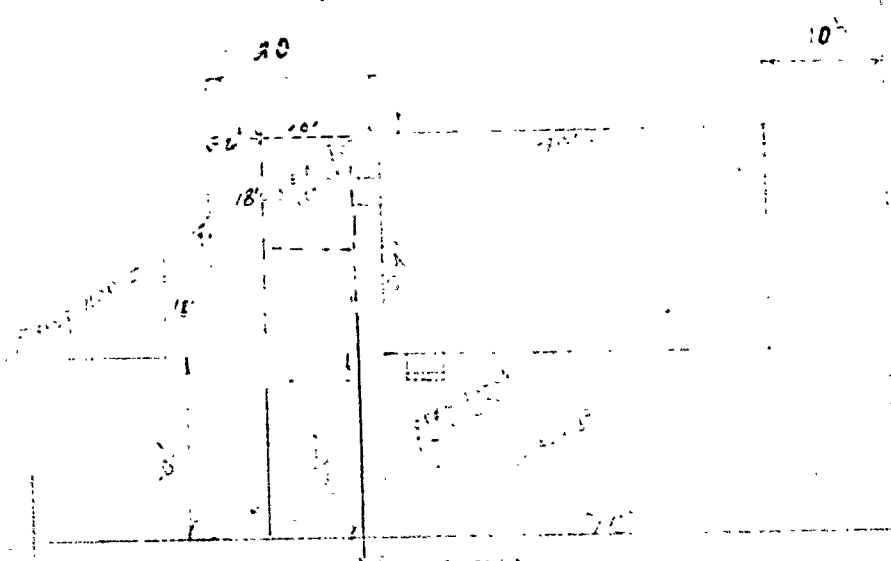


55-59 ST. GEORGE ST.



9280 - Half cut - Third cut #9293 - Fifth cut #9205B

1. ALL DIMENSIONS TO BE TAKEN FROM THE
 2. CENTER LINE OF THE STREET UNLESS
 3. OTHERWISE SPECIFIED. SEE LIST OF DIMENSIONS
 4. ON THE OTHER SIDE OF THE SHEET FOR
 5. DETAILS OF THE PAVING AND FINISHES



55-59 ST GEORGE STREET
 Plot Plan
 Scale 1" = 20'

N. T. FOX CO., INC., PORTLAND ME	
WORK <i>10/1/56</i>	
DRAWING	
BY <i>W. L. LARSEN</i>	DWG. NO.
DATE <i>5/17/56</i>	SCALE

51/673

(COPY)



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 55-57 St. George St.

Issued to Lois New
34 Hollis Road

Date of Issue October 30, 1958

This is to certify that the building, premises, or part thereof, at the above location, built—altered
—changed as to use under Building Permit No. 58/873, has had final inspection, has been found to conform
substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for
occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

1-family dwelling house

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

(Date)

Nelco

Artwright

Warren McDonald

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

Memorandum from Department of Building Inspection, Portland, Maine

55-59 St. George Street

June 5, 1958

Mr. Leif Klev
34 Hollis Road

Dear Mr. Klev:

Building permit to construct one story frame dwelling 24 feet by 40 feet at the above location is issued herewith but subject to the following conditions:

-girder is to be other than 4x10 Douglas Fir indicated on plans. A 6x10 dressed Hemlock girder will figure out.

-first story studs in rear wall are to rest directly on plate of stud wall forming rear wall of basement.

Very truly yours,

TTR/jg

Theodore T. Rand
Deputy Inspector of Buildings

CS-27



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class

Portland, Maine, June 6, 1958

RESIDENCE ZONE

PERMIT ISSUED

JUN 6 1958

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

I, the undersigned hereby apply for a permit to erect ~~and repair~~ and all the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 55-59 St. George St. Within Fire Limits? Dist. No.
Owner's name and address Leif Klev, 34 Hollis Rd. Telephone 4-2447
Lessee's name and address Telephone
Contractor's name and address owner Telephone
Architect Specifications Plans yes No. of sheets 3
Proposed use of building Dwelling No. families 1
Last use No. families
Material No. stories Heat Style of roof Roofing
Other building on same lot
Estimated cost \$ 10,000. Fee \$ 10.00

General Description of New Work

To construct 1-story frame dwelling 24' x 40'

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? yes Is any electrical work involved in this work? yes
Is connection to be made to public sewer? yes If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate 9' Height average grade to highest point of roof 16'
Size, front 40' depth 24' No. stories 1 solid or filled land? solid earth or rock? earth
Material of foundation concrete at least 4' below grade thickness, top 20" bottom 10" cellar yes
Material of underpinning " to sill Height Thickness
Kind of roof pitch Rise per foot 5" Roof covering asphalt roofing Class C Und. Lab.
No. of chimneys 1 Material of chimneys brick of lining tile Kind of heat h.w. fuel oil
Framing Lumber—Kind hemlock Dressed or full size? dressed Corner posts 4x6 Sills 2x8 box
Size Girder 4x10 fir Columns under girders lally Size 3 1/2" Max. on centers 7'10"
Kind and thickness of outside sheathing of exterior walls? 1" boards
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x8, 2nd 2x6 ceiling, 3rd , roof 2x6
On centers: 1st floor 16", 2nd 16", 3rd , roof 16"
Maximum span: 1st floor 12', 2nd , 3rd , roof 12'
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

With Permit 6-6-58 TTR

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Signature of owner Leif Klev

INSPECTION COPY

NOTES

8-17-58 Forms O.K. for
size & location. *AP*
7-30-59 OK to close
in. *AP*
10-29-58 Final all
OK with flashing
under tab. *AP*

X

Permit No. 58/673
Location 5849 1/2 Avenue St.
Owner 5849 1/2 Avenue St.
Date of permit 6/6/58
Notif. closing in
Inspn. closing in 7-30-58 *AP*
Final Notif.
Final Inspn. 10-29-58 *AP*
Cert. of Occupancy issued
Sinking Out Notice
Form Check Notice 6-19-58

6-19



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, July 29, 1958

PERMIT ISSUED

JUL 29 1958

CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 552 1/2 E. 1st St. Use of Building Residence No. Stories 1 New Building
Name and address of owner of appliance Mrs. Edith E. Lee 34 1/2 Elm St. Portland, Me.
Installer's name and address J. C. Lee 100 1/2 E. 1st St. Portland, Me. Telephone 21991

General Description of Work

To install 10000 BTU/hr. system 13000 BTU/hr. system

IF HEATER, OR POWER BOILER

Location of appliance Basement Any burnable material in floor surface or beneath? None
If so, how protected? Kind of fuel? Oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 3'-0"
From top of smoke pipe 3'-0" From front of appliance 3'-0" From sides or back of appliance 3'-0"
Size of chimney flue 8" x 16" Other connections to same flue None
If gas fired, how vented? Rated maximum demand per hour 1 gal.
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Oil burner Labelled by underwriters' laboratories? Yes
Will operator be always in attendance? Yes Does oil supply line feed from top or bottom of tank? Bottom
Type of floor beneath burner Concrete Size of vent pipe 6"
Location of oil storage Basement Number and capacity of tanks 1 - 275
Low water shut off Make No.
Will all tanks be more than five feet from any flame? Yes How many tanks enclosed? 2
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Install Hot water system complete

Amount of fee enclosed? \$2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

APPROVED:

O.K. 7-29-58 J.C.L.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

C17 PAINE PRINTING CO.

INSPECTION COPY

aff

Signature of Installer

J. C. Lee

No. 65

on 5-5-91 1600

100

f permit 2-75

ved

NOTES

- 1 Full
- 2 Vent Pipe
- 3 Cold or Heat
- 4 Burner Ignition & Supply
- 5 Water & Lubric
- 6 Check Fuel
- 7 Fresh Air Supply
- 8 Exhaust Control
- 9 Plug Supply & Pressure
- 10 Valves in Supply Line
- 11 Operation of Valve
- 12 Tank Rigidity & Support
- 13 Tank Protection
- 14 Oil Orifice
- 15 Insulation Panel
- 16 Low Pressure

10-20-59 Completed

11

PERMIT 002721 CITY OF Portland BUILDING PERMIT APPLICATION

MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Earle Russell 372-6772

Address: 59 St. George St. Pctd

LOCATION OF CONSTRUCTION 59 St. George St

CONTRACTOR: Pride Const SUBCONTRACTORS: 247-5853

ADDRESS: 5 Pioneer Circle No Waterboro

Est. Construction Cost: 5,000. Type of Use: Single Family

Past Use: _____

Building Dimensions L _____ W _____ Sq. Ft. _____ # Stories: _____ Lot Size: _____

Is Proposed Use: _____ Seasonal _____ Condominium _____ Apartment _____

Conversion Explain: New enclosed porch

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units _____ # Of New Dwelling Units _____

Foundations:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other _____

Floor:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

White-Tax Assesor

Yellow-GPCOG

White Tag -CEO

For Official Use Only

Date	Oct 13, 1989	Subdivision	Yes / No
Inside Fire Limits		Name	
Bldg Code		Lot	
Time Limit	5,000	Block	
Estimated Cost	5,000	Permit Expiration	
Value/Structure		Ownership	Public / Private
Fee	45.00		

Ceiling:

1. Ceiling Joists Size: _____
2. Ceiling Strapping Size _____ Spacing _____
3. Type Ceiling: _____
4. Insulation Type _____
5. Ceiling Height: _____

Roof:

1. Truss or Rafter Size _____ Span _____
2. Sheathing Type _____
3. Roof Covering Type _____
4. Other _____

Chimneys:

Type: _____ Number of Fire Places _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required Yes _____ No _____

Plumbing:

1. Approval of soil test if required Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District R-5 Street Frontage Req: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site _____ Subdivision _____

Shore and Floodplain Mgmt. _____ Special Exception _____

Other (Explain) _____

Date Approved: 10-16-89

Permit Received By: Deborah Good

Signature of Applicant: _____ Date: 0-13-89

Signature of CEO: _____ Date: 1-1-89

Inspection Dates: _____

19

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Mr. Brown

PLOT PLAN

N



FEES (Breakdown From Front)

Base Fee \$ _____
 Subdivision Fee \$ _____
 Site Plan Review Fee \$ _____
 Other Fees \$ _____
 (Explain) _____
 Late Fee \$ _____

Inspection Record

Type	Date
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____
_____	____/____/____

COMMENTS

1/10/90 Work completed w/out inspection.
 Side lot may not meet 8' minimum, although
 it's hard to tell because property line is not
 designated by marker.

X *AP Lowe*

Signature of Applicant

Date

BUILDING PERMIT REPORT

ADDRESS: 59 ST. George Street DATE: 16/Oct/89
 REASON FOR PERMIT: Construct new Enclosed Porch -

BUILDING OWNER: Earle Russell
 CONTRACTOR: Pride Const
 PERMIT APPLICANT: 1 2
 APPROVED: *1 *9 DENIED:

CONDITION OF APPROVAL OR DENIAL:

- *1.) Before concrete for foundation is placed, approvals from Public Works and Inspection Services must be obtained.
- 2.) Precaution must be taken to protect concrete from freezing.
- 3.) All vertical openings shall be enclosed with construction having a fire rating of at least one(1) hour, including fire doors with self-closers.
- 4.) Each apartment shall have access to two(2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 5.) The boiler shall be protected by enclosing with one(1) hour fire rated construction including fire doors and ceiling. By placing over the boiler, two(2) residential sprinkler heads supplied from the domestic water.
- 6.) Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The unit must be accessible from the inside opening without the use of separate means. Where windows are provided as a means of egress or rescue, they shall have a sill height not more than 44 inches (1118 mm) above the floor. All egress or rescue windows from sleeping rooms must have minimum net clear openings of 5.7 square feet (0.53m²). The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm).
- 7.) In addition to any automatic fire alarm system required by Sections 1018.3.5, a minimum of one single station smoke detector shall be installed in each guest room, suite or sleeping area in buildings of Use Groups R-1 and I-1 and in dwelling units in the immediate vicinity of the bedrooms in buildings of Use Group R-2 or R-3. When activated, the detector shall provide an alarm suitable to warn the occupants within the individual unit (see Section 1717.3.1).

In buildings of Use Groups R-1 and R-2 which have basements, an additional smoke detector shall be installed in the basement. In buildings of Use Group R-3, smoke detectors shall be required on every story of the dwelling unit, including basements.

In dwelling units with split levels, a smoke detector installed on the upper level shall suffice for the adjacent lower level provided the lower level is less than one full story below the upper level. If there is an intervening door between the adjacent levels, a smoke detector shall be installed on both levels.

All detectors shall be installed in an approved location. Where more than one detector is required to be installed within an individual dwelling unit, the detectors shall be wired in such a manner that the actuation of one alarm will actuate all the alarms in the individual unit.

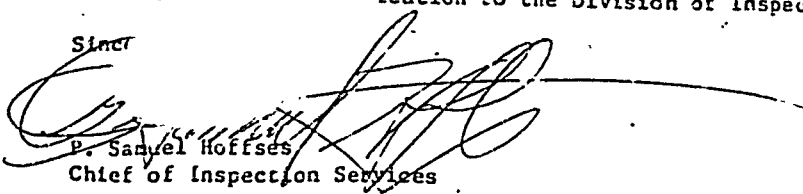
- 8.) Private garages located beneath rooms in buildings of Use Groups R-1, R-2, R-3 or A-1 shall have walls, partitions, floors and ceilings separating the garage space from the adjacent interior spaces constructed of not less than 1-hour fire-resistance rating. Attached private garages shall be completely separated from the adjacent interior spaces and the attic area by means of 1/2-inch gypsum board or equivalent applied to the garage side. The sills of all door openings between the garage and adjacent interior spaces shall be raised not less than 4 inches (102 mm) above the garage floor. The door opening protection shall be 1 3/4-inch solid core wood doors or approved equivalent.

- * 9.) A guardrail system located near the open side of deck or elevated walking surfaces shall be constructed. Guards in buildings of Use Group R-3 shall be not less than 36 inches in height. Open guards shall have intermediate rails, balusters or other construction such that a sphere with a diameter of 6 inches cannot pass through any opening.

- 10.) Section 25-135 of the Municipal Code for the City of Portland states: "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year.

- 11.) The builder of a facility to which Section 4594-C of the Maine State Human Rights Act, Title 5 M.R.S.A. refers, shall obtain a certification from a design professional that the plans of the facility meet the standards of construction required by this section. Prior to the construction of the facility, the builder shall submit the plans to the Division of Inspection Services.

Sincerely,


P. Samuel Hoffses
Chief of Inspection Services

/el
11/16/88

RECEIVED
OCT 13 1989
688 2 1 120

EXISTING HOUSE

SCREEN PORCH

DRIVE

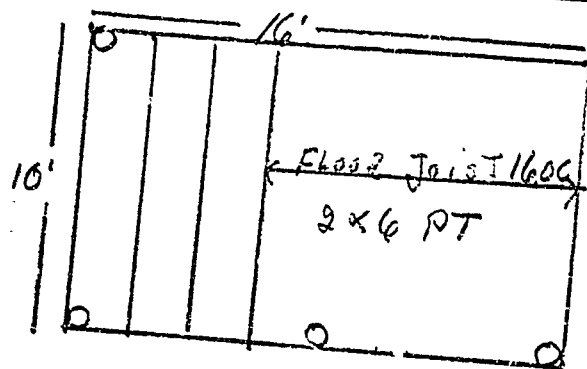
PROPERTY LINE

100' 10'

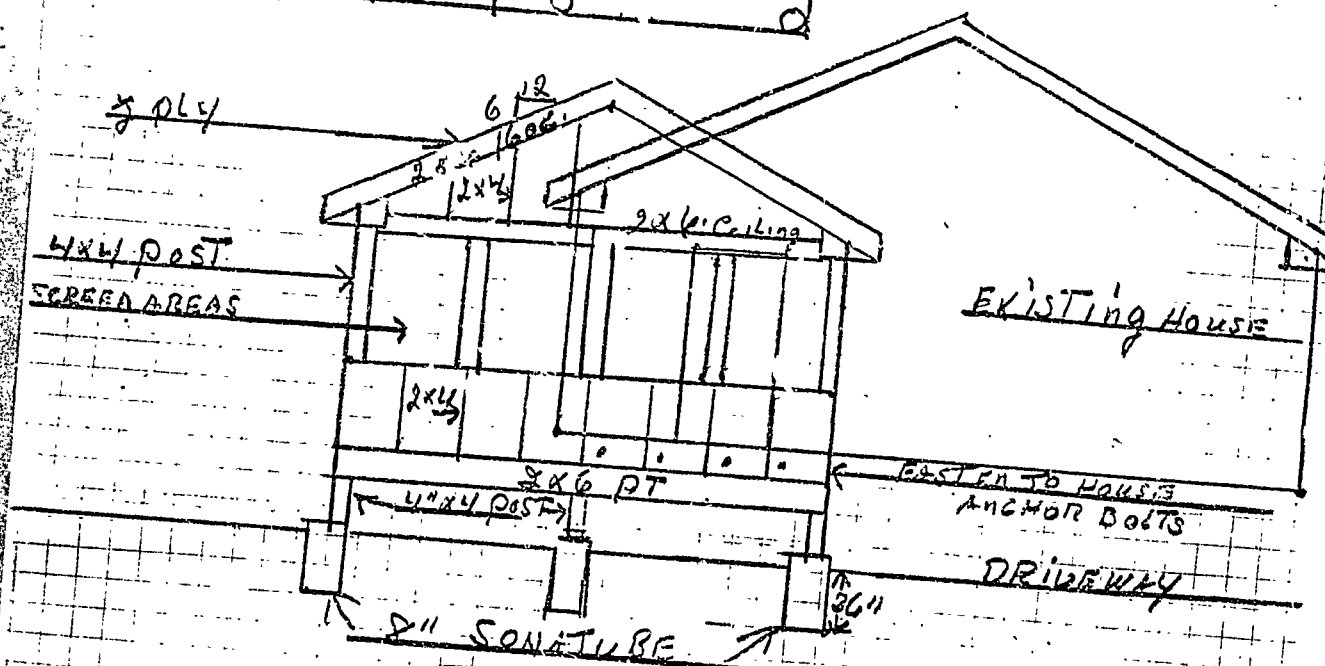
16'

8'

FLOOR 5, DECKING PT



PT PRESSURE TREATED



SCREEN PORCH Addition

EARL RUSSELL
59 ST, GEORGE ST

RECEIVED

OCT 13 1989

DEPT OF BUILDING INSPECTIONS
CITY OF PORTLAND

PERMIT **002721**

CITY OF Portland

BUILDING PERMIT APPLICATION

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Earle Russell

872-6772

Address: 59 St. George St. Ptld

LOCATION OF CONSTRUCTION 59 St. George St

CONTRACTOR: Pride Const

SUBCONTRACTORS: 247-5853

ADDRESS: 5 Pioneer Circle No Waterboro

Est. Construction Cost: 5,000.

Type of Use: Single Family

Past Use:

Building Dimensions L W Sq. Ft.

Stories:

Lot Size:

Is Proposed Use:

Seasonal

Condominium

Apartment

Conversion - Explain

New enclosed porch

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE

Residential Buildings Only:

Of Dwelling Units

Of New Dwelling Units

Foundation:

1. Type of Soil:

2. Set Backs - Front

3. Footings Size:

4. Foundation Size:

5. Other

Floor:

1. Sills Size:

2. Girder Size:

3. Lally Column Spacing:

4. Joists Size:

5. Bridging Type:

6. Floor Sheathing Type:

7. Other Material:

Sills must be anchored.

Spacing 16" O.C.

Exterior Walls:

1. Studding Size

2. No. windows

3. No. Doors

4. Header Sizes

5. Bracing

6. Corner Posts Size

7. Insulation Type

8. Sheathing Type

9. Siding Type

10. Masonry Materials

11. Metal Materials

Spacing

Span(s)

Weather Exposure

Interior Walls:

1. Studding Size

2. Header Sizes

3. Wall Covering Type

4. Fire Wall if required

5. Other Materials

Spacing

Span(s)

White-Tax Assessor

Yellow-GPCOG

White Tag -CEO

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MAP #

LOTS

Date <u>Oct 13, 1989</u>		For Official Use Only	
Inside Fire Limits	Subdivision: <u>Yes / No</u>	Name	
Bldg Code		L.C.	
Time Limit		Block	
Estimated Cost <u>5,000</u>		Permit Expiration	
Value/Structure		Ownership	
Fee <u>45.00</u>		Public	
		Private	

Ceiling:

1. Ceiling Joists Size:

2. Ceiling Strapping Size

3. Type Ceilings:

4. Insulation Type

5. Ceiling Height:

Spacing

Size

Roof:

1. Truss or Rafter Size

2. Sheathing Type

3. Roof Covering Type

4. Other

PERMIT ISSUED

OCT 16 1989

City Of Portland

Chimneys:

Type:

Number of Fire Places

Heating:

Type of Heat:

Electrical:

Service Entrance Size:

Smoke Detector Required

Yes No

Plumbing:

1. Approval of soil test if required

2. No. of Tubs or Showers

3. No. of Sinks

4. No. of Lavatories

5. No. of Other Fixtures

Yes

No

Swimming Pools:

1. Type:

2. Pool Size:

3. Must conform to National Electrical Code and State Law.

Square Footage

Zoning:

District

Street Frontage Req.

Provided

Review Required:

Required Setbacks: Front

Back

Side

Zoning Board Approval: Yes

No

Date:

Planning Board Approval: Yes

No

Date:

Conditional Use:

Variance

Site Plan

Subdivision

Shore and Floodplain Mgmt.

Other (Explain)

Special Exception

Date App. over:

Permit Received By Deborah Goode

Signature of Applicant [Signature]

Date 10-13-89

Signature of CEO [Signature]

Date 10-13-89

Inspection Dates [Signature]