

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

**CITY OF PORTLAND**

BUILDING INSPECTION

**PERMIT**

Please Read Application And Notes, If Any, Attached

Permit Number: 090584  
**PERMIT ISSUED**  
SEP - 1 2009  
CITY OF PORTLAND

This is to certify that ROBERTS DOUGLAS S ETAL Travis B  
has permission to Build new 4,024 sq ft Single Family Home inlaw Apartment 2 bedrooms 4 baths  
AT 90 CRESCENT AVE Great Diamond Island CL 083A E00700

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise finished-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Thomas N. Mackay* 8/31/09  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0584	Issue Date:	CBL: 083A E007001
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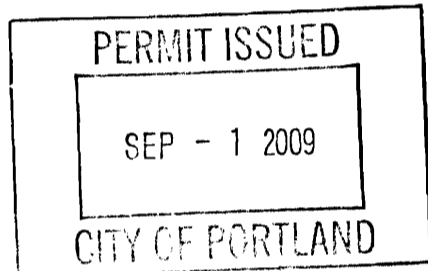
<b>Location of Construction:</b> 90 CRESCENT AVE Great Diamon	<b>Owner Name:</b> ROBERTS DOUGLAS S ETAL	<b>Owner Address:</b> 745 JACKSON VALLEY RD	<b>Phone:</b> 207-772-0202
<b>Business Name:</b>	<b>Contractor Name:</b> Travis Berube	<b>Contractor Address:</b> 67 Bootby Ave So Portland	<b>Phone:</b> 2079396572
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	<b>Zone:</b> I-R-2

<b>Past Use:</b> Vacant Land	<b>Proposed Use:</b> Single Family Home w/ an accessory apt - Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths	<b>Permit Fee:</b> \$4,345.00	<b>Cost of Work:</b> \$424,390.00	<b>CEO District:</b> 1
<b>Proposed Project Description:</b> Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>INSPECTION:</b> Use Group: R3 Type: 5B IRC 2003	
		<b>Signature:</b>	<b>Signature:</b> Jm 8/3/09	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

<b>Permit Taken By:</b> Ldobson	<b>Date Applied For:</b> 06/09/2009	<b>Zoning Approval</b>	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <i>within over 75' from</i> <input type="checkbox"/> Wetland <i>HWM</i> <input checked="" type="checkbox"/> Flood Zone <i>Panel 2 zone</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <i>7/17/09</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input checked="" type="checkbox"/> Conditional Use <i>for secondary accessory B.U.</i> <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <i>4-0</i> <input type="checkbox"/> Denied Date: <i>7/16/09</i>	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**


**A Pre-construction Meeting will take place upon receipt of your building permit.**

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Foundation Inspection: Prior to placing ANY backfill for below grade occupiable space**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use.**  
**NOTE: There is a \$75.00 fee per inspection at this point.**

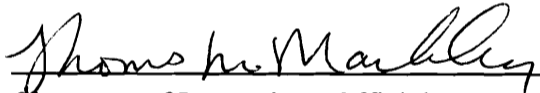
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

9/1/09  
Date

  
\_\_\_\_\_  
Signature of Inspections Official

9/1/07  
Date



<b>Location of Construction:</b> 90 CRESCENT AVE Great Diamon	<b>Owner Name:</b> ROBERTS DOUGLAS S ETAL	<b>Owner Address:</b> 745 JACKSON VALLEY RD	<b>Phone:</b> 207-772-0202
<b>Business Name:</b>	<b>Contractor Name:</b> Travis Berube	<b>Contractor Address:</b> 67 Bootby Ave So Portland	<b>Phone</b> (207) 939-6572
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

- 2) Erosion and Sedimentation control shall be established and inspected by the Development Review Coordinator prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines. All Erosion and Sedimentation control measures must be inspected and maintained daily.
- 3) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 4) NO CHANGES IN GRADING IS PROPOSED. ANY CHANGES IN TOPOGRAPHY SHALL REQUIRE ADDITIONAL REVIEW AND APPROVAL BY THE CITY.
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 6) A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7) A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Services must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 8) The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 9) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 10 All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.

**Comments:**

6/24/2009-lmd: Received on 6/23/2009 an amendment to this application eliminating the accessory apartment.

6/18/2009-mes: On June 15th the City Council adopted the new shoreland regulations which have added protections to highly unstable coastal bluffs. This property does have such highly unstable bluffs which are protected. Coproration Counsel also weighed in on whether this application needs to go by the old or new shoreland zoning rules. It needs to meet the new rules per Danielle in Corp. Counsel.

7/13/2009-tm: the DRC approval should be with permit # 0664 which is an amendment to this permit eliminating the accessory apt.

7/20/2009-mes: On 7/16/09 the ZBA approved a conditional use appeal for the accessory DU. - I need verification of amount of area that is to be cleared -will give to Bldg to review - WAIT for Marge's final sign off on lot clearing- The main structure was approved under the previous Shoreland Zoning requirements.

8/31/2009-tm: spoke to Travis Berube and informed him that Marge Schmuckal still reqires info on suare feet of land disturbance, He said he will have it to Marge by Tomorrow, 01 Sept 09. Will issue permit when Marge signs off.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0584	<b>Date Applied For:</b> 06/09/2009	<b>CBL:</b> 083A E007001
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<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Single Family	

<b>Proposed Use:</b> Single Family Home w/ an accessory apt - Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths	<b>Proposed Project Description:</b> Build new 4,024 sq ft Single Family Home w/ an accessory apartment 2 bedrooms 4 baths
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Marge Schmuckal      **Approval Date:** 09/01/2009**Note:** **Ok to Issue:** 

- 1) All other approvals listed on the previous permit are still in force.
- 2) The area of land being cleared is given as 7911 sq ft. There shall be no more than 10,000 square feet of undergrowth cleared for lawn. The rest of the lot SHALL REMAIN UNDISTURBED.
- 3) This property shall remain a single family dwelling with an accessory dwelling unit as approved by the Zoning Board of Appeals. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tom Markley      **Approval Date:** 08/31/2009**Note:** **Ok to Issue:** 

- 1) This permit is approved, all of the review questions/comments have been responded to and adequately satisfy code compliance of this project.
- 2) The appliance and venting shall be installed in accordance with the UL listing, IMC 2003 and NFPA 211.
- 3) All penetrations between dwelling units and dwelling units and common areas shall be protected with approved firestop materials, and recessed lighting/vent fixtures shall not reduce the (1 hour) required rating per Sec. 712 of IBC
- 4) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 5) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 6) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 7) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 8) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 9) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Dept:** DRC      **Status:** Approved with Conditions      **Reviewer:** Eric Giles      **Approval Date:** 07/13/2009**Note:** **Ok to Issue:** 

- 1) Due to the site's proximity to a highly unstable slope, there shall be NO Clearing of any trees and understory vegetation within 75' of the High Water Mark. There shall be no filling or clearing of the Forested wetlands as shown on the submitted survey. It has been stated that only the house and parking area are to be cleared for building. The silt fences shall be moved out of the 75' setback from th HWM. If any selective clearing or cutting is proposed a plan shall be submitted to the Planning Authority for review and approval.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction:		90 Crescent Avenue Great Diamond Island, Portland, Maine	
Total Square Footage of Proposed Structure/Area 4,024 sf		Square Footage of Lot 32,149.50 sf	Number of Stories 2
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 83A          E          7, 8 & 10		Applicant * <b>must be owner, Lessee or Buyer</b> * Name Nancy Jo Connolly Address 82 Salem Street City, State & Zip Portland, Me. 04102	Telephone:  207-772-0202
Lessee/DBA (If Applicable) Travis Berube 67 Boothby Avenue South Portland, Maine 04106		Owner (if different from Applicant) Name Address City, State & Zip JUN - 9 2009	Cost Of Work: \$ 424,390.00  C of O Fee: \$  Total Fee: \$
Current legal use (i.e. single family) <u>vacant land</u> <del>single family</del> Number of Residential Units <u>2</u> If vacant, what was the previous use? <u>passive recreation</u> Proposed Specific use: <u>single family w/ inlaw apartment</u> Is property part of a subdivision? <u>yes</u> If yes, please name <u>Great Diamond Island Asso</u> Project description: <u>A year round home with an inlaw apartment</u> <u>4 Bdrms</u> <u>Bld Fee 41,370.00</u> <u>(will be applying for Conditional Use Appeal)</u> <u>Site</u> <u>300.00</u> <u>75.00</u> <u>TOTAL 41,675.00</u>			
Contractor's name: <u>Travis Berube</u>			
Address: <u>67 Boothby Avenue</u>			
City, State & Zip <u>South Portland, Maine 04106</u>		Telephone: <u>207-939-6572</u>	
Who should we contact when the permit is ready: <u>Travis Berube</u>		Telephone: <u>207-939-6572</u>	
Mailing address: <u>67 Boothby Avenue, South Portland, Me. 04106</u>			

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: June 8, 2009

This is not a permit; you may not commence ANY work until the permit is issue

Applicant: Nancy Jo Connolly Date: 6/16/09  
Address: 90 Crescent Ave, Grt. Isl. C.B.L. 83A-E-7 8:10

CHECK-LIST AGAINST ZONING ORDINANCE

Date - NEW

Single family permit # 09-0507  
= # 09-0664

Zone Location - IR-2

Interior or corner lot - of Relawny St

Approved

Proposed Use/Work - To construct New Single Family dwelling with  
An Accessory dwelling unit (needs  
A conditional use appeal)

Sevage Disposal - Private

Lot Street Frontage - 70' min - 196' Along Bay Ave & 97' Along Crescent

Front Yard - 25' min - 12.9' scaled

Rear Yard - 25' min 25' exptly

Side Yard - 20' min - 20' shown

Side yard on side St - 20' min - 86' scaled

Projections -

Width of Lot - 80' min 80' + shown

Height - 35' max - 33' from lowest to highest  
NO CHANGE in Grade PER CONTRACTOR

Lot Area - 30,000<sup>sq ft</sup> min for 1 family + Accessory D.U. - 32,149.50<sup>sq ft</sup> Jive

Lot Coverage/Impervious Surface - 20% max 6429.9<sup>sq ft</sup> ~~max~~

Area per Family - 30,000 for 1 family + Accessory D.U. - 32,149.50<sup>sq ft</sup>

Off-street Parking - 2 per unit or 3 parking req - 3 shown

Loading Bays - N/A 1 per Accessory

Site Plan - full for A Zoning

Shoreland Zoning/Stream Protection - within over 75' from NWM

Flood Plains - Panel B - Zone C

Protected Coastal Bluffs } NOT in effect when 1 family  
Highly unstable } Bldg permit issued



**Albert Frick Associates, Inc.**

**Soil Scientists & Site Evaluators**

95A County Road Gorham, Maine 04038  
(207) 839-5563 FAX (207) 839-5564

Albert Frick, SS, SE  
James Logan, SS, SE  
Matthew Logan, SE  
Brady Frick, SE  
Bryan Jordan, SE  
William O'Connor, SE

November 12, 2008  
February 21, 2009 revision

Maggie Connolly  
Langan Engineering & Env. Services  
30 South 17th Street, Suite 1300  
Philadelphia, PA 19103-4005

Re: Connolly, Crescent Lane, Great Diamond Island, Portland

Dear Maggie:

You requested that I send you a Site Plan of the property and show the required setbacks defining the available building window, per the City of Portland's building setback requirements, and Maine Department of Environmental Protection, Natural Resource Protection Act setbacks.

The building window on the subject property is defined by a 25' front and 20' side. The setback to Casco Bay is 75' from the spring high tide elevation. The forested wetland on the parcel, which is in the Shoreland zone (i.e. within 250' of the spring high tide elevation of Casco Bay can not be filled without a DEP NRPA permit). It would be prudent to maintain a sufficient setback to the wetland boundary with any proposed building or deck so that construction and proper building grading can be established without impacting the wetlands. (See enclosed DEP NRPA Rules, Chapter 305, Section 2: Activities adjacent to protected natural resources). Also, proposed building with a full foundation needs to be a minimum of 20'; from the proposed septic and 15' if it is on a slab. Please see attached Site Plan.

Please contact me if you have any questions or additional matters for discussion.

Respectfully,

Albert Frick  
AF/nd

Enc.

cc: Herb Gray, P.E.



**CITY OF PORTLAND, MAINE**  
**ZONING BOARD OF APPEALS**

per Deborah Rutter

IR-2 Island Residential Zone Accessory Dwelling Unit

**Conditional Use Appeal**

**DECISION**

Date of public hearing: July 16, 2009

Name and address of applicant: Nancy Jo Connelly  
82 Salem St.  
Portland, ME 04102

Location of property under appeal: 90 Crescent Ave., Great Diamond Island

For the Record:

Names and addresses of witnesses (proponents, opponents and others):

- # Atty Cloutier
- > Nancy Jo Connelly - see above
- > Tammy Robinson - <sup>Great</sup>Diamond Island

Exhibits admitted (e.g. renderings, reports, etc.):

- > 3 written testimonies from local abutters / 2 against  
(or at least 1 island resident) 1 questioning (?)

Findings of Fact and Conclusions of Law:

The Applicant is requesting a conditional use permit for a property located within the IR-2 zone, in order add an accessory dwelling unit. The gross floor area of the principal building is 3,993 sq. ft. and the gross floor area of the accessory dwelling unit is 1,158 sq. ft., or 29% of the gross floor area of the principal building. The lot area is 32,149 sq. ft. There are no open outside stairways or fire escapes above the ground floor.

A. Conditional Use Standards pursuant to Portland City Code §14-145.9(a)(1):

1. The accessory dwelling unit is located within and is clearly subordinate to a principal single-family detached dwelling.

Satisfied  (4) Not Satisfied

Reason and supporting facts:

> Applicant plans, testimony, written documentation

2. The accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building and shall have a minimum floor area of four hundred (400) square feet.

Satisfied  (4) Not Satisfied

Reason and supporting facts:

> Applicant testimony, documentation

3. The lot area shall be thirty thousand (30,000) square feet.

Satisfied √(1) Not Satisfied     

Reason and supporting facts:

- > Application, testimony
- > City confirmation

4. There shall be no open outside stairways or fire escapes above the ground floor.

Satisfied √(1) Not Satisfied     

Reason and supporting facts:

- > Applicant / Atty testimony, documentation

5. Any additions or exterior alterations such as facade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the single-family appearance of the building. The exterior design of new construction including facade materials, building form, roof pitch and exterior doors shall have a single-family appearance.

Satisfied √(1) Not Satisfied     

Reason and supporting facts:

- > Testimony, submitted drawing

6. A lower level dwelling unit shall have a minimum two-thirds of its floor-to-ceiling height above the average adjoining ground level.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

> Applicant testimony, submitted plans

7. Either the accessory unit or the principal dwelling shall be occupied by the owner of the lot on which the principal building is located, except for bona fide temporary absences

Satisfied  (1) Not Satisfied

Reason and supporting facts:

> Applicant testimony  
> Written documentation

8. All sanitary waste shall be disposed of by a public sewer, subsurface sewerage system or other method in compliance with state and local regulations.

Satisfied  (1) Not Satisfied

Reason and supporting facts:

> Applicant testimony  
> Written documentation

B. Conditional Use Standards pursuant to Portland City Code §14-474(c)(2):

1. There are unique or distinctive characteristics or effects associated with the proposed conditional use.

Yes  No

Reason and supporting facts:

No compelling evidence that this application is unique

2. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area.

Yes  No  (1)

Reason and supporting facts:

> 3 letters from concerned citizens - NOTED;

> Applicant testimony/written documentation indicates nothing unusual

3. Such impact differs substantially from the impact which would normally occur from such a use in that zone.

Yes  No  (1)

Reason and supporting facts:

Applicant testimony/documentation;

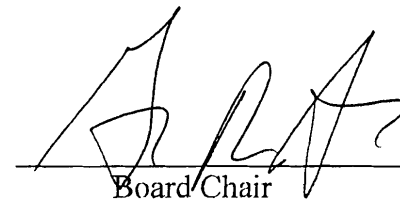
**Conclusion:** (check one)

(4)  Option 1: The Board finds that all of the standards (1 through 5) described in section A above have been satisfied and that not all of the factors (1 through 3) described in section B above are present, and therefore GRANTS the application.

\_\_\_ Option 2: The Board finds that all of the standards (1 through 5) described in section A above have been satisfied, and that while not all of the factors (1 through 3) described in section B above are present, certain additional conditions must be imposed to minimize adverse effects on other property in the neighborhood, and therefore GRANTS the application SUBJECT TO THE FOLLOWING CONDITIONS:

\_\_\_ Option 3: The Board finds that not all of the standards (1 through 5) described in section A above have been satisfied and/or that all of the factors (1 through 3) described in section B above are present, and therefore DENIES the application.

Dated: 7.16.09

  
Board Chair

**From:** Danielle West -Chuhta  
**To:** Schmuckal, Marge  
**Date:** 6/11/2009 11:41:23 AM  
**Subject:** "Pending" Applications

Marge:

Yesterday we were discussing an application that you had just received and you were wondering if the new shoreland provisions (which the City has not yet adopted, but will adopt in about a week) would apply to the application.

Under Maine Law if an application is "pending" when an ordinance is amended, 1 M.R.S.A. § 302 requires that the review be completed under the original ordinance, unless the new ordinance contains a retroactivity clause.

Section 302 defines "substantive review" as a "review of that application to determine whether it complies with the review criteria and other applicable requirements of law."

Maine courts have found that an application is "pending" if the administrative official or board has started to treat the application as complete and has begun to review it for substantive compliance with the requirements of the ordinance, absent a contrary definition of "pending application" in the ordinance. See Littlefield v. Inhabitants of the Town of Lyman, 447 A.2d 1231 (Me. 1982); Maine Isle Corp., Inc. v. Town of St. George, 499 A.2d 149 (Me. 1985).

Preliminary review of an application for "completeness", however, generally does not constitute a substantive review. See Waste Disposal Inc. v. Town of Porter, 563 A.2d 779, 781 (Me. 1989). Moreover, the fact that an application was delivered to or received and receipted by staff does not make an application "pending," absent ordinance language to the contrary. See P. W. Associates v. Town of Kennebunkport, CV-88-716 and CV-89-29 (Me. Super. Ct., York Cty., Nov. 20, 1989).

This, however, is not the end of the analysis. It is also necessary to determine if the applicant has vested rights to proceed. The Maine Law Court (in Sahl v. Town of York, 2000 ME 180, 760 A.2d 266) held that "in order for a right to proceed with construction under the existing ordinance to vest, three requirements must be met: (1) there must be the actual physical commencement of some significant and visible construction; (2) the commencement must be undertaken in good faith . . . with the intention to continue with the construction and to carry it through to completion; and (3) the commencement of construction must be pursuant to a validly issued permit." The court went on to note that "rights may not vest solely because a property owner: (1) filed an application for a building permit; (2) was issued a building permit; (3) relied on the language of the existing ordinance; or (4) incurred preliminary expenses in preparing and submitting the application for a permit."

Based on the above law and the facts (i.e. that you just received the application, no review has taken place, no approval has been granted and no work undertaken) I think that the application in question is not pending and therefore the new shoreland regulations (once enacted) would most likely be applicable.

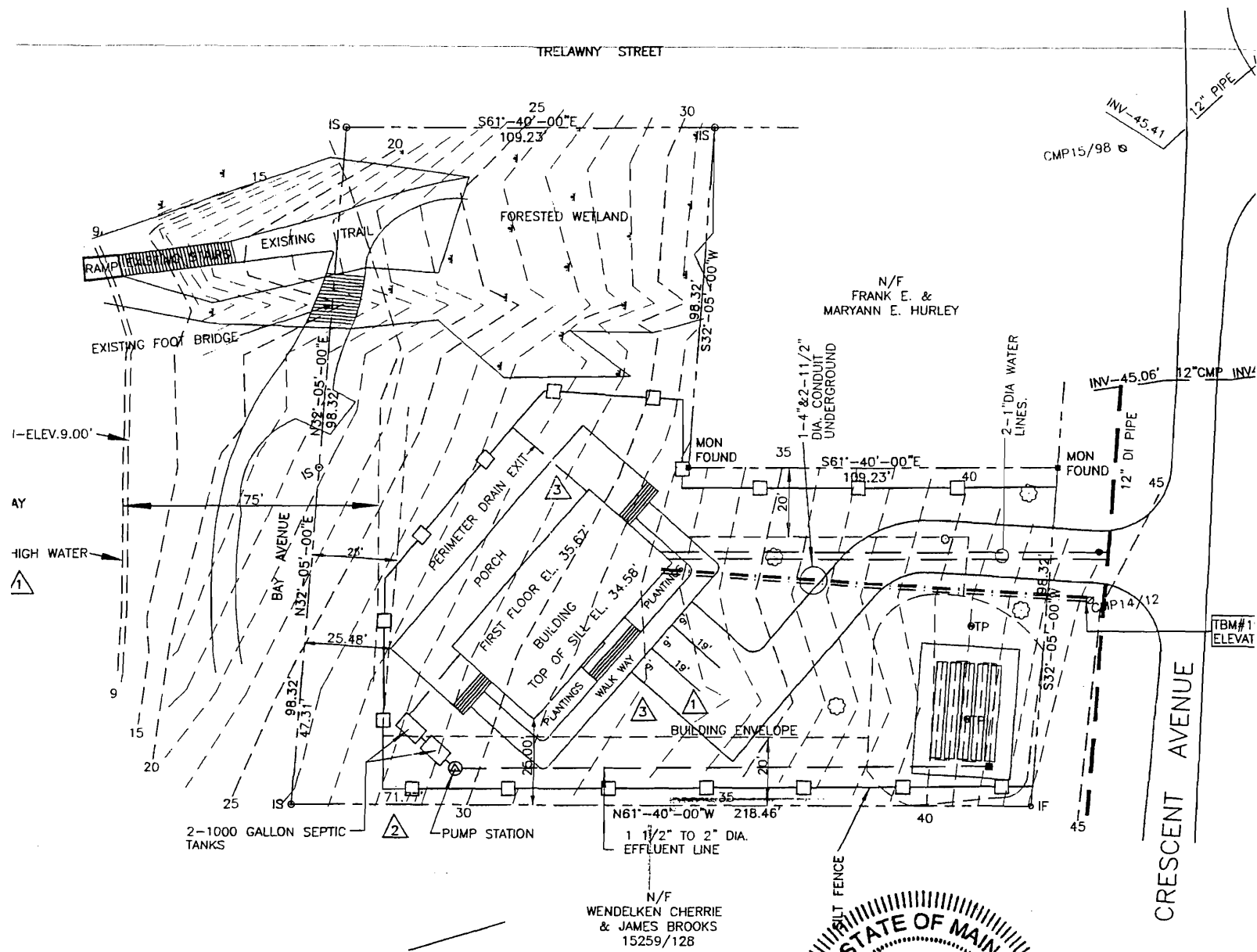
Thanks a lot,

Danielle

Danielle P. West-Chuhta  
Associate Corporation Counsel  
City of Portland, Maine

**CC:** Barhydt, Barbara

*Handwritten notes:*  
p. 2  
vs  
T-WS



**NOTE**

FINISH GRADE SHALL MATCH THE EXISTING GRADE.



3 2008



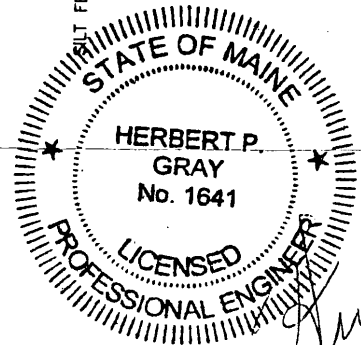
**CERTIFICATION**

THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.

HERBERT P. GRAY, PLS #387

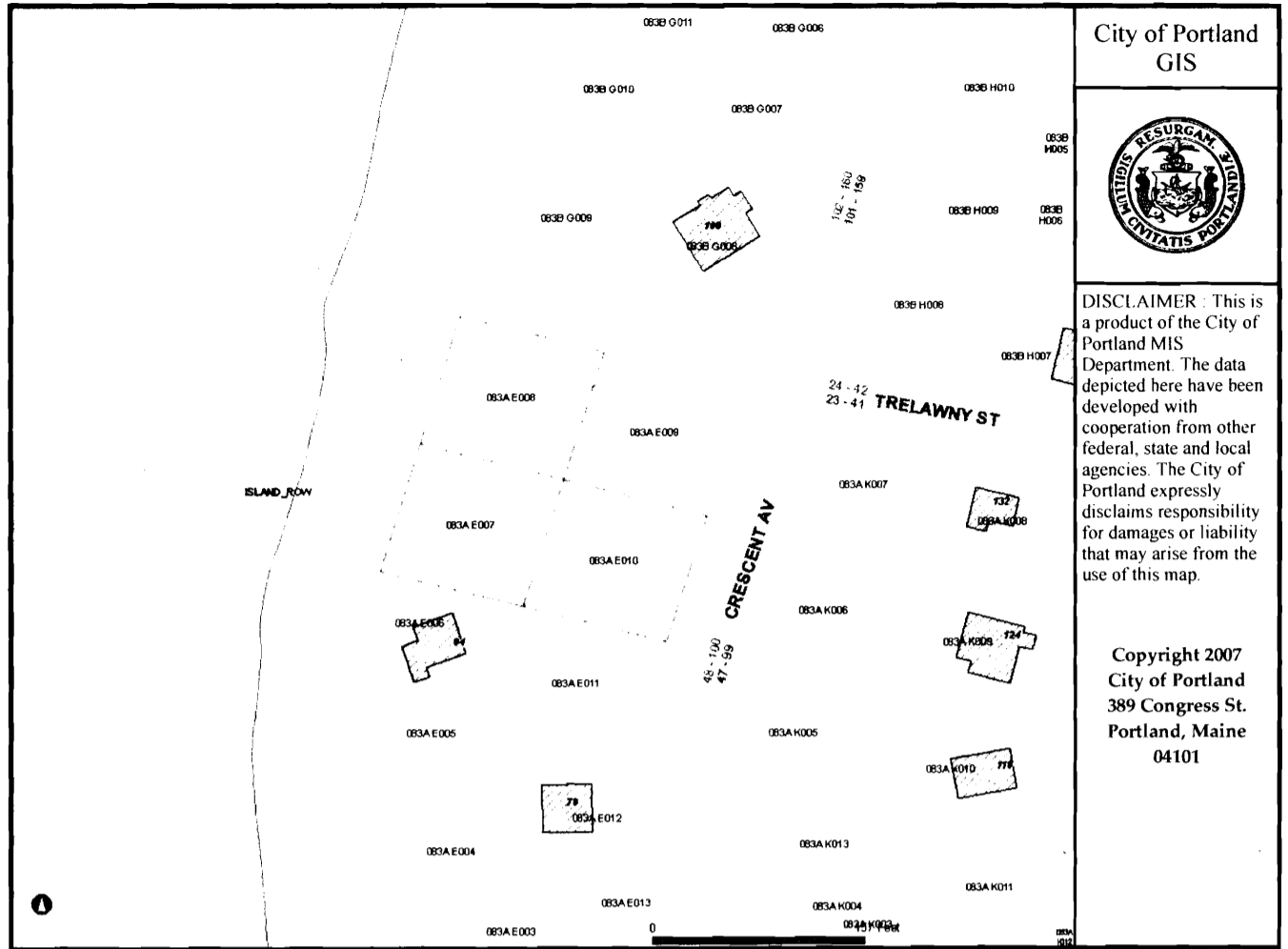
**SURVEYOR**

HERBERT P. GRAY  
PLS #387  
111 SIMMONS ROAD  
SOUTH PORTLAND, MAINE  
04106



*Herbert P. Gray*





IR-2 Zone

**FAX**



To: *for Lola care of Elizabeth W*  
Fax Number: *766-5673*  
From: *Marge Schmechel*  
Fax Number:  
Date: *7/16/09*  
Regarding: *GRT & Isl. Appeal*  
Total Number Of Pages Including Cover: *2*  
Phone Number For Follow-Up:

**Comments:**

*I hope this helps you*

City Of Portland, Maine  
Inspections Division Services  
389 Congress St Room 315 Portland Me 04101-3509  
Phone: (207) 874-8703 or (207) 874-8693  
Fax: (207) 874-8716  
<http://www.portlandmaine.gov/>

Travis Berube  
67 Boothby Ave  
South Portland, Maine 04106  
207-939-6572  
[tberube@maine.rr.com](mailto:tberube@maine.rr.com)

September 1, 2009

**LOT CLEARING PLAN FOR 90 CRESCENT AVE**

Clearing needed for house, porches and walkways:	4,871 sqft.
Clearing needed for driveway:	1,800 sqft.
Clearing needed for septic tanks and leach field:	1,240 sqft.
<b>TOTAL NEEDED:</b>	<b>7,911 sqft.</b>

**PLEASE NOTE:**

- Planting is to be redone to recover clearing in areas needed to excavate septic and leach field and also around the perimeter of the building.
- No clearing whatsoever is to be done within the 75' shore land setback or the areas label wetlands; nor shall any equipment or persons operate in these areas.

Thank You,



Travis Berube

SEP - 1 2009

**CLOUTIER, CONLEY & DUFFETT, P.A.**

A Professional Association  
Attorneys at Law  
465 Congress Street  
Portland, Maine 04101-3528

James F. Cloutier  
Mark A. Cloutier  
Gerard P. Conley, Jr.  
Thomas W. Cloutier  
Neale A. Duffett  
Andrew J. Cloutier

AREA CODE 207  
TELEPHONE 775-1515  
TELEFAX 774-7984  
mainelegal@aol.com  
James F. Cloutier  
Maine Bar # 2126

June 12, 2009

Danielle West Chuhta  
Office of Corporation Counsel  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

Via email: [dwchuhta@portlandmaine.gov](mailto:dwchuhta@portlandmaine.gov)  
[mes@portlandmaine.gov](mailto:mes@portlandmaine.gov)

Re: Nancy Connolly et al., Great Diamond Island Map 83 A-E 7, 8 & 10

Dear Danielle:

Thank you for your voice message. I have been asked to represent Nancy Connolly and her Sister and brother in law, Douglas and Kathy Sue Roberts family in relation to obtaining a building permit for construction of a home on Great Diamond Island. When, after literally years of planning financing, studying wetlands, finding ways to meet zoning laws and developing a game plan for moving permanently to the island after constructing a home, the owners presented a plan for a two unit construction project to the Planning Dept. and learned that accessory dwelling units, which they intended to use to create a small apartment for Nancy in conjunction with a larger home for Doug and Kathy, required approval as a conditional use by the Zoning Board Of Appeals.

Undaunted, they paid the several thousand dollar building permit fee and were told that the application would remain in abeyance until The Zoning Board Of Appeals has ruled. In the circumstances, the earliest that they could get on the ZBA agenda was the July meeting, assuming they generate the necessary paperwork promptly. There were also informed that the City Council has, in second reading next Monday night, revisions of the shoreland zoning ordinances which were required by the DEP to be enacted by July 1, 2009. Included in those proposals was a setback from bluffs which appears to apply to their area of Great Diamond Island, although that particular bluffs have not been evaluated. In essence, this regulation will make the property basically unbuildable given the additional setback which is likely to be required and the sensitive nature of some of the area of the property, where wetlands need to be protected, etc.

Nancy then had one or more telephone conversations with Marge Schmuckel, inquiring concerning whether they would be grandfathered with the application pending in the event that the Zoning Board Of Appeals allows the accessory unit as a conditional of use. Incidentally, in the famous last words department, examination of the standards the board reviews suggest to the applicants that there is nothing remarkable about their application which would cause the issuance of a conditional use permit to be in question.

My basic question to your office is whether the act of the Planning Department in accepting the application for a building permit for a single-family home with an accessory unit, followed by the determination that the application requires the conditional use permit constitutes sufficient action on the merits of the application at this point for it can be considered pending under pertinent zoning rules, thereby creating a vested right to proceed under current regulations. If so, can we confirm that the approval of a conditional use permit would allow for the processing of the building permit application to issuance of the permit in the regular

course under the existing rules, as opposed to any new requirements which might be enacted as early as Monday evening.

My second question is predicated on the possible conclusion that the application would not be considered pending at this time. It appears to me that the family could file an application for a single-family residence using the same footprint which would plainly be pending and entitled to consideration under the now existing rules. This would entitle the family to a building permit for the existing designed structure so long as the improvements to create the accessory unit were deleted from the application. Thereafter, the family could present an application for a conditional use permit to the ZBA and, if the same is approved, file an amendment to the building permit or seek an additional building permit to install the unit.

Since I have not been involved in conversations with Marge Schmuckel, I am forwarding a copy of this letter to her to keep her apprised of the status of the application. I look forward to meeting and talking with you about this at your convenience, and will call again on Monday for that purpose..

Thank you for your assistance concerning this matter.

Very truly yours,

James F. Cloutier

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
Zoning Copy**

**2009-0058**  
Application I. D. Number

**Roberts Douglas S Etal**  
Applicant  
**745 Jackson Valley Rd , Oxford, NJ 07863**  
Applicant's Mailing Address

**Marge Schmuckal**

**6/9/2009**  
Application Date

**Travis Berube**  
Consultant/Agent  
**Agent Ph: (207)939-6572      Agent Fax:**  
Applicant or Agent Daytime Telephone, Fax

**Crescent Ave Great Diamond Island, Portland, Maine**  
Address of Proposed Site  
**083A E007001**  
Assessor's Reference: Chart-Block-Lot

**Single Family w/ inlaw apartment**  
Project Name/Description

Proposed Development (check all that apply):  New Building    Building Addition    Change Of Use    Residential    Office    Retail  
 Manufacturing    Warehouse/Distribution    Parking Lot    Apt 0    Condo 0    Other (specify) \_\_\_\_\_  
**0**

Proposed Building square Feet or # of Units      Acreage of Site      Proposed Total Disturbed Area of the Site      Zoning

**Check Review Required:**

- |   |   |  |  |
|---|---|--|--|
| <input type="checkbox"/> Site Plan (major/minor)          | <input type="checkbox"/> Zoning Conditional - PB  | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> Design Review         |
| <input type="checkbox"/> Amendment to Plan - Board Review | <input type="checkbox"/> Zoning Conditional - ZBA | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation |
| <input type="checkbox"/> Amendment to Plan - Staff Review | <input type="checkbox"/> Zoning Variance          | <input type="checkbox"/> Flood Hazard                | <input type="checkbox"/> Site Location         |
| <input type="checkbox"/> After the Fact - Major           | <input type="checkbox"/> Stormwater               | <input type="checkbox"/> Traffic Movement            | <input type="checkbox"/> Housing Replacement   |
| <input type="checkbox"/> After the Fact - Minor           | <input type="checkbox"/> PAD Review               | <input type="checkbox"/> 14-403 Streets Review       | <input type="checkbox"/> Other _____           |

Fees Paid:    Site Plan    **\$50.00**    Subdivision    \_\_\_\_\_    Engineer Review    **\$250.00**    Date    **6/9/2009**

**Zoning Approval Status:**

Reviewer \_\_\_\_\_

- Approved       Approved w/Conditions See Attached       Denied

Approval Date \_\_\_\_\_      Approval Expiration \_\_\_\_\_      Extension to \_\_\_\_\_       Additional Sheets Attached

Condition Compliance \_\_\_\_\_      signature \_\_\_\_\_      date \_\_\_\_\_

**Performance Guarantee**       Required\*       Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

# Meetings & Conversations

RE: 03A-E-7-8-10  
GRT & Island

(10/1/08) 2:00pm  
Marge's BAA met with Herb Gray

3:00pm  
Marge met with Nancy Conally with  
Daughter Maggie on her phone  
(Discussed The Conditional Use Appeal -  
The section of Ordinance is attached to my  
Notes)

(3/13/09) 10:00 AM  
I met with Herb Gray concerning this  
property - describing what was needed  
for a permit appl.

(5/20/09) Nancy Conally attended a shoreland zoning  
neighborhood meeting at The Casco Bay Ferri-  
terminal that Rick Knowlton presented. She  
received information on the proposed bluff  
regulations at that meeting.

**From:** Rick Knowland  
**To:** Danielle West -Chuhta; Marge Schmuckal  
**Date:** 6/15/2009 11:29:25 AM  
**Subject:** Re: Great Diamond Island - Nancy Conolly

Marge, As discussed Mary Connolly attended a shoreland zoning neighborhood meeting on May 20, 2009 at the Casco Bay Ferry Terminal. She received information on the proposed bluff regulations at the meeting.

>>> Marge Schmuckal Monday, June 15, 2009 >>>

Here are the dates that I met with folks concerning this lot. I did not document the walk-in from Herb Gray who I met at the counter maybe a month ago.

October 1, Barbara B. & I met with Heb Gray at 2:00 pm to go over the property. We discussed shoreland zoning and the conditional use appeal.

On the same day at 3:00 pm I met alone with Nancy Conolly with her daughter Maggie on her phone. We discussed the conditional use appeal and shoreland zoning. I attached a copy of that appeal section to my informational notes.

March 13, 2009: At 10:00 am I met with Herb Gray concerning this property. - I described what was needed for a permit and appeal application.

June 9, 2009 This office received a building permit application for the construction of a new single family dwelling with an accessory dwelling unit as allowed under a conditional use appeal to the Zoning Board of Appeals. As of this date June 15, 2009, this office has not received a conditional use application for the July 16, 2009 concerning the accessory dwelling unit.



**From:** Marge Schmuckal  
**To:** Danielle West -Chuhta  
**Date:** 6/15/2009 11:32:09 AM  
**Subject:** Re: Nancy Connolly GDI Matter

Danielle,  
the Board is pretty good at looking only at the Conditional Use standards for the accessory unit. If the applicant changes the current building permit application for a single family only, and goes forward immediately and breaks ground to start construction on the foundation, then at least some sort of "substantial" work has begun. If the structure has "substantially" begun on the full footprint, then the use would not essentially change the building that was already approved and would not affect a separate review for shoreland zoning.

At least, those are my thoughts right now. Does this help in anyway?

Marge

>>> Danielle West -Chuhta 6/15/2009 11:16:45 AM >>>  
Marge:

I have done some additional research with regard to the Nancy Connolly matter. As I indicated in my last message, I think that since you have not undergone substantive review of the application it is not pending. Your screening of the application to determine adequacy of the information presented and to see if it complies with the review criteria does not bestow pending status on the application.

Given this conclusion, and the shoreland regulations will go into effect 30 days after they are enacted (i.e. around July 15th) and since Ms. Connolly needs to obtain Conditional Use Permit from the ZBA (and such review would most likely not take place until after July 15th), I think that Ms. Connolly's application would most likely not be pending (i.e. reviewed under the old shoreland requirements).

With regard to the vested rights analysis, I think that she has also not obtained vested rights (yet) since neither the submission of her permit application, nor the issuance of the permit (when and if it happens), establishes vested rights.

Based on the above conclusions, I think that Attorney Cloutier's suggestion regarding submission of a building permit (without the accessory unit) seems like an acceptable alternative. My one concern with this idea is that it involves the subsequent submission of conditional use permit application to the ZBA (which would not meet on this issue until after July 15th) and an amendment to the building permit. As such, if the new shoreland regulations go into effect on July 15th, and the ZBA meets after this date, then it seems to me that we would have to apply the new shoreland requirements to the Conditional Use Permit application.


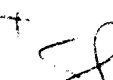
What are your thoughts? Do you think that this would affect the ZBA's decision with regard to the accessory structure?

Thanks a lot,

Danielle

Danielle P. West-Chuhta  
Associate Corporation Counsel  
City of Portland, Maine

**CC:** Barbara Barhydt; Rick Knowland

Get  

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

At 2:00 pm

10/1/08

Herb Gray - Marge - BARBARA

Current Owner Information

Card Number	1 of 1
Parcel ID	083A E007001
Location	CRESCENT AVE
Land Use	VACANT LAND

Owner Address	ROBERTS DOUGLAS S ETAL 745 JACKSON VALLEY RD OXFORD NJ 07863
---------------	--

Book/Page	13290/162
Legal	83A-E-7-8-10 BAY AVE TRELAWNEY ST CRESCENT AVE GREAT DIAMOND ISLAND (32151 SF)

IR-2 ?  
Shore Land

Current Assessed Valuation

Land	Building	Total
\$157,400	\$ 0.00	\$157,400

At 3:00 pm

met with Nancy locally with Daughter Maggie on her phone

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.738	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
08/29/1997	LAND	\$73,000	13290-162
03/13/1995	LAND	\$55,000	12005-126

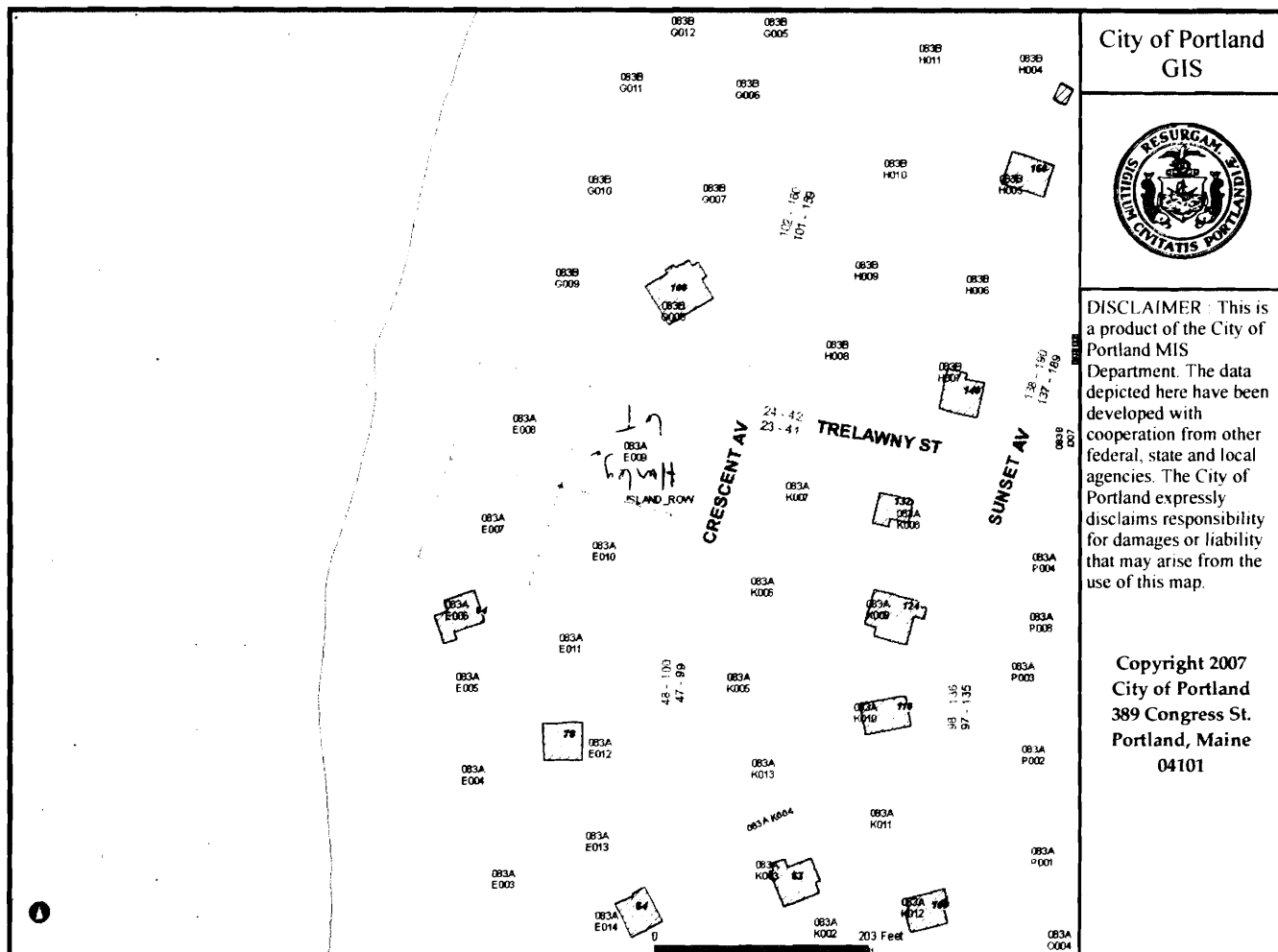
Picture and Sketch

Picture	Sketch	Tax Map
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Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**



City of Portland GIS

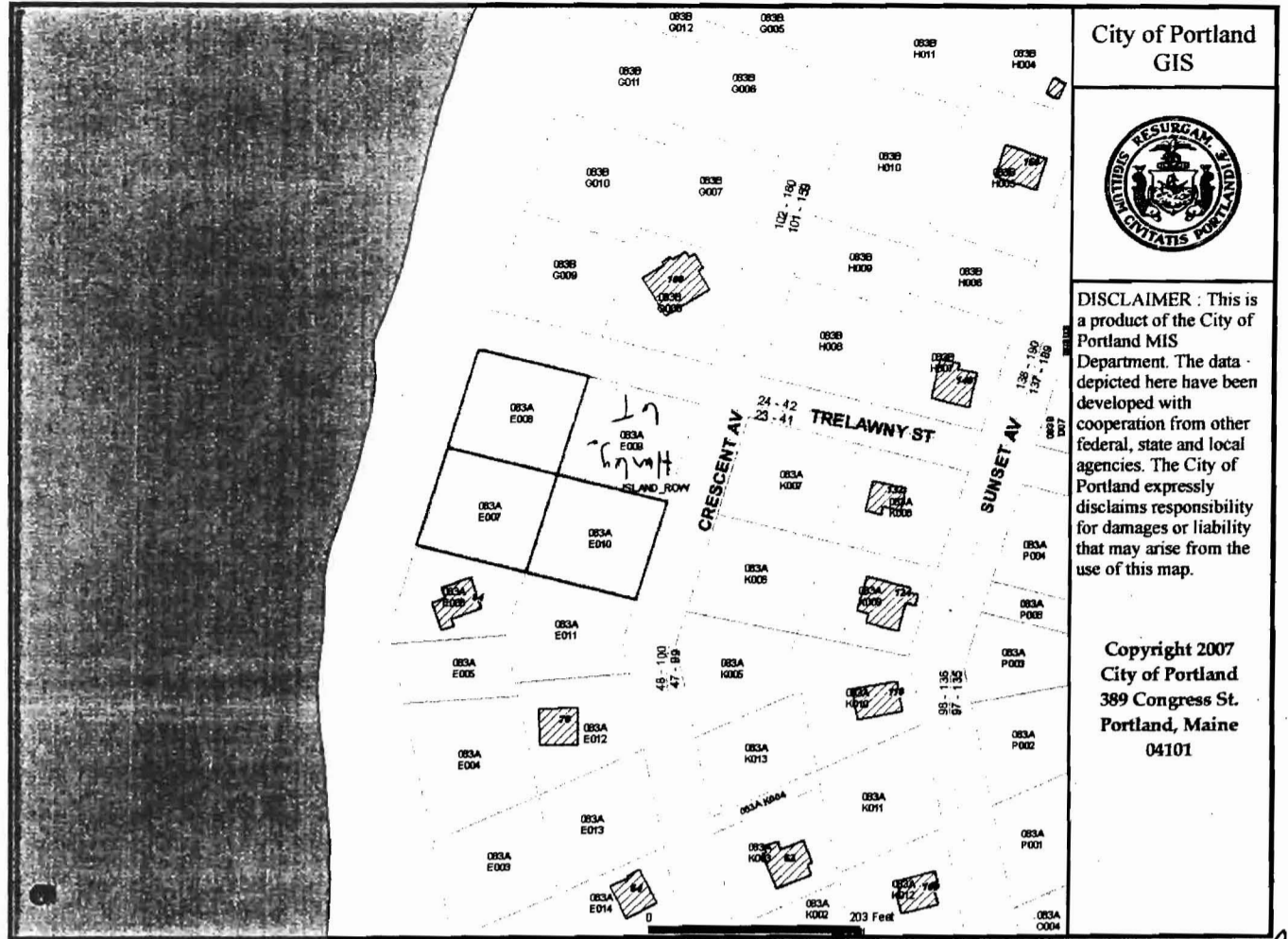


DISCLAIMER - This is a product of the City of Portland MIS Department. The data depicted here have been developed with cooperation from other federal, state and local agencies. The City of Portland expressly disclaims responsibility for damages or liability that may arise from the use of this map.

Copyright 2007  
 City of Portland  
 389 Congress St.  
 Portland, Maine  
 04101

*IR-2. Show Land*

*Handwritten scribbles and illegible text.*



IR-2. Shoreland

83A-D-3  
10,749

*[Faint handwritten notes]*

conditional use permit, subject to the provisions of section 14-474 (conditional uses) of this article and any special provisions, standards or requirements specified below:

(a) *Residential:*

1. Accessory dwelling unit within and clearly subordinate to a principal single-family detached dwelling provided that:
  - a. The accessory unit shall be no more than thirty-five (35) percent of the gross floor area of the principal building and shall have a minimum floor area of four hundred (400) square feet;
  - b. Lot area shall be thirty thousand (30,000) square feet;
  - c. There shall be no open outside stairways or fire escapes above the ground floor;
  - d. Any additions or exterior alterations such as facade materials, building form, roof pitch, and exterior doors shall be designed to be compatible with the architectural style of the building and preserve the single-family appearance of the building. The exterior design of new construction including facade materials, building form, roof pitch and exterior doors shall have a single-family appearance;
  - e. A lower level dwelling unit shall have a minimum two-thirds of its floor-to-ceiling height above the average adjoining ground level;
  - f. Either the accessory unit or the principal dwelling shall be occupied by the owner of the lot on which the principal building is located, except for bona fide temporary absences; and

- g. All sanitary waste shall be disposed of by a public sewer, subsurface sewerage system or other method in compliance with state and local regulations.

(b) *Institutional*: Any of the following uses provided that, notwithstanding section 14-474(a) (conditional uses) of this article or any other provision of this Code, the planning board shall be substituted for the board of appeals as the reviewing authority:

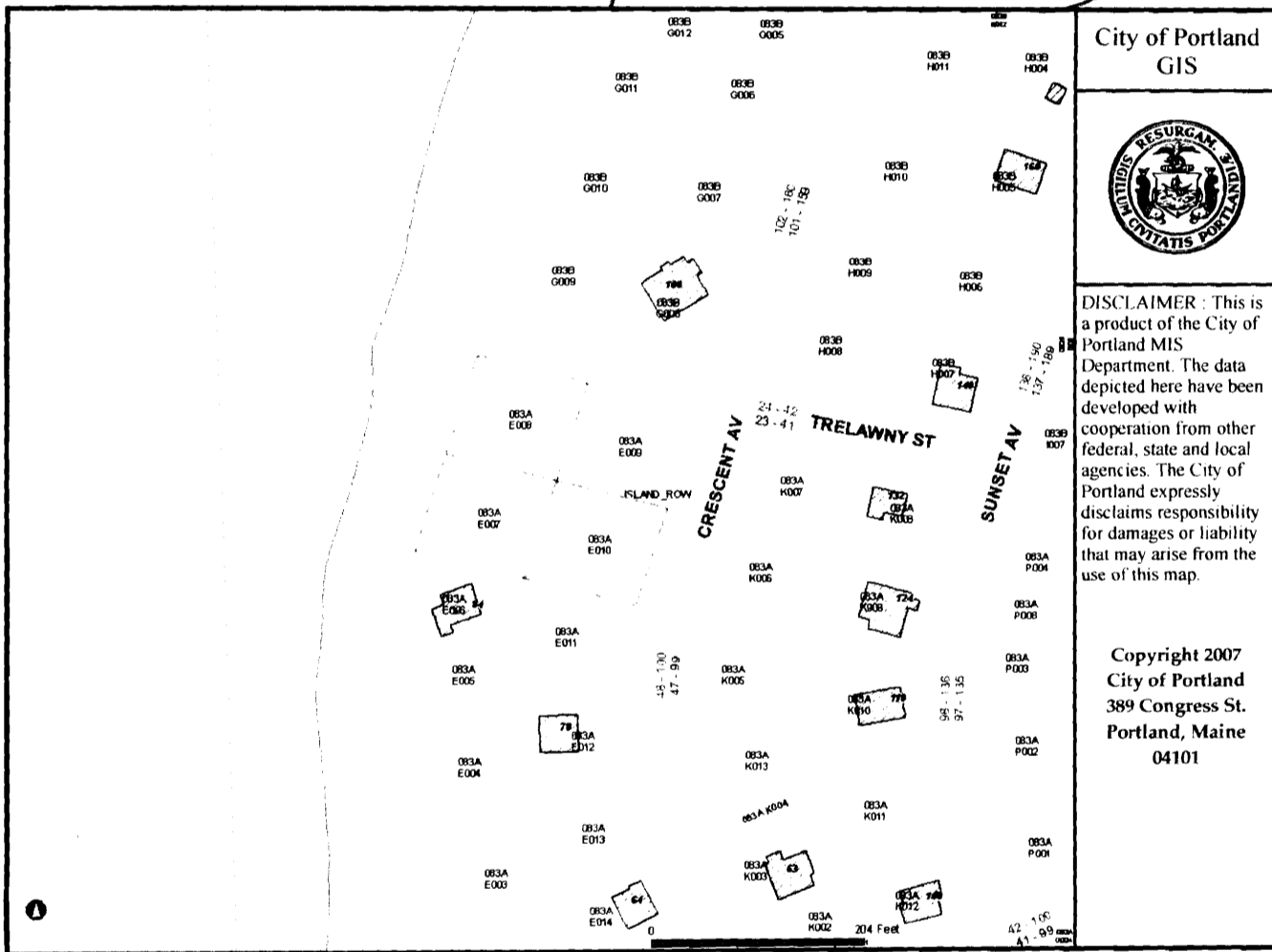
1. Schools and other educational facilities;
2. Churches or other places of worship;
3. Private clubs or fraternal organizations excluding yacht clubs and marinas;
4. Municipal uses, provided that outside storage and parking areas are suitably screened and landscaped to ensure compatibility with the surrounding neighborhood;

Such uses shall be subject to the following standards if the total land area of the use is two (2) acres or more:

- a. In the case of expansion of existing such uses onto land other than the lot on which the principal use is located, it shall be demonstrated that the proposed use cannot reasonably be accommodated on the existing site through more efficient utilization of land or buildings, and will not cause significant physical encroachment into established residential area;
- b. The proposed use will not cause significant displacement or conversion of residential uses existing as of July 15, 1985, or thereafter; and
- c. In the case of a use or use expansion which constitutes a combination of the above-listed

3/13/09

Herb Gray



Handwritten notes on the right margin: 'Crescent - GRL' and 'IR-2'.

Handwritten notes at the bottom: 'met' and 'IR-2'.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

**Card Number** 1 of 1  
**Parcel ID** 083A E007001  
**Location** CRESCENT AVE  
**Land Use** VACANT LAND  
  
**Owner Address** ROBERTS DOUGLAS S ETAL  
 745 JACKSON VALLEY RD  
 OXFORD NJ 07863

*Convey*

**Book/Page** 13290/162  
**Legal** 83A-E-7-8-10  
 BAY AVE TRELAWNEY ST  
 CRESCENT AVE  
 GREAT DIAMOND ISLAND 32151 SF

Current Assessed Valuation

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$157,400	\$ 0.00	\$157,400

Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
				0.738	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>

Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
08/29/1997	LAND	\$73,000	13290-162
03/13/1995	LAND	\$55,000	12005-126

Picture and Sketch

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

051248

WARRANTY DEED

Maine Statutory Short Form

MAINE REAL ESTATE TAX PAID

KNOW ALL MEN BY THESE PRESENTS THAT, WE, FRED C. DURST AND MARILYN C. DURST of Falmouth, County of Cumberland and State of Maine, for consideration paid, grant to DOUGLAS S. ROBERTS AND KATHY SUE ROBERTS, of 745 Jackson Valley Road, Oxford, NJ 07863, a one-half interest as JOINT TENANTS, and to NANCY JO CONNOLLY, a one-half interest, said half interests to be held as tenants in common, with WARRANTY COVENANTS, the following:

Certain lots or parcels of land, situated on Great Diamond Island, in the City of Portland, Cumberland County, Maine, being Lots numbered 158, 159 and 160 on the southerly side of Trelawny Street at the intersection of said Trelawny Street and Bay Avenue as shown on the plan entitled "Plan of Property belonging to the Diamond Island Association," recorded in the Cumberland County Registry of Deeds in Plan Book 4, Page 62.

Said lots are also depicted on Portland Tax Map 83A, Block E as Lots 7, 8 & 10. Subject to zoning and building restrictions of record, restrictive covenants and easements of record and public utilities servicing the property.

Being the premises described in the deed from C. Stuart Laughlin, Jr. to the grantors herein dated July 13, 1995 and recorded in said Registry in Book 12005, Page 126.

Witness our hands and seals this 29th day of August, 1997.

RECEIVED  
RECORDED REGISTRY OF DEEDS

1997 AUG 29 PM 1:40

CUMBERLAND COUNTY

*John B. Quinn*

*Fred C. Durst*  
FRED C. DURST

*Marilyn C. Durst*  
MARILYN C. DURST

State of Maine  
County of Cumberland

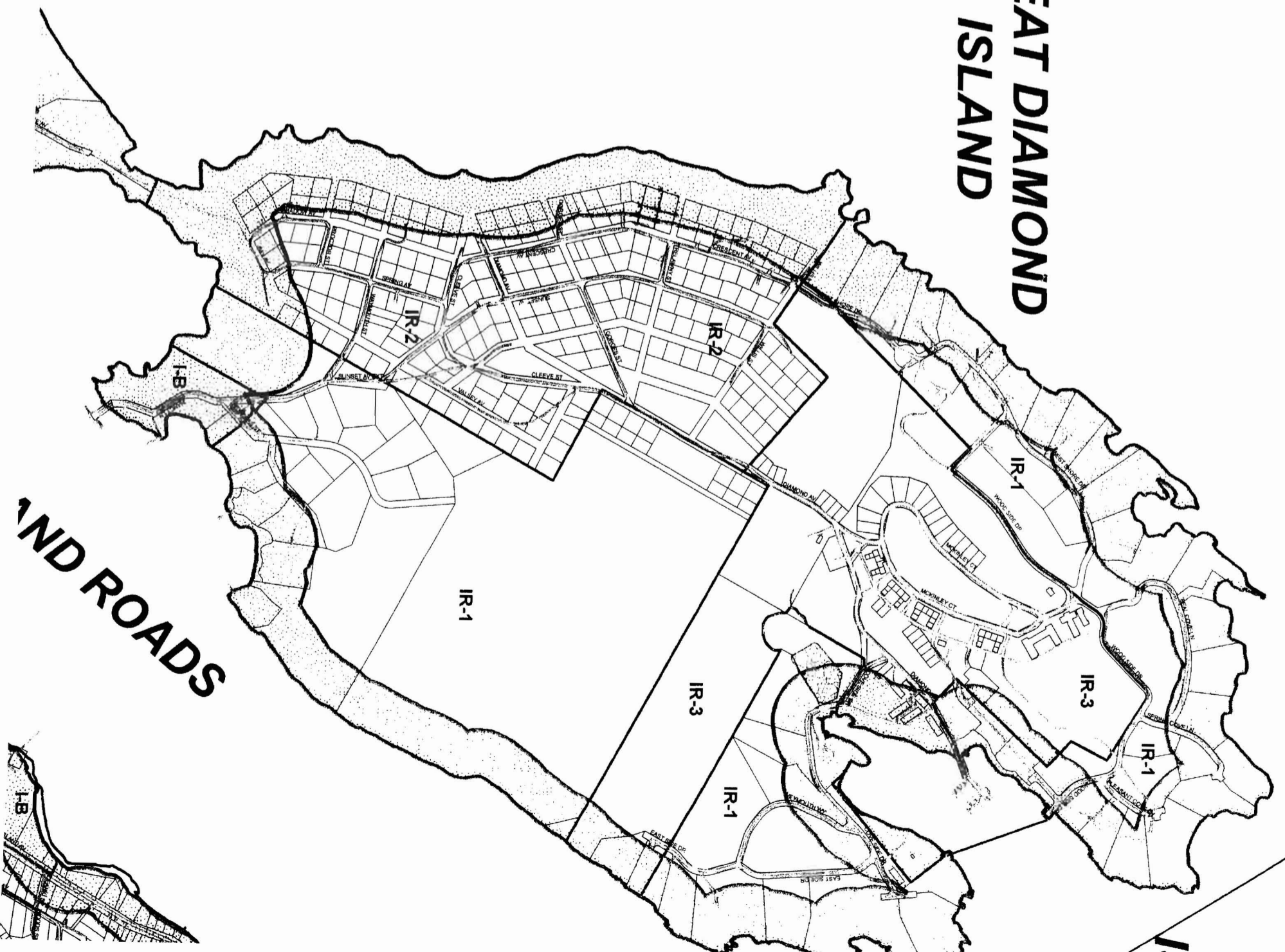
August 29, 1997

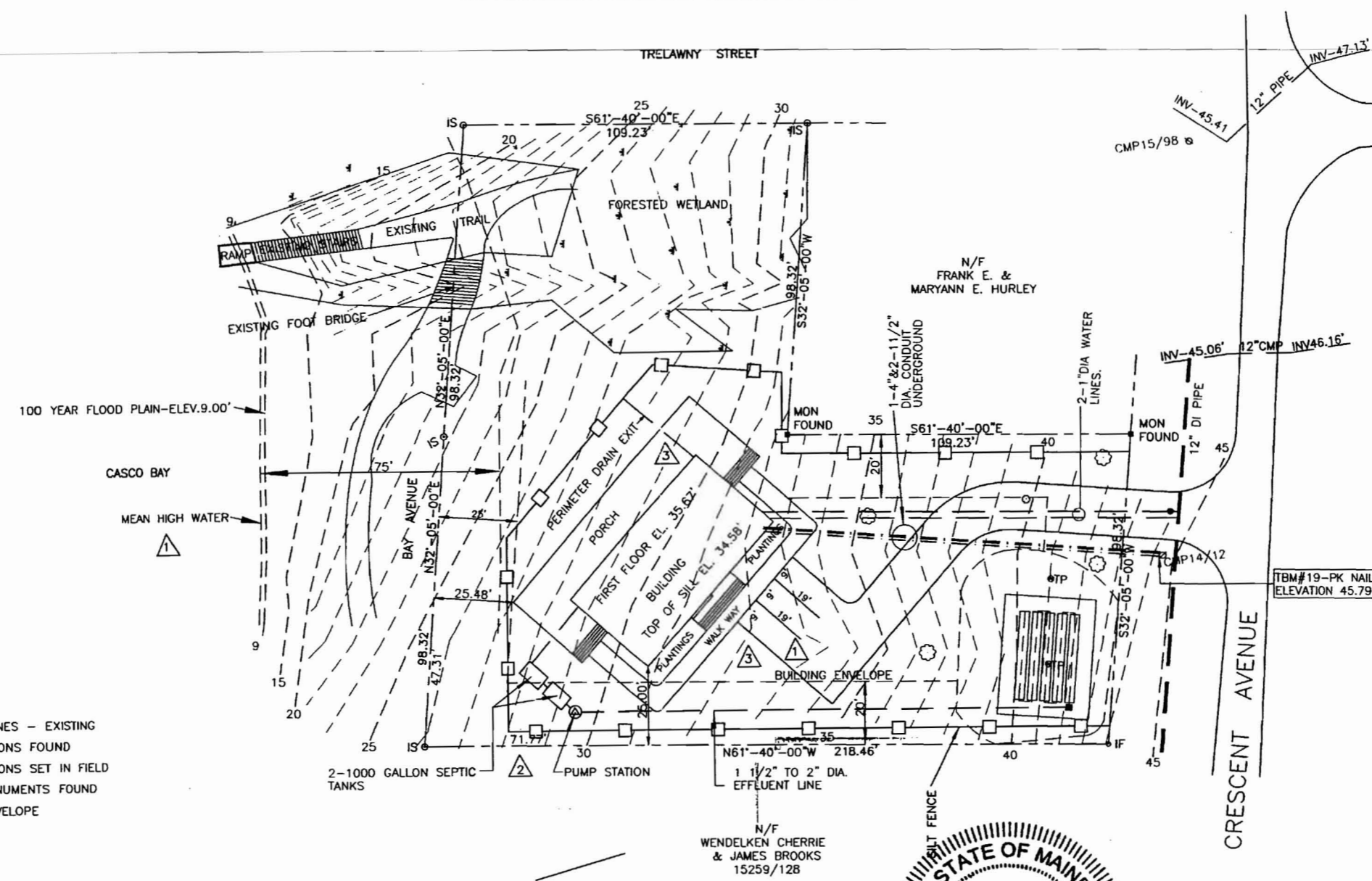
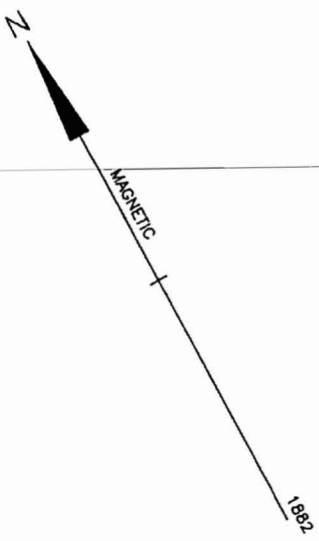
Personally appeared FRED C. DURST and MARILYN C. DURST and acknowledged the foregoing to be their free act and deed.

Before me,  
*Adrian G. McCarron*  
Adrian G. McCarron, Attorney at Law

**LITTLE  
DIAMOND**

**GREAT DIAMOND  
ISLAND**





- NOTES**
- DEED AND PLAN REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
  - IRONS SET ARE 5/8" REBAR (2'-6") LONG
  - ZONE IR? & SHORELAND ZONING. MINIMUM LOT SIZE 20,000 SF. MIN STREET FRONTAGE 70'. FRONT & REAR SETBACK 25'. SIDE SETBACK 20'.
  - OWNERS OF RECORD: DOUGLAS S. ROBERTS, KATHY SUE ROBERTS, NANCY JO CONNOLLY, 13290/162-32,149.50 SF
  - ASSESSORS MAP - 83A-E-7,8 & 10.
  - WETLAND FLAGS LOCATED BY ALBERT FRICK ASSOCIATES, INC. USING A TRIMBLE SUBMETER GPS UNIT.
  - ELEVATION BASED ON NOAA BRASS DISK. "841 7988 A 1979" ELEVATION ABOVE MTL 7.43'
  - 100 YEAR FLOOD PLAIN TAKEN FROM FEMA COMMUNITY PANEL #230051 NO. 0008 B EFFECTIVE DATE JULY 17, 1986.

**LEGEND**

- PROPERTY LINES - EXISTING
- IF O PROPERTY IRONS FOUND
- IS O PROPERTY IRONS SET IN FIELD
- EXISTING MONUMENTS FOUND
- - - - - BUILDING ENVELOPE
- ... WETLANDS
- NEW TREE

**REFERENCES**

PLAN OF PROPERTY, DIAMOND ISLAND ASSOCIATION PLAN BOOK 4, PAGE 62.

**OWNERS**

NANCY JO CONNOLLY  
82 SALEM STREET  
PORTLAND, MAINE 04102

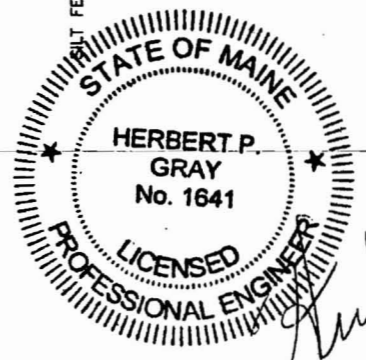
DOUGLAS S. ROBERTS  
KATHY SUE ROBERTS  
745 JACKSON VALLEY ROAD  
OXFORD, NEW JERSEY 07863

**CITY OF PORTLAND  
APPROVED SITE PLAN**  
Subject to Dept. Conditions  
Date of Approval: APPROVED JUL 13 2008

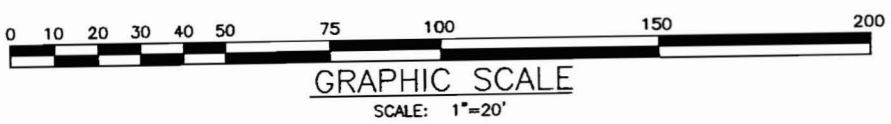
**NOTE**  
FINISH GRADE SHALL MATCH THE EXISTING GRADE.

**CERTIFICATION**  
THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.  
HERBERT P. GRAY, PLS #387

**SURVEYOR**  
HERBERT P. GRAY  
PLS #387  
111 SIMMONS ROAD  
SOUTH PORTLAND, MAINE  
04106

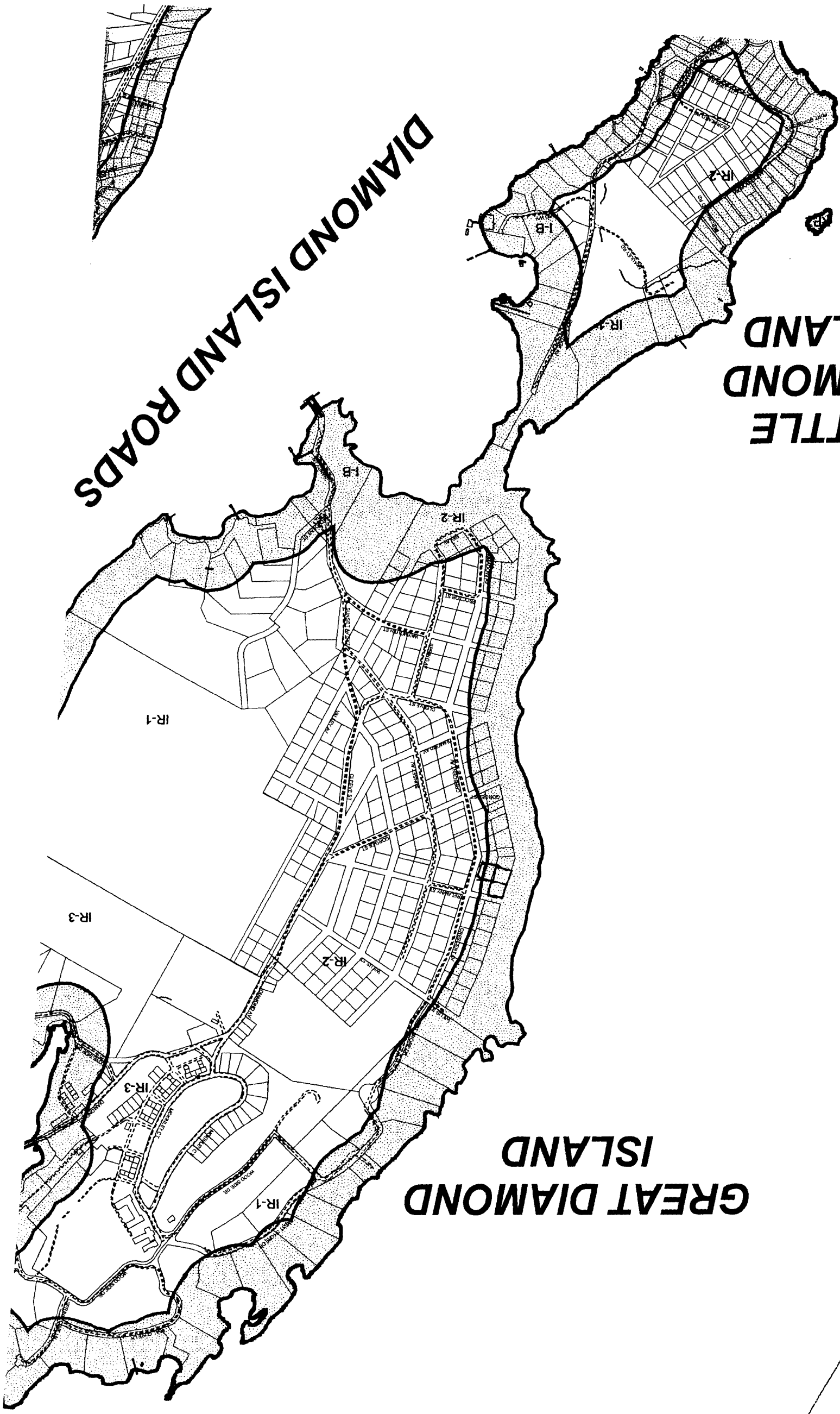


*Herbert P. Gray*



3	7/09/09	ELIMINATE 1 PARKING SPACE PERIMETER DRAIN EXIT	HPG
2	7/08/09	ADDED FINISH GRADE NOTE MOVED SILT FENCE LINE	HPG
1	6/27/09	ADDED MEAN HIGH WATER LINE DIMENSIONED PARKING SPACES	HPG
<b>SITE PLAN-TOPOGRAPHY PLAN</b>			
LAND OF DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY CRESCENT AVENUE - GREAT DIAMOND ISL. PORTLAND, MAINE 04109 DOUGLAS S & KATHY SUE ROBERTS & NANCY JO CONNOLLY HERBERT P. GRAY 111 SIMMONS ROAD, SOUTH PORTLAND, MAINE 04106			
SCALE:	1"=20'	DWG. NO.	1
DATE:	06/08/09		
DRAWN BY:	DHG		
CHECKED BY:	HPG		

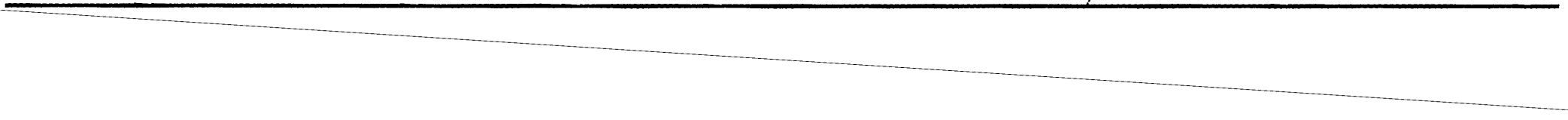
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**DIAMOND ISLAND ROADS**

**LITTLE  
DIAMOND  
ISLAND**

**GREAT DIAMOND  
ISLAND**





# Shoreland Zoning & Coastal Bluff Stability

Diamond, Peaks, Cushing, and House Islands

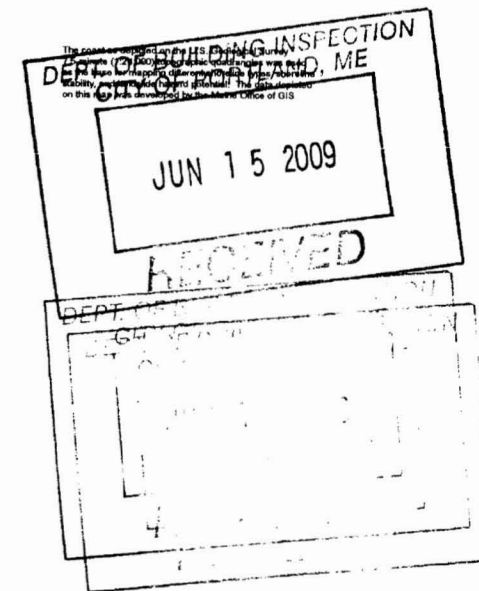
**Legend**

Shoreland Zoning Overlay

**Bluff Hazards Stability**

■ ■ ■ H - Highly Unstable

□ □ □ U - Unstable



COASTAL BASE FLOOD ELEVATIONS  
APPLY ONLY LANDWARD OF 0.0 NGVD

BAY

80'  
U.S. Naval  
Reservation  
Fort  
McKinley

GREAT  
DIAMOND  
ISLAND

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GENERAL NOTES AND SPECIFICATIONS

DIVISION 1 - GENERAL NOTES

- 1.1 All work shall be performed in accordance with all applicable codes, ordinances and accepted industry standards.
1.2 Contractor shall visit the site, shall base estimates upon present conditions, and shall be required to complete all work shown or indicated.
1.3 Do not scale the drawings. Written dimensions take precedence over depicted sizes and relationships on drawings.

- 3.1.9 All materials at the bottom of footing excavations loosened as a result of excavation operations or other causes must be completely removed until a firm undisturbed material is encountered or placed in place as directed by the Architect.
3.1.10 Soil under footings must be protected from freezing.
3.1.11 Compacted fill allowed to be placed below footings and floor slabs must consist of clean sand and/or gravel free of deleterious substances.

- 5.1.4 Intels shall be installed over all openings in new or existing masonry wall as follows:
Masonry Opening Intel
4'1" or less 1.4" x 3.12" x 5.16"
4'1" to 7'4" 1.5" x 3.12" x 5.16"
a. 3/4" legs are horizontal
b. Provide 1 angle for each 4" of wall thickness
c. Provide minimum 6" bearing at each end
d. Intels over 4'-0" shall be fireproofed.

- 6.2.3 All new stairs shall have oak treads and pine nosers. New handrails, balusters and newel posts as shown on details.
6.2.6 Urnish and install a 4'-0" long section "Mock-Up" of railing design for approval before releasing the entire order.
6.2.7 At all locations where paneling occurs, at cabinet islands and at bathroom vanities, install all electrical outlets, cable TV and tele-phonography in base.

- Section 7.5 - Flashing
7.5.1 Provide minimum 16oz aluminum step flashing. Shop brake where crasses are visible. Separate from dissimilar materials with bituminous coating.
7.5.2 All plumbing vent stacks to be flashed with field fabricated copper collars. Existing chimneys to be step flashed with 16 oz copper and counter flashed and soldered according to "Slate Roofs" details/National Slate Association, 1920.
Section 7.9 - Roof Venting
7.9.1 Ridge vent shall be Cor-A-Vent X-S (8 1/2") Use "Cor-a-vent" V-300 at roof-nook intersection.

DIVISION 2 - DEMOLITION

- 2.1 Provide temporary barricades and other forms of protection as required to protect Owners and their property.
2.2 Remove debris, rubbish and other materials resulting from demolition & construction operations from building site. Transport and legally dispose of materials off site.
Section 3 - SITE WORK
3.1 Satisfactory soil materials are defined as those complying with ASTM D2487 soil classification groups GW, GP, GM, SM, SW and SP.
3.2 Perform excavation within drip-line of large trees to remain by hand, and protect the root system from damage.

- 4.2.1 Concrete Masonry Units (CMU) in bearing walls shall be (unless noted otherwise) as specified by ASTM and shown below:
a. Foundation walls ASTM C 145 Grade N-1 (75% solid)
b. Load Bearing Walls ASTM C 90 Grade N-1 (54% solid)
c. Beam Bearing to Footing ASTM C 145 Grade N-1 (100% solid)
d. Just Bearing Top 8" ASTM C 145 Grade N-1 (100% solid)
Section 4.2 - Foundation Wall
4.2.1 Concrete Masonry Units (CMU) in bearing walls shall be (unless noted otherwise) as specified by ASTM and shown below.

- 6.1.3 Glue laminated beams labeled as "laminated veneer lumber (LVL)" are to be "GP Lam 20E" as manufactured by Georgia Pacific Corporation.
6.1.4 All metal hangers and hardware shall be Simpson Strong Tie as specified on plans. Where no designation of a specific hanger item is specified, use the most economical hanger item.
6.1.5 Structural framing lumber to be No. 2 Douglas Fir, or better, 1450 psi minimum, factory marked.
6.1.6 All framing shall be plumb and square, true, well braced, primed together with good joints and tie bearings.

- 7.4.1 DO NOT BREAK BUNDLES OVER RIDGE.
7.4.2 Provide a Maintenance Stock of 2% of each type color texture shingle used in the work and place in location as directed by Owner.
7.4.3 Deliver materials in manufacturer's unopened, labeled bundles, rolls or containers. Store materials to avoid water damage and store roll goods on end.
7.4.4 Proceed with shingle work only after substrate construction and penetrating work has been completed.
7.4.5 Proceed with shingle work only when weather conditions are in compliance with manufacturer's recommendations and when substrate is completely dry.

- Section 8.2 - Windows
8.2.1 All windows to be Anderson Tilt-Wash series with 1/2" thick insulated glazing and full height screens. Include brass hardware and screens for casement units. All exterior casing trim and sills to be perfectly match existing, verify in field.
8.2.2 Refer to elevations for transom locations.
8.2.3 Shop drawings shall be required for all specialty and all elliptical transom units provided by window manufacturer prior to ordering.
8.2.4 Provide tempered glass as required by code.
8.2.5 Flash all exterior window and door units with copper drip cap.

Legend of Construction

Legend of Construction symbols: Existing Partition to Remain, Existing Partition to be Removed, New Partition, New Gyp.D. over Existing Framing, etc.

Loading Criteria:

Table with Loading Criteria: Floor Loads, Roof Loads, Bathroom, Exterior Decks. Values range from 20 lb/sq ft to 40 lb/sq ft.

Area / Volume Calculations:

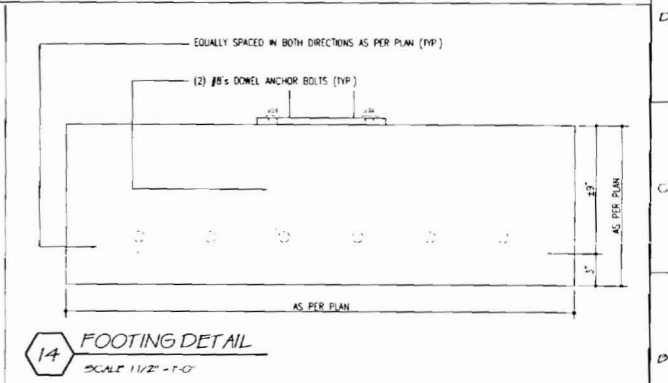
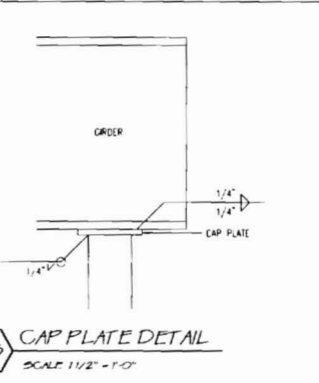
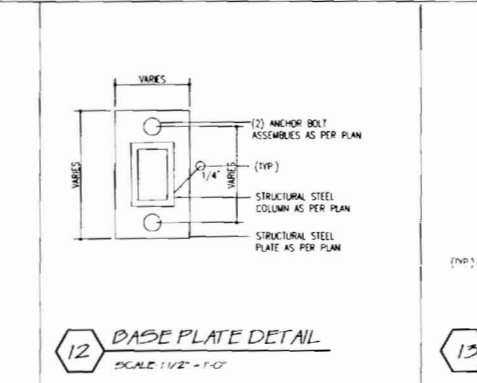
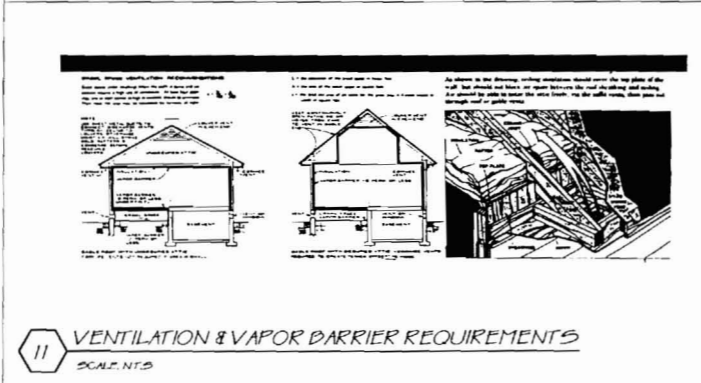
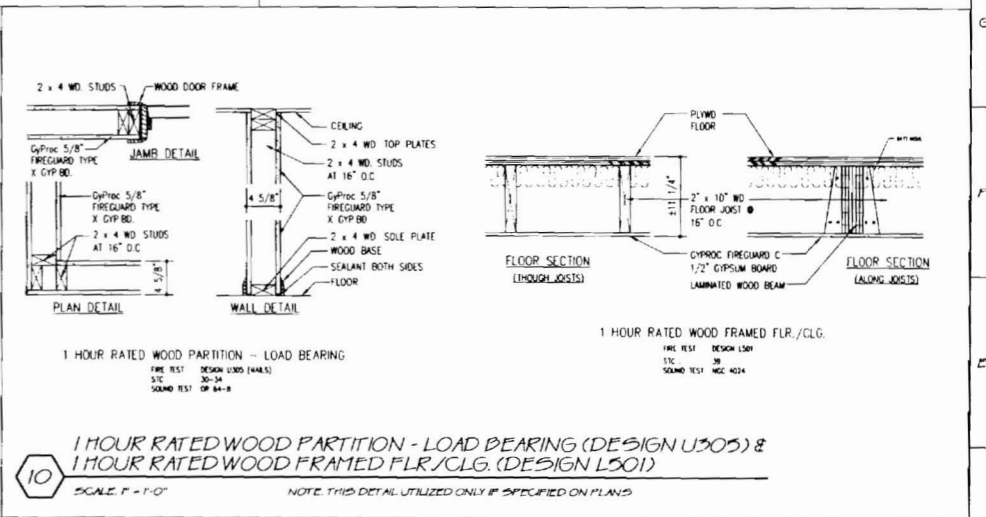
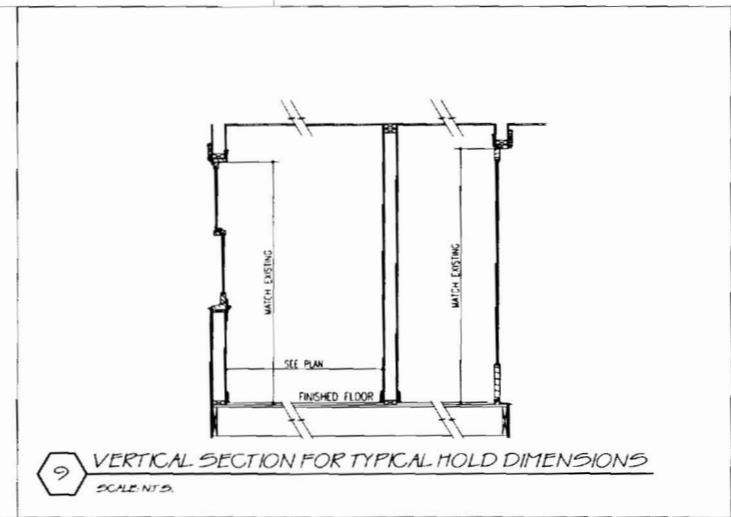
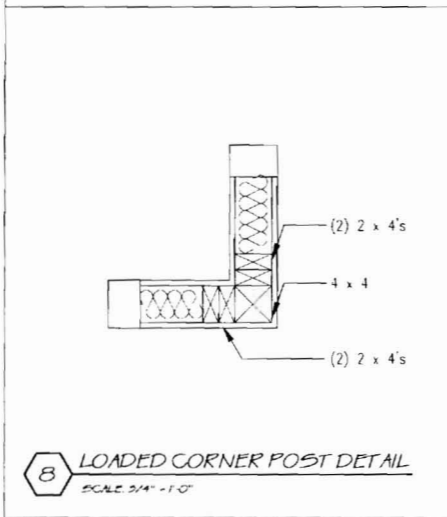
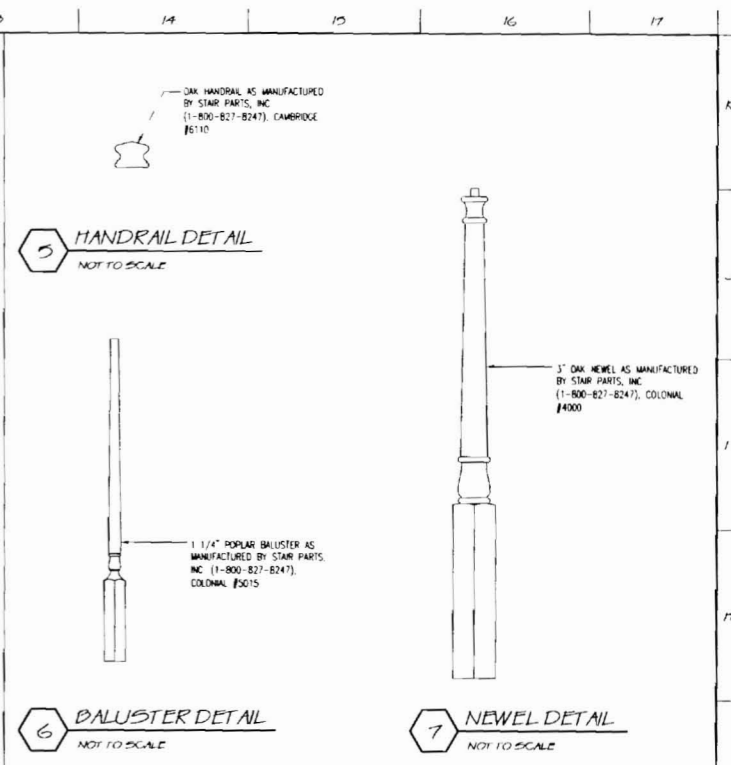
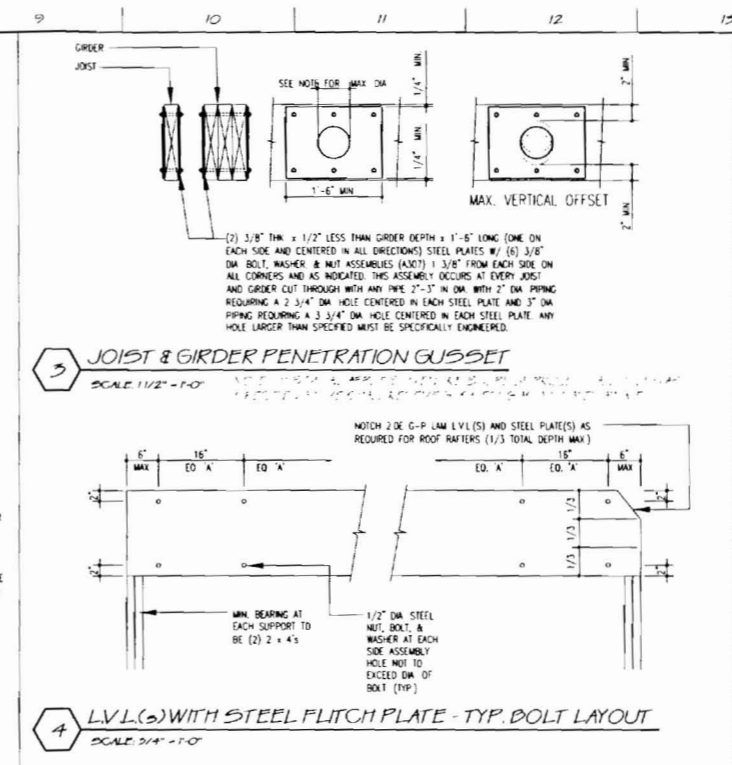
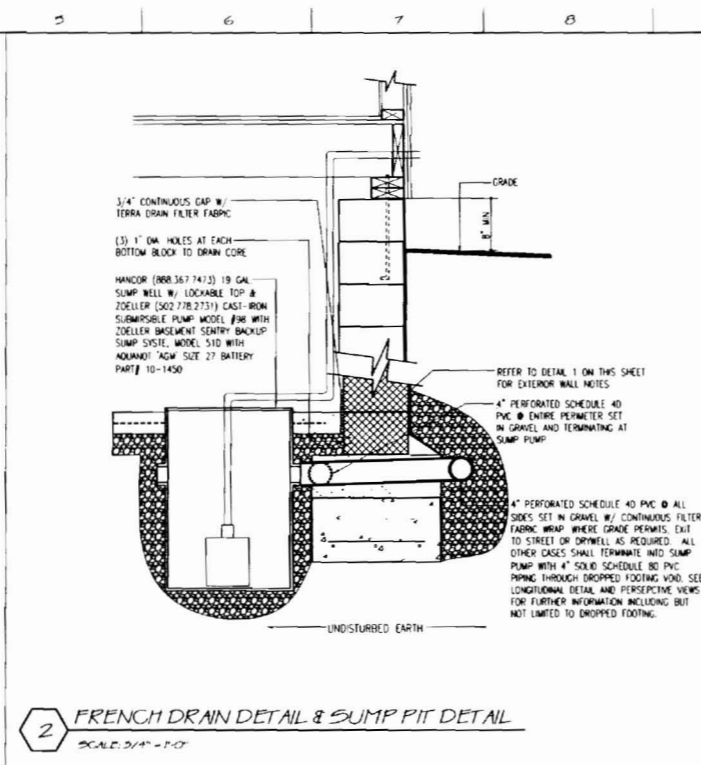
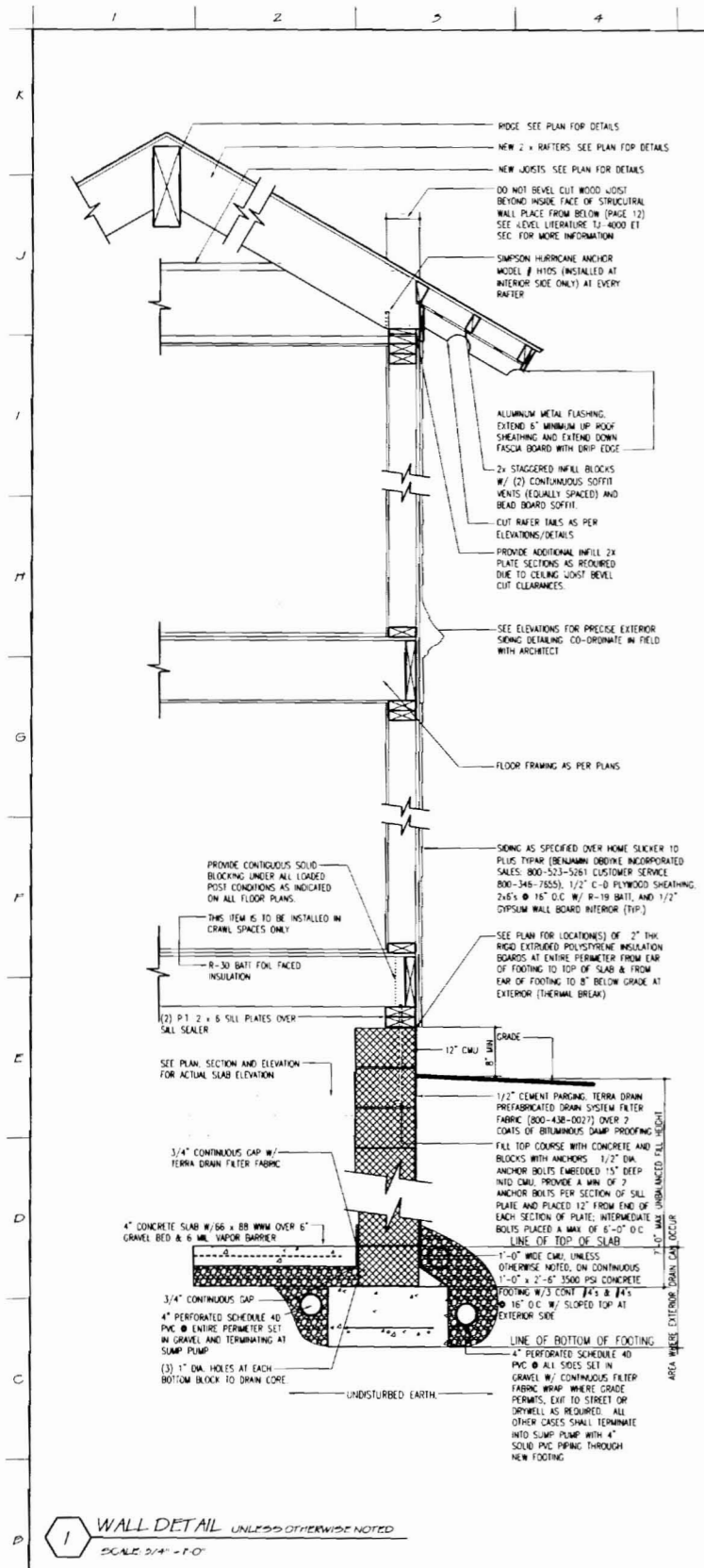
Table with Area / Volume Calculations: New First Floor (1991 SQ FT), New Porches (1401 SQ FT), Front Stoop (24 SQ FT), etc.

Project Information:

Address: 255 Main Street, Zone: R2, Use Group: R3, Const. Class: 30, Code Jurisdiction: Kennebunk, 2003 IBC.

Architectural drawing details including title block: New Residence for Mrs. Connolly and Mr. & Mrs. Roberts, Crescent Avenue - GDI, Portland, Maine 04109. Includes Erezuma Architects logo, contact info, and date 05/22/2009.






Legend of Construction	Loading Criteria:
Existing Partition to Remain	Floor Loads
Existing Partition to be Removed	Roof Loads
New Partition	Bathroom
New Gyp/Plt over Existing Framing	Exterior Decks
4x4 Post	
4x6 Post	
Post Niche	
Architect Opening	
Ceiling / Wall Height	

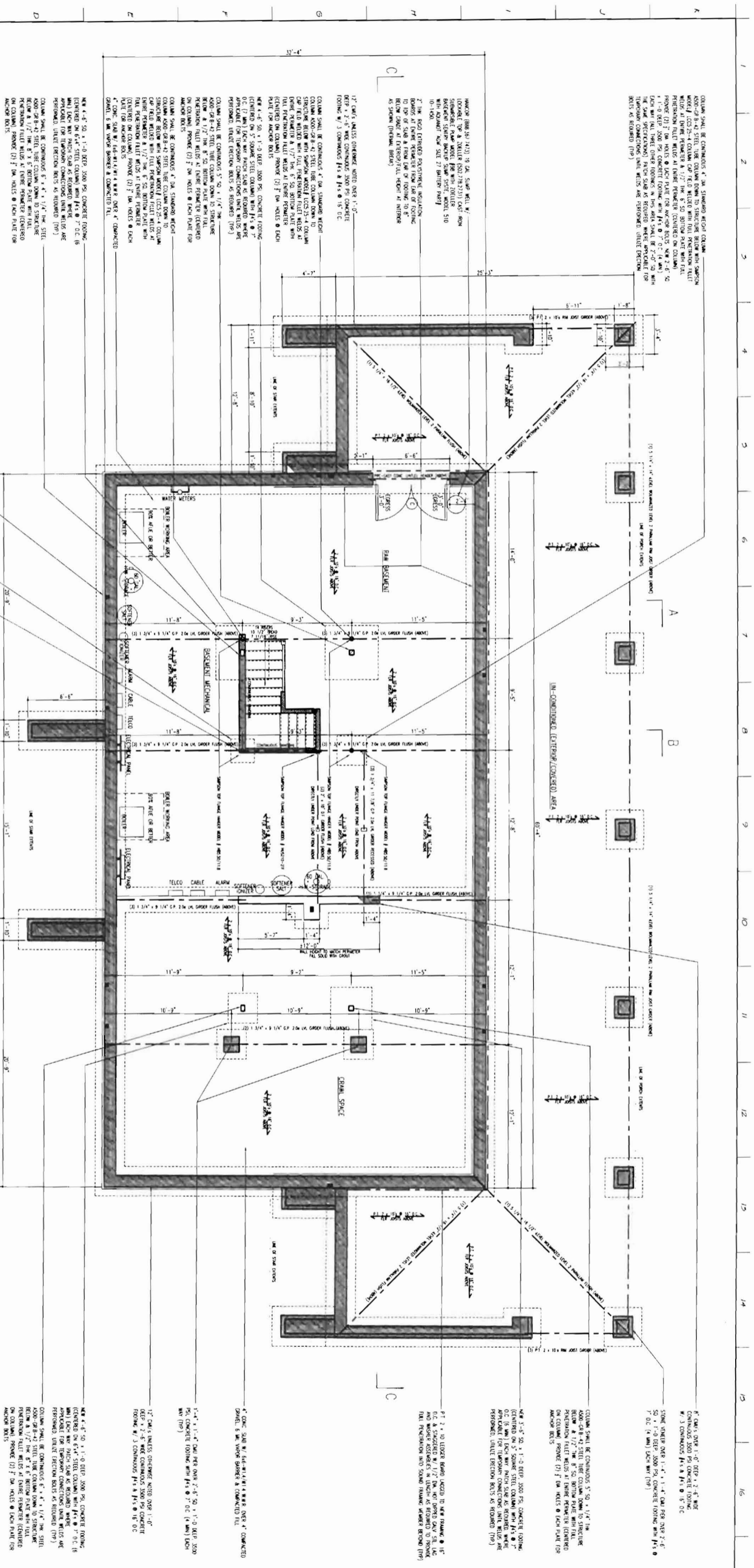
Area / Volume Calculations:	Project Information:
New First Floor 1951.50 SF	New Residence for:
New Porches 1402.50 SF	Mrs. Connolly and
Front Stoop 124.50 SF	Mr. & Mrs. Roberts
New Second Floor 240.50 SF	Crescent Avenue - GDI
Total of New 3499.00 SF	Portland, Maine 04109
Total of New w/ Porches & Stoop 4901.50 SF	
Volume of New 18,000 CU FT	

Project Information:	Code Jurisdictions:
Assessor's Map: 02A-17800 Zone: R2	Rundstedt
Use Group: R3 Cond. Class: 20	2005 I.R.C.
	State of Maine Building Code (Internal and External)


  
 EREZUMA ARCHITECTS LLC.
   
 250 MAIN STREET #205
   
 MADISON, NEW JERSEY 07940
   
 PHONE 866.773.9662 FAX 866.773.9662

Craig Erezuma
   
 AIA, LEED-AP
   
 NJ #16261
   
 NY 050869-1
   
 ME 9201

Drawing Title: Details
   
 Drawing Number: A-0
   
 Date: 05/12/2009
   
 Sheet: 4 of 18



**Foundation / Basement Plan**

**Legend of Construction**

	Existing Foundation to Remain
	New Foundation
	New Type/Different Foundation
	Footing
	Slab
	Wall
	Ceiling / Wall Height

**Loading Criteria**

<b>Floor Loads</b>	30 psf on all floors
<b>Roof Loads</b>	40 psf on all roofs
<b>Wind Loads</b>	As per code
<b>Other</b>	As per code

**Area / Volume Calculations**

<b>New First Floor</b>	1500 sq ft
<b>New Porches</b>	1400 sq ft
<b>New Second Floor</b>	2400 sq ft
<b>Total of New</b>	4200 sq ft
<b>Value of New</b>	1800000.00

**Project Information**

<b>Accession Map</b>	Zone A2
<b>Use Group</b>	Residential
<b>Code Jurisdiction</b>	Portland, Maine

New Residence for:  
**Mrs. Connolly and  
 Mrs. Roberts**  
 Crescent Avenue - GDI  
 Portland, Maine 04109

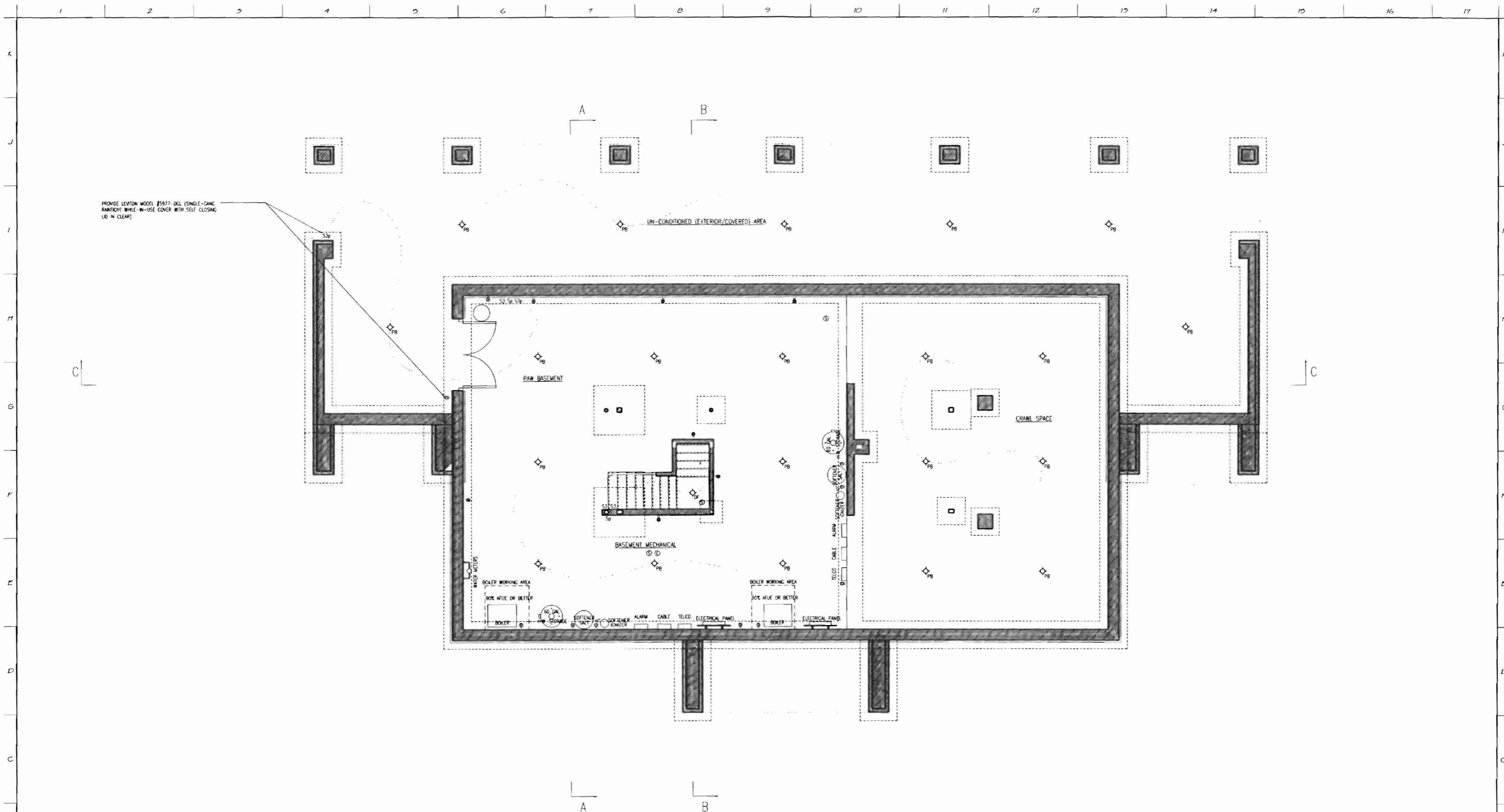
Drawn By	Checked By	Reviewed By
Date	Date	Date

ERIZUMA ARCHITECTS LLC.  
 225 HAN STREET #225  
 PORTLAND, ME 04103  
 PHONE: 603-799-0000 FAX: 603-799-0000



Chief Engineer  
**MAILED**  
 N. W. WELLS  
 N. W. 2501

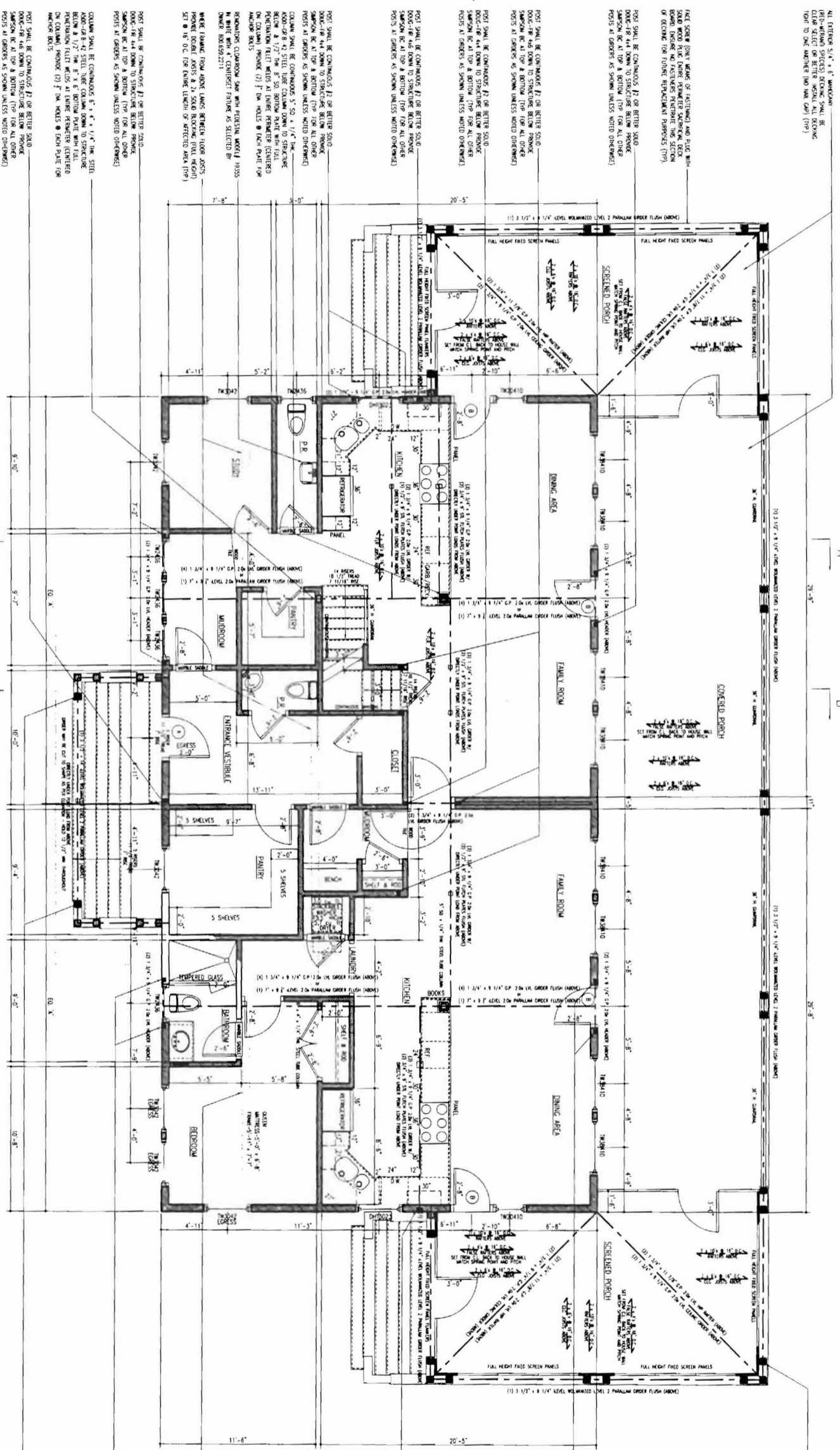
Construction Plan **A-1**

Note: Satisfactory soil materials are defined as those complying with ASTM D2487 soil classification groups GW, GP, GH, SH, SW and SP. Notify the Architect if on-site conditions indicate lesser values than assumed soil bearing capacity = 2500 P.S.F. & assumed lateral fluid load = 45 P.S.F.



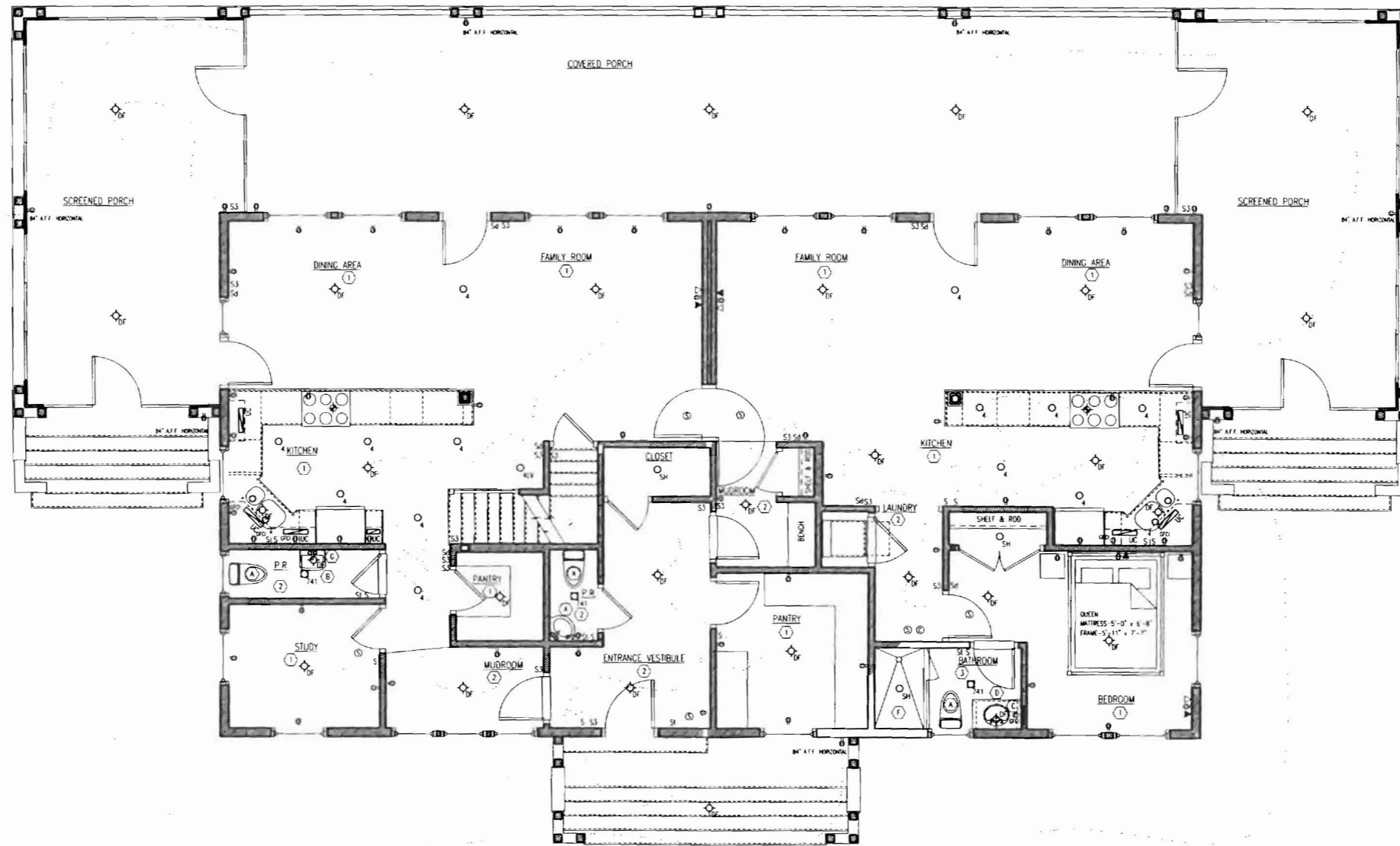
Foundation / Basement Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	<small>           ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.            DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.            DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.            DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.         </small>	 <small>           Interiors :: Architecture :: Planning         </small> <b>EREZUMA ARCHITECTS L.L.C.</b> 255 MAIN STREET #255 MADISON, NEW JERSEY 07940 PHONE 866.373.9662 FAX 866.373.9663	<small>           Craig Erezuma            AA, LEED-AP            NJ #16261            NY 020869-1            ME 9201         </small>  <small>           Drawing Title  <b>Lighting, Device &amp; Finish Plan</b>            Date 05/23/09         </small> <small>           Drawing Number  <b>A-2</b>            Sheet 6 of 25         </small>												
<ul style="list-style-type: none"> <li> Existing Partition to Remain</li> <li> Existing Partition to be Removed</li> <li> New Partition</li> <li> New Gyp/Dri. over Exst. Framing</li> <li> 4 x 4 Post</li> <li> 4 x 6 Post</li> <li> Post Above</li> <li> Arched Opening</li> <li> Ceiling / Wall Height</li> </ul>	<p><b>Floor Loads</b></p> <p>Sleeping Areas 20 lb/sq ft live 10 lb/sq ft dead</p> <p><b>Floor Loads</b></p> <p>Other Areas 40 lb/sq ft live 20 lb/sq ft dead</p> <p><b>Roof Loads</b></p> <p>Asphalt Roof Only 20 lb/sq ft live 10 lb/sq ft dead</p> <p><b>Bathroom</b></p> <p>40 lb/sq ft live 20 lb/sq ft dead</p> <p><b>Exterior Decks</b></p> <p>70 lb/sq ft live 10 lb/sq ft dead</p>	<p><b>New First Floor</b> 1391.50 SF</p> <p><b>New Porches</b> 1409.50 SF</p> <p><b>Front Stoop</b> 124.50 SF</p> <p><b>New Second Floor</b> 940.50 SF</p> <p><b>Useable Area</b> 2,491.50 SF</p> <p><b>Total of New w/o Porches &amp; Stoop</b> 4,024.50 SF</p> <p><b>Total of New w/ Porches &amp; Stoop</b> 4,024.50 SF</p> <p><b>Volume of New</b> 18,200.00 CF</p>	<p><b>Project Information:</b></p> <p>Assessors Map: 83A E 7 B #10 Zone: R2</p> <p>Use Group: R3 Const. Class: 2P</p> <p><b>Code Jurisdictions:</b></p> <p>Residential 2009 IRC</p> <p>State of Maine (Building Code, Electrical and General)</p>		<table border="1"> <thead> <tr> <th>Rev.</th> <th>Date</th> <th>Revisions</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: C.E. Checked By: C.E. Project No:</p>	Rev.	Date	Revisions											
Rev.	Date	Revisions																	




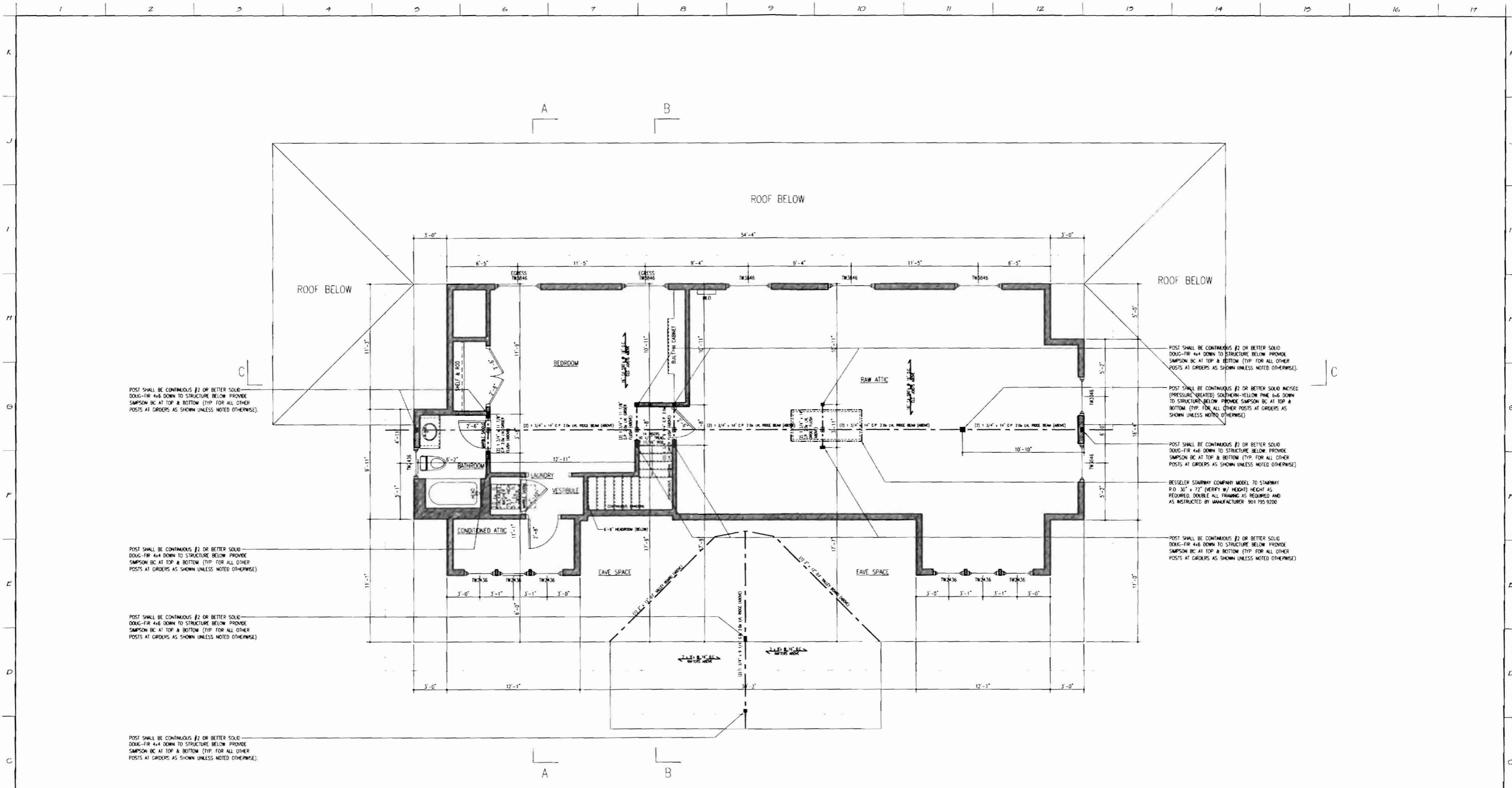
First Floor Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:
<p>Existing Footings to Remain</p> <p>New Footings</p> <p>New Grout/over Final Forming</p> <p>4" x 4" Stud</p> <p>4" x 6" Stud</p> <p>Arched Opening</p> <p>Celling / Wall Height</p>	<p>Floor Loads</p> <p>Floor Loads</p> <p>Roof Loads</p> <p>Partitions</p> <p>Exterior Decks</p>	<p>New Final Floor</p> <p>New Footings</p> <p>New Grout/over</p> <p>Total of New</p> <p>Total of Old</p> <p>Volume of New</p>	<p>Address: 425 Main Street, Zone: R2</p> <p>Use Group: R2 - Residential</p> <p>Code Jurisdiction:</p>
<p><b>New Residence for:</b>  <b>Mrs. Conolly and</b>  <b>Mrs. Roberts</b>  <b>Crescent Avenue - GDI</b>  <b>Portland, Maine 04109</b></p>			
<p>Client: Mrs. Conolly &amp; Mrs. Roberts            Date: 1/15/2020            Scale: 1/4" = 1'-0" or as noted            Drawn By: C.E. [Signature]            Checked By: C.E. [Signature]            Project No. [Number]</p>			
<p>ERZUMA ARCHITECTS LLC            250 TRINITY STREET, 2ND FLOOR            PORTLAND, ME 04109            PHONE: 603.733.8888 FAX: 603.733.8888</p>			
<p>Construction Plan A-3            Date: 02/20/20            Sheet 3 of 18</p>			


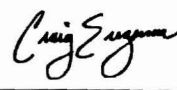










First Floor Plan

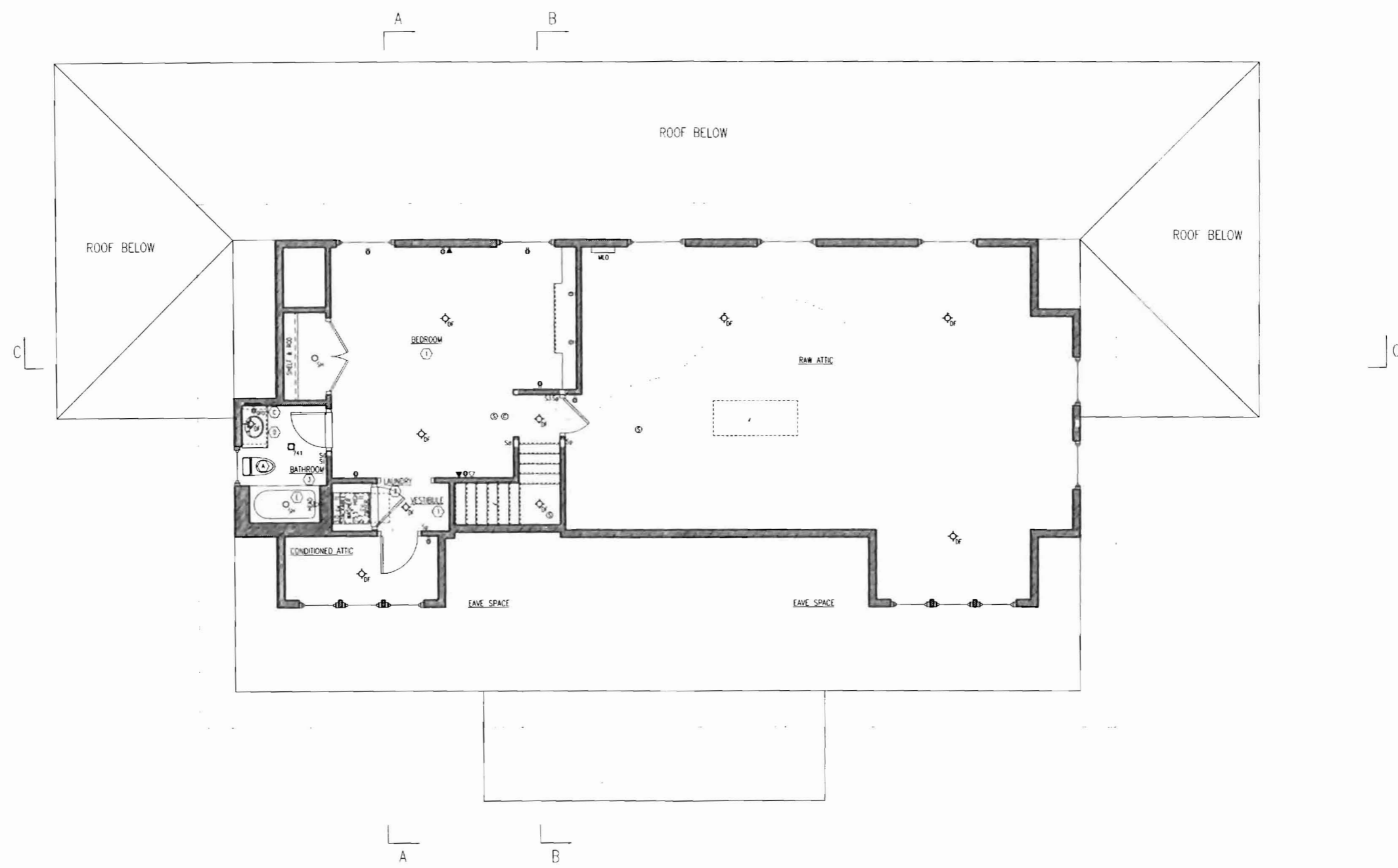
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:				
<ul style="list-style-type: none"> <li> Existing Partition to Remain</li> <li> Existing Partition to be Removed</li> <li> New Partition</li> <li> New Gyp/Dri over Best Framing</li> <li> 4 x 4 Post</li> <li> 4 x 6 Post</li> <li> Post Above</li> <li> Arched Opening</li> <li> Ceiling / Wall Height</li> </ul>	<p><b>Floor Loads</b>            Staircase Area: 20 lb/sq ft live, 10 lb/sq ft dead            Other Area: 40 lb/sq ft live, 20 lb/sq ft dead</p> <p><b>Floor Loads</b>            Other Area: 40 lb/sq ft live, 20 lb/sq ft dead</p> <p><b>Roof Loads</b>            Asphalt Roads Only: 20 lb/sq ft live, 12 lb/sq ft dead</p> <p><b>Bathroom</b>            20 lb/sq ft live, 10 lb/sq ft dead</p> <p><b>Exterior Decks</b>            20 lb/sq ft live, 10 lb/sq ft dead</p>	<p><b>New First Floor</b> 1951.50 FT<sup>2</sup></p> <p><b>New Porches</b> 1403.50 FT<sup>2</sup></p> <p><b>Front Stoop</b> 124.50 FT<sup>2</sup></p> <p><b>New Second Floor</b> 240.50 FT<sup>2</sup></p> <p><b>Trabular Area</b></p> <p><b>Total of New w/ Porches &amp; Stoops</b> 2451.50 FT<sup>2</sup></p> <p><b>Total of New w/ Porches &amp; Stoops</b> 4024.50 FT<sup>2</sup></p> <p><b>Volume of New</b> 7858 CU FT</p>	<p><b>Project Information:</b></p> <p>Assessor's Map: 03A071810 Zone: R2            Use Group: R3 Const Class: 3P</p> <p><b>Code Jurisdictions:</b>            Residential 2003 IRC            State of Maine Plumbing Code (Internal and External)</p>	<p><b>New Residence for:</b>  <b>Mrs. Connolly and</b>  <b>Mr. &amp; Mrs. Roberts</b>  <b>Crescent Avenue - GDI</b>  <b>Portland, Maine 04109</b></p>	<p>No. _____ Date _____ (Revised)</p> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: C.C. Checked By: C.E. Project No. _____</p>	<p></p> <p>Interior Architecture - Planning</p> <p><b>EREZUMA ARCHITECTS LLC.</b>            255 HAN STREET #255            MADISON, NEW JERSEY 07940            PHONE 866.215.9862 FAX 866.215.9862</p>	<p>Craig Erezuma            NA, LEED-AP            N.J. 116261            NY 030869-1            ME 2201</p> <p><i>Craig Erezuma</i></p> <p>Drawing Title: Lighting, Device &amp; Finish Plan            Drawing Number: A-4            Date: 05/22/09            Sheet 13 of 13</p>



Second Floor Plan

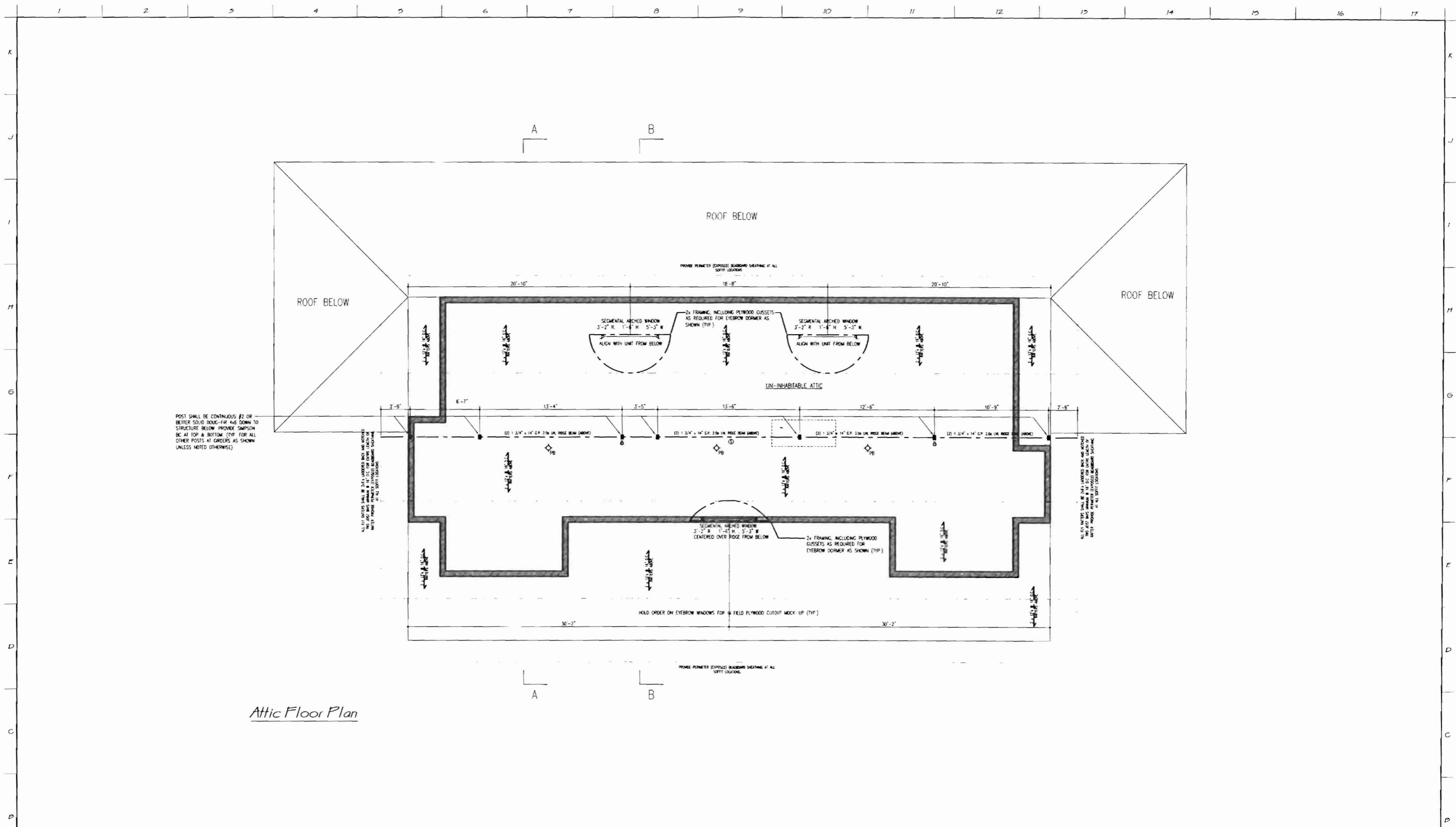
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	Revision Table	 EREZUMA ARCHITECTS L.L.C. 235 MAIN STREET #235 MADISON, NEW JERSEY 07940 PHONE: 866.515.9062 FAX: 866.515.9063	Craig Erezuma AIA, LEED AP NJ 116261 NY 03069-1 ME 9201 																		
<ul style="list-style-type: none"> <li> Existing Partition to Remain</li> <li> Existing Partition to be Removed</li> <li> New Partition</li> <li> New Gyp/Dbl over East Framing</li> <li> 4 x 4 Post</li> <li> 4 x 6 Post</li> <li> Post Above</li> <li> Arch'd Opening</li> <li> Ceiling / Wall Height</li> </ul>	<p><b>Floor Loads</b></p> <ul style="list-style-type: none"> <li>30 lb/sq ft live</li> <li>10 lb/sq ft dead</li> </ul> <p><b>Floor Loads</b></p> <ul style="list-style-type: none"> <li>40 lb/sq ft live</li> <li>20 lb/sq ft dead</li> </ul> <p><b>Roof Loads</b></p> <ul style="list-style-type: none"> <li>20 lb/sq ft live</li> <li>10 lb/sq ft dead</li> </ul> <p><b>Bathroom</b></p> <ul style="list-style-type: none"> <li>40 lb/sq ft live</li> <li>20 lb/sq ft dead</li> </ul> <p><b>Exterior Decks</b></p> <ul style="list-style-type: none"> <li>70 lb/sq ft live</li> <li>10 lb/sq ft dead</li> </ul>	<p><b>New First Floor</b> 1191.90 SF</p> <p><b>New Porches</b> 1409.90 SF</p> <p><b>Side &amp; Rear</b> 124.90 SF</p> <p><b>Front Stoop</b> 124.90 SF</p> <p><b>New Second Floor</b> 240.90 SF</p> <p><b>Traversable Area</b></p> <p><b>Total of New</b> 2491.90 SF</p> <p><b>w/ Porches &amp; Stoop</b></p> <p><b>Total of New</b> 4024.90 SF</p> <p><b>w/ Porches &amp; Stoop</b></p> <p><b>Volume of New</b> 19,281 CU FT</p>	<p><b>Project Information:</b></p> <p>Assessor's Map: 03A112840 Zone: R2</p> <p>Use Group: R3 Const Class: 20</p> <p><b>Code Jurisdictions:</b></p> <p>Residential</p> <p>2005 IRC</p> <p>State of Maine Plumbing Code (General and Special)</p>	<table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Revised(s)</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: C.E. Checked By: C.E. Project No: 0665159062</p>	No.	Date	Revised(s)							<table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Revised(s)</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: C.E. Checked By: C.E. Project No: 0665159062</p>	No.	Date	Revised(s)							<p>Interior Architecture - Planning</p> <p>EREZUMA ARCHITECTS L.L.C.</p> <p>235 MAIN STREET #235 MADISON, NEW JERSEY 07940</p> <p>PHONE: 866.515.9062 FAX: 866.515.9063</p>	<p>Drawing Title: Construction Plan</p> <p>Drawing Number: A-5</p> <p>Date: 05/22/2009</p> <p>Sheet 9 of 10</p>
No.	Date	Revised(s)																							
No.	Date	Revised(s)																							





Second Floor Plan

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	Client Information	Architect Information	Professional Information
<ul style="list-style-type: none"> <li>Existing Partition to Remain</li> <li>Existing Partition to be Removed</li> <li>New Partition</li> <li>New GypBd over Exst. Framing</li> <li>4 x 4 Post</li> <li>4 x 6 Post</li> <li>Post Above</li> <li>Arched Opening</li> <li>8'-0" Ceiling / Wall Height</li> </ul>	<ul style="list-style-type: none"> <li>Floor Loads: 20 lb/sq ft live, 10 lb/sq ft dead</li> <li>Floor Loads: 40 lb/sq ft live, 20 lb/sq ft dead</li> <li>Floor Loads: Other Area</li> <li>Roof Loads: 20 lb/sq ft live, 10 lb/sq ft dead</li> <li>Bathroom: 40 lb/sq ft live, 20 lb/sq ft dead</li> <li>Exterior Decks: 20 lb/sq ft live, 10 lb/sq ft dead</li> </ul>	<ul style="list-style-type: none"> <li>New First Floor: 1921.500 SF</li> <li>New Porches: 1409.500 SF</li> <li>Front Sloop: 124.500 SF</li> <li>New Second Floor: 240.500 SF</li> <li>Total of New w/o Porches &amp; Sloop: 2491.500 SF</li> <li>Total of New w/ Porches &amp; Sloop: 4024.500 SF</li> <li>Volume of New: 78,261 CU FT</li> </ul>	<ul style="list-style-type: none"> <li>Assessors Map: 82A-E-28-810 Zone: R-2</li> <li>Use Group: R-3 Const Class: 2-P</li> <li>Code Jurisdiction: Residential</li> <li>2003 IRC</li> <li>State of Maine Plumbing Code (Internal and External)</li> </ul>	<p>New Residence for: Mrs. Connolly and Mr. &amp; Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109</p>	<p>Interior Architecture + Planning EREZUMA ARCHITECTS L.L.C. 250 MAIN STREET #200 MADISON, NEW JERSEY 07940 PHONE 866.275.9642 FAX 866.275.9643</p>	<p>Craig Erezuma AIA, LEED-AP NJ A16261 NY 0503659-1 ME 5201</p> <p>Drawing Title: Lighting, Device &amp; Finish Plan Drawing Number: A-6 Date: 05/22/09 Sheet 10 of 18</p>

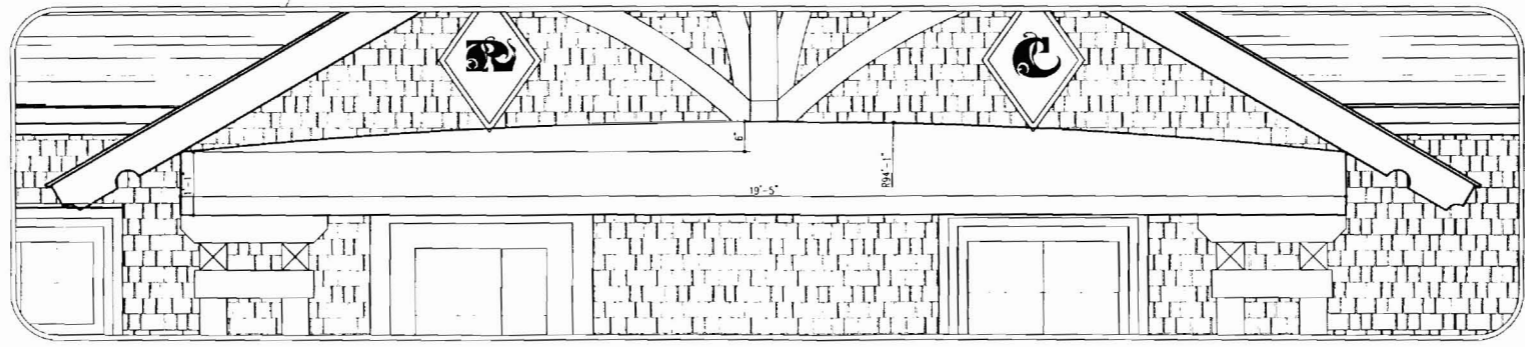


Attic Floor Plan

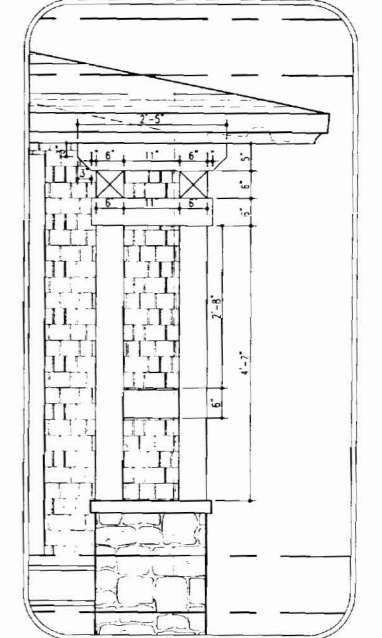
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17
<b>Legend of Construction</b> Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp/D. over Exist. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height		<b>Loading Criteria:</b> Floor Loads Sleeping Areas 20 lbs/sq ft live 10 lbs/sq ft dead 40 lbs/sq ft live 20 lbs/sq ft dead Roof Loads Aerial Ribs Only 20 lbs/sq ft live 10 lbs/sq ft dead Bathroom 40 lbs/sq ft live 20 lbs/sq ft dead Exterior Decks 10 lbs/sq ft live 10 lbs/sq ft dead		<b>Area / Volume Calculations:</b> New First Floor 1391.50 FT <sup>2</sup> New Porches 1401.50 FT <sup>2</sup> Deck & Pave Front Stoop 124.50 FT <sup>2</sup> New Second Floor 240.50 FT <sup>2</sup> Habitable Area Total of New w/c Porches & Stoop 2,491.50 FT <sup>2</sup> Total of New w/ Porches & Stoop 4,024.50 FT <sup>2</sup> Volume of New 18,281 CU FT		<b>Project Information:</b> Assessor's Map: B3A27841D Zone: R2 Use Group: R2 Cond. Class: 3P Code Jurisdictions: Residential 2009 IBC State of Maine Planning Code (Internal and External)		New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		No. Date Revision Scale: 1/4" = 1'-0" or as noted Drawn By: C.E. Checked By: C.E. Project No.		Interiors - Architecture - Planning <b>EREZUMA ARCHITECTS LLC.</b> 255 MAIN STREET #225 MADISON, NEW JERSEY 07940 PHONE: 609.512.9862 FAX: 609.512.9863		Craig Erezuma AIA, LEED-AP N.J. A16261 N.Y. 030869-1 ME 2201 Drawing Title: Construction, Lighting, Device & Finish Plan Drawing Number: A-7 Date: 05/12/2009 Sheet 11 of 13		



Front Elevation - Crescent Avenue

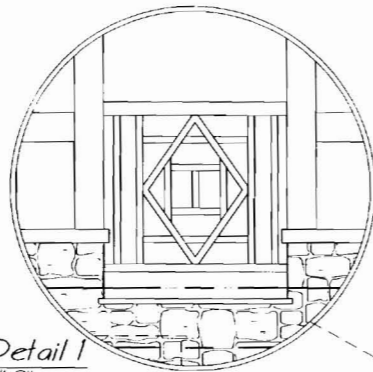


Porch Detail I  
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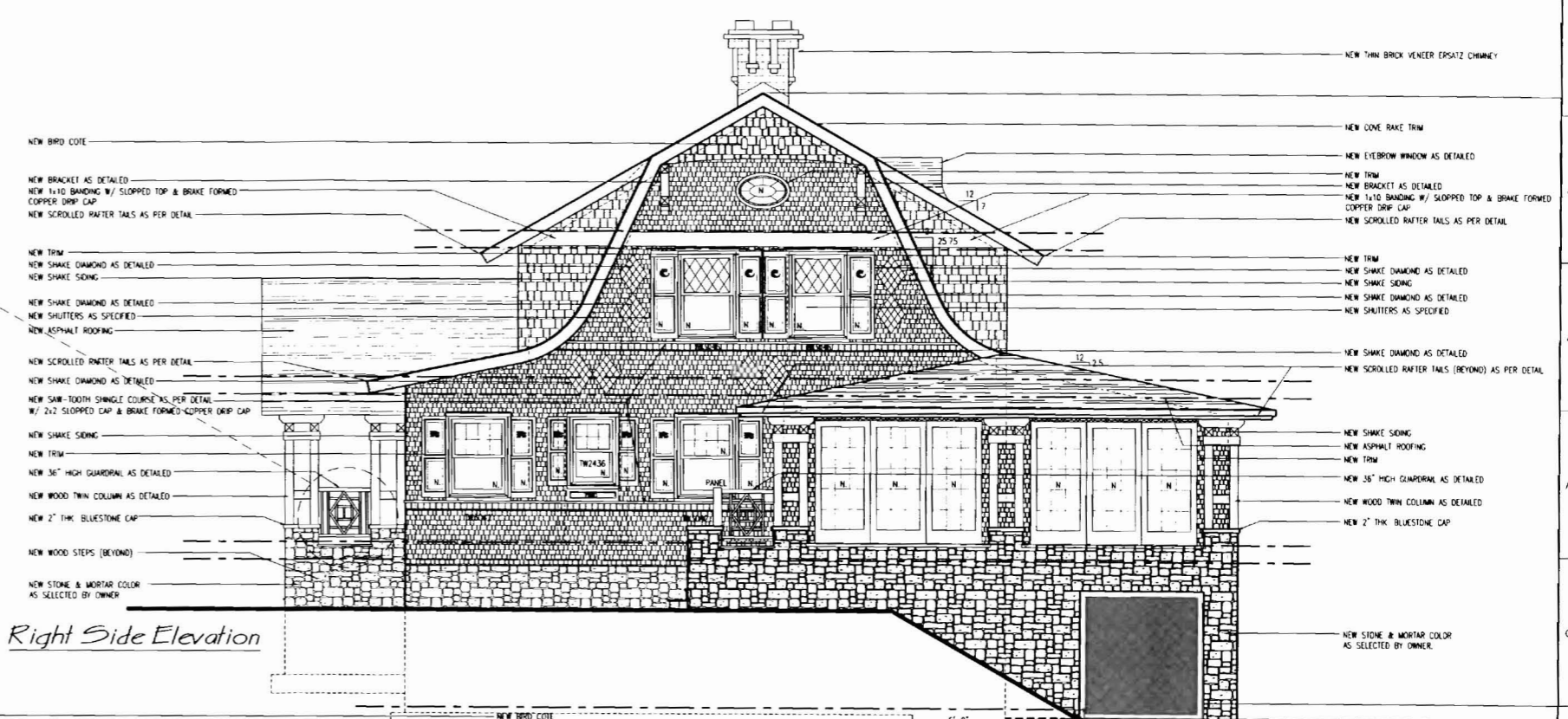


Column Detail I  
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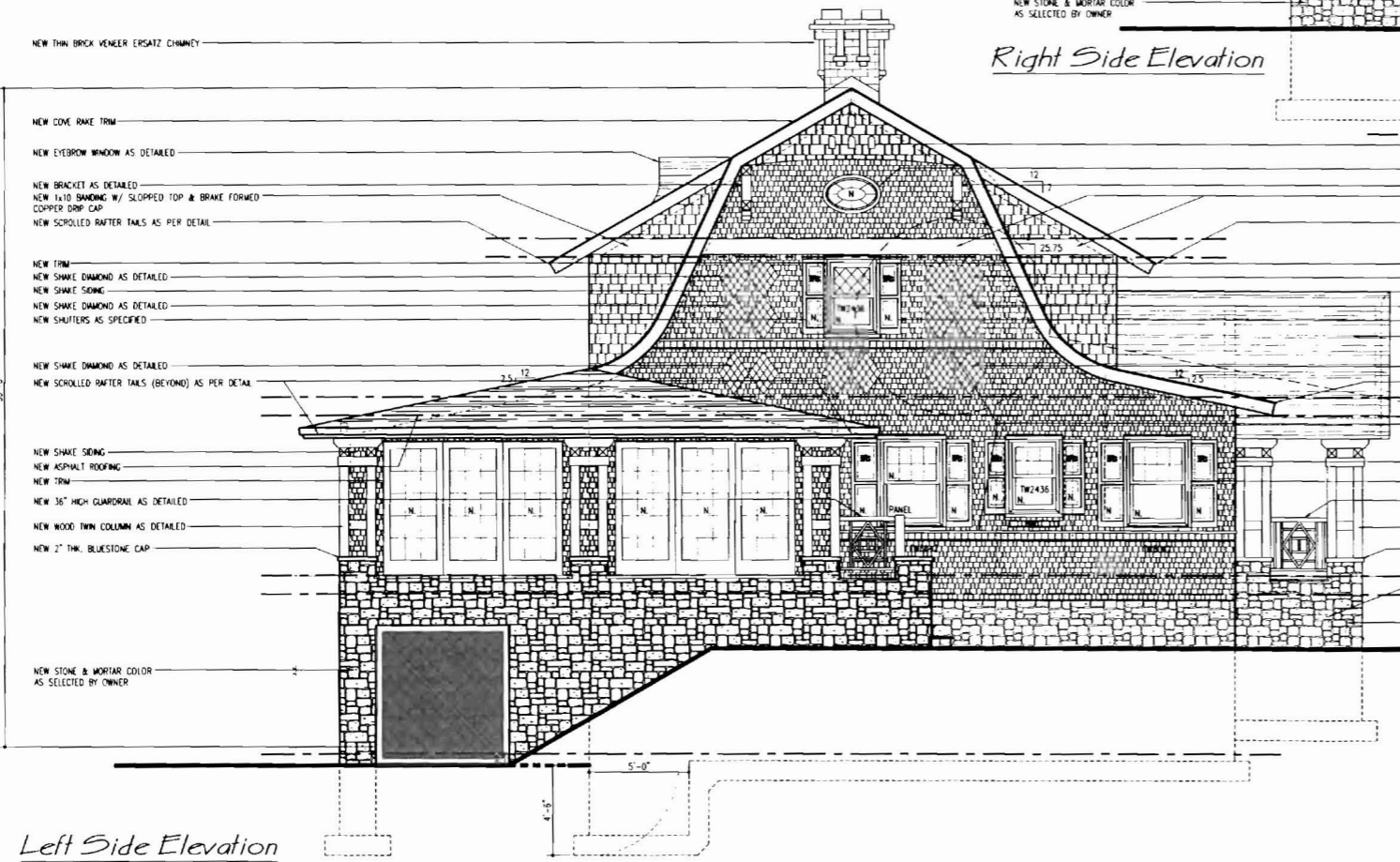
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	Revision Table	EREZUMA ARCHITECTS L.L.C. 225 MAIN STREET #235 MADISON, NEW JERSEY 07940 PHONE 866.375.9662 FAX 866.375.9663	Craig Erezuma AA, LEED-AP NJ A16261 NY 020369-1 ME 9201 Drawing Title: Elevation Details Drawing Number: A-8 Date: 05/22/09 Sheet 12 of 15						
<ul style="list-style-type: none"> <li>Existing Partition to Remain</li> <li>Existing Partition to be Removed</li> <li>New Partition</li> <li>New Gyp/Dri. over Exst. Framing</li> <li>4 x 4 Post</li> <li>4 x 6 Post</li> <li>Post Above</li> <li>Arched Opening</li> <li>Ceiling / Wall Height</li> </ul>	<p>Floor Loads Ceiling Area: 20 lb/sq ft dead 10 lb/sq ft live</p> <p>Floor Loads Other Area: 40 lb/sq ft live 20 lb/sq ft dead</p> <p>Roof Loads Asphalt/Flt. Only: 20 lb/sq ft live 10 lb/sq ft dead</p> <p>Dathroom: 20 lb/sq ft live 10 lb/sq ft dead</p> <p>Exterior Decks: 10 lb/sq ft live 10 lb/sq ft dead</p>	<p>New First Floor: 1991.50 SF</p> <p>New Porches Deck &amp; Floor: 1403.50 SF</p> <p>Front Stoop: 124.50 SF</p> <p>New Second Floor: 940.50 SF</p> <p>1st/2nd flr Area:</p> <p>Total of New w/o Porches &amp; Stoop: 2491.50 SF</p> <p>Total of New w/ Porches &amp; Stoop: 4024.50 SF</p> <p>Volume of New: 7508 CU FT</p>	<p>Assessors Map: B2A17B10 Zone: R2</p> <p>Use Group: R-3 Const. Class: 3P</p> <p>Code Jurisdictions: Residential: 2003 IRC State of Maine Plumbing Code (Internal and External)</p>	<table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Revised</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table> <p>Scale: 1/4" = 1'-0" or as noted</p> <p>Drawn By: CJZ Checked By: G.E. Project No.:</p>	No.	Date	Revised				<p>Interior :: Architecture :: Planning</p>	<p>EREZUMA ARCHITECTS L.L.C. 225 MAIN STREET #235 MADISON, NEW JERSEY 07940 PHONE 866.375.9662 FAX 866.375.9663</p>	<p>Craig Erezuma AA, LEED-AP NJ A16261 NY 020369-1 ME 9201</p> <p>Drawing Title: Elevation Details Drawing Number: A-8 Date: 05/22/09 Sheet 12 of 15</p>
No.	Date	Revised											



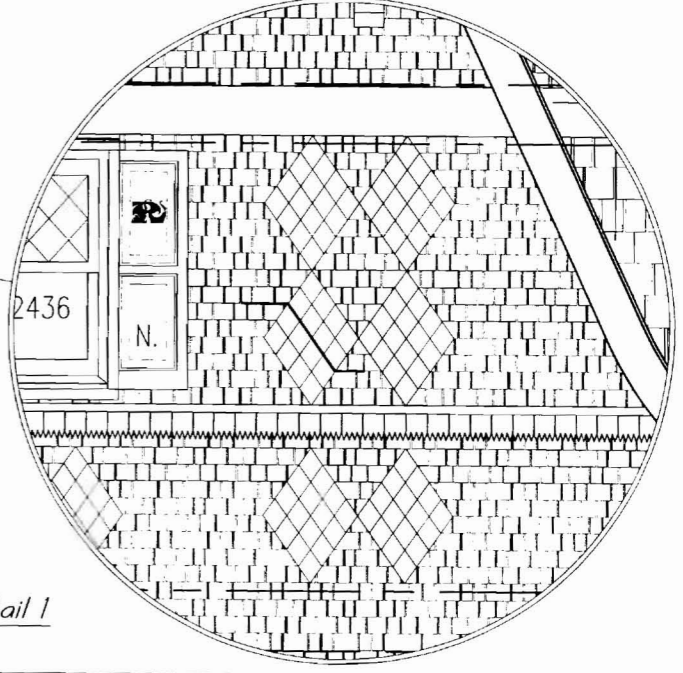
Railing Detail I  
Scale: 3/4" = 1'-0"



Right Side Elevation



Left Side Elevation



Siding Detail I  
Scale: 3/4" = 1'-0"

Legend of Construction	
	Existing Partition to Remain
	Existing Partition to be Removed
	New Partition
	New CypDd. over Exst. Framing
	4 x 4 Post
	4 x 6 Post
	Post Above
	Arched Opening
	Ceiling / Wall Height

Loading Criteria:	
Floor Loads	30 lbs/sq ft live 10 lbs/sq ft dead
Floor Loads	40 lbs/sq ft live 20 lbs/sq ft dead
Floor Loads	50 lbs/sq ft live 10 lbs/sq ft dead
Roof Loads	40 lbs/sq ft live 20 lbs/sq ft dead
Bathroom	70 lbs/sq ft live 10 lbs/sq ft dead
Exterior Decks	10 lbs/sq ft live 10 lbs/sq ft dead

Area / Volume Calculations:	
New First Floor	1,951.50 SF
New Porches	1,401.50 SF
Front Stoop	124.50 SF
New Second Floor	940.50 SF
Staircase Area	
Total of New w/o Porches & Stoop	2,491.50 SF
Total of New w/ Porches & Stoop	4,024.50 SF
Volume of New	70,261 CU FT

Project Information:	
Assessor's Map:	02A-12-110 Zone: R2
Use Group:	R2 Cond. Class. 20
Code Jurisdictions:	Residential 2003 IRC State of Maine Plumbing Code (Ordinal and Pendants)

New Residence for:  
Mrs. Connolly and  
Mr. & Mrs. Roberts  
Crescent Avenue - GDI  
Portland, Maine 04109

No.	Date	Revised(s)

Scale: 1/4" = 1'-0" as noted

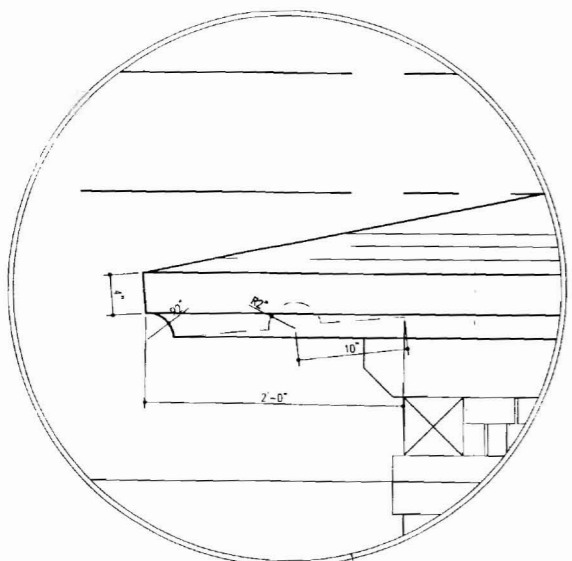
Drawn By: C.E.	Checked By: C.E.	Project No.
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Interior - Architecture - Planning  
**EREZUMA ARCHITECTS LLC.**  
250 MAIN STREET #250  
MADISON, NEW JERSEY 07940  
PHONE: 866.375.9662 FAX: 866.375.9665

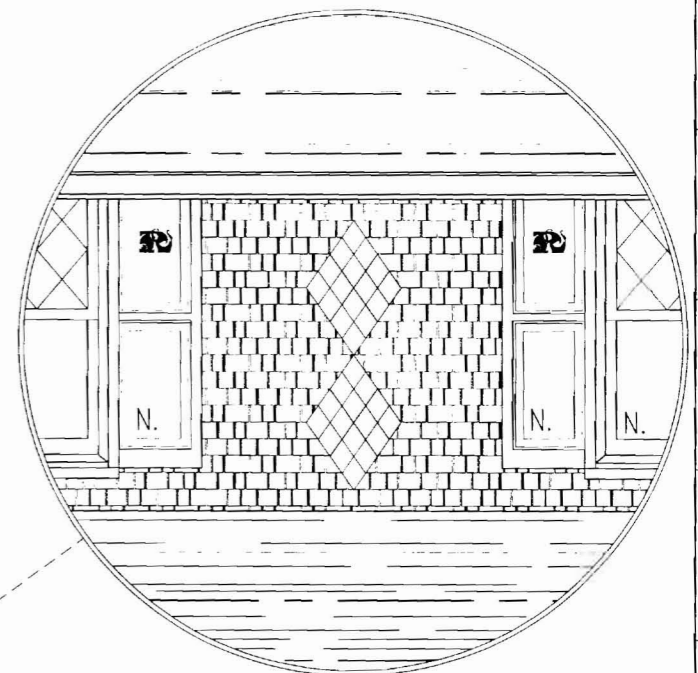
Craig Erezuma  
AIA, LEED-AP  
NJ 116261  
NY 020869-1  
ME 9201

*Craig Erezuma*

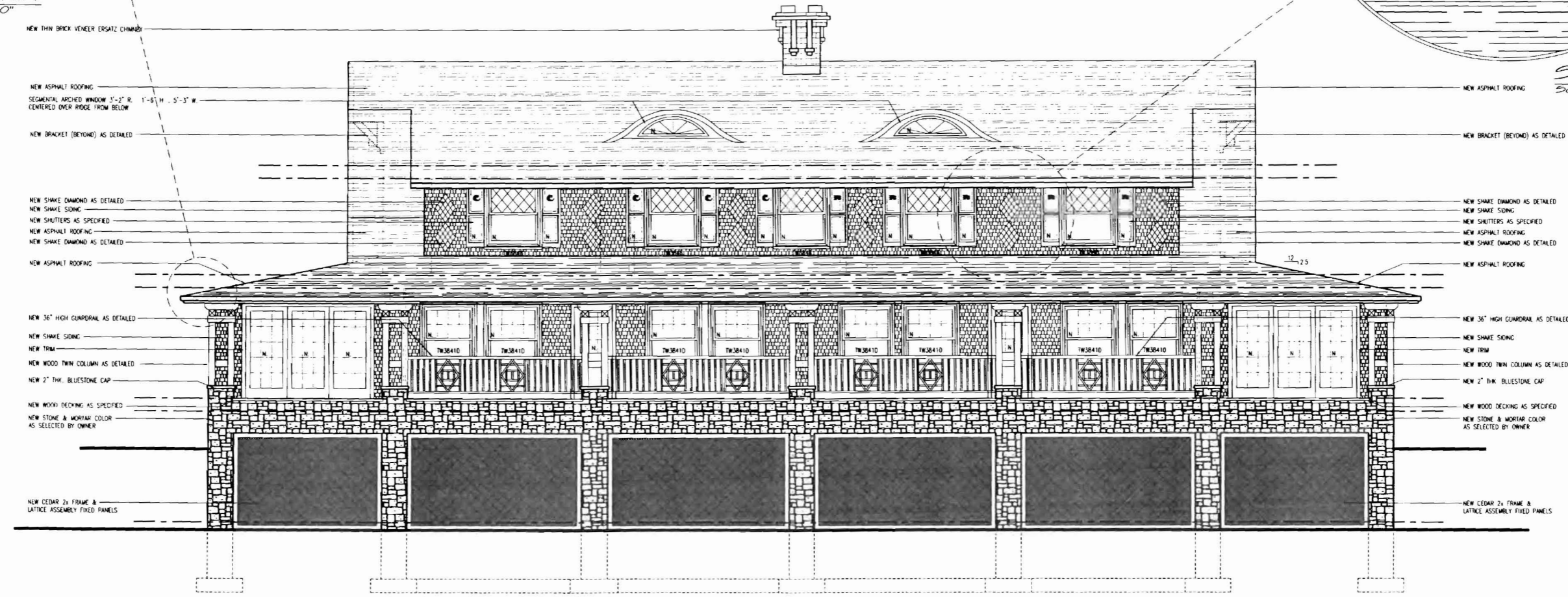
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Drawing Number: A-9  
Date: 05/22/09  
Sheet 15 of 18




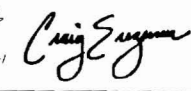
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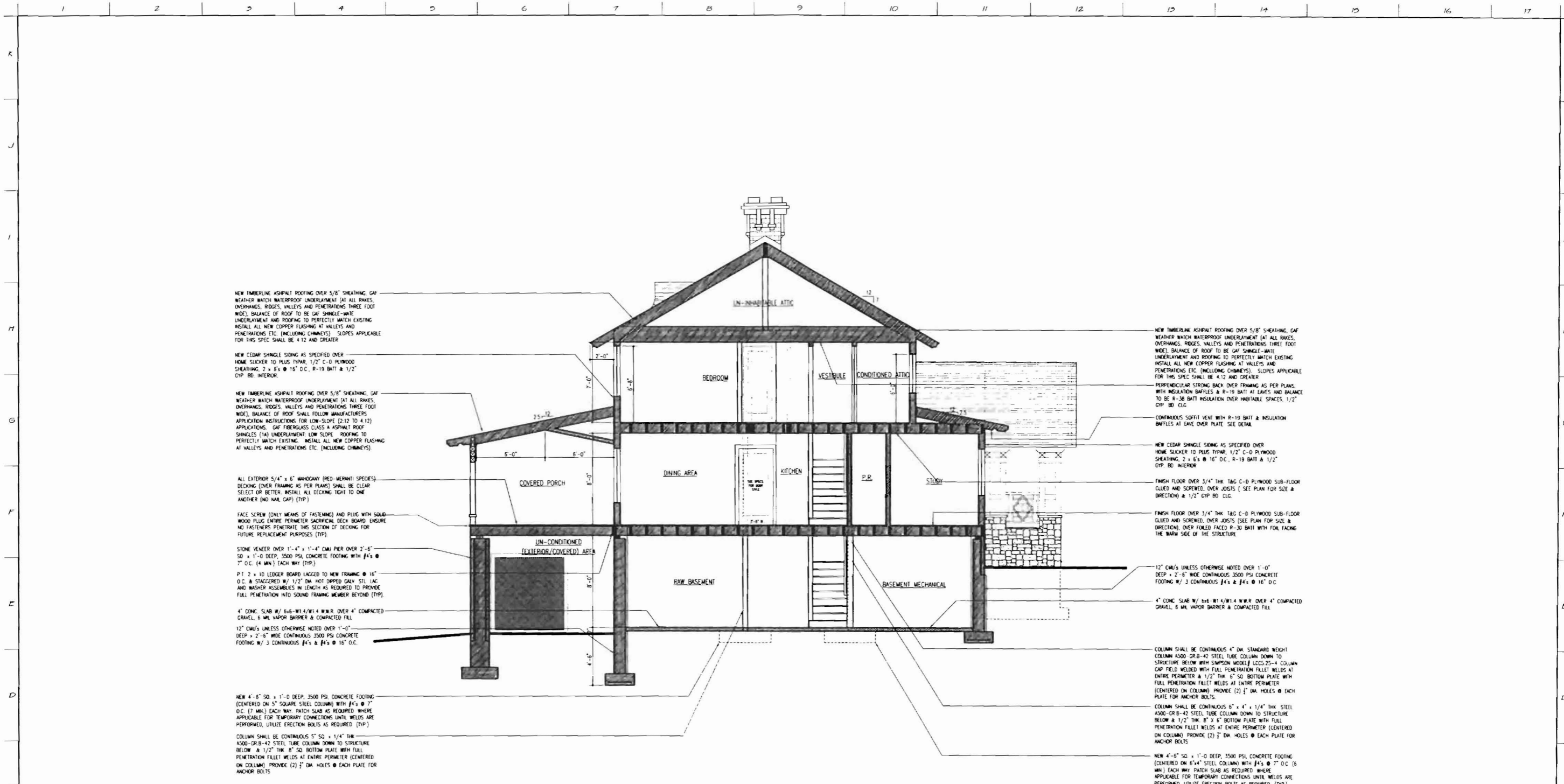


Siding Detail 2  
Scale: 3/4" = 1'-0"





Rear Elevation - Bay Avenue

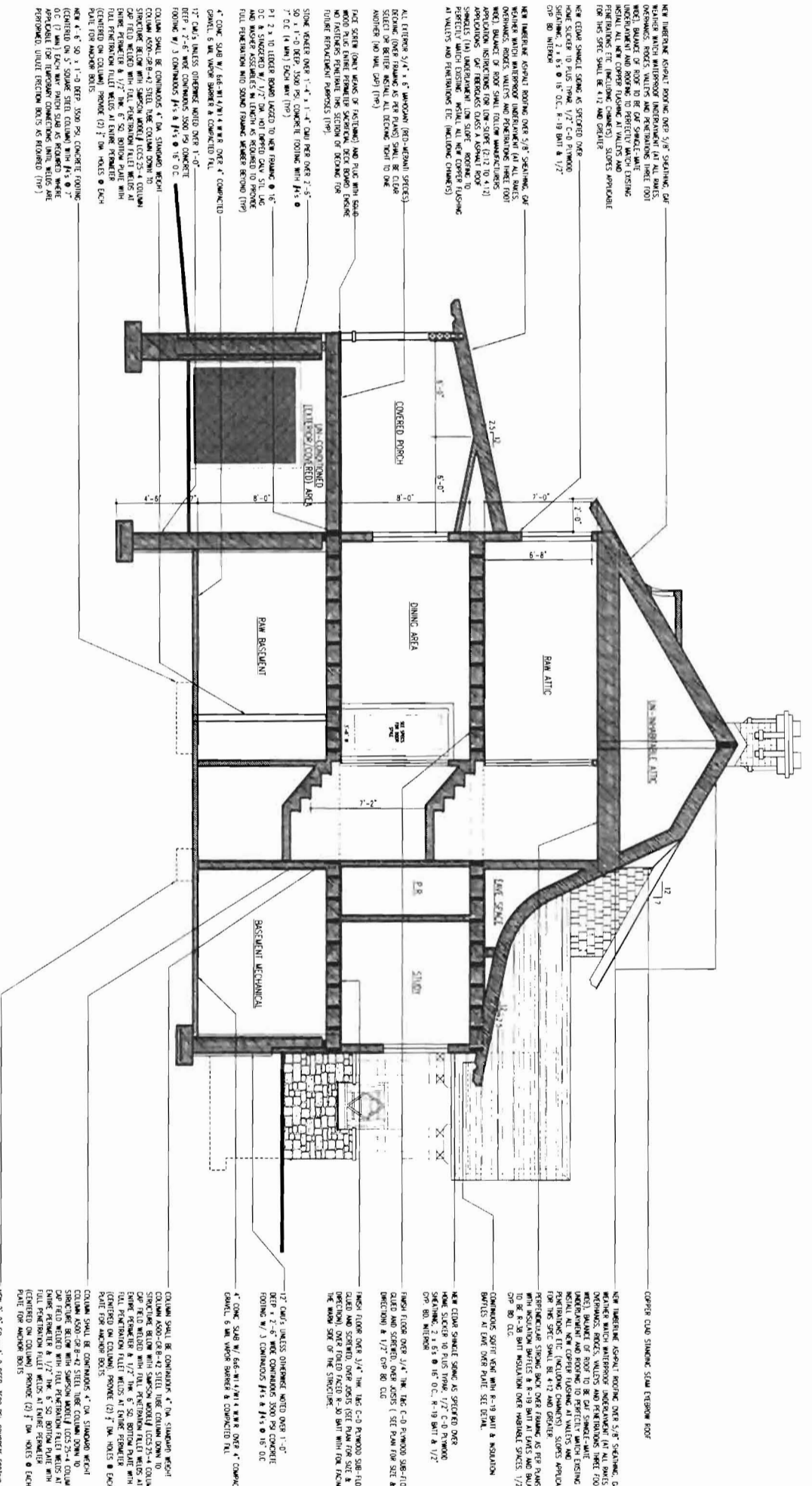
Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109	<small>           1. All work shall conform to the applicable building codes of the State of Maine and the City of Portland.            2. The contractor shall be responsible for obtaining all necessary permits.            3. The contractor shall be responsible for the safety of all workers and the public.            4. The contractor shall be responsible for the protection of all existing utilities.            5. The contractor shall be responsible for the removal and disposal of all debris.            6. The contractor shall be responsible for the cleanup of the site.            7. The contractor shall be responsible for the final inspection and certification of the work.            8. The contractor shall be responsible for the payment of all taxes and fees.            9. The contractor shall be responsible for the completion of the work within the specified time frame.            10. The contractor shall be responsible for the maintenance of the site during construction.            11. The contractor shall be responsible for the protection of the surrounding environment.            12. The contractor shall be responsible for the safety of the surrounding property.            13. The contractor shall be responsible for the safety of the surrounding neighbors.            14. The contractor shall be responsible for the safety of the surrounding community.            15. The contractor shall be responsible for the safety of the surrounding area.            16. The contractor shall be responsible for the safety of the surrounding region.            17. The contractor shall be responsible for the safety of the surrounding state.            18. The contractor shall be responsible for the safety of the surrounding country.            19. The contractor shall be responsible for the safety of the surrounding world.            20. The contractor shall be responsible for the safety of the surrounding universe.         </small>	 <small>           Interiors Architecture Planning             <b>EREZUMA ARCHITECTS LLC.</b>             255 MAIN STREET #255                       MADISON, NEW JERSEY 07940                       PHONE 866.979.9862 FAX 866.979.9863         </small>	<small>           Craig Erezuma                       NA, LEED-AP                       NJ 1A16261                       NY 020869-1                       ME 3201              </small>
<small>           Existing Partition to Remain                       Existing Partition to be Removed                       New Partition                       New Gyp/D. over Exst. Framing                       4" x 4 Post                       4" x 6 Post                       Post Above                       Arched Opening                       Ceiling / Wall Height         </small>	<small>           Floor Loads                       Sleeping Area                       20 lb/sq ft live                       10 lb/sq ft dead                       Floor Loads                       Other Areas                       40 lb/sq ft live                       20 lb/sq ft dead                       Roof Loads                       General Roof Only                       10 lb/sq ft live                       10 lb/sq ft dead                       Bathroom                       40 lb/sq ft live                       20 lb/sq ft dead                       Exterior Decks                       70 lb/sq ft live                       10 lb/sq ft dead         </small>	<small>           New First Floor                       1951.50 FT<sup>2</sup>             New Porches                       Deck &amp; Rear                       124.50 FT<sup>2</sup>             Front Stoop                       124.50 FT<sup>2</sup>             New Second Floor                       240.50 FT<sup>2</sup>             Total of New                       w/o Porches &amp; Stoop                       2491.50 FT<sup>2</sup>             Total of New                       w/ Porches &amp; Stoop                       4024.50 FT<sup>2</sup>             Volume of New                       18,200 CU FT         </small>	<small>           Project Information:                       Assessor's Map: 85A57840 Zone: R2                       Use Group: R2 Concl Class: 20                       Code Jurisdictions:                       Residential:                       2009 IBC                       State of Maine Building Code (Internal and External)         </small>	<small>           No. Date: (Revised)                       Scale: 1/4" = 1'-0" or as noted                       Drawn By: G.C. Checked By: G.E. Project No.                       12 13         </small>	<small>           Drawing Title:             <b>Elevation Details</b>             Drawing Number:             <b>A-10</b>             Date: 05/22/09 Sheet 14 of 18         </small>	<small>           Drawing Title:             <b>Elevation Details</b>             Drawing Number:             <b>A-10</b>             Date: 05/22/09 Sheet 14 of 18         </small>	



Cross Section A-A

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		 EREZUMA ARCHITECTS L.L.C. 255 HAIN STREET #225 MADISON, NEW JERSEY 07940 PHONE 908.759.9862 FAX 908.759.9863		Craig Erezuma AIA, LEED-AP NJ 016261 NY 050869-1 ME 9201 
Existing Partition to Remain Existing Partition to be Removed New Partition New Gyp.Dd over Exst. Framing 4 x 4 Post 4 x 6 Post Post Above Arched Opening Ceiling / Wall Height	<b>Floor Loads</b> 20 lb/sq ft live 10 lb/sq ft dead <b>Floor Loads</b> 40 lb/sq ft live 20 lb/sq ft dead <b>Roof Loads</b> 20 lb/sq ft live 10 lb/sq ft dead <b>Bathroom</b> 40 lb/sq ft live 20 lb/sq ft dead <b>Exterior Decks</b> 70 lb/sq ft live 10 lb/sq ft dead	<b>New First Floor</b> 1991.50 SF <b>New Porches</b> 1401.50 SF <b>Front Stoop</b> 124.50 SF <b>New Second Floor</b> 340.50 SF <b>Total of New w/ Porches &amp; Stoop</b> 3458.00 SF <b>Total of New w/ Porches &amp; Stoop</b> 4024.50 SF <b>Volume of New</b> 1828.00 CU FT	<b>Assessors Map:</b> 50A275B0 Zone: R2 <b>Use Group:</b> R2 <b>Concl. Class:</b> 20 <b>Code Jurisdiction:</b> Residential 2003 IBC State of Maine Building Code (Internal and External)	No. _____ Date _____ Scale: 1/4" = 1'-0" or as noted Drawn By: C.E. Checked By: C.E. Project No. _____	Drawing Title: Cross Section Drawing Number: A-11 Date: 05/22/09 Sheet 15 of 15	Drawing Title: Cross Section Drawing Number: A-11 Date: 05/22/09 Sheet 15 of 15		

Cross Section B-B



**Legend of Construction**

	Existing Partitions to Remain
	Existing Partitions to be Removed
	New Partitions
	New Gypsum over Stud Framing
	1/2" Gypsum
	5/8" Sheathing
	Roof Joists
	Roof Deck
	Exterior Decks
	Ceiling/Wall Height

**Loading Criteria**

Floor Loads	20 psf live load
Roof Loads	20 psf live load
Wind Loads	40 psf live load
Exterior Decks	20 psf live load

**Area / Volume Calculations:**

New First Floor	1400 sq ft
New Porches	1400 sq ft
New Second Floor	1400 sq ft
Total of New	4200 sq ft
Volume of New	1800 cu ft

**Project Information:**

Assessor's Map	2023-2024 Zone 02
Use Group	Residential
Code Violations	None

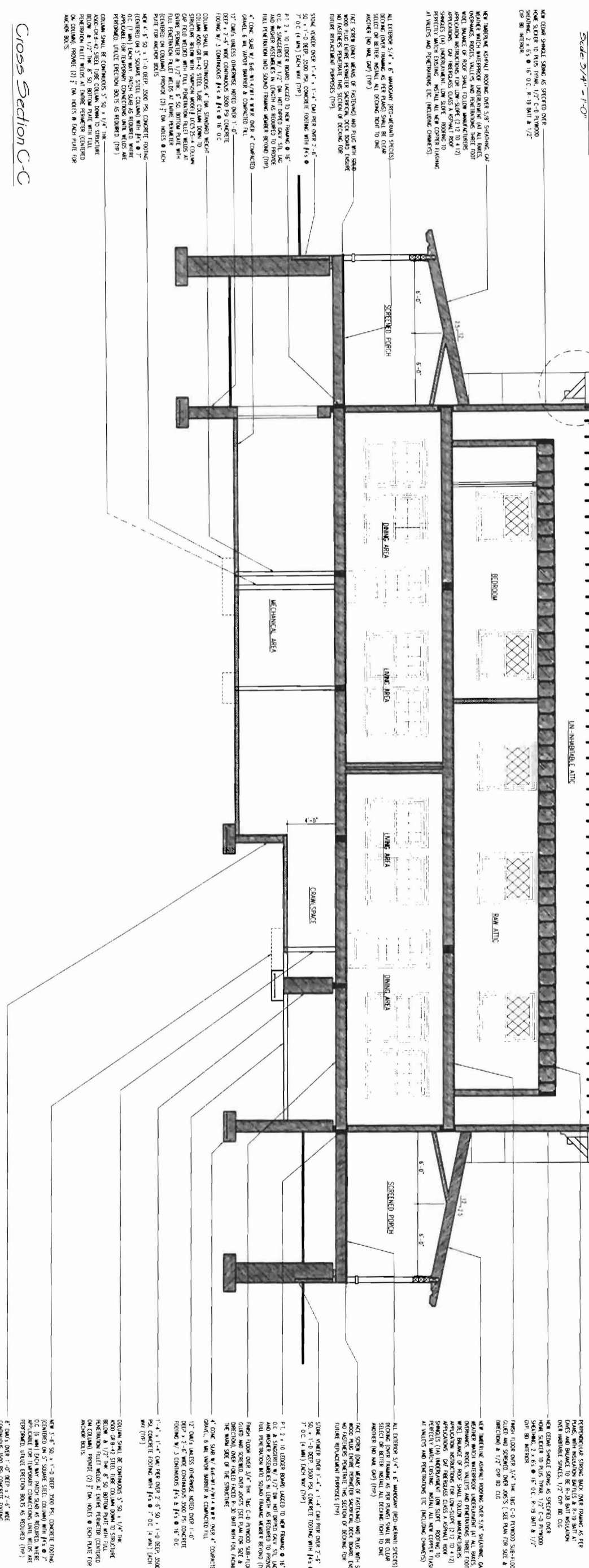
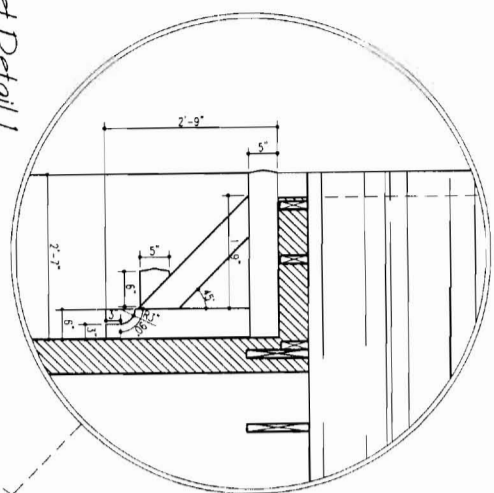
New Residence for:  
 Mrs. Connolly and  
 Mr. & Mrs. Roberts  
 Crescent Avenue - GDI  
 Portland, Maine 04109

Drawn by	Checked by	Project No.
1/4" = 1'-0"	1/4" = 1'-0"	



Erezuma Architects LLC  
 220 HUNTSMEET RD  
 MADISON, NH 05750  
 PHONE: (603) 759-9623 FAX: (603) 759-9623

Chief Estimator  
 Amy Lee  
 Date: 01/23/2025  
 Sheet 16 of 18



Legend of Construction		Loading Criteria		Area / Volume Calculations		Project Information	
[Symbol]	Existing Partitions to Remain	Floor Loads	20 psf @ 11' max	New First Floor	1800 sq ft	Accessories/Map: 0300-15800 Zone: K2	Code: Uninhabited
[Symbol]	Existing Partitions to be Removed	Floor Loads	20 psf @ 11' max	First Floor	124 sq ft		
[Symbol]	New Partitions	Roof Loads	20 psf @ 11' max	New Second Floor	2400 sq ft	Total of New	2000 sq ft
[Symbol]	4" x 4" Post	Bedroom	20 psf @ 11' max	Roof Deck	2400 sq ft		
[Symbol]	4" x 6" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
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[Symbol]	4" x 16" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
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[Symbol]	4" x 26" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 28" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 30" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 32" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 34" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 36" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 38" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 40" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 42" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 44" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 46" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 48" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 50" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 52" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 54" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 56" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 58" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 60" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 62" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 64" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 66" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 68" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 70" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 72" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 74" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 76" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 78" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 80" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 82" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 84" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 86" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 88" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 90" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 92" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 94" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 96" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		
[Symbol]	4" x 98" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft	Value of New	2000 sq ft
[Symbol]	4" x 100" Post	Bedroom	20 psf @ 11' max	Value of New	4024 sq ft		

New Residence for:  
Mrs. Connolly and  
Mr. & Mrs. Roberts  
Crescent Avenue - GD1  
Portland, Maine 04109

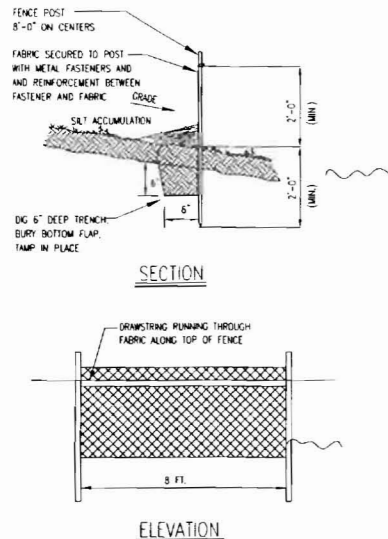


**EREZUMA ARCHITECTS, L.L.C.**  
220 THIN STREET #250  
HANOVER, NEW JERSEY 07940  
PHONE: 908.779.8862 FAX: 908.779.8863

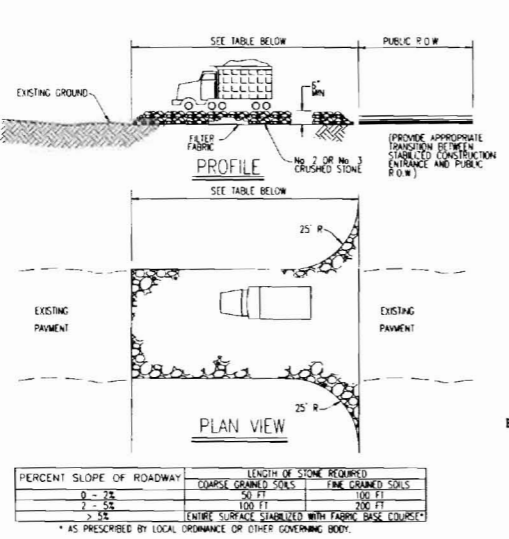
Contract No. **NA14250-1**  
Project No. **NC30069-1**  
Drawing No. **ME3201**  
Date: **07/22/2009**  
Sheet: **17 of 20**

**Cross Section A-13**

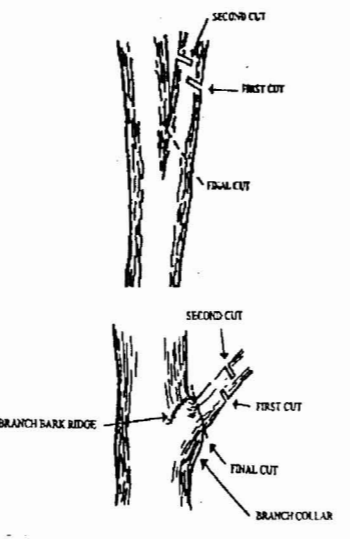




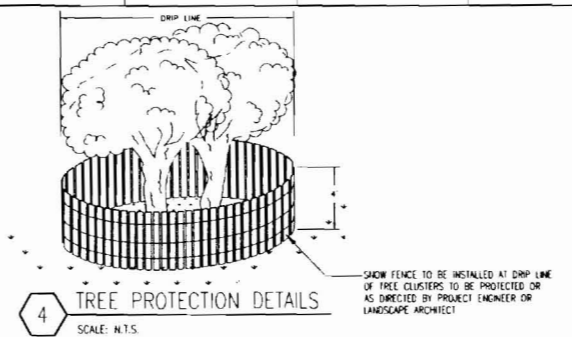
1 BALE SEDIMENT BARRIER DETAIL  
SCALE: N.T.S.



2 STABILIZED CONSTRUCTION ACCESS DETAIL  
SCALE: N.T.S.



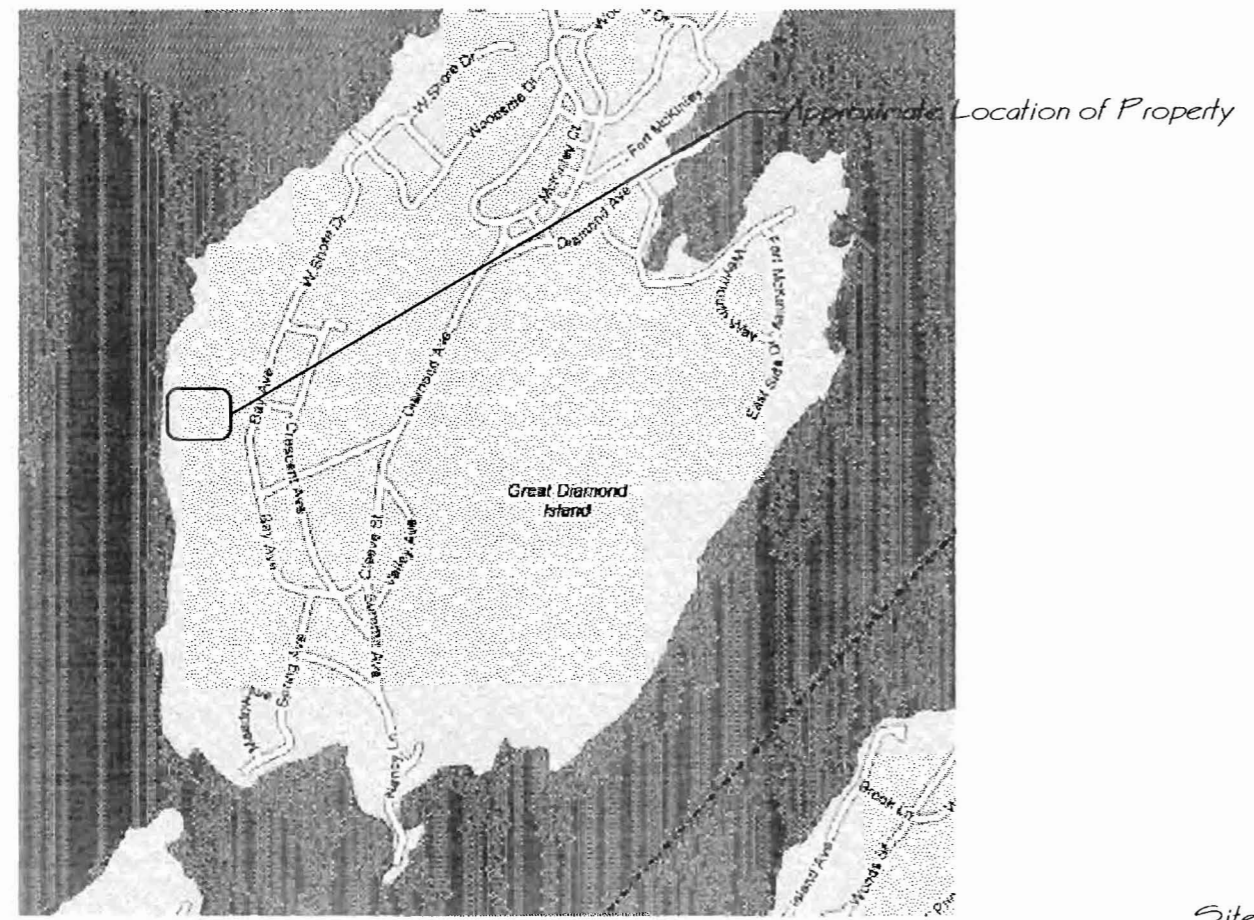
3 LIMB REMOVAL DETAILS  
SCALE: N.T.S.



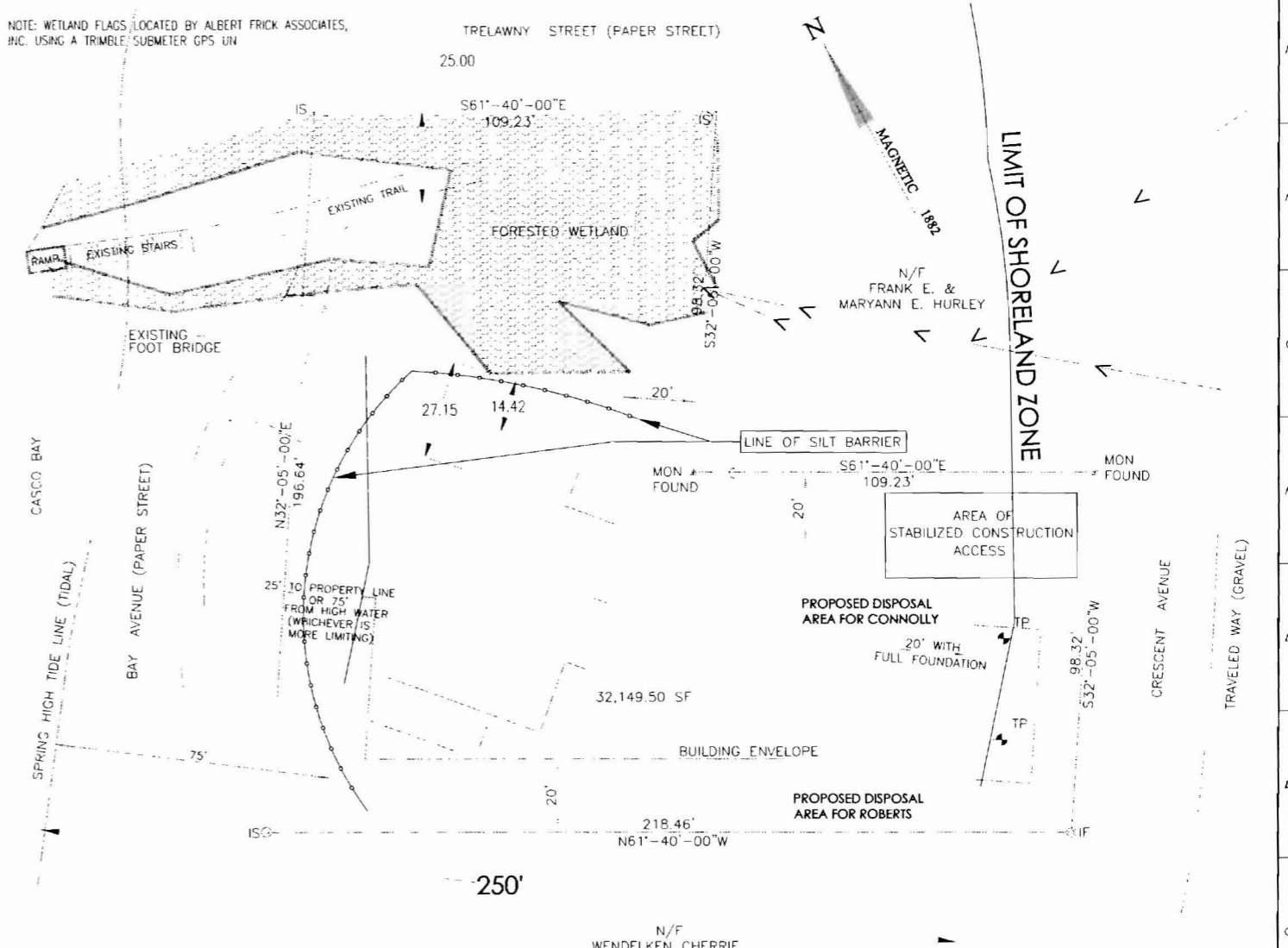
4 TREE PROTECTION DETAILS  
SCALE: N.T.S.

**SOIL EROSION AND SEDIMENT CONTROL GENERAL NOTES**

1. INSTALL STAKES/FENCE IN LOCATIONS AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 1).
2. INSTALL TEMPORARY DRIVEWAY IN LOCATIONS AS INDICATED ON THE SITE PLAN AND AS DETAILED (SEE DETAIL 2).
3. FOLLOW TREE PRUNING AS DETAILED (SEE DETAIL 3).
4. INSTALL TREE PROTECTION FENCING AS INDICATED ON THE SITE PLAN AND DETAILED (SEE DETAIL 4).
5. MAINTAIN NO SITE DISTURBANCE IN TREE DRIZZLE AREA AT ALL TIMES DURING CONSTRUCTION SO AS TO PROTECT TREE ROOTS.
6. INSTALL 4" OF TOPSOIL ON ALL DISTURBED AREAS. SEEDING SHALL BE BY OWNER.



Location Map  
Scale: N.T.S.



**CERTIFICATION**  
THIS SURVEY CONFORMS TO CATEGORY 1, CONDITION III, AS DEFINED BY THE STANDARDS OF MAINE STATE BOARD OF REGISTRATION FOR LAND SURVEYORS.  
HERBERT P. GRAY, PLS #387

**SURVEYOR**  
HERBERT P. GRAY  
PLS #387  
111 SIMMONS ROAD  
SOUTH PORTLAND, MAINE 04106

N/F  
WENDELKEN CHERRIE  
& JAMES BROOKS  
15259/128

Site Plan  
Scale: 1" = 20'-0"

Legend of Construction	Loading Criteria:	Area / Volume Calculations:	Project Information:	New Residence for: Mrs. Connolly and Mr. & Mrs. Roberts Crescent Avenue - GDI Portland, Maine 04109		EREZUMA ARCHITECTS LLC. 225 MAIN STREET #205 MADISON, NEW JERSEY 07940 PHONE 908.2129162 FAX 908.2129163		Soil & Sediment Control Plan Date: 05/12/09 Sheet 13 of 15	
Existing Partition to Remain	Floor Loads Sleeping Area: 20 lbs/sq ft dead 10 lbs/sq ft dead	New First Floor: 1951.50 SF New Porches: 1407.50 SF Front Stoop: 124.50 SF New Second Floor: 340.50 SF Total of New w/o Porches & Stoop: 2,491.50 SF Total of New w/ Porches & Stoop: 4,024.50 SF Volume of New: 10261 CU. FT.	Address: 205 Main St. Zone: R2 Use Group: R2 Const. Class: 20 Code Jurisdiction: Residential 2002 IRC State of Maine Building Code (General and Electrical)	Drawn By: C.E.	Checked By: C.E.	Project No:	Scale: 1/4" = 1'-0" or as noted	Drawn By: C.E.	Checked By: C.E.
Existing Partition to be Removed	Floor Loads Other Areas: 20 lbs/sq ft dead 10 lbs/sq ft dead								
New Partition	Roof Loads Normal Roofing Only: 10 lbs/sq ft dead 10 lbs/sq ft dead								
New Gyp/D. over Exst. Framing	Bathroom: 40 lbs/sq ft live 20 lbs/sq ft dead 10 lbs/sq ft dead								
4 x 4 Post	Exterior Decks: 20 lbs/sq ft live 10 lbs/sq ft dead 10 lbs/sq ft dead								
4 x 6 Post									
Post Above									
Arched Opening									
Ceiling / Wall Height									



Craig Erezuma  
AIA, LEED-AP  
NJ A116261  
NY 020869-1  
ME 5201  
*Craig Erezuma*

Drawing Title: Soil & Sediment Control Plan  
Drawing Number: A-14