

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Total Square Footage of Proposed Structure		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 082 B 008		Owner: Dowd Properties LLC	Telephone: 7736250
Lessee/Buyer's Name (If Applicable)		Applicant name, address & telephone:	cost Of Work: \$ 6,000. Fee: \$ 75.00
Current use: <u>Single Family</u>			
If the location is currently vacant, what was prior use: <u>Same</u>			
Approximately how long has it been vacant: <u>10 months</u>			
Proposed use: <u>Same - Single Family</u>			
Project description: <u>Exact Repair, Finish, Porch Deck + Roof where needed</u>			
Contractor's name, address & telephone:			
Who should we contact when the permit is ready: <u>Bill Dowd</u>			
Mailing address: <u>17 Westland Ave</u>			
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>7736250</u>			

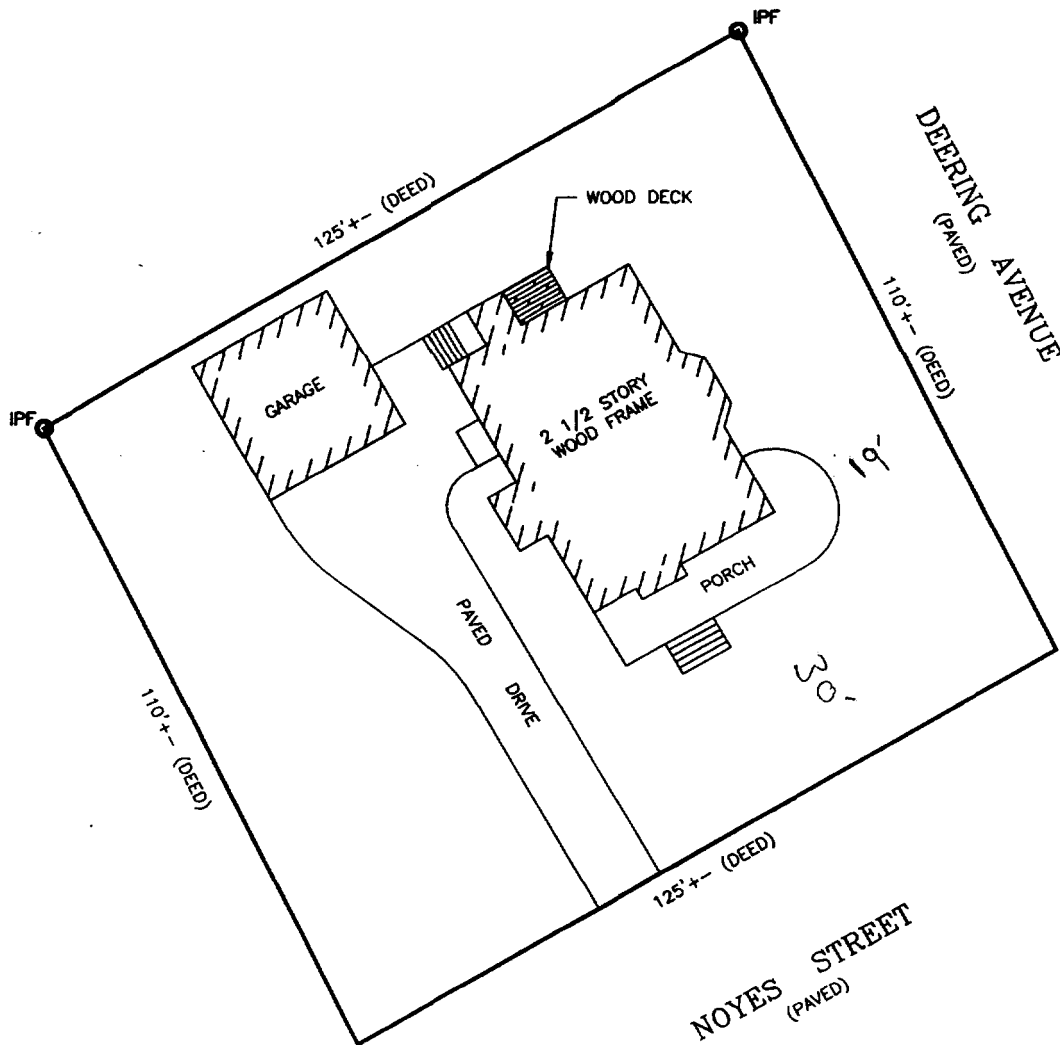
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

will Date: 11/12/04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Mortgage Loan Inspection



SCALE: 1" = 30

The dwelling **DOES** conform to the local zoning at the time of construction.
The dwelling **IS NOT** in a special flood hazard zone as shown on the Flood Insurance Rate Map.

THIS IS NOT A STANDARD BOUNDARY SURVEY. Information shown on this plan is for mortgage purposes only. Property lines shown on this plan are based on apparent lines of occupation, current deed information, and Municipal tax maps. **A STANDARD BOUNDARY SURVEY IS RECOMMENDED TO CONFIRM ALL BOUNDARY LINES SHOWN ON THIS PLAN.** Any one using this plan for anything other than mortgage loan purposes does so at their own risk. This plan may not be recorded or used for any land divisions. The property on this plan may be subject to easements, covenants, and restrictions of record, which may or may not be shown on this plan.

Date: 2/11/2004, File No.: 15930, Job No: M24-51,

Lending Institution: Banknorth, N.A.

Client: Dowd Properties, LLC

Location: 105 Noyes St., Portland, Cumberland County

Deed reference: Bk. 3939, Pg. 232

Plan reference: Bk. , Pg. , Lot

Tax Map No. 82, Lot No. 8, Block No. B

Bruce W. Goodwin, PLS

Tel: 1-207-776-1665

Fax: 1-207-799-2326

CONSERVATOR'S DEED

William J. Dowd, of Portland, Maine, duly appointed and acting Conservator of the Estate of Lindsay J. Lawrence, adult, Cumberland County Probate Court Docket No. 2004-190, by the power conferred by law, and every other power, for consideration paid, grants to Dowd Properties, LLC, of 17 Westland Avenue, Portland, ME 04102, the following described real property situated at 105 Noyes Street, Portland, Maine, and described as follows:

A certain lot or parcel of land, with the buildings thereon, situated on the westerly corner of Deering Avenue and Noyes Street in Portland, County of Cumberland and State of Maine, bounded and described as follows:

BEGINNING at a corner formed by the intersection of the northerly side of Noyes Street with the westerly side line of said Deering Avenue; thence running northerly by said Deering Avenue 110 feet to an iron hub; thence southwesterly parallel to said Noyes Street, 125 feet to an iron hub; thence southwesterly parallel with said Deering Avenue 110 feet to an iron bolt on the northwesterly side line of said Noyes Street; thence northeasterly by said Noyes Street 125 feet to the point of beginning.

Meaning and intending to convey the same premises described in a deed from Mervin J. Riker and Carol L. Riker dated November 17, 1976, recorded in the Cumberland County Registry of Deeds in Book 3939, Page 232.

Witness my hand this 17th day of September, 2004.

Thomas Jean Huntly
Witness

William J. Dowd Conservator for the
William J. Dowd, Conservator *estate of Lindsay J. Lawrence*

STATE OF MAINE
CUMBERLAND COUNTY, SS

September 17, 2004

Personally appeared the above named William J. Dowd, who as Conservator of the Estate of Lindsay J. Lawrence, proved by satisfactory evidence to be the person subscribing above, and acknowledged the foregoing instrument to his free act and deed in said capacity.

Before me,

Kimberly Donnelly
Notary Public/Attorney-at-Law

KIMBERLY A. DONNELLY
Notary Public, Maine

My Commission Expires September 19, 2008

(Seal)
CL-15930

Received
Recorded Register of Deeds
Sep 21, 2004 01:46:11P
Cumberland County
John B O'Brien

SEAL

MAINE REAL ESTATE TAX PAID

Exact Replacement/Repair 105 Noyes St
Existing Porch

Repairs to Existing Porch Deck + Roof

Repair/Replace existing Framing,
Decking, supports + shingles

Porch Deck

this section new decking only

4" x 12" middle Radius

note of 7" on ends

Corner of House

2" x 8" 16" oc - replace/repair
10' span - OK

Porch Roof

Existing Framing
For 2x4
Replace new
needed
2x6 shingles
+ shingles

Corner of House

Need 2x8's replacement
Rafter 16" oc
OR
2x6" - 12" oc -
Rafters -

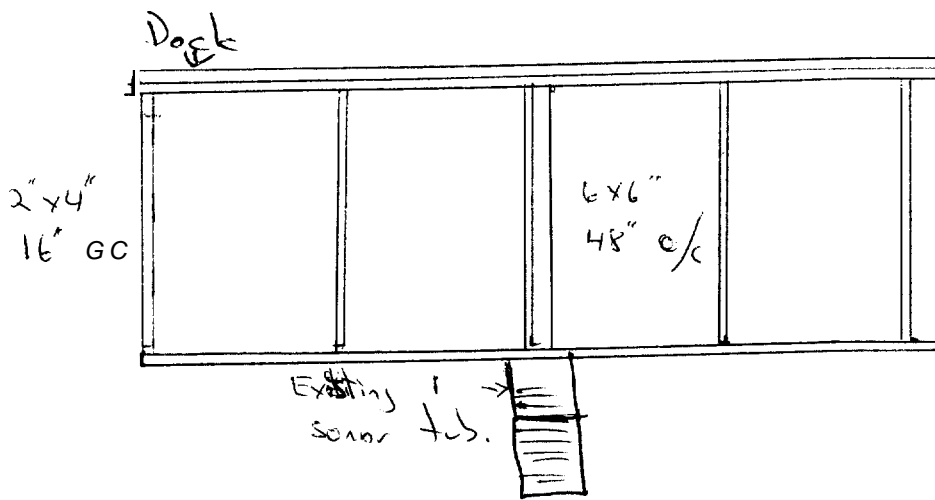
Existing Porch
 repairing or replacing
 where needed

105 Noyes St

Exact Replacement of Existing

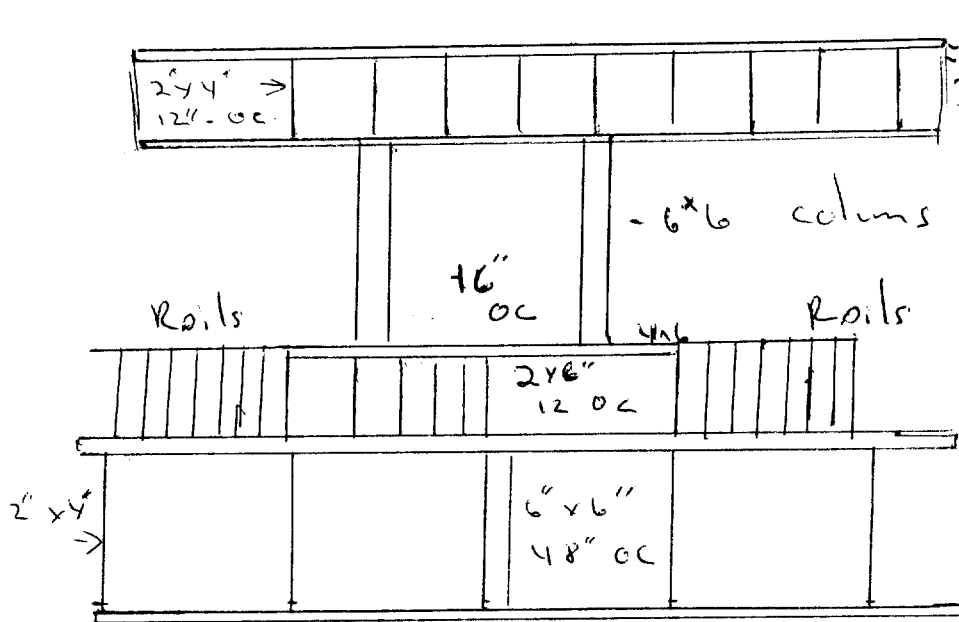
Deck Framing

Porch Framing



4x12 Plate
 shingles on exterior.
 2x12 Plate

Porch Roof Perimeter Frame.



2x6
 2x6
 4x12 Plate
 2x12 Plate