil and reinforcement bur placement prior to the placing of the	5.1.9Where framing lumber is flush framed to L.V L., steel or flitch plate garder, set these garders 1.4° clear below	7.2.3 Provide kraft faced formaldely de-free fiberglass but insulation with R values as follows Ratter Ceilings R - 19	ordering Hardware shall match existing
original grades and condition 7 Contractor shall supply all equipment, labor, toots and scatfolding necessary to complete the work	footing concrete 4.1.2All footings shell be on undisturbed soil. 3-6* minimum below finished grade	top of lumber, to allow for shrinkage 5.1 to All concentrated point loads and columns (above and below beam) shall receive 'z" thick minimum web	Ceilings R - 38 Walls R - 19	8 1.2 Provide hardware allowances as follows Per lockset, interior door Per pair lockset for pair of interior doors \$1(0)
8Contractor to coordinate and accommodate all "Not in Contract" work	4.2 3Reinforcing steel shall be billet steel conforming to A.S.T.M. Spec. A-615-60 (6) ksi minimum yield). Deformations in accordance with A.S.T.M. A-305 (f): 40,000 psi). W.W.R. shall conform to A.S.T.M. A-185	stiffeners welded into the channel shape of the beam centered on the load unless otherwise specified 5.1.11 Provide a one-cost shop applied paint system complying with Steel Structures Painting Council (SSPC) Paint	7.2 3Provide 3" thick sound attenuation blankets at all partitions surrounding and floors below bathrooms and aroun all water and sanitary pipes	Per lockset exterior door S150 8 1 3Comply with manufacturer's instructions and recommendations for installation of door units, hardware, accessories, and other components of work
9 Details noted "Typical" imply all such conditions to be treated similarly. 10 Contractor shall furnish a Certificate of Occupancy to the Owner at the time of "Substantial Completion".	W.W.R. in floor slabs shall be centered in the slab. Provide spacers, chairs, and ties as required and necessary for assembling, placing and supporting all reinforcement in proper position.			8.1.48ct units plumb, level and true to line, without warp or rack of frames and panels. Provide proper support, a another frames and fixed panels securely.
H Contractor shall procure and pay for all permits and fees.	4 L3Furnish and install rebut grounding & bonding clamp & grounding wire sized as required and installed as per- manufactures directions.	Section 6.1 - Rough Carpentry	Section 7.3 - Siding 7.3 Provide siding as indicated on the drawings installed over "Tyvek Housewrap"	8.1.5 Adjust operating panels, screens, and hardware to provide tight fit at contact points and at weather-stripping
12 All copies of Drawings. Specifications. Copyrights and the Designs expressed therein are and shall remain property of the Architect. They are to be used only with respect to this project.	n the 4.1.4Prtch basement and crawl space slabs to sump pit	6.1 I Keep materials under cover and dry. Protect against exposure to weather and contact with damp or wet surfaces. Stack Jumber as well as ply wood and other panels, provide for air circulation within and around stacks and under temporary coverings including polychyth kein and similar materials.	7.3 2 Siding shall match existing 7.3 2 Codar Shake & Shingle Bureau Certigrade Red Cedar Shingles Number One Grade 18" long with 5"	smooth operation and weather-tight closure. 8 1 6C lean pre-finished door and frame surfaces promptly after installation, exercising care to avoid damage to
13 The Contractor, his agents, servants, employees and sub-contractors shall indemnify the Owner and the Architect from and against any claims that may arise out of this project. The Owner and Contractor shall	4.1.5Concrete vapor harmer as indicated elsewhere in specifications or on plans shall be 6-mil polyethylene with a lab-tested vapor transmission rating of 0.2 perms. Protect vapor harrier during all phases which includes removal of projections which might purcture the barner.	6.1.2Comply with "WCD 1 - Details for Conventional Wood Frame Construction" by American Forest & Paper Association American Wood Council (awe org.) and IRC International Residential Code, including runting, fire	EXPOSURE Clear heartwood. 100% edge grain, no defects. Nails shall be driven flush but not so that the nail head crushes the wood. They shall be placed approximately 3.4% to 1% from the side edges of the	coatings. Clean glass surfaces after installation
indemnify the Architect against claims arising from the project. The Architect's hability terminates at the tir	the 4.1 Grout for general brick repair. Use Type N mortain consisting of 1 part Type I Portland Cement I part Type S. 18.4 draft Jime 2 to 3 times the volume of cement and hime of ASTM C1-14 (sand) aggregate.	stopping anchorage framing and bracing. Code requirements for engine vicing course and outs shall be	with two, corrosion-resistant nails. Cedar Shake and Shingle Bureau (604) 820-77(t)	damage or deterioration at time of acceptance Section 8.2 - Windows
14 All work is new unless noted as existing	4.1.7All concrete shall be stone concrete. Minimum compressive strengths at 28 days shall be as follows.	6.1.3Glue laminated beams labeled as "laminated veneer lumber (LVL)" are to be "GP Lam 20%" as manufactured by Georgia Pacific Corporation. Provide 4" x 6" bearing under all guiders as indicated on drawings or minimum.	Section 7.4 - Shingle Roofing 7.4.1 DO NOT BREAK BUNDLES OVER RIDGE.	8.2.1 All windows to be Anderson Tilt- Wash series with 1,7 thick insulated glazing and full height screens. Inclusionass hardware and screens for easement units. All exterior easing trim and sills to perfectly match existing.
15 Keep materials under cover and dry. Protect against exposure to weather or any damaging conditions.	a Footings, walls, piers, slabs 500 psi b Grout for concrete block walls 2500 psi c Re-tempering of concrete is strictly prohibited	3.1.5 bearing under all other conditions. Provide 1.5 bolts 16" oc. staggered top and bottom where built-up Refer to details for L.V.L. with flitch plate & joist girder penetration gusset details.	7.4. 2Provide a Maintenance Stock of 2% of each type color texture shingle used in the work and place in location as directed by Owner.	verify in field. Sizes as noted on the drawings and as per field dimensions. FIELD-VERIFY ALL WINDO
16 Furnish Port-O-John on site for duration of construction. Bathrooms in the house shall not be used by a of the workers at any time.	4) 8 Concrete subject to potentially destructive weathering action such as freezing and thawing shall be air-entiained (total air content, percent by volume of concrete; shall be not less than 5 percent or more than 7 percent).	6 1.4All metal hangers and hardware shall be by Simpson Strong Tie as specified on plans. Where no designation of a specific hanger item is specified, use the most economical hanger item.	7.4.3 Deliver materials in manufacturer's unopened, labeled bundles, rolls or containers. Store materials to avoid	8.2.2 Refer to elevations for transom locations.
17 Cleaning shall be the responsibility of the General Contractor. Floors, walls, windows, and all other surfactionable be cleaned ready for occupancy. Turn over building broom clean. The owner will wash windows and plumbing fixtures.	aces Installation shall be in accordance with ACL301 & ACL318. Specifications for Concrete for Buildings	6 1.5 Structural Framing Jumber to be No. 2 Douglas Fir, or better, 1450 psi minimum, factory marked	water damage, and store rolled goods on end. Comply with manufacturer's recommendations for job-site storage and protection.	8.2.3 Shop drawings shall be required for all specialty and all elliptical transom units provided by window manufacturer prior to ordering.
18 All materials shall be new and of the grade and quality specified. Trained, experienced persons, skilled in		6.1 6All framing shall be plumb and square, true, well braced, prined teether with good joints and true bearings. Framing and usiling shall conform to LR.C. and good practice. Laser-level all kitchen and bathroom ceilings and floors with adequate furning as required.	7.4.4Proceed with shingle work only after substrate construction and penetrating work have been completed 7.4.5Proceed with shingle work only when weather conditions are in compliance with manufacturer's	8.2.4Provide tempered glass as required by code.
their various erafts, shall perform the Work. 19 The entire installation shall be guaranteed against defects in workmanship and material for a period of one	and shown below: a.boundation walls ASTM C 145 Grade N-1 (75% solid)	6 1.7All structural work shall be literal as per these documents	recommendations and when substrate is completely dry. 7.4.6Asphali Plastic Cement shall conform to ASTM D 2822, designed for trowel application. Hip and Ridge	8.2.5 Flash all exterior window and door units with copper drip cap. 8.2.6 All windows shall have stools furnished and installed by G.C. (see specs for stool profile manufacturer and
year from the date of final acceptance. 20 Existing conditions shown or implied are based on the best available but limited information. If conditions	c.Beam Bearing to Footing ASTM C 145 Grade N-1 (100° a solid) d. loist Bearing Ton 8° ASTM C 145 Grade N-1 (100° a solid)	6.1.8 Unless otherwise stated on the drawings, headers shall be as follows. Up to 6-47 opening: Up to 1/4-0 opening: use (2.) 2. \ \(\text{UF} \) Up to 1/4-0 opening: use (2.) 1.3 \ \(\text{T} \) \ \(\text{T} \).	Shingles shall be job-fabricated units cut from actual shingles used. Nails shall be aluminum or hot-dip galvanized 11 or 12-gage, sharp-pointed, conventional rooting nails with barbed shanks, minimum 3.8° diameter	number unless matering existing). No picture framing of windows
encountered that differ from those shown, noted or implied, all work in that specific area is to stop and the Architect is to be notified. No work shall commute in such areas without the permission of the Architect.	4.2.2 Masonry, Mortar -ASTM C 270, Type S above grade (1 part centent, 1.4 to 1.2 part hydrated lime; 2.1.4 to 3 times the sum of the volume of cement and lime for sand aggregate). Type M below grade (1 part cement to 3.		head, and of sufficient length to penetrate 3.4" into solid docking or to penetrate through physicod sheathing Metal Drip Edge shall be a minimum of .024" pannted firmsh aluminum sheet, between four or toyide.3" cool dock flange, and 1-1.2" faxing flange with 3.8" drip at lower edge. Furnish in 8 or 10" fengiths. Metal Flashing	Section 9.1 - Driwall 9.1 [General: Comply with requirements of referenced gayssum board application standards and recommendations assume board application standards and recommendations.
21 Installation of all material and or units to be selected by, supplied by and or installed by Owner or interior designers, etc. shall be scheduled and co-ordinated by the G.C. to maintain the construction schedule. Prior	r to 4.2.4Lay masonry units in running bond (except as noted otherwise) and cut joints flush. Masonry units when dry	6.1.9 Verify, sizes of all engineered structural members, indicated on drawings, with architect prior to ordering and installation.	shall be 024° mill finish sheet aluminum unless otherwise noted as copper and job-cut to sizes and configurations required	Ventilate building spaces as required to remove water in excess of that required for drying of joint treatment
commencement of the work, the contractor shall notify the Owner of all quantities of Owner supplied materi and or units not specifically called out in these construction documents.	should be wetted down before laving up and units should be fully bedded in mortar when laid. Do not lay masonry units which are wet or frozen.	6.1.10 All plates to be doubled with splices staggered over studs only	7.4 7Examine substrate and conditions under which shingling work is to be performed and must notify Contractor in writing of unsatisfactory conditions. Do not proceed with shingling work until unsatisfactory conditions have been corrected.	material immediately after its application. Provide materials and installations which are identical with those of applicable fire-rated assemblies tested per A.S.T.M. E-119.
1.22 All allowances - credits shall be for the actual purchase price of the items IVISION 2 - DEMOLITION	4.2 51kmld foundation walls of concrete block accurately as shown on drawings. Key mesh or Durowall reinforcing (2" test shan nominal width of walls) in alternate block courses. Bond walls together at intersections. Fill bonds in top units with concrete. Fill core sold and add of Febra at 40" or, along entire wall. Provide steel action.	ds	7.4 8Clean substrate of any projections and substances detrimental to shingling work. Cover knotholes or other	9.1.2Install*; "Type III. Gride R, Class 1 (ASTM C-36), gypsum board with eased radial edge at walls and ceiling new and renovated areas with tapered edges. Install cementinous board on all areas to be titled. Install water-resistant in all bathorous. Aften gypsum board, bye: "X' gypsum board, board, water-resistant and
1 (Provide temporary barricades and other forms of protection as required to protect Owners and their property	bolts with hex huts and flat washers complying with ASTM A-307	6.1.13 All doors or trimmed openings to have (2)-2" x 4" studs at jambs minimum	minor voids in substrate with sheet metal flashing secured with roofing nails. 7.4.9Coordinate installation of shingles with flashing and other adjoining work to ensure proper sequencing. Do not	comentitious board with construction adhesive (i.e. Liquid Nails Tub Surrounds LN-715 V(X Compliant) and dry wall screws. All basement dry wall shall be moisture resistant dry wall lifted off slab I* to prevent wicking
1. 2Remove debris, rubbish and other materials resulting from demolition & construction operations from building terms from perfect of the properties of		6.1.14 All joists to have 3.12" minimum bearing over plates or as otherwise indicated on drawings. Flush beam and headers to have metal hangers.	install shingle roofing until all vent stacks and other penetrations through roofing have been installed and are securely fastened against movement.	Install 5.8 type: X: gypsum board on walls and ceilings in all garages. 9.1 3General contractor shall apply three coats of spackle to gypsum board and sand surface to satisfaction of own
and protection against exposure or environmental pollution. Burning of removed materials is not permitted	Hing J 2.7All new brick store veneer and mortar color shall be as selected by Owner. Mortar onlyzed shall be "Colored Cements" as manufactured by Keystone Cement Company (no substitutions). Architect has colored mortar samples. Construct sample panels: 2-70 square for a providal two weeks before proceeding with construction	6.1 15 Provide 5.4" x 3" solid wood bridging, centered in spans of floor joists exceeding 8-0". Do not allow cross members to come in contact with each other, leave a 's" gap.	7.4.10 Apply one lawer felt borrzontally over entire surface, lapping succeeding courses 2" minimum and fastering with sufficient naist to hold in place until shingle application. Install starter strip of roil roofing or inverted shingles with tabs removed, fasten shingles in pattern, weather exposure and number of fasteners per shingle as	painter. 9.1.4 Perfectly patch all wall, ceiling and trim surfaces as required to be ready for paint including removal of existing.
IVISION 3 - SITE WORK 1 I Satisfactory soil materials are defined as those complying with ASTM D2487 soil classification groups GW	4.2 8Build walls straight and plumb, courses level. Fill all joints with mortar as units are laid. Full head joints. Too		recommended by manufacturer. Use horizontal and vertical chalk lines to ensure strange coursing. Provide ice & water shield in locations as indicated elsewhere in this document and on the drawings.	wall liners. 9 1 5 Provide manufacturer's standard trim accessories of types indicated for drywall work, formed of galvanized st
GM, SM, SW and SP. Notify the Architect if on-site conditions indicate lesser values than assumed soil bea capacity. 2500 PSF & assumed lateral illud load. 45 PSF.	earing with Architect.	6.1 17 All priping and electrical penetrations shall be centered in joist depth of 61.18 All fraining members where cut to permit passage of priping, ducts, conduit, etc. shall be strapped and braced	74.11 - Comply with installation details and recommendations of shingle manufacturer and NRCA Steep Roofing Manual	unless otherwise indicated. 9.1.6 Joint treatments (ASTM C-475) shall be as follows
L2Perform excavation within drip-line of large trees to remain by hand, and protect the root system from dama Relocate all removed soil on property to locations as directed by the Owner.	30 bar diameters (unless noted otherwise)	on each side as per code requirements. Provide miscellaneous framing around openings as required	7-4.12 Install metal flashing, vent flashing and edge protection as indicated and in compliance with details and recommendations of the NRCA Steep Reofing Manual Ridge vent(s) / Gable vent(s) / Powered vent(s) must	Type recommended by the manufacturer for the application indicated, except as otherwise indicated a Joint Tape: Paper reinforcing tape
1 3Relocate or remove all existing shrubbers, plantings and trees that are within the area of construction. Vent with Owner if contractor is to relocate or remove shrubbers, plantings and trees before work occurs. Provide	de walls		be installed in combination with soffit vents. 7.4.13 Asphalt Roof Install 5.8" thk. C-D Exposure 1 plywood sheathing, GAF weather watch waterproof	 b. Joint Compound. Reads-inited vinyl-type multi-purpose grade for entire interior application. c. Water-Resistant Joint Compound. Special water-tesistant type for treatment of joints, fastener heads are cut edges of water-resistant and cementitious backing board.
cedar mulch in quantities as required for temporary housing of to-be-relocated plantings as directed by own field. I ceate plantings away from any direct duration of studight. Water as necessary.	ner in 4.2.11 Where changes in masonry unit types occur, or decrease in wall thickness, the top 8" course of wall below shall be 100° solid.	6.1.20 Piywood sub-flooring and sheathing to be APA rated 32 16 exposure 1 6.1.21 Plywood underlayment to be APA interior, Group L exposure 1	underlayment (at all rakes, overhangs, ridges, valleys and penetrations three foot wide and three feet at cave from face of wall), balance of roof to be GAF shingle-mate underlayment and roofing to perfectly match	All products subject to compliance with requirements as per U.S.G. Co.
1.4 Contractor shall stockpile all existing topsoil for re-use and provide new as required so as to provide 4" of topsoil on all aftered areas of the site. Rake out and level soil to finish grade. Leave all areas ready for seed by Owner.	eding DIVISION 5-STEEL	6.1.22 Use sub-floor grade construction adhesive at plywood sub-floor installations and underlayment grade construction adhesive at plywood underlayment installation which meets APA-AFG-01 performance spees (i.e.	existing Install all new copper flashing at valleys and penetrations etc. (including chimneys). Slopes applicable for this spec shall be 4.12 and greater.	9.1.7Gy psuin Board Application and Finishing Standards: ASTM C 840 and GA 216
Backfill and compaction against foundation wall shall be trash-free material in 8-inch lifts. Backfill to be	Section 5.1 - General Steel Materials 5 I I All structural work shall comply with the Maine State Building Code	Liquid Nails Sub-floor & Decks LN-902 VOC Compliant) Nail/screw before adhesive sets.	7.4.1.4 Asphalt Roof-Low Stope Application. Install 5.8.7 thk. C.D Exposure. In wood sheathing. GAF weather watch waterproof underlayment (at all rakes, overhauge, ridges, valleys and penetrations three took wide and three feet at each from face of wall), balance of roof shall follow manufacturers application instructions for	9.1.81 ocate exposed end-butt joints as far from center of walls and ceilings as possible, and stagger not less than 1-0" in alternate courses of board. Install ceiling boards in the direction and manner which will minimize the
compacted to 95°s maximum dry density for cohesive soil and 98°s for granular seek in accordance with A.S.T.M.D-1557. Care must be taken not to damage the foundation walls or the damp-proofing and waterproofing.	5.1.2 Contractor shall properly shore, brace and make safe all floors, roofs, walls and adjacent property as job conditions require.	6.1.23 All exterior 5.4" x 6"mahogany (red-merant) species) declarg shall be clear select or better Install all declarg tight to one another (no natl gap).	Iow-slope (2-12 to 4 12) applications. GAF Fiberglass Class 'A' Asphalt Roof Shingles (1a) Underlayment. Low Slope. Roofing to perfectly match existing. Install all new copper flashing at valleys and penetrations etc. (including chimnes).	at least 1-0". Install wall partition boards vertically to avoid end-butt joints wherever possible. At stairwells and similar high walls, install boards horizontally with end joints staggered over study. Space fasteners in
16. Footings shall bear on undisturbed, virgin soil and or supervised compacted fill, free of frost, having a frimmum allowable bearing capacity of 2,500 psf. Contractor shall notify Architect of any doubtful conditions h	S. L. S. Frenchural et and elanage & tubura chall conform to the A.I.S.C. Spacelines for the Decision Laboration and	6.1.24 Attach all decking lumber to framing with stainless steel, pneumatically actuated nails imbedded into finish surface 1.16*	7.4.15 Copper Roof Copper Roofing Sheets: Cold-rolled copper sheet complying with ASTM B-370 temper designation. 1800. unless otherwise indicated (for lead-coated applications, refer to Waxne Seale for further	gy psum boards in accordance with referenced standards and manufacturer's recommendations, except as otherwise indicated
mains responsible for verifying the presence of the required hearing conditions. 1.7 The soils at the bottom of the footing excavations should not be exposed to the weather for abnormally long	tuling shall conform to ASTM A-500 Grade B. Botts shall be 3.4 inch diameter high strength ASTM A325. Field connections shall be welded or shall be 3.4° diameter unfinished botts conforming to ASTM A307, unless	Section 6.2 - Finish Carpentry	information including but not limited to edge soldering) over base sheet underlayment installed as per manufactures directions, 3.4° thk. B-C Exposure 1 plywood sheathing with miscellaneous framing as required to	9 1.9Install gypsum wallhoard as follows a. On ceilings apply gypsum board prior to wall partition board application to the greatest extent possible b. On partitions walls apply so posum board vertically (parallel), upday otherwise polymerate and resister.
The solis at the ordinal of the country of the natural state and supporting capacity of the soil at the bottom of executions. These soils will focus and or soften rapidly in the presence of excess water. A gitation caused workers or machines will significantly increase the rate of deterioration of the soils. For these reasons, are	of set by 51.4Welding shall conform to the AISC Specifications for the Design, Fabrication and Erection of Structural Steel	soffit panels shall be painted '; thk. A-C.	match plan and elevation specs, and or provide a minimum of 's' per foot slope (plans and elevations shall have precedence). Provide materials and types of fasteners, solder, welding rods, protective coatings, separators, scalants and accessors items as recommended by copper sheet manufacturer and fabricator for copper roofing.	sheet lengths which will minimize end joints c. On partitions walls 8'-1' or less in height apply gypsum board horizontally (perpendicular); use
water collecting in excavations must be removed as quickly as possible. If the soils are disturbed, they must removed until a firm undisturbed material is encountered, given sufficient time to re-stabilize, or compacted	Welding shall be performed by certified welders. Welding electrodes shall be ASTM A233, Class E70XX	number of joints using full length pieces to the greatest extend possible. Use scarf joints at all end-to-end joints and stagger joints in adjacent members. Do not install finish carpentry until required temperature and relative	work, except as otherwise indicated. Provide components required for a complete roof system. Raise the leading wood shingle edge on a cant to prevent "line corrosion" and thus breaking the bond between wood shingle and copper flashing. Separate dissumitar metals by painting each metal surface in area of contact with a	maximum length sheets possible to minimize end joints 9.1.10 Apply treatment at gy psum board joints (both directions), flanges of trim accessories, penetrations, fastence
in-place as directed by the Architect, or a Geotochineal Engineer, as required by the conditions as found 1.8 The bottom of excavations for footings bearing on sound bedrock must be cleaned of all loose materials before		humidity conditions have been stabilized and will be maintained in installation areas 6.2.3 All trim shall be selected in the field with the Owner and the Architect	bituminous coating by applying rubberized asphalt underlay ment to each metal surface, or by other permanent separation as recommended by manufacturers of dissimilar metals.	heads, surface defects and elsewhere as required to prepare work for decoration. Pre-fill open joints and rounded or beveled edges, if any, using type of compound recommended by manufacturer a Apply joint tape at joints between gyneum boards, except where time accessives are indicated.
concrete placement. The bottom of the excavation must be mechanically scaled of loose materials and be in "broom" clean state before concrete placement.	13	6.2.4Furnish new shutters as indicated on the drawings. Shutters shall be manufactured by Kingsland Architectural Millwork 860.542.6981. Material shall be mahogany and syle shall "Farmington" shutter with copper cap.	H Wayne Scale E-mail, wseale a cda copper org PO Box 144 Pocopson, PA	b. Apply joint compound in 3 coats (not including pre-fill of openings in base), and sand between last 2 coats and after last coat.
			19365-0144 Tel 610 793-3868 ‡a\ 610 793-3863	
Legend of Construction Loading Cr	riteria: Area / Volume Calculations: Pri	roject Information: New Residence I	for the state of t	Crolq Ereamo
Existing Partition to Remain Existing Partition to be Removed Floor Loads	New First Floor 1999 or 1998 o	Map: BOALTBRID Zone: KZ NEW N ESIDENCE I		NA, LEED-AP NING Sugar
Elisang i dimensione Resource Floor Loads Steeping Resource New GypDd over Elist Franka Floor Loads	40 IN sell line Front Stoop 124 50 17 Use G	Frage BARETHER Zone: 42 Frage: BARETHER ZONE:		NY 020869-1 C JC
# 4.4 Post Clerk Avens Roof Loads Avent Roof Loads Avent Roof Loads Avent Roof Clerk	70 Way It deal New Second Floor 340 30 FT 30 Way It has Make Second Floor 340 30 FT Code historials			Interlose: Architecture - Planning > Draing Che Draing Northe
,	Total of New 249190 PT	(reevent Avenue	- (7) / FRF	ZUMA ARCHITECTS LLC
Ped the Desiry Michel Opening Exterior Decker	20 lb/so It dead 2000 IRC	Potland, Maine C		200 MAIN STREET #200 General Notes T-2

_	1 2			4
	Section 9.3 - Ceramic Tile 9.3 IStandards Adhesive and grout materials and installation standar (ANSI) and Handbook for Ceramic Tile Installation by the Tile.	ds of the American National Sta Council of America, (current Ed.	ndards lastitute	9 4 16 INTERIOR F
κ	the work, except as otherwise noted			Gypsum Dryy Fggshell E
	9.3 2Contractor to provide ceramic tile installation at all areas as indi- selected by owner. Tile at floor and wall conditions shall be set Sub-straight shall be as follows.	cated on the drawings. Tile and in troweled latex portland cemer	grout as it mortar	First Co (i.e., (i.e.,
- 1	Floors Direct adhere over 12" Durock or Wonderboard (no or equals) installed as per manufacturers directions			Second (1.e (1.e
	Walls Direct adhere to water resistant gypsum by Walls &Ceiling	ard		Painted Wood
	in Shower Area Direct adhere over 'z' Durock or Wonderh (no or equals) installed as per manufacturers dire	ctions and metal lathe mechanica		Semi-Glo First Co (i e
J	sub-floor and embedded in thin set over ice and v (sub-floor) with continuous turned up perimeter of elastomeric compound manufactured by Sashool	dges sealed with Level Clear Al	I Purpose	Second (i.e
1	973 377 1000 Section 9.4 - Painting			Radiant Barri F-Barri
	9.4 Contractor shall melude priming of exterior triin prior to installa specified below, in complementary color to top coat. Allow 24	nour re-coat time		Section 9.5 - Wo 9.5 1Provide materi
	9.4.2Seal all new and newly exposed CMU's where storage or habita Masonry Water proofing.			9 5 2All new wood linished with o
,	9.4 3 Work includes painting and finishing of interior and exterior ex- except as otherwise indicated.	posed items and surfaces through	out project.	(Sale Building DIVISION 10 -
	9.4.4Single Source Responsibility. Provide primers and other under finish coats (i.e. Sherwin Williams). Use only thinners approve recommended limits. Every effort shall be made to comply with Transport Commission (OTC).	by paint manufacturer, and use	only within	Section 10.3 - Ba 10.3 1 Contractor sl 10.3 2 Install access
	9.4 5Deliver materials to job site in original, new and unopened pack	ages and containers bearing man	ulacturer's	and recommen owner in field.
	name and label. Store materials not in actual use in tightly covered to the paint in a clean condition, free of foreign materials as necessary and adequately protected from fire hazards and health application of paints.	d residue. Protect from freezing	where	DIVISION 12 - Section 12.1 - Ci 12.1.1 All kitchen
н	9.4 6Apply water-base paints only when temperature of surfaces to between 50 deg. F (10 deg. C) and 90 deg. F (32 deg. C), unless printed instructions.			and final hook Match kitchen most current d
	9.4.7Do not apply paint in snow, rain, fog or mist, or when relative h surfaces, unless otherwise permitted by paint manufacturer's print		p or wet	DIVISION 15 - Section 15 - HV. 15.1 1 General: Pro
	9.4.8Provide best quality grade of various types of coatings as regula manufacturers. Lead content in pigment, 0 00% lead, as lead in paint by weight.			Laboratories, 2 1 E C C, 2006 calculations A provide all iter
6	9 4 9 Accepted Alternate Manufacturers Benjamin Moore Pran & Lambert			and or specific All work to be joist depth.
Ĭ	Phtsburgh Paints 94.10 Applicator must examine areas and conditions under which pa	inting work is to be applied and	notify	15.1.2 Install new I manufactured
	Contractor in writing of conditions detrimental to proper and tir- rust, scale, grease, moisture, scutted surfaces, or conditions othe paint film.	erwise detrimental to formation of	of a durable	Heating System 70 degrees F a
	9.4.11 General Perform preparation and cleaning procedures in accordand as herein specified, for each particular substrate condition paint or surface treatments. Remove oil and grease prior to me painting so that contaminants from cleaning process with not fall.	Clean surfaces to be painted before thanical cleaning. Program clean	ore applying ning and	Cooling System 75 degrees F a • Boiler effici
F	Wood: Clean wood surfaces to be painted of dirt, oil, or other f	oreign substances with scrapers,	mineral spirits.	15 1 4 Materials: du
	and sandpaper, as required. Scal tops, bottoms, and out-outs of varnish or equivalent scaler immediately upon delivery to job.	unprimed wood doors with a hea	Ny coal of	15 I 5 All joints of approved close
	9.4.12 Mrx and prepare painting materials in accordance with manufa			Closure system
_	9.4 13 Apply paint in accordance with manufacturer's directions. Us substrate and type of material being applied. Paint colors are to indicated in the contract documents. Provide finish coats that a lightly between each succeeding enamel or variash coats.	be selected by owner. Surface t	realments are	"181 A-M" for "181 A-H" for Closure system
Ľ	9.4.14 During progress of work, remove from site discarded point may work day.	nerials, rubbish, cans and rags at	end of each	marked "181B -FX" for "181B -M" for
	9.4.15 EXTERIOR PAINT SCHEDULE. General Painted Wood Painted Wood Trim			Duct connection fastened Crim mechanically
_	Semi-gloss Emulsion Finish: 2 Coats. First Coat: Exterior Latey Base Primer Coat. (i e. S.W. Pro Block B51-W20)			15.1 6 G C to fumi
	Second Coat. Externor Semi-gloss Latex Base Paint (i.e. S.W. Duration Exterior or Superpaint)			15 1 7 G.C to furni 15.1.8 All ducts in
	Stamed Wood (new paint over previously stained): Flat Stam, 2 coats			vapor barrier
D	First Coat: Alkyd Primer (i e S W. Pro Block HS B79-W810)			15 I 9 Provide a on modifications
	Second Coat. Exterior Solid Latex Stain. (i.e. S.W. Duration Exterior or Superpaint)			Section 15.2 - Pl 15.2 General: Pro
-	Painted Cementitious Siding Semi-gloss Emulsion Finish 2 Coats First Coat. Exterior Latex 100% Acrylic Base Primer Co			applicable req materials, oper all labor, mate
	(i.e. S.W. Pro Block B51-W20) (No Alkyd Primer due to saponification*)			work of other responsible to
	("Saponification is the hydrolysis of an ester unde of a carboxylic acid Saponification is commonly us (base) with a fat or oil to form soap.)			15 2.2 Keep materia
C	Second Coat Exterior Semi-gloss Lates Base Paint (i.e. S.W. Duration Exterior or Superpaint) Painted Stucco:			15 2 3 All waste sha roof shall be e groups shall he or equals). Al
	Semi-gloss Emulsion Finish 2 Coats First Coat: Exterior Latex 100°s Aerylic Base Primer Co (i.e. S.W. A 100) (No Alkyl Primer due to saponification)	at		be 1 8" per for 15 2.4 Furnish and and Architect
	Second Coat: Exterior Semi-gloss Latex Base Paint (i e S W A100)			negative pitch
B				(Union) with I
	Legend of Construction	Loadi	ng Crite	ria:
	Existing Partition to Remain Existing Partition to be Removed		, .	Ch/- # !-
	New Partition New GypDd over Exist. Francing	Floor Load Stoeping Areas Floor Load	4 ساد	K) lb/sq. ft 'lwe D lb/sq. ft dead K) lb/sq. ft lwe
1	1,4 Pod 1,6 Pod	Roof Logo	, 2	O loves II, head O loves II, live O loves II drad
			*	

PAINT SCHEDERE

re wall Systems (except bathrooms)
HEmulsion Finish. 3 Coats
Coats Internet Takes Base Primer Coat
c.S W. Pro Block, B51-W20)
c.S W. White Pigmented Shellac)
red and Third coats. Interior Eggebell Late, Base Paint S W Duration Home or Superpaint) drywali only S W Cashinere) plaster only

oodwork and Hardboard
Floss Enamel Finish 3 Coats
Coat Interior alky d Undercoat.
e S.W. Pro Block ITS 179-W8101 oce compliant
and and Third Coats Interior Semi-Gloss Alkyd.
e S.W. Pro Classic XP B34-W555) oce compliant

rrier (bottom of installed roof sheathing). rrier by Sherwin Williams (B68 S100)

Vood Flooring
erial and installation in accordance with referenced manufacturers instructions

od flooring and steps (entire residence) shall be sanded, stained to match owner's sample and those cost scaler and two costs of Polyurescal BP polyurethane in Gloss or Satin to match existing mg Solutions 262,968 5000.

16 | 8 All down-light frame in kits in insulated ceiling conditions shall be "insulated ceiling" type housings for buried in insulation conditions.

- SPECIAL TIES

Bathroom Accessories
shall install bathroom accessories as furnished by owner.

ssories in accordance with manufacturer's instructions, using fasteners appropriate to sub-straight anded by manufacturer of unit—install plumb and level firmly anchored in locations to be chosen by

FURNISHINGS

Cabinetry

The party cabinets, tops, appliances and installation is by owner. G.C. to provide roughing to bujes. Coordinate with owner's kitchen vendor and closely follow kitchen vendor's drawings on vendors' drawings with respect to all trades. Allow architect to sign off on all changes from the drawings available.

- MECHANICAL

- ovide Design hulld mechanical system to comply with the National Electrical Code, Underwriter's Provide Design huld mechanical as stem to complex with the National Electrical Code, Underwriter's significant configuration and read recording a multifamily under three stories) is 25.00% International Energy. Comercation Code (researching designificant) under three stories) is 106.0136. Equipment Significant & Code (M.140). Significant general principation. Contractor shall ritems, articles, materials, operations or methods listed, mentioned or scheduled on the drawings infections, including all labor, materials, equipment, and incidentals necessary for their completion be coordinated with work of other trades. All piping and electrical principations shall be centered in
- EP gas and electric fired boiler units (one per side) (with all applicable accessories as per code) as all by Ulioa. A
- nce Efficiency Requirements, stem must maintain interior temperature of F at 0 degrees F ambient temperature stem must maintain interior temperature of at 95 degrees F ambient temperature
- icrency (Conditioned Basement) 90% AFUE minimum
- ductwork shall be constructed so as to conform to SMACNA
- of duct systems shall be made substantially airtight by means of tapes, massics, gasketing or other sure systems

ems used with rigid fibrous glass ducts shall comply with UL 181A and shall be marked

ctions to flanges of air distribution system equipment or sheet metal fittings shall be mechanically imp joints for round ducts shall have a contact lap of at least 1.5 inches (38 mm) and shall be by fastened by means of at least three sheet metal screws or nyets equally spaced around the joint.

- mish and install ducts ork as required to exterior for Litchen exhaust fan.
- mish and install insulated (min R-8) ductwork, as required, to extenor, for bathroom exhaust fans smish and install insulated (min. R-8) ductwork, as required, to extenor, for bathroom exhaust fans in the outside walls and unconditioned areas shall be insulated with I "thick fiberglass wrap with or consumer or support the consumer of the consumer or support the consumer of the consumer of the consumer of the consumer of the consumer or support to the consumer of the consumer or support to the consumer or supp
- one year labor warranty from date of substantial completion of the project, including any as or adjustments for a properly functioning system.

- Plumbing
 Provide design build plumbing system to conform to the National Standard Plumbing Code and
 requirements of any local codes having jurisolition Contractor shall provide all items, articles,
 pertations or methods listed, mentioned or scheduled on the drawings and or specifications, including
 atenals, equipment, and incidentals necessary for their completion. All work to be coordinated with
 ret trades. All priping and electrical penetrations shall be centered in post depth. Contractor shall be
 for damage to any other work caused by the installation of his her work.
- rials under cover and dry. Protect against exposure to weather or any damaging conditions
- shall be P.V.C. schedule 40, vent pape shall be P.V.C. schedule 40 and vent penetrations through ecopper, all water risers shall be 3.4° copper type \mathbb{T}^* supplies. All fixture have exparies accessible hall valves. All but all valves shall be manufactured by Boston or Apollo (ρ_0 C). all gas piping shall be black pipe schedule 40 or Trac-pipe. Size as required. Minimum slope shall not for soil lines larger than 3° in diameter and 1° per foot for soil lines 3° in diameter or less.
- nd provide three new 12" frost-free sill cocks as required. Co-ordinate locations in field with Owner ct. Provide boiler drain after ball valve (focated in an accessible and conditioned space) with ch from the sill cock outlet towards the boiler drain for winter draining purposes.
- tumbing fixture (excluding sill cocks) shall receive Taco Plumb n' Plug model =006-BC4-5PNP n Taco Bronze Shut-Off Umon Set model = 258-4 (3.4° sweat) installed as per unit instructions

- DIVISION 16 ELECTRICAL/FIRE LIFE SAFETY

 Section 16.1 General

 16.1 1 General Provide Design build electrical system to comply with the N.F.P.A. National Electrical Code.
 Underwrite's Laboratorics and all other authorities having jurisdiction. Contractor shall provide all items.
 articles, materials, operations or methods listed, incutioned of scheduled on the drawings and or specification
 including all labor, materials, equipment, and incidentals increases for their compelition. All work to be
 coordinated with work of other trades. All priping and electrical penetrations shall be centered in jord acpth
 Contractor shall be responsible for damage to any other work caused by the installation of his her work.
- 16.1.2 Furnish and install new 200 amp 3.20 240 604b Single Phase underground electrical service NLC main panel (3) 3.0 CU w. 42.1° spaces for new work (one panel for each side)
- 16 1.4 All RX wiring with plastic boxes. All interior wiring to be Romex, 14 gauge THWN copper wire with thermoplastic insulation rated 600 volts. No aluminum.
- 16 1.6 Contractor shall furnish and install all bulbs for fixtures to be provided by Contractor as specified and or required by Owner's fixture(s).
- 16.1.7 All switches, receptacles, and plates are to be as specified. Provide dimmers as indicated, color as selected by
- 16.19 General Contractor shall furnish and install thermal photoelectine smoke detectors in each bedroom and at each level (two at contions greater than 10-07 long) with batters backup. Connect units in landern with each other. Detector units shall be a minimum of 3-07 awas from nor hadbroom does. IFVAC supply affile and IFVAC return grille. Units in bedrooms shall be no closer than 4" to any side-wall and no further than 3-07 awas from the bedroom does. Power vents shall be wired to smoke detection system so as to automatically cut off it smoke detection system is activated.
- 16.1 I IGeneral Contractor shall furnish and install a c receptacles and carbon monoxide detectors within 10 or less of each bedroom and one at each fevel with baners hackup. Detector units shall be a minimum of 3-07 away from any bathroom door. IFACS supply spille, and IFACS creture gaille.
- 16 1 12 Furnish and install a multi-tone door-bell and button(s) as required and as selected by Owner for the
- 16.1.13 All decorative fixtures shall be located after gypsim board has been installed, with owner and architect.
- 1.14 All full haths shall have radiant under-floor heating system by Back Technologies LLC.
 1.4888-432-8932 Provide power as required. Provide one installation ful per room. Supply and install Digital Programmable Sun Touch Floor-Stat. Install as per manufacturer recommendations including using cement based thin-set. Review manufacturers' video prior to installation. Provide and unition one Toud Month' circuit and ground integrity alarm. Unlive as per manufacturer directions and give alarm to Owner at completion of work.

Door Schedule

Tag Description

- 2:8" x 6:8" Morgan or Simpson solid 1:3.4" thick raised panel door with (2) Fr4" (1/x) double pane SDI, sidelights and Rech Millwork Corp Ultra-View wood screen(s) sash only (no glass sash) we delive hardware it is not 2" thick calc saddle.
- B 2-8" x 6-8" Morgan or Simpson double pane SDL 9 like door with Recb Millwork Corp. Ultra-View wood screen(s) sash only (no glass sash) w deluse hardware kit and 2" thick ook, saddle
- C (2) 3'-0" steel insulated doors (flat panel)

Plumbing Fixture Legend and Notes

Tag Description

- In the matrix of the presentative tape.

 A Dielet Loto totel th MSS411.4S and seat (elongated model)

 Removators Cloakroom sink with pedestal Model= 19355 in white with 4" center-set fixture as selected by Owner. 8806.59.2211

 A Dielet Loto totel th MSS411.4S and seat (elongated model)

 Removators Cloakroom sink with pedestal Model= 19355 in white with 4" center-set fixture as selected by Owner. 8806.59.2211

 Comparison of pressure-sensitive tape

 To rimastic.

 To rimas

Flooring Material Legend

Tag Description

Table 1—Grout Proportions by Volume (rd. 3)									
Туре	Parts by volume of portland coment or blended coment	Parts by volume of hydrated lime or lime putty		regate, amp, lower continon					
	or deduced content			Craese					
Fine	1 - 1	0 to 1/10	2.14 to 3 times the sum of	1					
Buone		Í	the volumes of the						
	1 "]	cementitious materials						
Coase	1	0 to ∀ ₁₀ .	2.1/4 to 3 times the sum of	1 to 2 times the sum of					
grout			the volume of the	the volumes of the					
- Tag	1 7	1	cemento ous materials	comentitions materials					

15

Mortar	Туре	Purland cement or blended cement	Mortar Cement M S N	Masoney cement	Hydrated hime or hime putty	Aggregate ratio (measured in damp. loose condition)
Coment-lime	М	1			Ľ4	
	S	1		**	over 4 to 15	
Mortar Cement	м	1				Not less than 21/4 and
	М ;		1			not more than 3 times
	8	1-2	t			the sum of the
	S		1 .	** * *	*-	separate volumes of cementitious materials
Masonry Coment	м	ı		1		
-	M			1		
	\$	7-2		1	***	
	\$. 1		



REScheck Software Version 4.2.1 **Compliance Certificate**

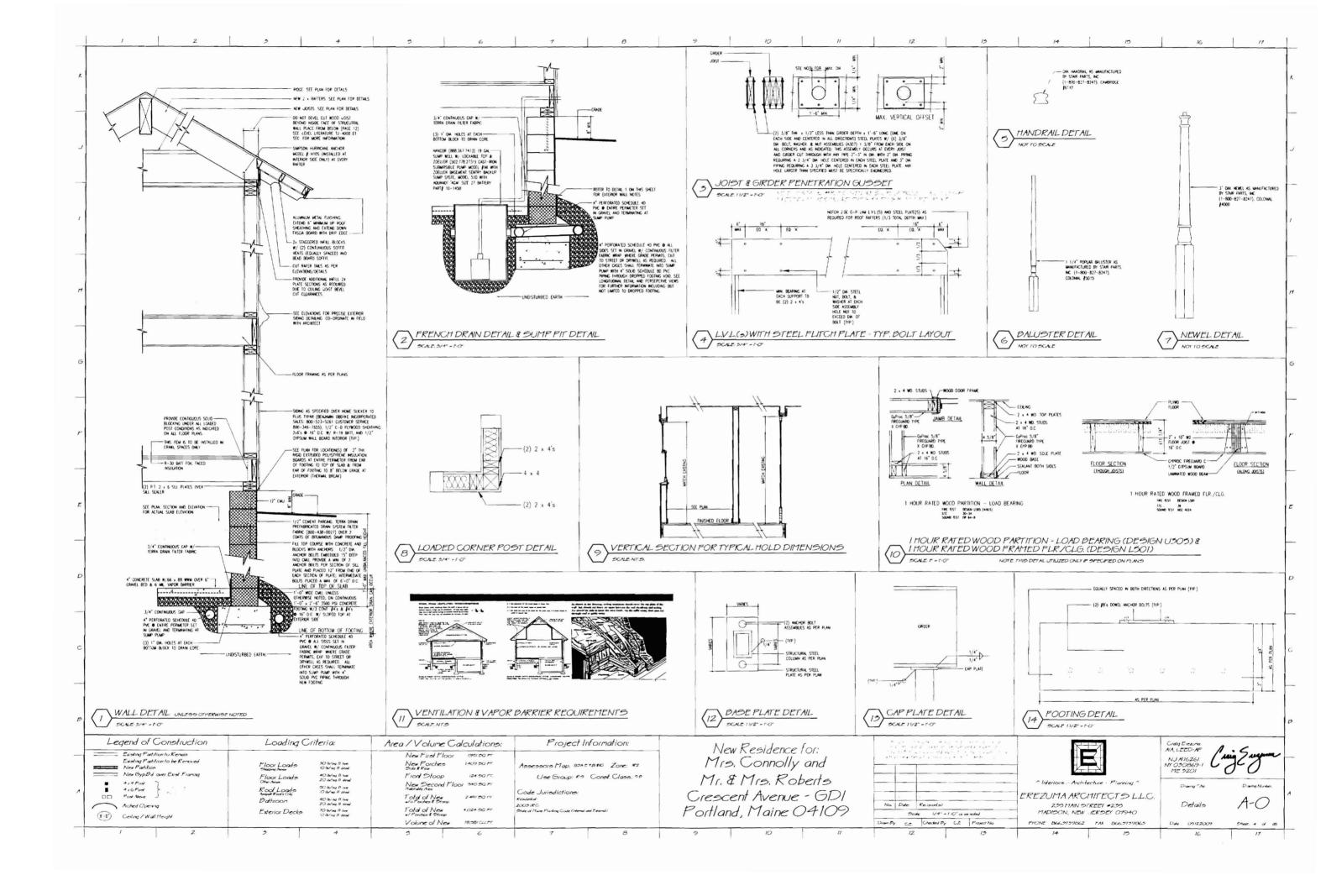
Energy Code 2003 IECC Location Portland, Maine Construction Type Single Familty Glazing Area Percentage Healing Degree Days 7378

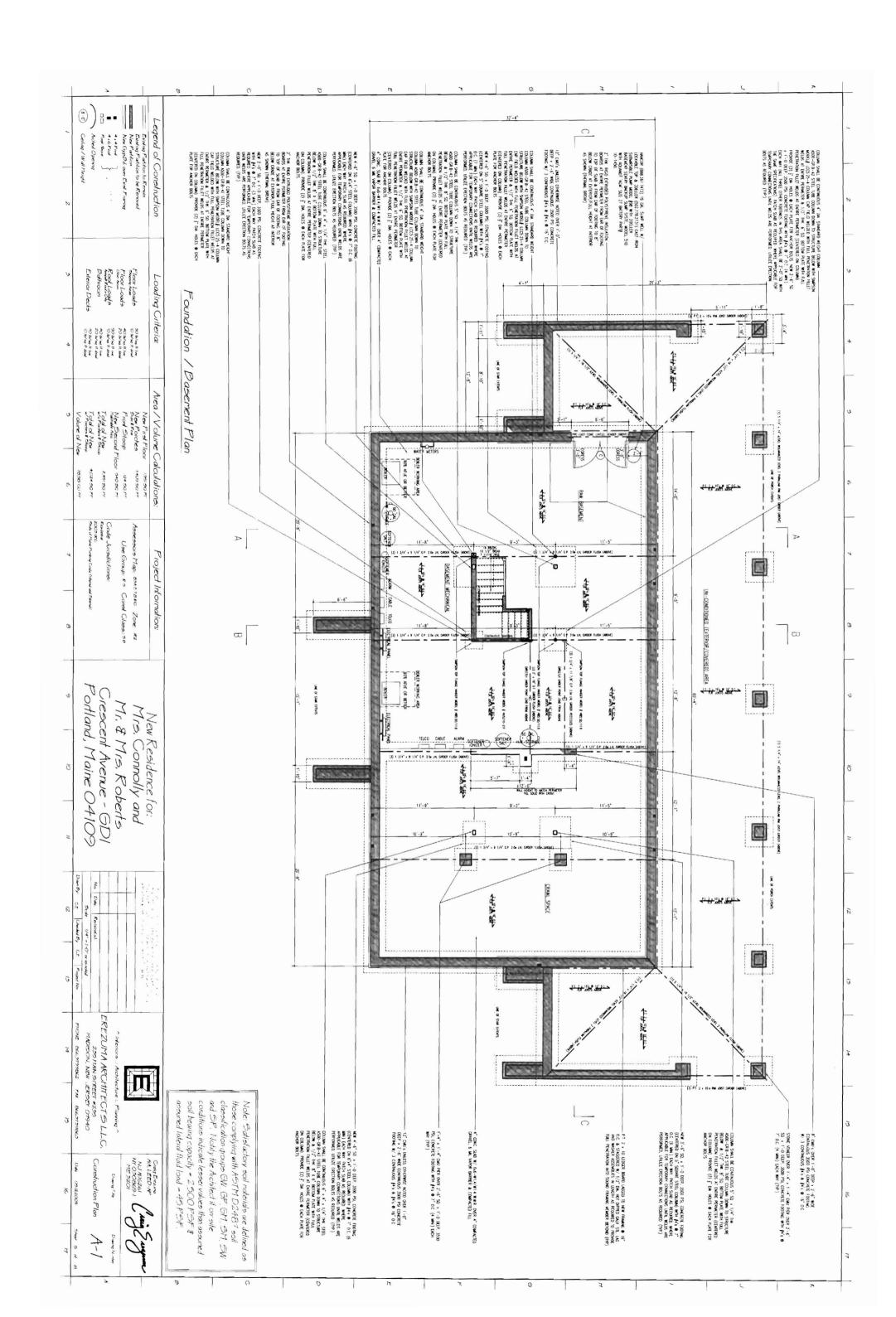
Owner/Agent. Designer/Contractor
Mrs. Connolly and Mr. & Mrs. Roberts.
Creat Certification 235 Main Street
Portland, ME 04109
Suite #225
Waddon NJ 177940

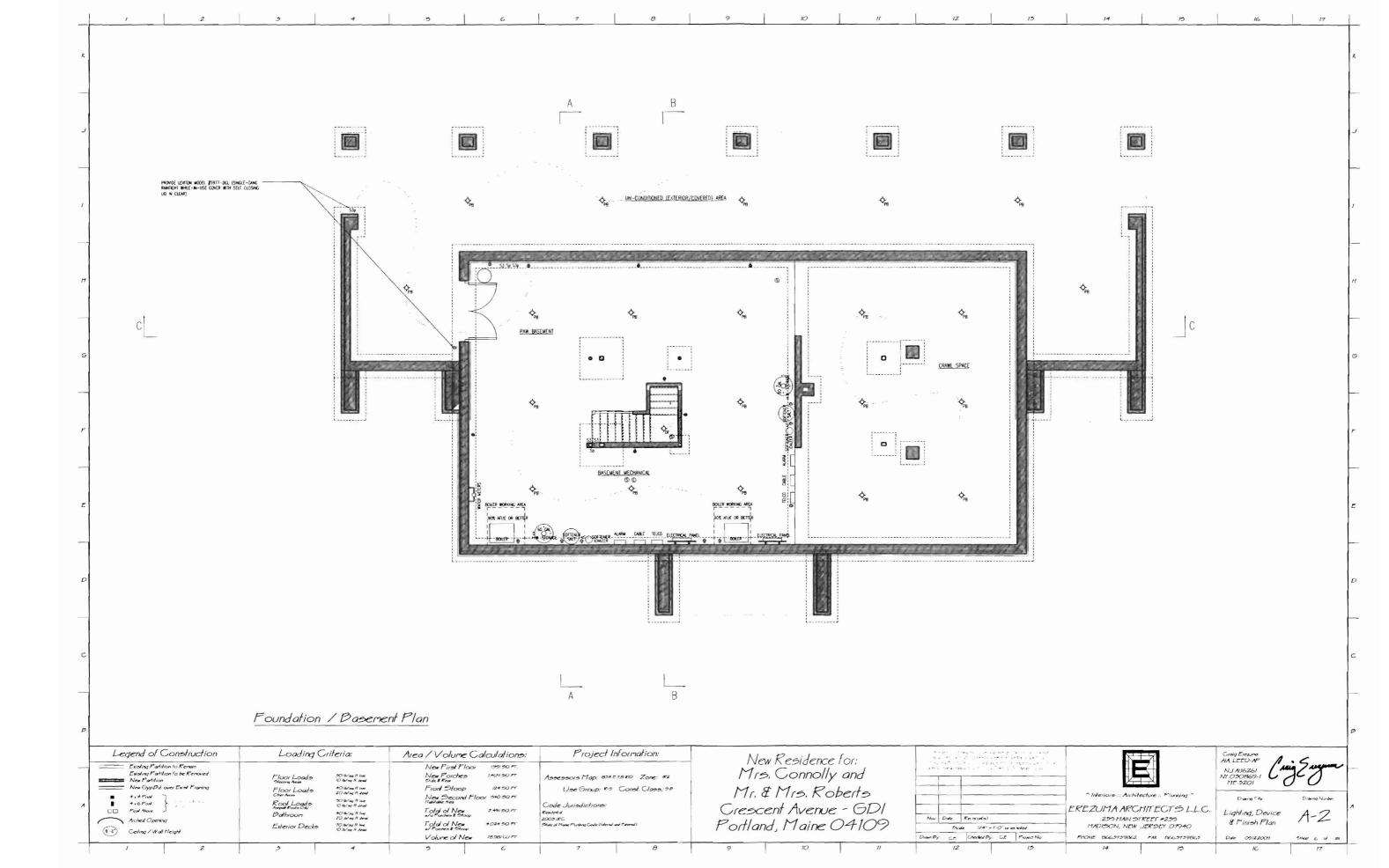
Compliance 4.5% Better Then Code Maximum UA 521	Your U	607			
Assembly	Gross Area of Per meter	Cavity R- Value	Cont. R- Value	Glazing or Door U-Factor	υA
Second Floor Clig Flat Cealing or Scissor Truss	1355	38 D	00		4!
Second Floor Wood Frame 16" o c	1656	19 0	00		88
TW3846 Wood Frame Double Pane with Low-E	90			0 330	30
TW3046 Wood Frame Double Pane with Low-E	30			0 330	10
TW2436 Wood Frame Double Pane with Low-E	65			0 330	21
First Floor Wood Frame 16" o.c	1850	19 0	0.0		86
TW38410 Wood Frame Double Pane with Low-E	154			0 330	51
TW29410 Wood Frame Double Pane with Low-E	22			0 330	7
TW3042 Wood Frame Double Pane with Low-E	63			0 330	27
TW2436 Wood Frame Double Pane with Low-E	46			0 330	15
DHT3042 Vinyl Frame Double Pane with Low-E	15			0 330	5
Front Door Solid	21			0 200	4
9 Life Doors Solid	84			0 200	17
Basement Walf Masonry Block with Empty Cells Walf height, 5:0 Depth below grade : 6:0* Insulation deeth : 8:0*	1951	09	10 0		105

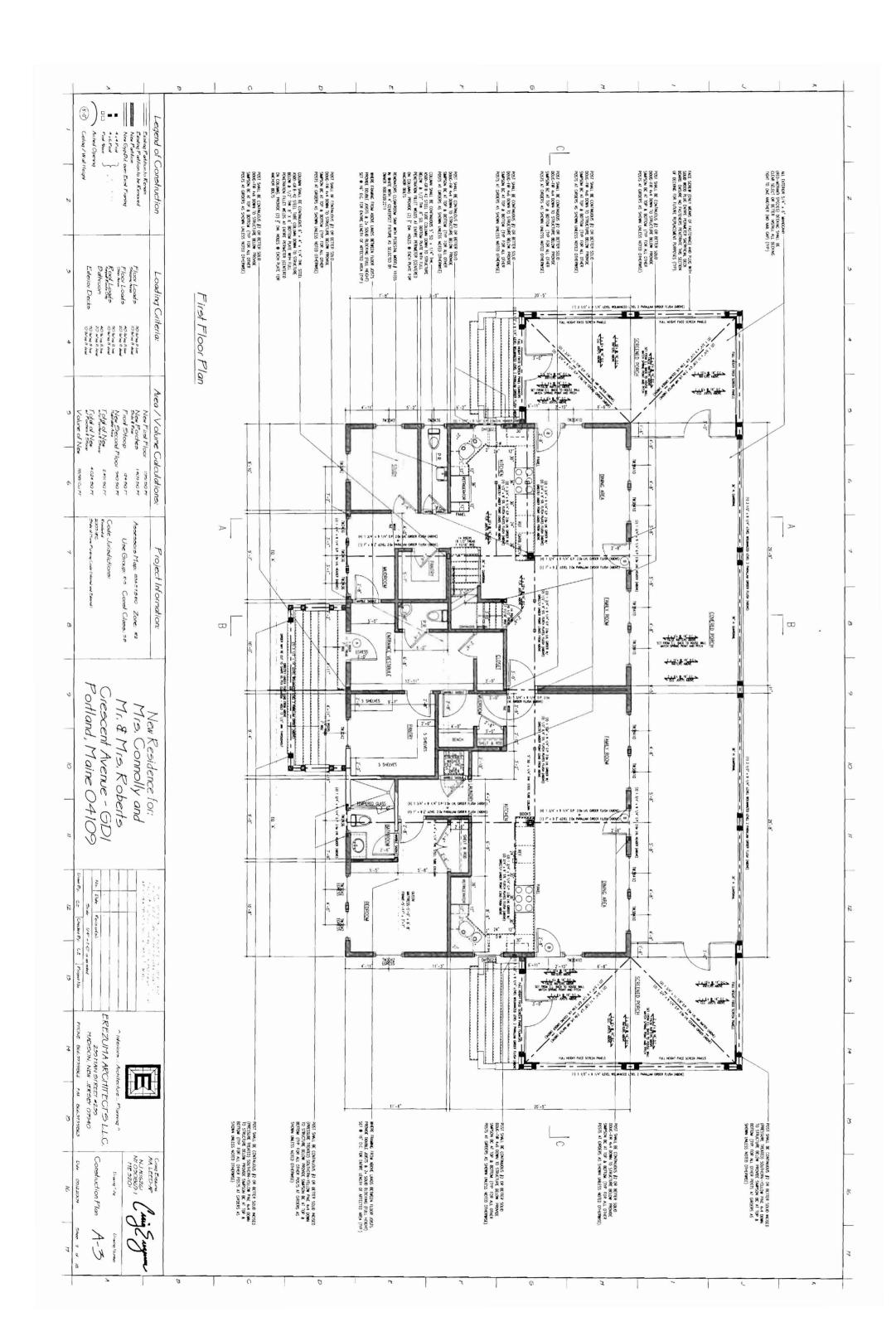
Compliance Statement. The proposed building design described here is consistent with the building plans specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2003 IECC requirements in RESchack Version 4.2 if and to const, with the manifolding requirements settled in the RESchack Version 4.2 if and to constitution. Name . Yele Signature

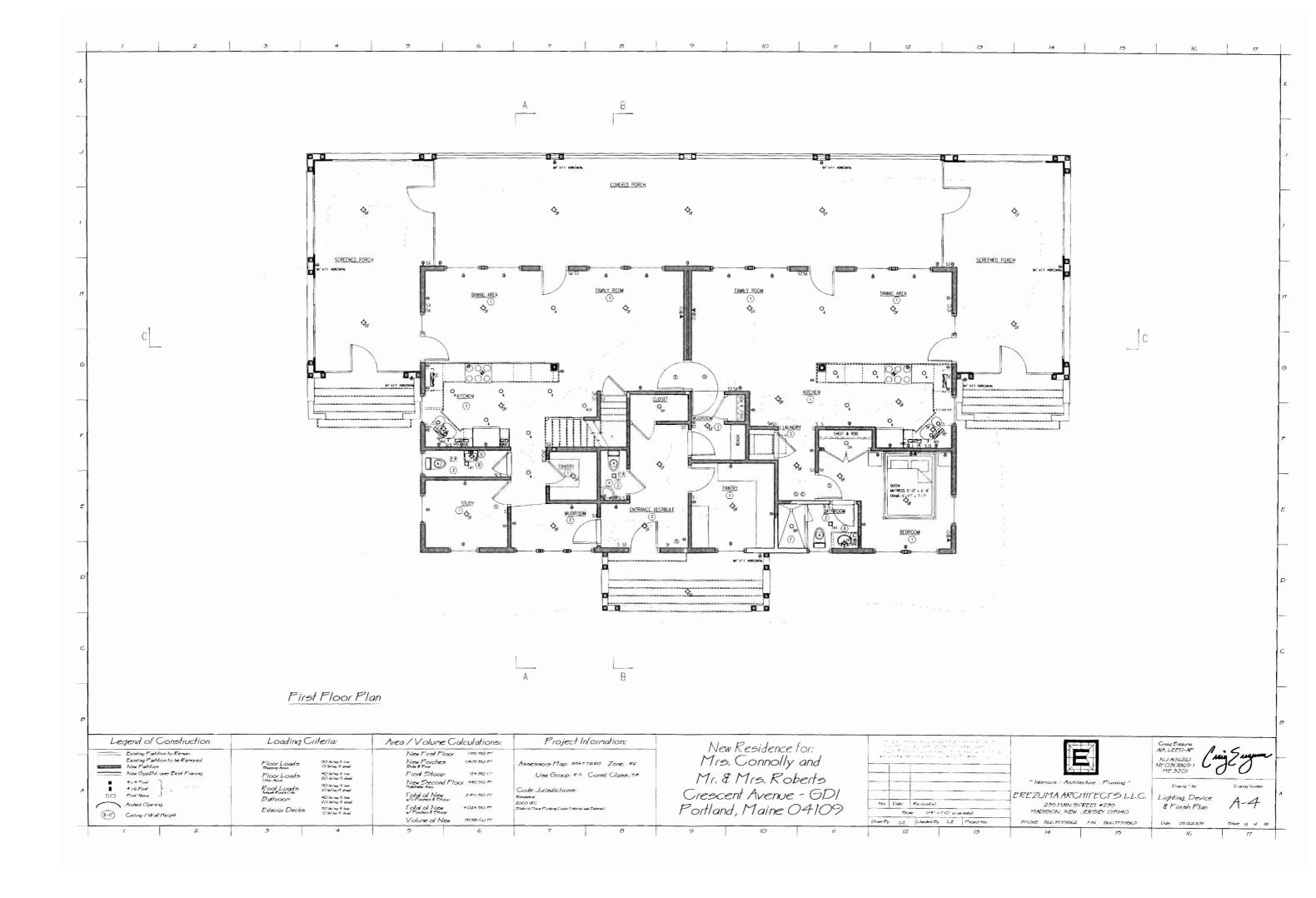
Leg	gend of Construction	Loading C	vriteria:	Area / Volume C	alculations:	Project Info	ormation:	λ/.	ew Residence	fou				7		Croig Erezumo	
1	Eubling Pathlion to Renuin Eucling Pathlion to be Removed New Pathlion New GypDid over Eucl. Froning 4,4 Pad 4,6 Pad Fool Nove Noted Opening Ceiling / Wall Height	Floor Loads Steering Aces Floor Loads Olin Ares Roof Loads Annel Rods City Dathroom Exterior Decks	50 lb/mg H have 10 lb/mg H have 40 lb/mg H have 40 lb/mg H have 20 lb/mg H have 50 lb/mg H have 40 lb/mg H have 40 lb/mg H have 70 lb/mg H have 10 lb/mg H dead 70 lb/mg H dead	New First Floo New Poiches Duke Fieu Front Stoop New Second F Individe Accord Total of New Work of Orders & Doop Total of New Work of Orders Work of Orders Volume of New	1409-50 FT 124-50 FT 14000-340-50 FT 2491-50 PT 4024-50 FT	Assessors Map; Gare 18 Use Group: Ro C Code Jurisdictions: Resided 200 IRC Stille of Hare Parking Code Chiland and E.	onal. Class: 20	Mr. Mr. Cresc	ent Residence S. Connolly & Mrs. Ro Sent Avenue and, Maine (and berts - GDI	No Dule R	Persoda) 1/4° −1-0" α		*Invenora :: Archi EREZUMA ARC 230 MAIN E MADIBON, NEW	Planing A HITECTS L.L.C IREET #259 IRESET 07940 AN EMILIPSEND	NA, LEED AF NJ NIG261 NO 00869 1 ME 3201 Drawing 1 he General Notes	Drawing Number T-3 Street 2 of 18
1	2	>	4	5	6	7	8	9	10	11	12		12	14	15	16	17

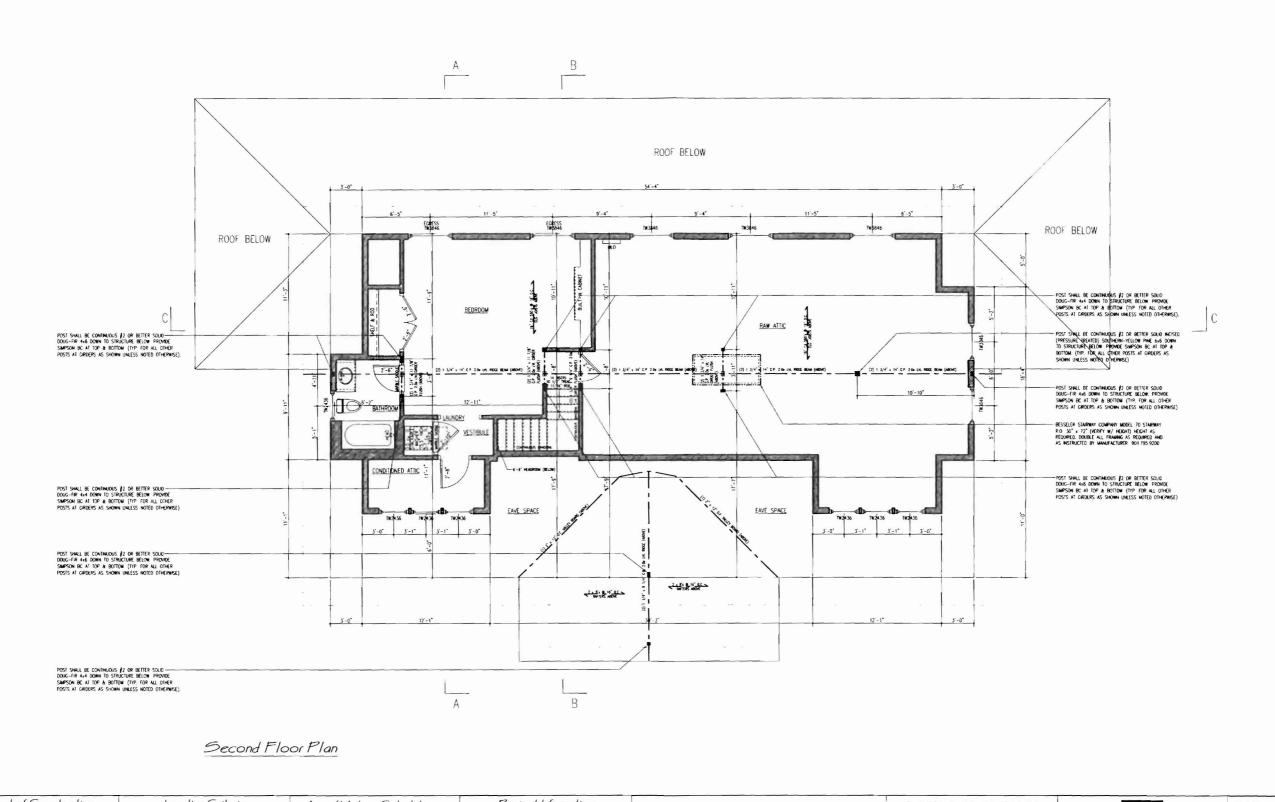




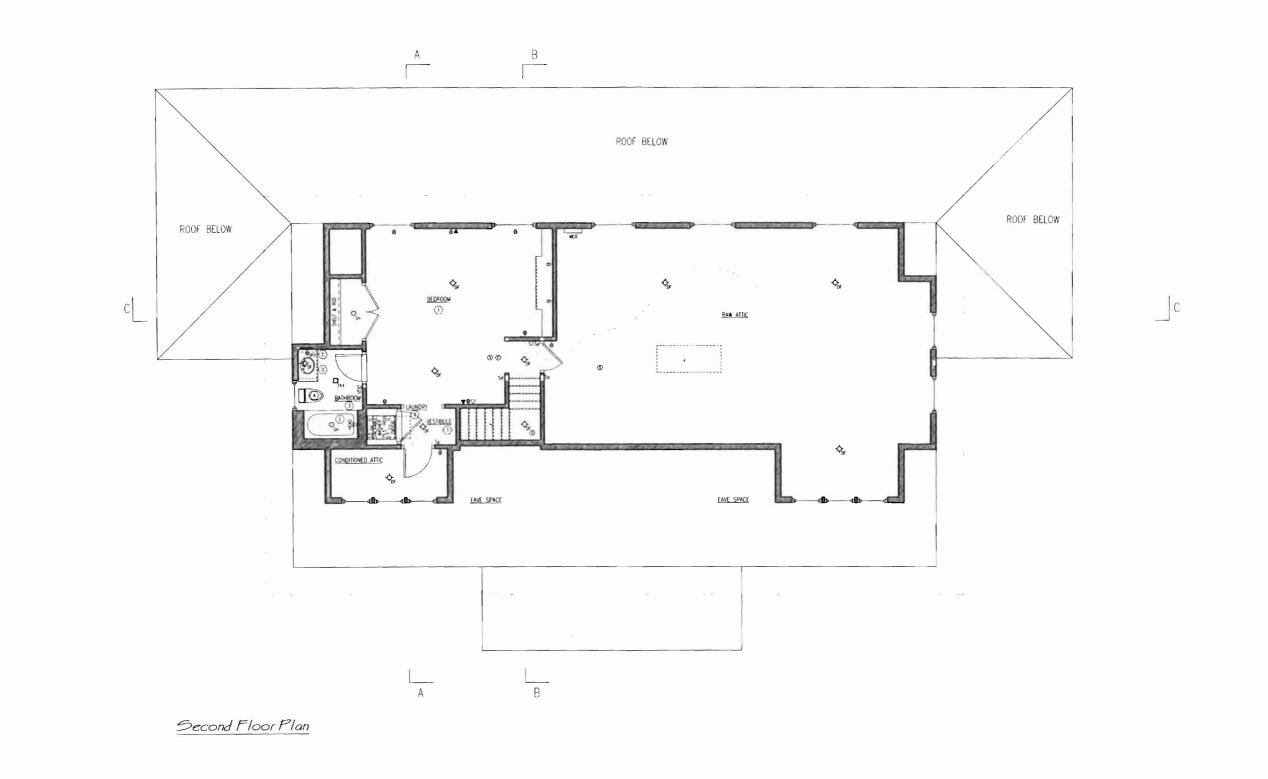








Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for:		K I	ALA, LEED-AF 1 . C	
Existing Partition to Renain Existing Partition to be Removed New Farthion New GypDd over Exist Franking 1 +14 Fost 1 +16 Fost	Floor Loads 20 lives It has Stepped Areas 10 lives 10 days 11 free 10 lives 11 lives	New Find Floor 199190 FT New Parches 140150 FT Date Rea Front Stoop 12450 FT New Second Floor 94050 FT Individue New 1	Assessors Map. 83AE18410 Zone: #2 Use Group: #3 Const. Class: 38 Code Jurisdictions:	Mrs. Connolly and Mr. & Mrs. Roberts		* Inferiors : Architecture :: Planning *	NJ N16261 NT 020869 1 ME 2201 Drawng F.Ne. Drawng N. Nober	
Pod Nove Arched Opening (8-0) Ceiling / Wall Height	Amoult Redo Ody Dathroom 40 lives II live 20 Mosell deal Exterior Decks 0 lives II live 0 lives II deal	Told of New 249:00 PT **OFUNE EDOOR Told of New 4024:00.PT **Province EDOOR Volume of New 1808:00.PT	Control Colon (20) (20 Notes). Residential 2005 (RC Dilde of 11 and Physiong Code Oriental and Extensis).	Crescent Avenue - GDI Portland, Maine 04109	No. Date Revisoria) State V4*-1-0 or worded Disently Ct. Under 0 y. Ct. Project No.	EREZUMA ARCHITECT'S L.L.C., 230 HANN STREET #220 MADISON, NEW JERSEY 07940 FRONE BEASTSOREZ PAX BEASTSORES	Construction Plan A-5	is 1
1 2	3 4	5 6	7 8	9 10 11	12 13	14 15	16 17	



New Residence for: Mrs. Connolly and

Mr. & Mrs. Roberts

Crescent Avenue - GDI

Portland, Maine 04109

Craig Ereaumo NA, LEED-NP

NJ N16261 NY 030869-1 ME 3201

Lighting, Device

& Finish Plan

Date 03/22009

A-6

EREZUMA ARCHITECTS L.L.C. 2001 IAIN SIREET #200 MADISON, NEW JERSEY 07940

No. Date: Revision(s)

Scale: 1/4" -1-0" or an noted

Uran Dy C.E. Worked Dy C.E. Project No.

Project Information:

Use Group: Ro Const Class: 20

Assessors Map: 83AETBBO Zone: R2

Code Jurisdictions:

Residential
2002 (RC
Dide of Mane Plurbing Code Orland and Extend)

Area / Volume Calculations:

Front Stoop

Total of New

Told of New Porches & Stoop

Volume of New

New First Floor 199150 PT

New Porches 1409 50 FT

New Second Floor 340 50 FT. Tabloble New

2.49150 PT

+02+50 PT

Legend of Construction

Existing Partition to Renain
Existing Partition to be Removed
New Partition
New GypDd over Exist, Francing

| +14Pod | +16Pod | +16Pod | Pod Above |

Arched Opening

(8-0") Ceiling / Wall Meight

Loading Criteria:

40 lb/og It. Ine 20 lb/og It. Ine 30 lb/og It. Ine 10 lb/og It ine 40 lb/og It ine 20 lb/og It ine

70 lb/sq It live 10 lb/sq It dead

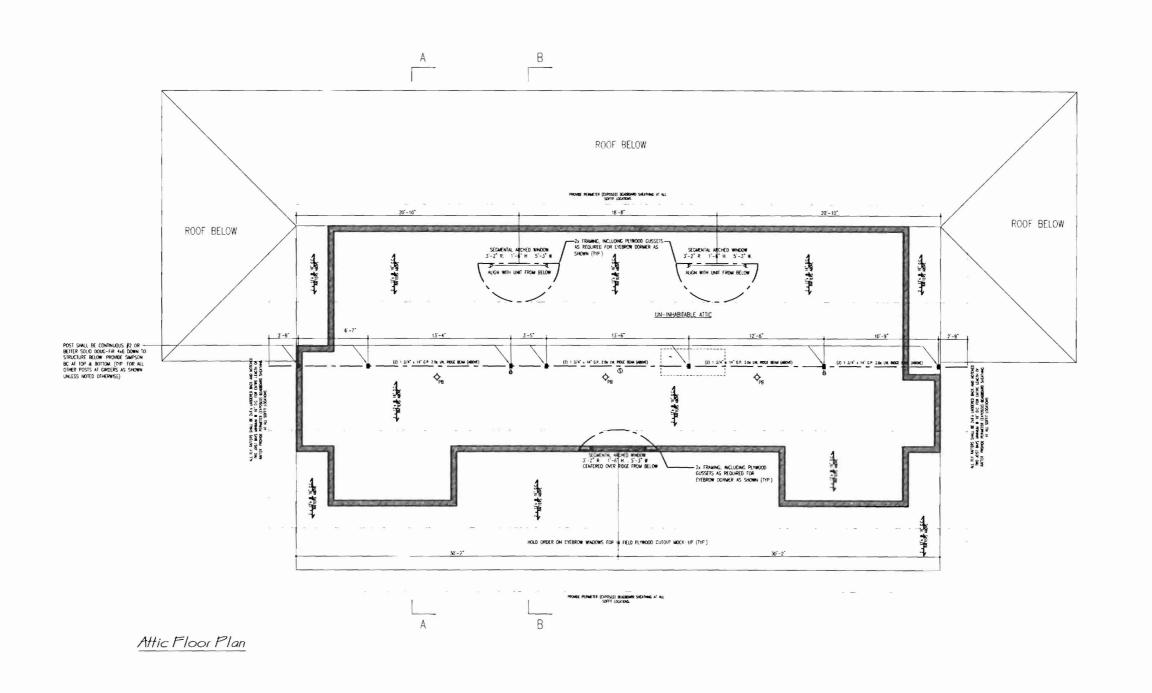
Floor Loads

Floor Loads

Roof Loads

Exterior Decko

Dathroom



Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for:	* Particular Society and the second	X 1 X	Croig Ereaumo NA, LEED-NP 1 . C
Eisting Pathton to Remain Ensing Pathton to be Removed New Pothtion New GypDid over Eist. Franing 1 14 Prod 1 16 Pout Pout Name Arched Opening Selling / Will Height	Flooi Loads District II see	New First Floor 1990 PT New Porches 140190 PT Date Free Front Stoop 124 90 PT New Second Floor 240 90 PT Habitation Broom Told of New 249150 PT 470 Forbert Stoop Fold of New 4024 90 PT 470 Other Stoop Volume of New 1858 CO.FT	Assessors Map: 83ACT8810 Zone: RZ Use Group: R3 Const Class: 3P Code Jurisdictions: Kesterd 2001 IKC State Puring Code Orland and Exercis)	Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	No. Date: Revision's Diale: 14*-10* or worked Diamby: Ct. Checked by: Ct. Project No.	^ Inderiors - Architecture - Pluming ^ EREZUMA ARCHITECTS L.L.C. 230 MAIN STREET #220 MADISSON, NEW JERSEY 07940 FRONE (XA.2729862 FAX (XA.2729863)	NJ. ALEED-AP NJ. ANISCEGI NY 020089-1 Distance Title Consolruction, Lighting, Device & Finish Plan Dute 02122009 Sheet II of 10
1 2	9 4	5 6	7 8	9 10 11	12 15	14 15	16 17

