

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 219-221 Dartmouth St		Owner: Seiler, Richard & Gail		Phone: 775-2828		Permit No: 9 80759	
Owner Address: HBC-34 KFSH & RC P.O. Box 3334		Lessee/Buyer's Name: Riyadh Saudi Arabia		Phone:		BusinessName:	
Contractor Name:		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED JUL 15 1998 CITY OF PORTLAND </div>	
Past Use: Resident Rental		Proposed Use:		COST OF WORK: \$ 3,500.00 PERMIT FEE: \$ 40.00		INSPECTION: Use Group: 2 Type: 513 Signature: <i>[Signature]</i>	
Proposed Project Description: Remove deteriorating rear porches and replace with 2 open decks and entry porches. The decks are <u>not</u> a 2nd exit for units		FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>[Signature]</i>		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		Zoning Approval: Zone: 25 CBL: 082-A-024 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: SF		Date Applied For: 09 July 1998					

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Call for P7U Lester Evans 775-2828

SCANNED

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT		ADDRESS:		DATE: 09 July 1998		PHONE:	
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE						PHONE:	

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *[Signature]*

CEO DISTRICT 6

COMMENTS

7-21-98 Checked out sawn tube 4' fl OK

7-29-98 Checked railing height & 4" spacing OK
Rise OK Need to install riser
boards on stairs. *Waring*

7-30-98 Re-checked closed in risers OK to Close
Permit
Waring

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE** If you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction (include Portion of Building): <i>219-221 Dautman St Portland</i>		
Total Square Footage of Proposed Structure <i>172⁺</i>	Square Footage of Lot <i>5,535</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>82</i> Block# <i>A</i> Lot# <i>24</i>	Owner: <i>Richard E. Seiler</i> <i>Richard E. Seiler</i>	Telephone#: <i>775-2828</i>
Owner's Address: <i>MBC-3Y KFSH ERC P.O. Box 3354 Riyadh SAUDI ARABIA</i>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <i>\$3,500</i> Fee: <i>\$40</i>
Proposed Project Description: (Please be as specific as possible) <i>Remove deteriorating rear porches and replace with 2 open decks and entry porch. The decks are <u>not</u> a 2nd exit per units</i>		
Contractor's Name, Address & Telephone <i>Owner to do work</i>		Rec'd By <i>[Signature]</i>
Current Use: <i>residential rental</i>	Proposed Use: <i>residential rental</i>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

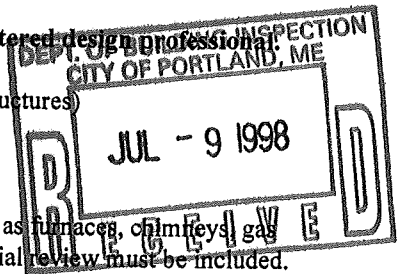
Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Lester J. Evans</i>	Date: <i>7/9/98</i>
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Building Permit Fee: \$25.00 for the 1st \$1000. cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

Lester J. Evans

207-775-2828

[Handwritten signature]



Inspection Services
Michael J. Nugent
Manager

Department of Urban Development
Joseph E. Gray, Jr.
Director

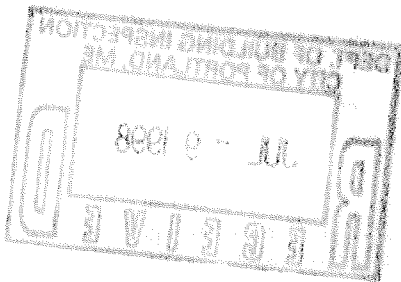
CITY OF PORTLAND

Congratulations !!!!!

**Building or Use Permit Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

As an applicant for a building permit, you are about to enter into a relationship with our Office. We welcome any questions, comments or suggestions that will make the process more efficient. Attached you will find an application and some samples of the submissions you will provide at application time. Please read ***ALL*** of the information and if you need any further assistance please call 874-8703 or 874-8693.

Minor or Major site plan review will be required for the most of the above proposed projects.



BUILDING PERMIT REPORT

DATE: 15 July 96 ADDRESS: 219-221 Dartmouth St. 082-A-024
REASON FOR PERMIT: remove porch/construct decks
BUILDING OWNER: Seiler, Richard & Gail
CONTRACTOR: _____
PERMIT APPLICANT: _____
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *8, *10, *26, *28, *29, *30, *31, *32

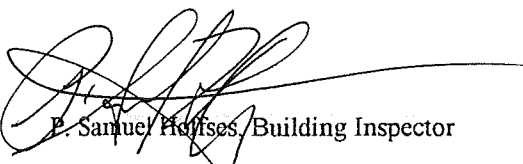
- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 2.5 Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
3. Precaution must be taken to protect concrete from freezing.
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- *8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
9. Headroom in habitable space is a minimum of 7'6".
- *10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension

shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.

16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basementsIn addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)
17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
19. The Sprinkler System shall maintained to NFPA #13 Standard.
20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)
24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
25. All requirements must be met before a final Certificate of Occupancy is issued.
- *26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).
27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- *28. Please read and implement the attached Land Use-Zoning report requirements.
- *29. The proposed New sonotube Foundation must be a minimum of 4' below grade
Placed on a footing with anchor connecting the two -
- *30. A Fastening device must be used to connect the sonotube and
The Framing members
- *31. The 4x4" Columns shall be braced to prevent movement -

- *32. The proposed 2x8" shown on your plan to carry the deck joist shall
be doubled to carry the 13' span.



P. Samuel Haffses, Building Inspector

cc: Lt. McDougall, PFD
Marge Schmuckal

LAND USE - ZONING REPORT

ADDRESS: 219-223 Dartmouth St DATE: 7/13/98

REASON FOR PERMIT: remove Porches / construct Decks

BUILDING OWNER: Richard & Gail Suler C-B-L: 82-A-24

PERMIT APPLICANT: LeAnn Evans

APPROVED: with conditions DENIED: _____

#6, #9

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing _____ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on _____ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will not be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
6. Our records indicate that this property has a legal use of two units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage.
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition there shall be no open exterior

stairways connecting these decks or to the ground level (except from 1st floor to ground). No such stairways are shown on your plans - decks not to exceed existing footprint

Marge Schmuckal

Marge Schmuckal, Zoning Administrator,
Asst. Chief of Code Enforcement

Applicant: Lester Evans

Date: 7/13/98

Address: 219-221 Dartmouth St

C-B-L: 002-A-24

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing 1915 - Zunits OK-pre-1957

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - replace existing

Sevage Disposal -

- Lot Street Frontage -

Front Yard -

Rear Yard - 20' req - shows

Side Yard - 12' req - 11' shown → using 14-433 to allow 1ft into the setback

Projections -

Width of Lot -

Height - 2 story

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

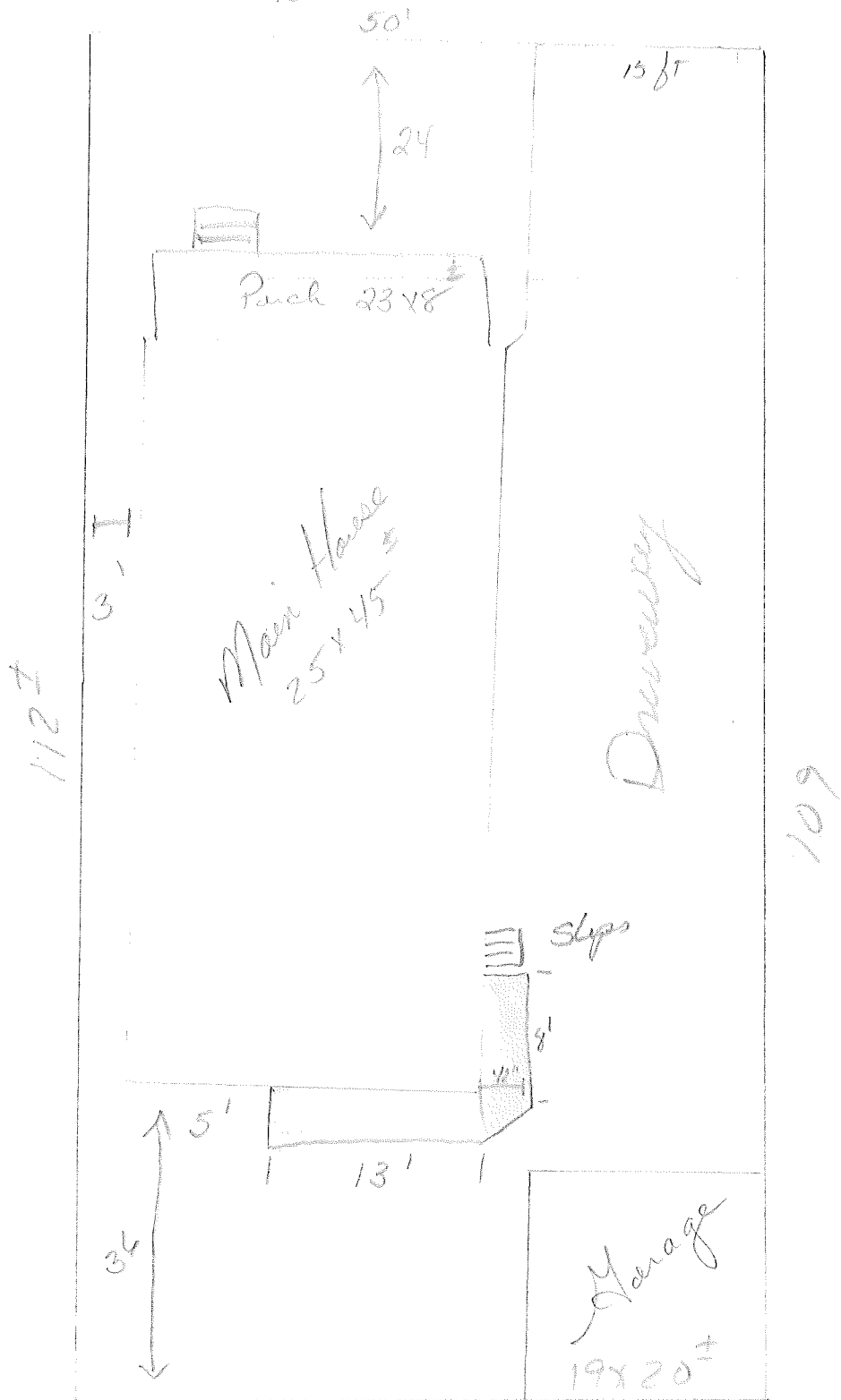
Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

shall be NO open outside stairway - none is shown on the plans

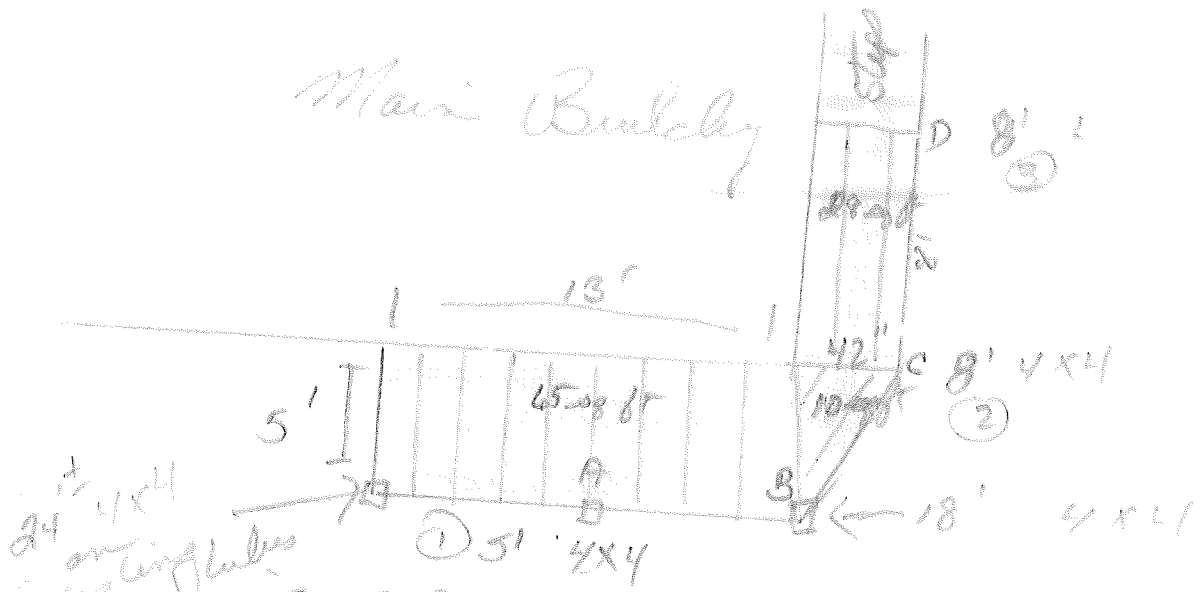
Plot / Site Plan
Dartmouth ST



View from top

1st Floor

Main Building

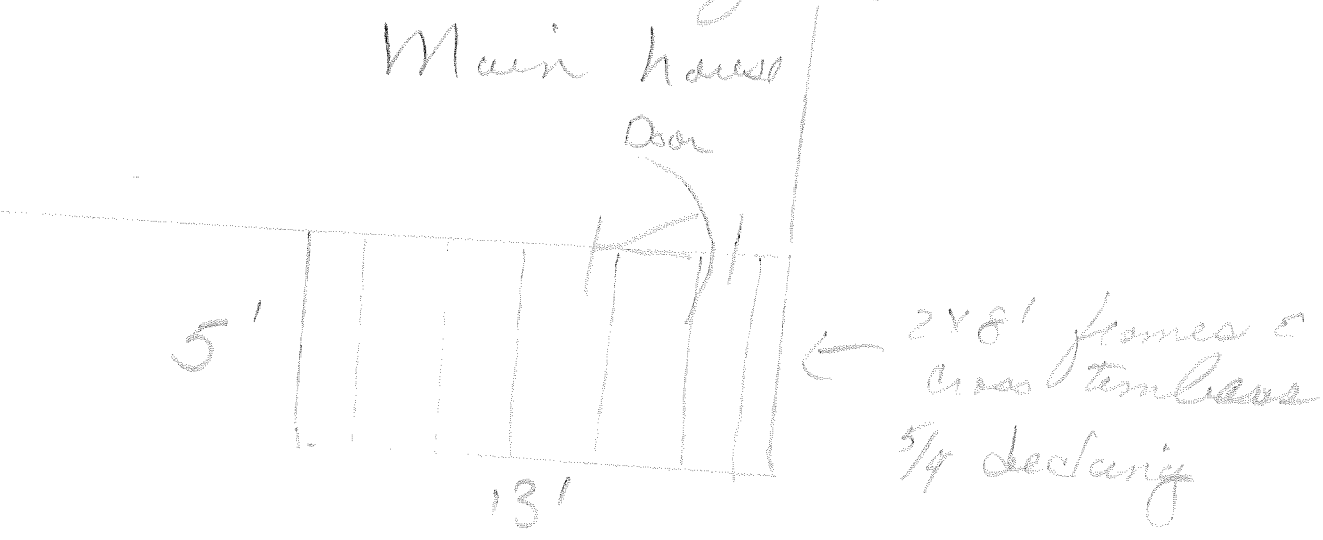


- 2x8 PT framing
- 2x8 cross timbers 16" on center
- 18' 4x4 on centers
- 4x4 in position 1,2,3

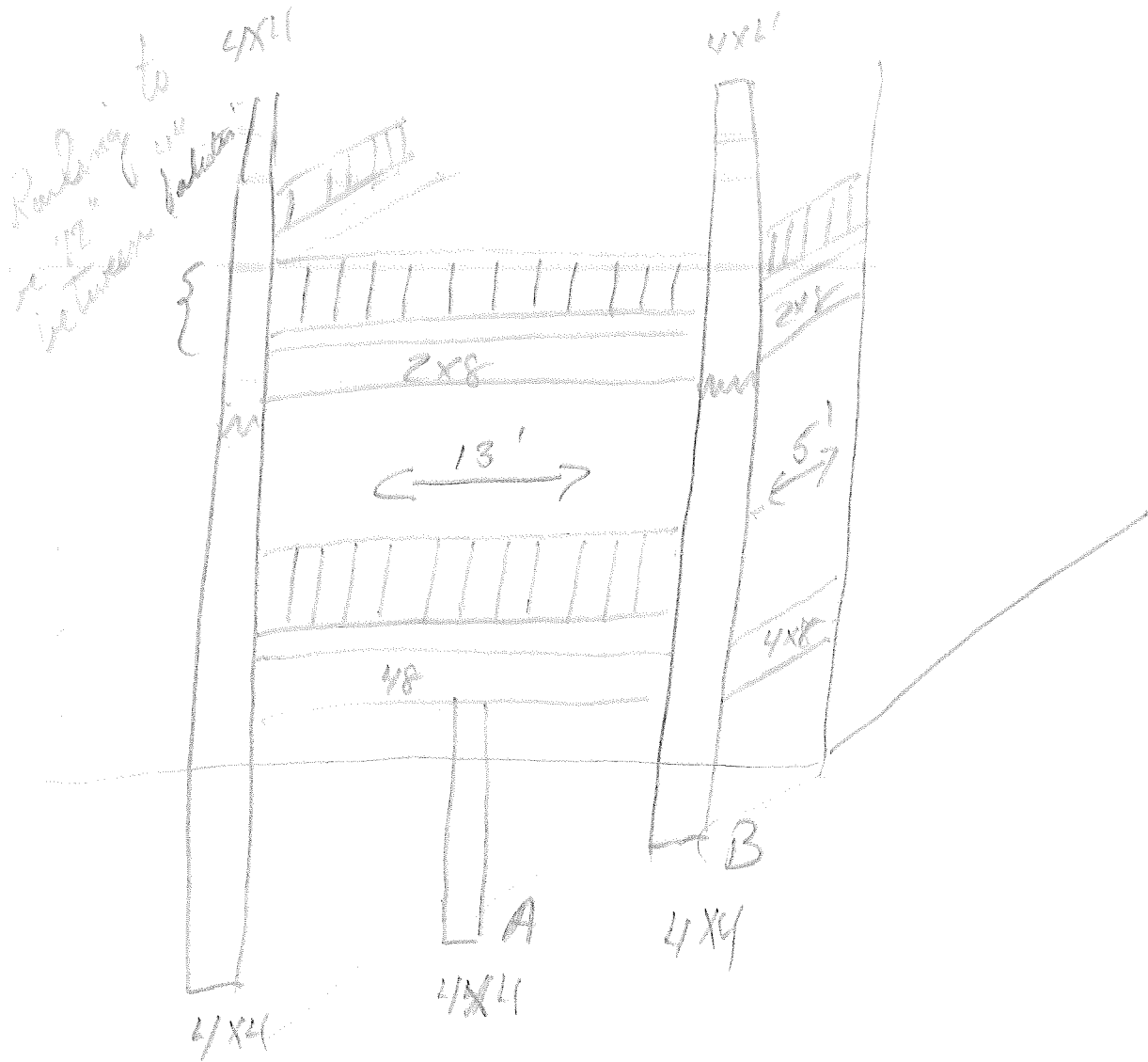
New sauna tubes A, B, C, D
 Attached to existing timber on main house

2nd floor

Main house



View from Rear
of Main Bulkhead



Does not
show open

A-B New sauna tubes

Railing to be 42" high

Balusters to be no more than 4" apart
(No opening to be more than 4")

Side View



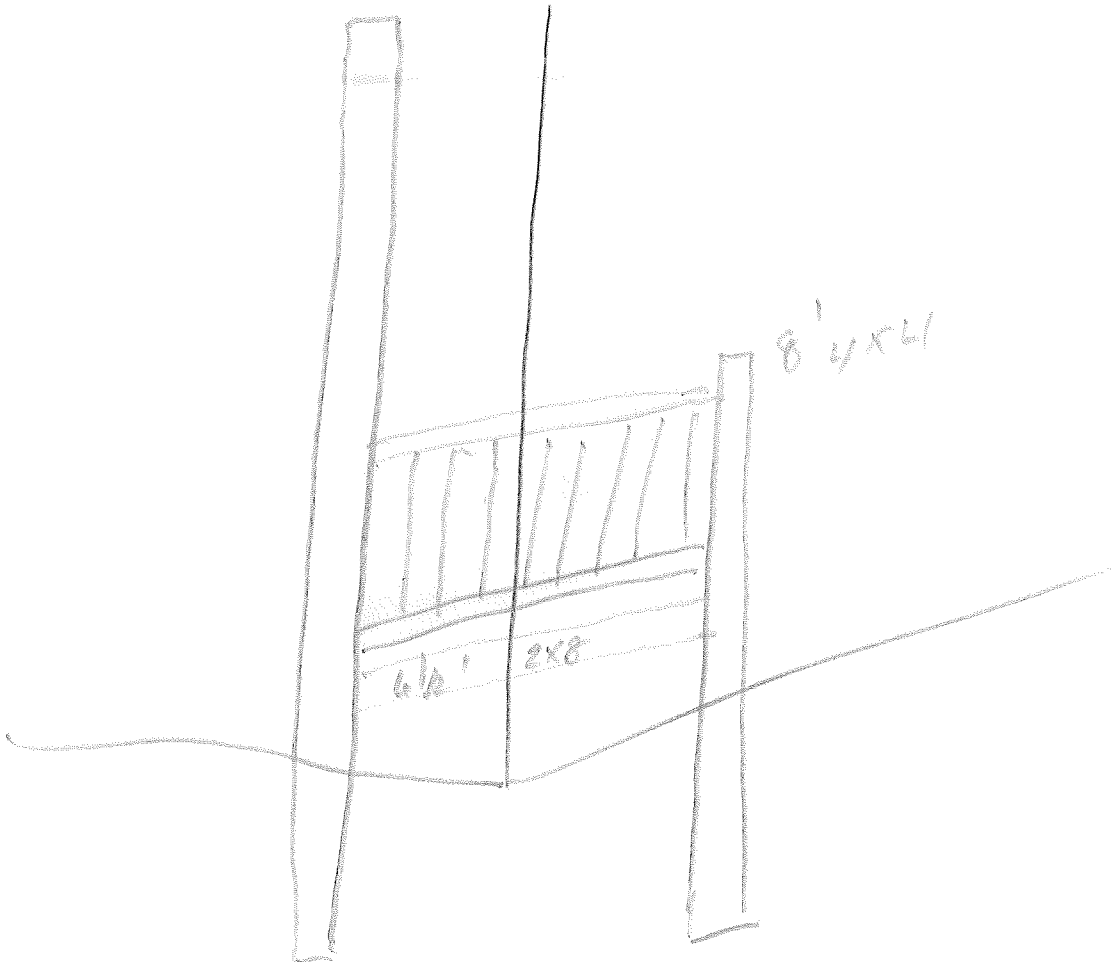
Railing to be 42" high
Balusters to be 4" apart
(No opening more than 4")

Corner View

1 1/2
16' 4" x 4"

8' 4" x 4"

6' 0" 2x8



____ COMMERCIAL PROPERTY ____
MAINTENANCE ASSOCIATES, INC.

P.O. BOX 11302 • PORTLAND, MAINE 04104
(207) 775-2828

Inspection Services
City of Portland
Portland, Maine

I have been asked by the owners of 219-221 Eastmouth Street to take out a building permit to replace the deteriorating rear porch with open decking made of pressure treated lumber.

The application is attached

Scott Evans
President

From: Gail Seiler[SMTP:seiler@smtpgw.kfshrc.edu.sa]
Sent: Wednesday, May 27, 1998 7:18 AM
To: nevens@delorme.com
Subject: July visit with Lester

Just a quick note to let you know that we'll be in USA from about July 14th. Naturally we want to see you and as usual review the work and houses as well.

We have decided to actually replace the back balcony on the new house(Dartmouth Street) this summer. Richard and my brother will do the work. They plan to carry out the construction between July 20th and 24th.

Would you be willing to procure the appropriate building permit for this? Let me know what other information you'll need here. Let the occupants know too of course, I'm assuming they'll see this as a positive addition to the apartments, and the inconvenience should be brief.

I would like to see the inside of the Rackleff Street house in detail... I believe this is # 25(??) The idea is still that we will move into that apartment summer of 1999. We can talk in detail in person, but I would tentatively like to look at room sizes, window sizes and that sort of thing.

How are things going in general? If no news is good news, then our tenants are happy.. I'm sure they are!

Look forward to our meeting and seeing you even if briefly. Our vacation extends until August 14th, but we will likely be flying down to Virginia for six days in early August. This will take a sizeable chunk out of Maine.

I'm not sure if we'll be visiting the Clamfest or not, it's the 17th of July week, isn't it?

Look forward to hearing from you. I will be out of town from 27th May until 30th May.
Sincerely,
Gail