

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 060486

This is to certify that MCANDREW ROBERT R. FORT ITS / Eddy Houser

has permission to New Single Family home

AT 0 MEADOW AVE CIBL 083A B001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be completed before this building or part thereof is finished or closed-in. FOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

PERMIT ISSUED
MAY 19 2006
CITY OF PORTLAND

Department Name

[Signature] 5/19/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0486		Issue Date: MAY 19 2006		CBL: 083A B001001	
Location of Construction: 0 MEADOW AVE - <i>Great Diamond</i>		Owner Name: MCANDREW ROBERT R ETAL J		Owner Address: 451 DEMING ST CITY OF PORTLAND	
Business Name:		Contractor Name: Ledy Houser		Contractor Address: 429 Preble St Portland 2077670903	
Lessee/Buyer's Name		Phone:		Permit Type: Single Family	
Past Use: Vacant land - <i>foundation permit # 05-165P</i>		Proposed Use: Single Family		Permit Fee: \$1,446.00	
				Cost of Work: \$150,000.00	
				CEO District: 1	
Proposed Project Description: New Single Family home		FIRE DEPT: <i>NA</i>		INSPECTION: Use Group: <i>12-3</i> Type <i>5B</i> <i>JRC 2003</i>	
		Signature:		Signature:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
		Signature:		Date:	

Permit Taken By: dmartin	Date Applied For: 04/07/2006	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>building will be good</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>zone C panel 8 - zone C (has)</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>Ok w/cond. has</i></p> <p>Date: <i>04/24/06</i> <i>JEM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

(The two following notations are in system)

01/11/06 - Jim Reed Frosting setbacks NO NOTES!!

Jim M

02/28/06 - Jeannie Bourke Foundation Backfill NO NOTES!!

Jim M

06/27/07 - Close in w/ Mike Menacci - need
Chimney Disclosure - told to watch treads + Risers
on stairs - no other issues seen
Jim M

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]
Signature of Applicant/Designee

5/19/06
Date

[Signature]
Signature of Inspections Official

Date

CBL: 063A-B-001

Building Permit #: 06 0486

Meadow Ave -

83A-B-1

#06-0486

Fax # 767-0961

Paul - 767-0903
415-9698

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL		
Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	<i>N/A</i>	
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)		<i>under</i>
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY		<i>permit #05-1658</i>
Anchor Bolts/Straps, spacing (Section R403.1.6)		
Lally Column Type (Section R407)		
Girder & Header Spans (Table R 502.5(2))		
Built-Up Wood Center Girder Dimension/Type		
Sill/Band Joist Type & Dimensions		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	<i>2x10's - 13' span - 16' OK</i>	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	<i>N/A</i>	
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))		

06-0486

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	2x10's rafters - 16"OC	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Floor - 3/4" - walls 1/2" - roof 1/2"	
Fastener Schedule (Table R602.3(1) & (2))	Per IRC	
Private Garage (Section R309) Living Space? (Above or beside) Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	OK - see window schedule	
Roof Covering (Chapter 9)	Asphalt	
Safety Glazing (Section R308)	OK - see window schedule	
Attic Access (Section R807)	Not shown - Condition	
Chimney Clearances/Fire Blocking (Chap. 10)	Not shown - OK - Condition	
Header Schedule (Section 502.5(1) & (2))	3-2x12's	
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	Ceiling - R-38 walls - R-19 Floor ?	

R-value floor ? R-30
U-value of Windows ?

06-0486

4	Type of Heating System	not shown - furnace
5	Means of Egress (Sec R311 & R312) Basement <i>n/A</i> Number of Stairways Interior Exterior Treads and Risers (Section R311.5.3) <i>10" T / 7 1/2" R</i> Width (Section R311.5.1) <i>not shown</i> Headroom (Section R311.5.4) <i>not shown</i> Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3) <i>Exterior - OK</i>	
6	Smoke Detectors (Section R313) Location and type/Interconnected	not shown - OK
	Draftstopping (Section R502.12) and Fireblocking (Section R602.8)	
	Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	<i>n/A</i>
7	Deck Construction (Section R502.2.1)	<i>Need better section for framing & guard details/stairs/handrails -</i>

8 Need 11"x17" copies - OK

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0486	Date Applied For: 04/07/2006	CBL: 083A B001001
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Location of Construction: 0 MEADOW AVE	Owner Name: MCANDREW ROBERT R ETAL J	Owner Address: 451 DEMING ST	Phone:
Business Name:	Contractor Name: Leddy Houser	Contractor Address: 429 Preble St Portland	Phone (207) 767-0903
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family	Proposed Project Description: New Single family
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Dept: Zoning Status: Approved with Conditions Reviewer: Cptn Greg Cass Approval Date: 04/24/2006
 Note: Ok to Issue:

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 05/19/2006
 Note: Ok to Issue:

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, and fire blocking per code at each level
- 2) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) The scuttle opening must be 22" x 30".
- 6) Separate permits are required for any electrical, plumbing, or heating.
- 7) The basement is NOT approved as habitable space.

Comments:

4/21/06-amachado: Left message with Leddy Houser. Questions on entryways and is it deck or porch?

Applicant: Robert McAndrew

Date: 11/22/05 foundation

Address: 0 Meadow Arc - Great Diamond

C-B-L: 83A-B-001 Change
permit # 05-1658 4/2/106

CHECK-LIST AGAINST ZONING ORDINANCE

foundation
→ 06-0486
horse

Date - new

Zone Location - IR2

Interior or corner lot

Proposed Use/Work - foundation single family 1452 sq ft

Sewage Disposal - private

Lot Street Frontage - 70' - 103.16 given

Front Yard - 25' min. - ~~10~~ ¹¹⁸ scaled to steps - front porch

Rear Yard - 25' min. - ~~10~~ ⁶³ scaled 57' to steps

Side Yard - 20' min. - ~~21~~ ²¹ left side scaled
- 21 right side scaled

Projections - deck 472 sq ft, steps off deck 60, front deck steps 43, back steps 26

Width of Lot - 80' min. - 101'

Height - 35' max - 21' max N/A foundation only

Lot Area - min 20,000 sq ft 22,248 given

Lot Coverage Impervious Surface - 20% 4449.6 sq ft

Area per Family - 20,000

Off-street Parking - 2 spaces required - meets requirement.

Loading Bays - NA

Site Plan - minor/minor # 2005-0250

Shoreland Zoning Stream Protection - yes. deck house is 50' from 75' setback
Closest point to 75' setback.

Flood Plains - panel 8 - zone C (house)

OK

1452
472
60
43
26

2053



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Meadow Ave. Great Diamond Island</u>		
Total Square Footage of Proposed Structure <u>2700 ±</u>	Square Footage of Lot <u>22,230'</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>83</u> Block# <u>AB</u> Lot# <u>001</u>	Owner: <u>Robert + Juli McAndrew</u> <u>Elba Fairchild</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Leddy Housen Assoc.</u> <u>429 Preble st.</u> <u>So. Portland ME 04106</u> <u>207 767-0903</u>	Cost Of Work: \$ <u>150,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Vacant Lot</u> If vacant, what was the previous user? <u>Residential?</u> Proposed Specific use: <u>Residential</u>		
Project description: <u>New single Family Home.</u>		
Contractor's name, address & telephone: <u>Leddy Housen Associates</u>		
Who should we contact when the permit is ready: <u>Paul or Pete</u>		
Mailing address: _____ Phone: <u>767-0903</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature] Date: 7/7/08

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

This is not a permit; you may not commence ANY work until the permit is issued.

APR 7 2006

RECEIVED

V# 8069

Meadow Ave GT

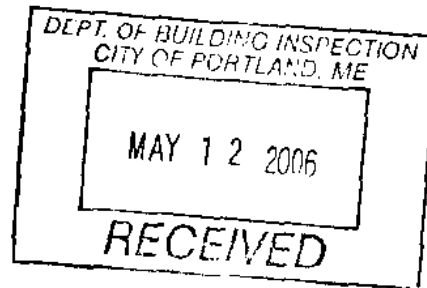


LEDDY HOUSER
ASSOCIATES

CUSTOM HOMEBUILDING AND RENOVATION
www.leddyhouser.com

MCANDREW FASTENING SCHEDULE

- All 2 X framing connections, 16d common
- All Sheathing connections, 8d common
- All LVL connections, 2, 3/8" carriage bolts (or approved equal) 2' on center
- All exterior pressure treated deck-framing, 16d galvanized
- All cedar deck boards, stainless ring shanks 10's
- All exterior trim, stainless ring shanks 8's and 10's
- All cedar sidewall shingles, 3 1/2 d galvanized shingle nails
- All roof shingles, 1 1/2" galvanized roofing nails
- All framing not bearing, appropriate Simpson joist hanger



DOUBLE-HUNG WINDOWS



Glazing Performance Total Unit



Window Style	U-Factor	R-Value	SHGC	Visible Transmittance	Light Transmittance
Simulated-Hung	5/8" clear IG with 3 mm glass	0.53	0.53	56	
	5/8" argon-filled Low-E ² IG with 3 mm glass	0.37	0.37	56	
	5/8" Low-E ² HA IG with 2.5 mm glass	0.38	0.33	56	
Architect Series Wood LX Double, Single, and Simulated-Hung	5/8" clear IG with 3 mm glass	0.50	0.53	56	
	5/8" argon-filled Low-E ² IG with 3 mm glass	0.36	0.37	49	
	5/8" Low-E ² HA IG with 3 mm glass	0.39	0.29	49	
Architect Series Monumental Single- and Double-Hung	5/8" clear IG with 2.5 mm glass	0.49	0.61	64	
	5/8" argon-filled Low-E ² IG with 2.5 mm glass	0.32	0.33	56	
	5/8" Low-E ² HA IG with 2.5 mm glass	0.36	0.33	56	
Architect Series Monumental Single- and Double-Hung	5/8" clear IG with 3 mm glass	0.51	0.48	50	
	5/8" argon-filled Low-E ² IG with 3 mm glass	0.37	0.28	44	
	5/8" Low-E ² HA IG with 3 mm glass	0.40	0.26	44	
	5/8" Low-E ² IG with 5 mm bronze/4 mm Low-E	0.44	0.23	29	
	5/8" Low-E ² IG with 5 mm gray/4 mm Low-E	0.44	0.21	25	
	5/8" argon-filled Low-E ² IG with 3 mm glass	0.35	0.29	50	
	5/8" Low-E ² HA IG with 3 mm glass	0.38	0.26	50	
	5/8" Low-E ² IG with 5 mm bronze/4 mm Low-E	0.42	0.26	33	
	5/8" Low-E ² IG with 5 mm green/4 mm Low-E	0.42	0.28	44	
	5/8" Low-E ² IG with 5 mm gray/4 mm Low-E	0.42	0.21	24	
Architect Series Monumental Single- and Double-Hung	5/8" clear IG with 3 mm glass	0.49	0.48	50	
	5/8" argon-filled Low-E ² IG with 3 mm glass	0.35	0.28	44	
	5/8" Low-E ² HA IG with 3 mm glass	0.38	0.26	44	
	5/8" Low-E ² IG with 5 mm bronze/4 mm Low-E	0.42	0.23	29	
	5/8" Low-E ² IG with 5 mm gray/4 mm Low-E	0.42	0.21	24	
	5/8" argon-filled Low-E ² IG with 3 mm glass	0.33	0.29	49	
Architect Series Monumental Single- and Double-Hung	5/8" Low-E ² HA IG with 3 mm glass	0.37	0.29	49	
	5/8" Low-E ² IG with 5 mm bronze/4 mm Low-E	0.41	0.26	33	
	5/8" Low-E ² IG with 5 mm gray/4 mm Low-E	0.41	0.24	28	
	5/8" Low-E ² IG with 5 mm green/4 mm Low-E	0.41	0.28	43	

(1) Glazing performance values are calculated based on NFRC 100.

(2) Climate Zones: N = Northern, NC = North/Central, SC = South/Central, S = Southern. For more information, see the Energy Star guidelines.

For center-glass values, see Volume 1, Section C.

R-Value = 1/U-Factor

Outside View



Item No. Qty.
Item# 10 Qty: 1
Location: A
R.O: 3' 9-3/4" X 5' 11-3/4"
WallCond: 6-9/16"

Summary Description
4571 (E-5.7 on VE non-impact) Vent - DH Standard Jambliner Double-Hung, Frame:45 X 71: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Pull Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (single unit per design)

Unit Price Extended Price
607.21 607.21

Notes: EGRESS

Outside View



Item No. Qty.
Item# 15 Qty: 1
Location: B
R.O: 2' 5-3/4" X 2' 5-3/4"
WallCond: 6-9/16"

Summary Description
2929 Right Hinge Casement, Frame:29 X 29: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (single unit per design)

Unit Price Extended Price
394.55 394.55

Tempered Pl.

Notes:

Outside View

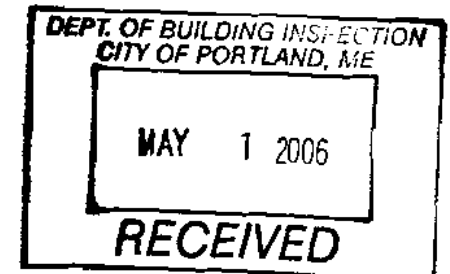


Item No. Qty.
Item# 20 Qty: 1
Location: C
R.O: 5' 10-3/4" X 3' 5-3/4"
WallCond: 6-9/16"

Summary Description
2-Window Casement
A: 3541 (E) Left Hinge Casement, Frame:35 X 41: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (per design)
B: 3541 (E) Right Hinge Casement, Frame:35 X 41: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (per design)

Unit Price Extended Price
971.04 971.04

Notes: EGRESS



For information regarding the finishing, maintenance, service, and warranty for all Pella products, visit the Pella Website at www.pella.com.

003

NO. 775

Outside View



Item No. _____ **Qty.** _____
Item# 25 Qty: 2
Location: D
R.O: 2' 1-3/4" X 5' 11-3/4"
WallCond: 6-9/16"

Summary Description

2571 Vent - DH Standard Jamblier Double-Hung, Frame:25 X 71: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (single unit per design)

Unit Price
518.98

Extended Price
1,037.96

Notes:

Outside View



Item No. _____ **Qty.** _____
Item# 30 Qty: 2
Location: E
R.O: 7' 6-3/4" X 5' 11-3/4"
WallCond: 6-9/16"

Summary Description

2-Wide DH (Model 3)

A: 4571 (E-5.7 on VE non-impact) Vent - DH Standard Jamblier Double-Hung, Frame:45 X 71: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)
B: 4571 (E-5.7 on VE non-impact) Vent - DH Standard Jamblier Double-Hung, Frame:45 X 71: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)

Unit Price
1,224.85

Extended Price
2,449.70

Notes: EGRESS

For information regarding the finishing, maintenance, service, and warranty for all Pella products, visit the Pella Website at www.pella.com.

20787UJ1 → 7670961

10:48

04/28/2006

Outside View



Item No. _____ **Qty.** _____
Item# 35 Qty: 2
Location: F
R.O: 6' 10-3/4" X 3' 11-3/4"
WallCoat: 6-9/16"

Summary Description

2-Wide DH (Model 3)

A: 4147 Vent - DH Standard Jambliner Double-Hung, Frame:41 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)
B: 4147 Vent - DH Standard Jambliner Double-Hung, Frame:41 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)

Unit Price
977.73

Extended Price
1,955.46

Notes:

Outside View



Item No. _____ **Qty.** _____
Item# 40 Qty: 1
Location: G
R.O: 6' 3-3/4" X 3' 5-3/4"
WallCoat: 6-9/16"

Summary Description

3-Wide DH (Model 3)

A: 2541 Vent - DH Standard Jambliner Double-Hung, Frame:25 X 41: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)
B: 2541 Vent - DH Standard Jambliner Double-Hung, Frame:25 X 41: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)
C: 2541 Vent - DH Standard Jambliner Double-Hung, Frame:25 X 41: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)

Unit Price
1,180.55


Extended Price
1,180.55

Notes:


For information regarding the finishing, maintenance, service, and warranty for all Pella products, visit the Pella Website at www.pella.com.

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Outside View	Item No. Item# 45	Qty. Qty: 2	Summary Description <u>2-Wide DH (Model 3)</u>	Unit Price 1,083.69	Extended Price 2,167.38
	Location: H R.O: 6' 10-3/4" X 4' 11-3/4" WallCond: 6-9/16"		A: 4159 (E-5.7 on VE non-impact) Vent - DH Standard Jamblier Double-Hung, Frame:41 X 59: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design) B: 4159 (E-5.7 on VE non-impact) Vent - DH Standard Jamblier Double-Hung, Frame:41 X 59: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)		


Notes: EGRESS

Outside View	Item No. Item# 50	Qty. Qty: 2	Summary Description <u>2-Wide Casement</u>	Unit Price 1,317.26	Extended Price 2,634.52
	Location: I R.O: 4' 2-3/4" X 5' 11-3/4" WallCond: 4-9/16"		A: 2571 Left Hinge Casement, Frame:25 X 71: Architect Series, Clad, Model 2, White, 5/8" InsulShld Temp IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (per design) B: 2571 Right Hinge Casement, Frame:25 X 71: Architect Series, Clad, Model 2, White, 5/8" InsulShld Temp IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (per design)		


Notes:

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Outside View	Item No. Item# 55	Qty. Qty: 1	Summary Description <u>3-Wide DH (Model 3)</u>	Unit Price 1,365.87	Extended Price 1,365.87
	Location: J R.O: 8' 3-3/4" X 3' 11-3/4" WallCond: 6-9/16"		<p>A: 3347 Vent - DH Standard Jambliner Double-Hung, Frame:33 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)</p> <p>B: 3347 Vent - DH Standard Jambliner Double-Hung, Frame:33 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)</p> <p>C: 3347 Vent - DH Standard Jambliner Double-Hung, Frame:33 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)</p>		

Notes:

Outside View	Item No. Item# 60	Qty. Qty: 1	Summary Description <u>2-Wide Casement</u>	Unit Price 919.70	Extended Price 919.70
	Location: M.B. R.O: 5' 10-3/4" X 2' 11-3/4" WallCond: 6-9/16"		<p>A: 3535 Left Hinge Casement, Frame:35 X 35: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (per design)</p> <p>B: 3535 Right Hinge Casement, Frame:35 X 35: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (per design)</p>		

Notes:

For information regarding the finishing, maintenance, service, and warranty for all Pella products, visit the Pella Website at www.pella.com.

Outside View

Item No. _____ Qty. _____
 Item# 65 Qty: 1
 Location: K
 R.O: 5' 6-3/4" X 3' 11-3/4"
 WallCond: 6-9/16"



Summary Description

2-Wide DH (Model 3)

A: 3347 Vent - DH Standard Jambliner Double-Hung, Frame:33 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)
 B: 3347 Vent - DH Standard Jambliner Double-Hung, Frame:33 X 47: Architect Series, Clad, Model 3, White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower Sash=01), Fins (per design)

Unit Price
907.11

Extended Price
907.11

Notes:

Outside View

Item No. _____ Qty. _____
 Item# 78 Qty: 1
 Location: L
 R.O: 8' 9-3/4" X 5' 11-3/4"
 WallCond: 4-9/16"



Summary Description

3-Wide Casement

A: 3571 (E) Left Hinge Casement, Frame:35 X 71: Architect Series, Clad, Model 2, White, 5/8" InsulShld Temp IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (per design)
 B: 3571 Fixed Casement, Frame:35 X 71: Architect Series, Clad, Model 1, White, 5/8" InsulShld Temp IG Glazing, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (per design)
 C: 3571 (E) Right Hinge Casement, Frame:35 X 71: Architect Series, Clad, Model 2, White, 5/8" InsulShld Temp IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (per design)

Unit Price
2,853.98

Extended Price
2,853.98

Notes: EGRESS

For information regarding the finishing, maintenance, service, and warranty for all Pella products, visit the Pella Website at www.pella.com.

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Contract for Customer

Project: MCANDREWS / LH

Order No.:

Outside View:



Item No. _____ **Qty.** _____
 Item# 75 Qty: 2
 Location: M
 R.O: 2' 9-3/4" X 3' 5-3/4"
 WallCond: 6-9/16"

Summary Description
 3341 Vent - DH Luxury Edition Double-Hung, Frame:33 X 41:
 Architect Series, Clad, Model 3, White, Half Vent /match Half Vent,
 5/8" InsulShld IG Glazing, Full Screen, White Hardware, 7/8" ILT
 Traditional Grille (Grille Lites Wide=02, Grille Lites High Upper
 Sash=01, Grille Lites High Lower Sash=01), Fins (single unit per
 design)

Unit Price 492.54
Extended Price 965.08

Notes:

Outside View:



Item No. _____ **Qty.** _____
 Item# 80 Qty: 1
 Location: N
 R.O: 6' 2-3/4" X 5' 11-3/4"
 WallCond: 6-9/16"


Summary Description
2-Wide DH (Model 3)
 A: 3771 (E-5.7 on VE non-impact) Vent - DH Standard Jambliner
 Double-Hung, Frame:37 X 71: Architect Series, Clad, Model 3,
 White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full
 Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites
 Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower
 Sash=01), Fins (per design)
 B: 3771 (E-5.7 on VE non-impact) Vent - DH Standard Jambliner
 Double-Hung, Frame:37 X 71: Architect Series, Clad, Model 3,
 White, Half Vent /match Half Vent, 5/8" InsulShld IG Glazing, Full
 Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites
 Wide=02, Grille Lites High Upper Sash=01, Grille Lites High Lower
 Sash=01), Fins (per design)

Unit Price 1,154.34
Extended Price 1,154.34


Notes: EGRESS

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www.pella.com.


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<u>Outside View</u>	<u>Item No.</u>	<u>Qty.</u>	<u>Summary Description</u>	<u>Unit Price</u>	<u>Extended Price</u>
	Item# 85	Qty: 1	2-Wide Casement A: 2935 Left Hinge Casement, Frame:29 X 35: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (per design) B: 2935 Right Hinge Casement, Frame:29 X 35: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (per design)	868.36	868.36

Notes:

<u>Outside View</u>	<u>Item No.</u>	<u>Qty.</u>	<u>Summary Description</u>	<u>Unit Price</u>	<u>Extended Price</u>
	Item# 90	Qty: 1	2935 Right Hinge Casement, Frame:29 X 35: Architect Series, Clad, Model 2, White, 5/8" InsulShld IG Glazing, White Screen, White Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=02), Fins (single unit per design)	428.97	428.97

Notes:

<u>Outside View</u>	<u>Item No.</u>	<u>Qty.</u>	<u>Summary Description</u>	<u>Unit Price</u>	<u>Extended Price</u>
	Item# 95	Qty: 2	3681 Right Hinge In-Swing French Door, Frame:36 X 66-1/8: Architect Series, Clad, Model 2, White, 5/8" InsulShld Temp IG Glazing, Bright Brass Hardware, 7/8" ILT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (single unit per design)	1,439.34	2,878.68

Notes:

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 04/28/2006

Outside View



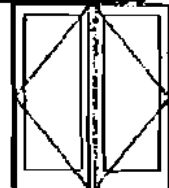
Item No. _____ **Qty.** _____
 Item# 100 Qty: 1
Location:
 R.O: 3' 0-3/4" X 6' 6-1/2"
 WallCoed: 6-9/16"

Summary Description
 Right Hinge In-Swing French Door, Frame:36 X 78: Architect Series, Clad, Model 2, White, 5/8" InsulShield Temp IG Glazing, Bright Brass Hardware, 7/8" FLT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (single unit per design)

Unit Price 2,370.88
Extended Price 2,370.88

Notes:

Outside View



Item No. _____ **Qty.** _____
 Item# 105 Qty: 2
Location:
 R.O: 6' 0" X 8' 0"
 WallCoed: 6-9/16"

Summary Description
 7296 Inactive/Active In-Swing French Door, Frame:71-1/4 X 95-1/2: Architect Series, Clad, Model 2, White, 5/8" InsulShield Temp IG Glazing, Aluminum Hinge Screen w/Antique Brass Handle, Bright Brass Hardware, 7/8" FLT Traditional Grille (Grille Lites Wide=02, Grille Lites High=03), Fins (single unit per design)

Unit Price 3,114.83
Extended Price 6,229.66

Notes:

Thank You For Purchasing Pella Products

Customer Signature _____

Pella Sales Representative Signature _____

Date _____

Date _____

Taxable Subtotal	\$ 33,541.00
Sales Tax at 5.0000%	1,677.05
Non-taxable Subtotal	0.00
Total	\$ 35,218.05
Deposit Received	\$ 0.00

BUYERS OFFER TO PURCHASE- I have read all the conditions as listed on the reverse side of this document (or attached to this document) entitled "Appendix A TERMS AND CONDITIONS" and agree to all such conditions. I offer to purchase the goods herein described at the quoted prices and subject to all terms and conditions as listed in the above referenced document.

For information regarding the finishing, maintenance, service, and warranty for all Pella products, visit the Pella Website at www.pella.com.

Unless otherwise specified before delivery occurs, I understand that if the deposit was paid with a credit card, that same credit card will be charged for the balance of this contract total when product or services are delivered.

NOTE: The products contained in this order are made especially for you, therefore, no cancellations or returns are possible.

WARRANTY: Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor RUFUS DEERING COMPANY will be bound by any other warranty.

NO. 775

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10:48

04/28/2006



CITY OF PORTLAND, MAINE

Department of Building Inspections

April 7 2006

Paul Luddy

10 Meadows Ave

Construction \$ _____
C900 1371
Site 300
\$1746 C90 75

Plumbing (15) Electrical (12) Site Plan (12)

AB001

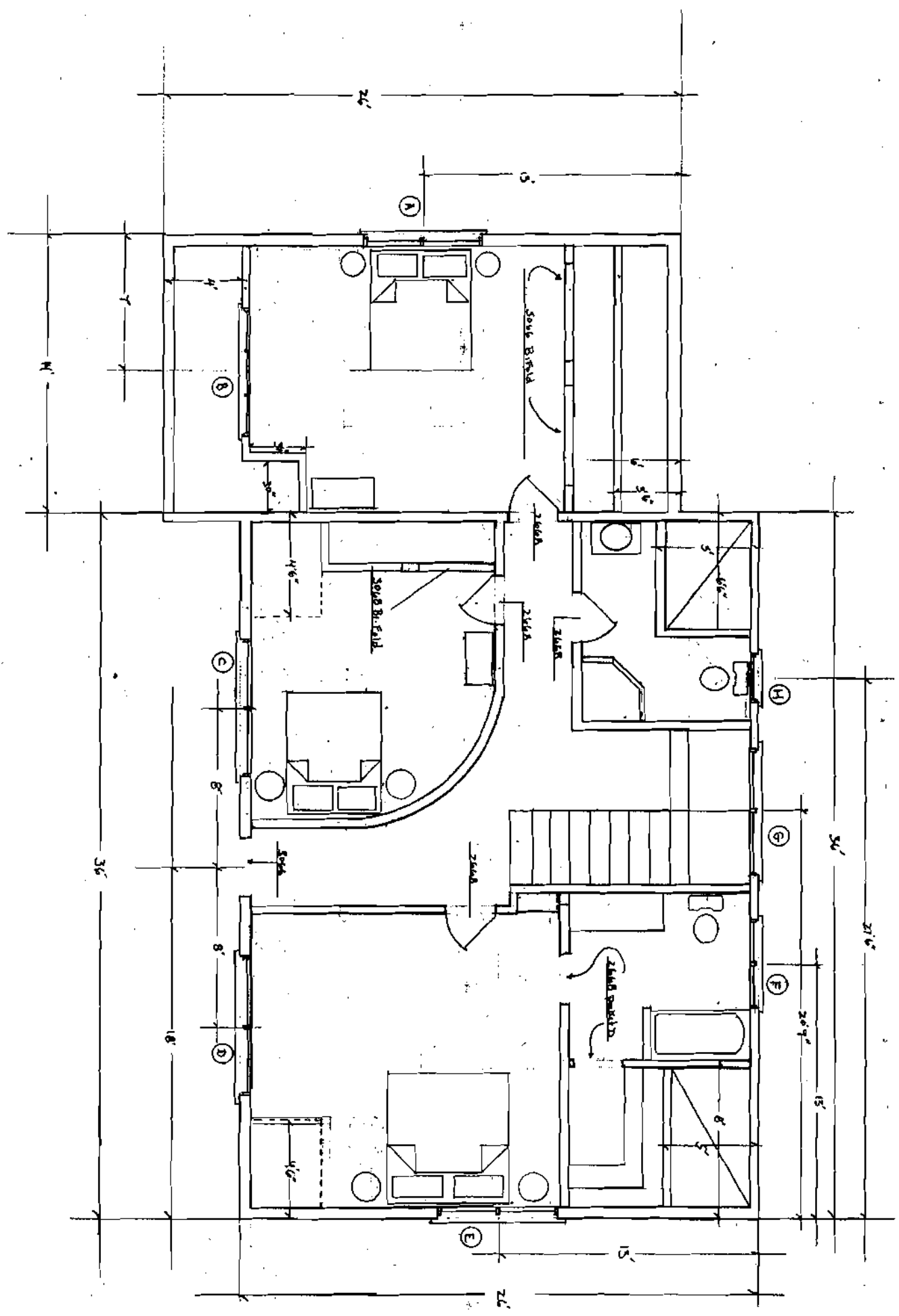
069

Total Collected \$1,746

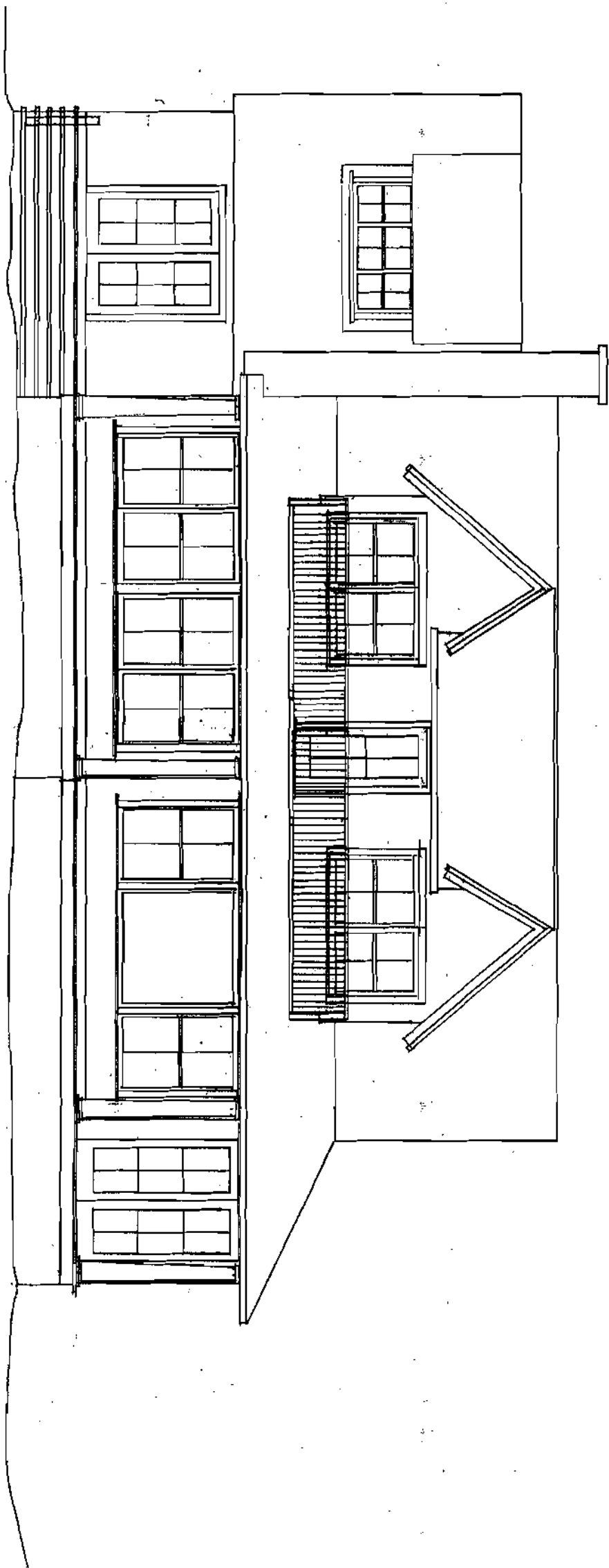
THIS IS NOT A PERMIT

This permit is to be started until PERMIT CARD is actually posted. Acceptance of fee is no guarantee that permit will be issued. **RESERVE THIS RECEIPT.** In case permit cannot be issued, the amount of the fee will be refunded upon return of the permit. Refund \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

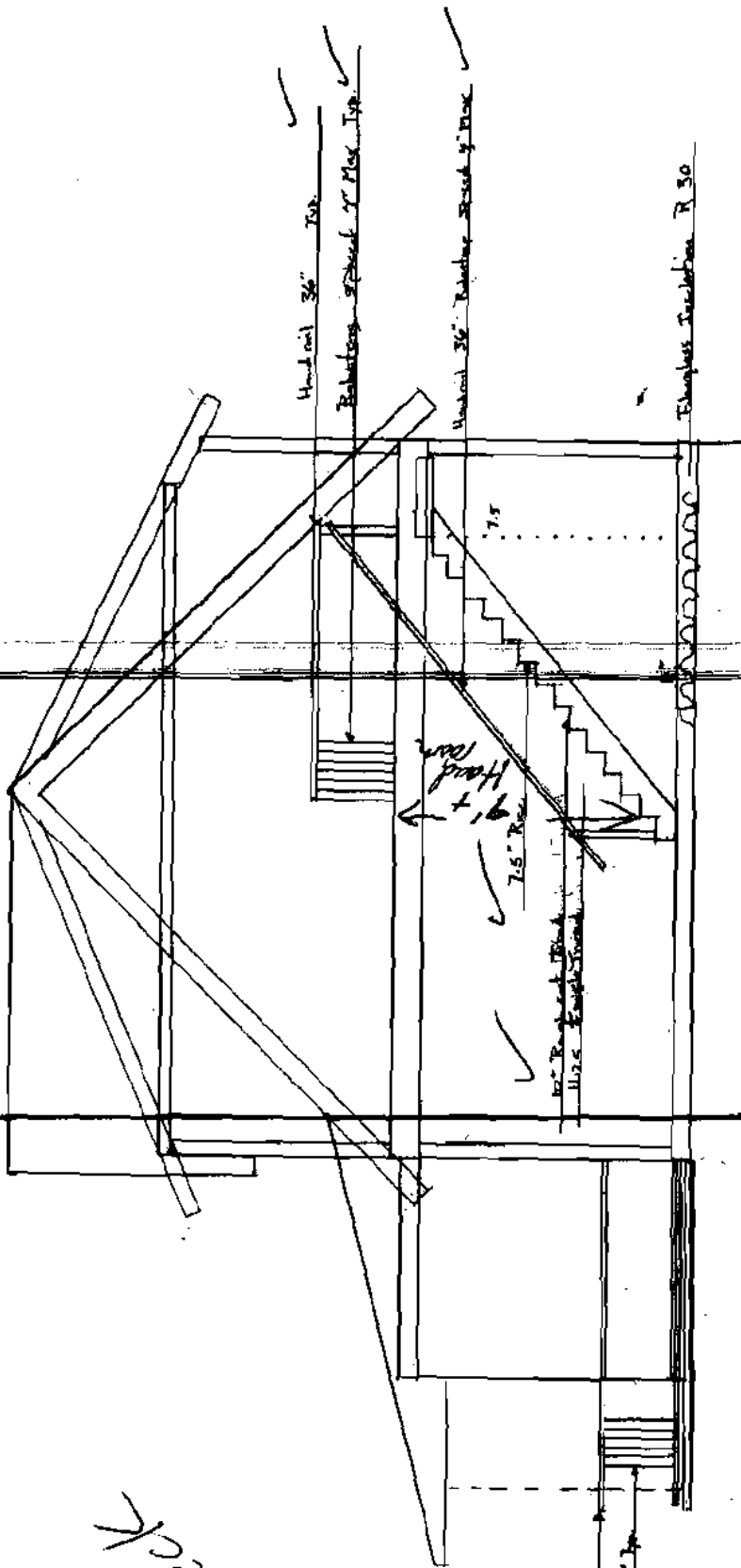


429 Probie Street South Portland, Maine 04106
 Phone: 207-767-0900 Fax: 767-0961
 McAdams / Fenwick Cottage
 Great Diamond Island
 Scale: 1/8" = 1' Date: 2/27/2006
 Second Floor Plan



LEDDY HOUSER
ASSOCIATES

429 Popple Street South Portland, Maine 04106
Phone 207-767-0903 Fax 207-767-0961
McAubrey / Fairchild Cottage
Grand Diamond Island
Scale 3/8" = 1' Date 3/27/2006
West Devonton



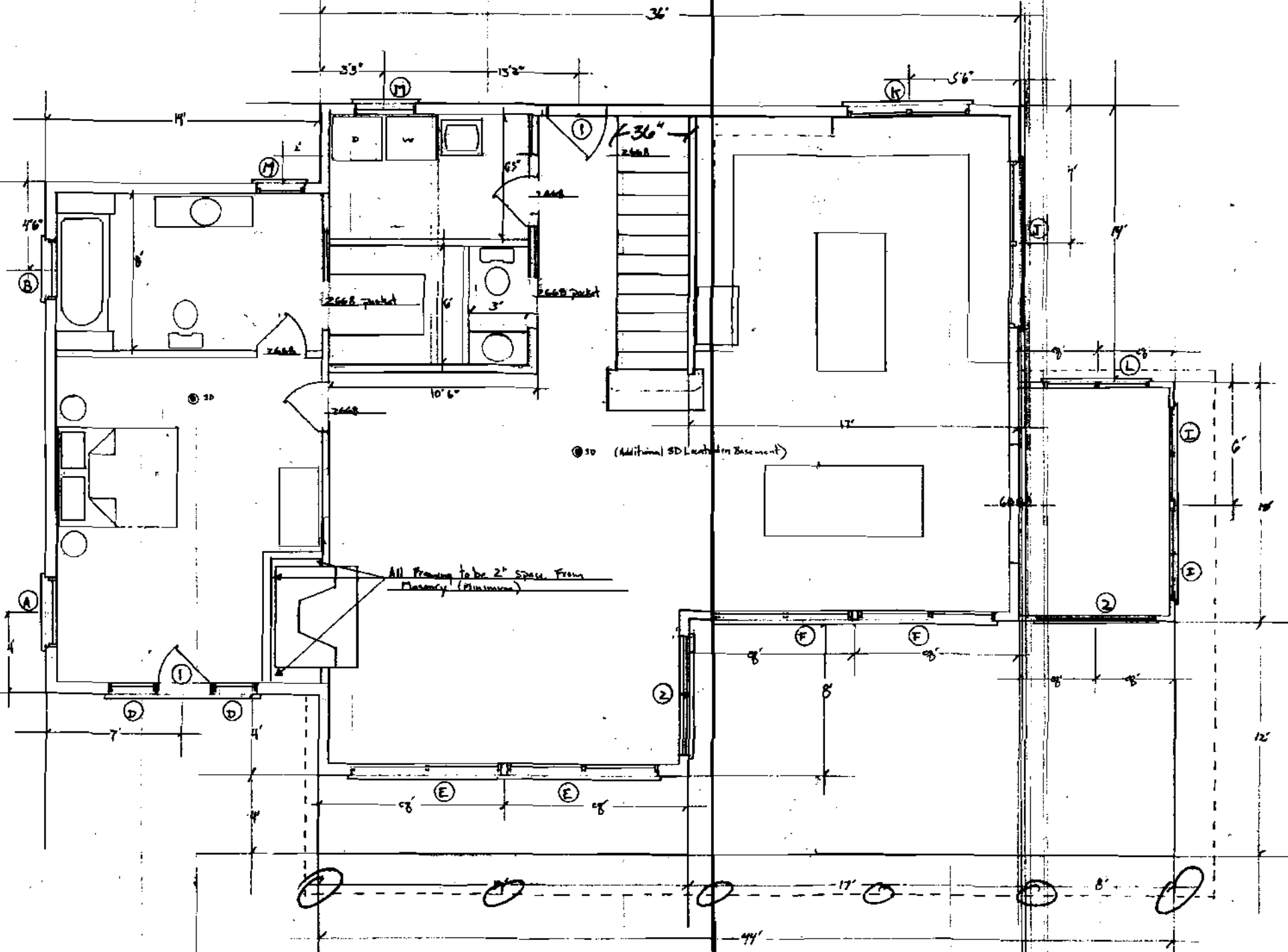
*Typical
2nd Flr Deck*



**LEDDY HOUSER
ASSOCIATES**

429 Incline Street South Portland, Maine 04106
Phone 207-767-0900 Fax 207-767-0961

McAndrew / Parrish & Co.
Great Diamond Island
Scale: 1/4" = 1' Date: 3/27/2006
Cross Section



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 12 2006
RECEIVED

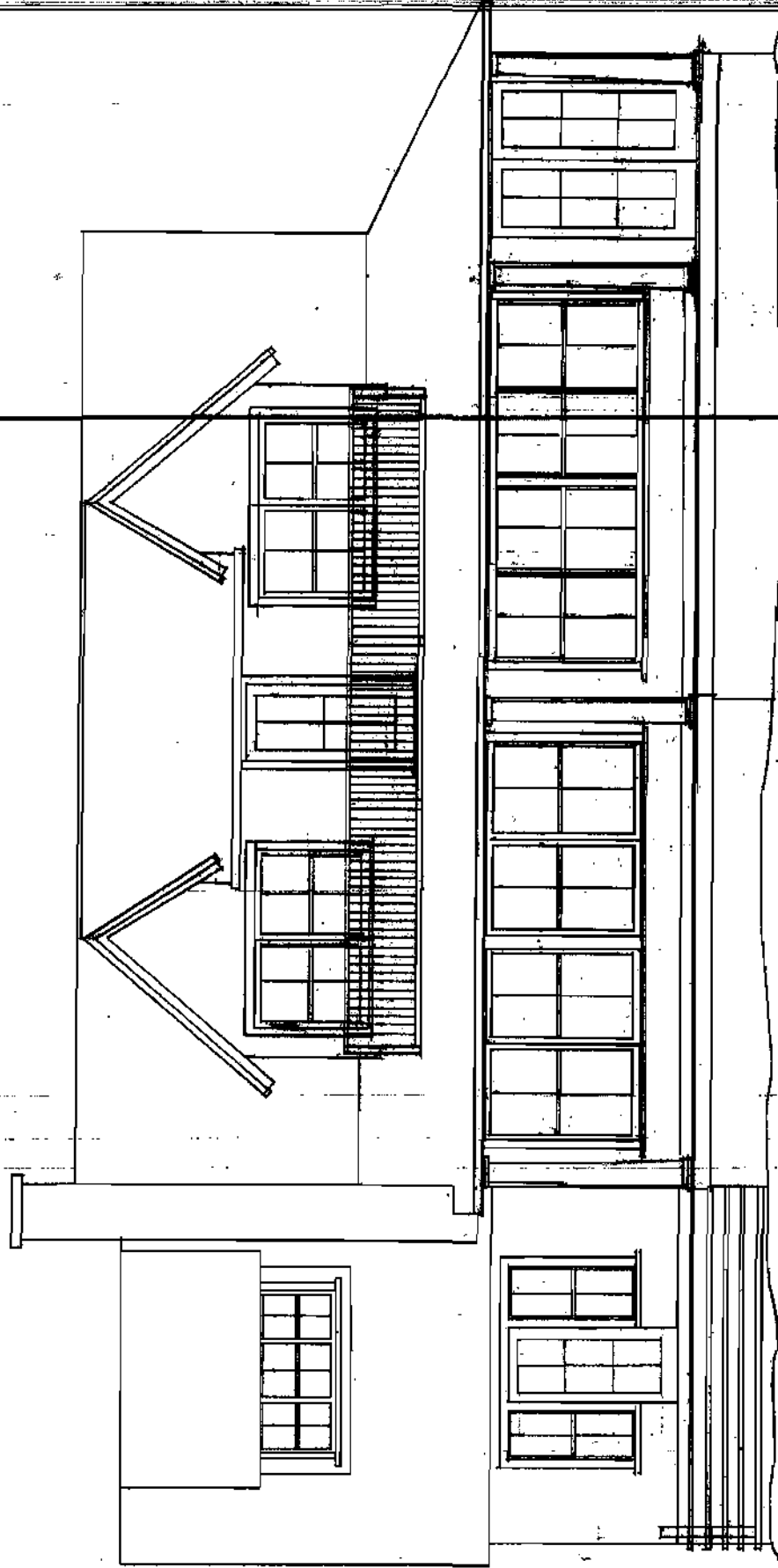
L LEDDY HOUSER ASSOCIATES
429 Preble Street South Portland, Maine 04106
Phone 207-767-0903 Fax 767-0961
McAndrew / Fairchild Cottage
Great Diamond Island
Scale 1/8" = 1' Date 3/27/2006
First Floor Plan

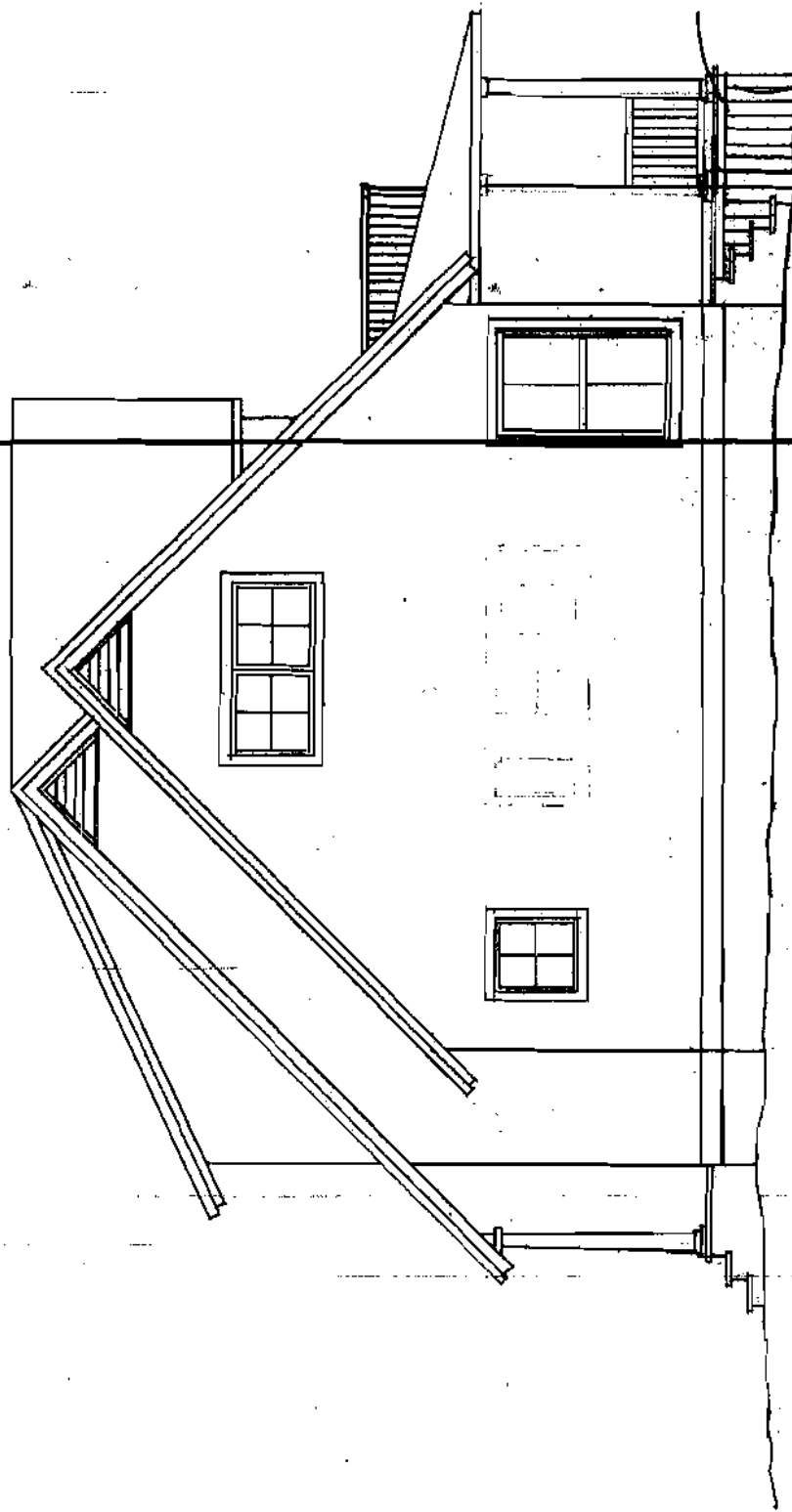


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429 Preble Street South Portland, Maine 04106
Phone 207-767-0903 Fax 767-0961

McAndrews / Fairchild Cottage
Great Diamond Island
Scale 1/8" = 1' Date 3/27/2006
West Elevation



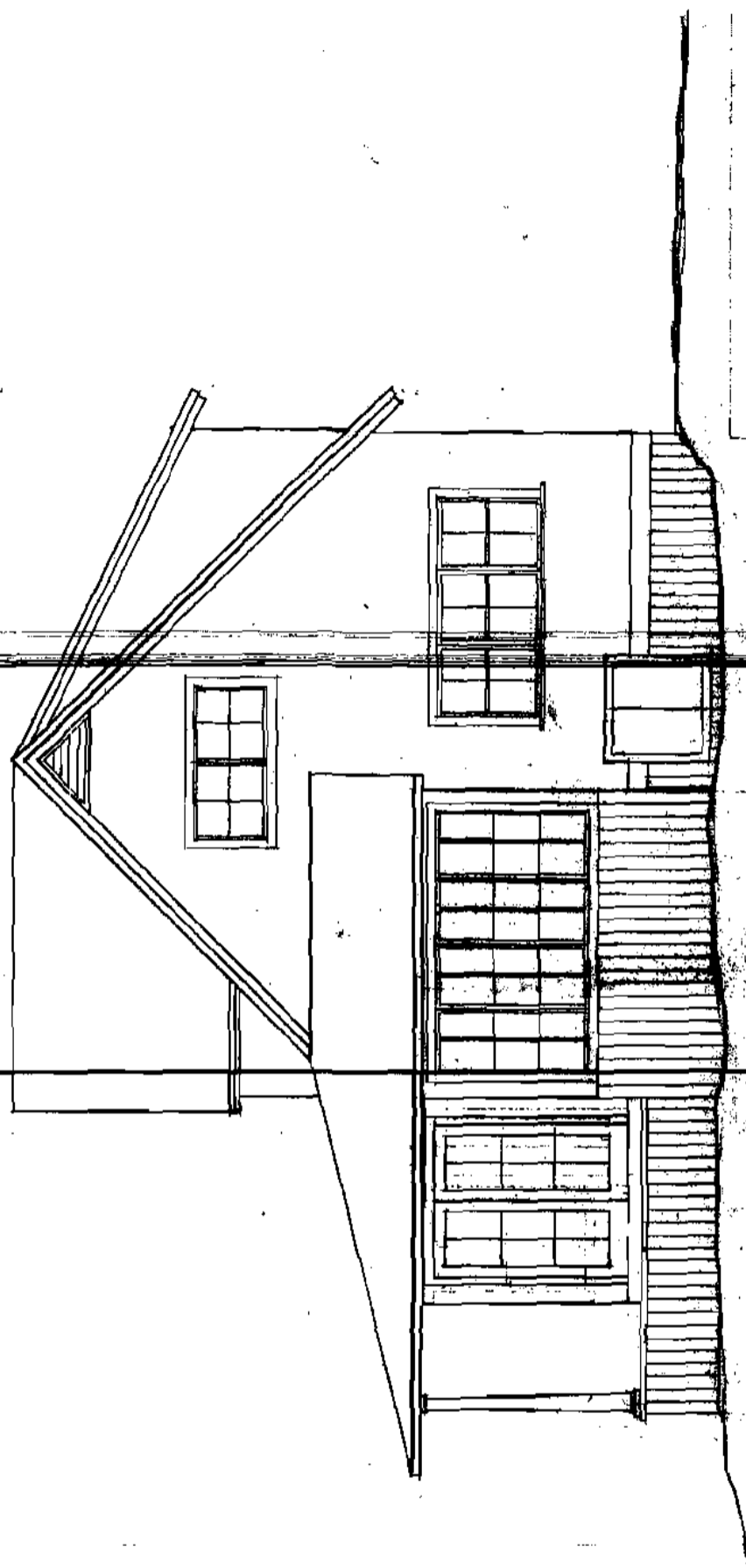


LEDDY HOUSER
ASSOCIATES

429 Presha Street South Portland, Maine 04106
Phone: 207-767-4903 Fax: 207-767-4961

McAndrews / Fairchild Cottage
Great Diamond Island
Scale: 1/4" = 1' Date: 3/27/2006
North Elevation

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McAndrews / Fairchild Cottage
Great Diamond Island
Scale 1/2" = 1' Date 3/7/2006
South Elevation



LEDDY HOUSER
ASSOCIATES

429 Public Street South Portland, Maine 04106
Phone: 207-767-0903 Fax: 767-0961

McAndrews / Fairchild Cottage
Crest Diamond Island
Scale: 1/4" = 1' Date: 3/27/2006
East Elevation

