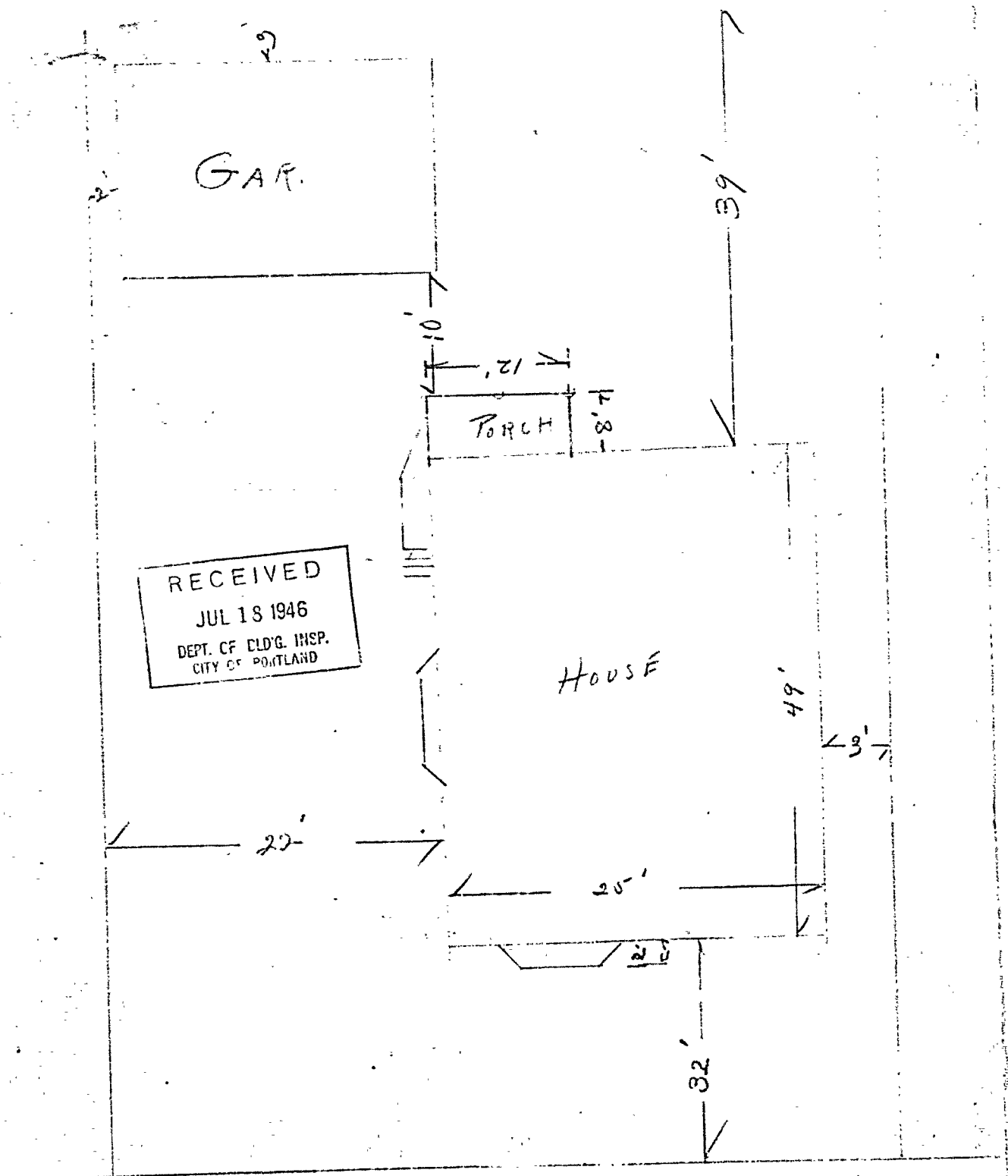


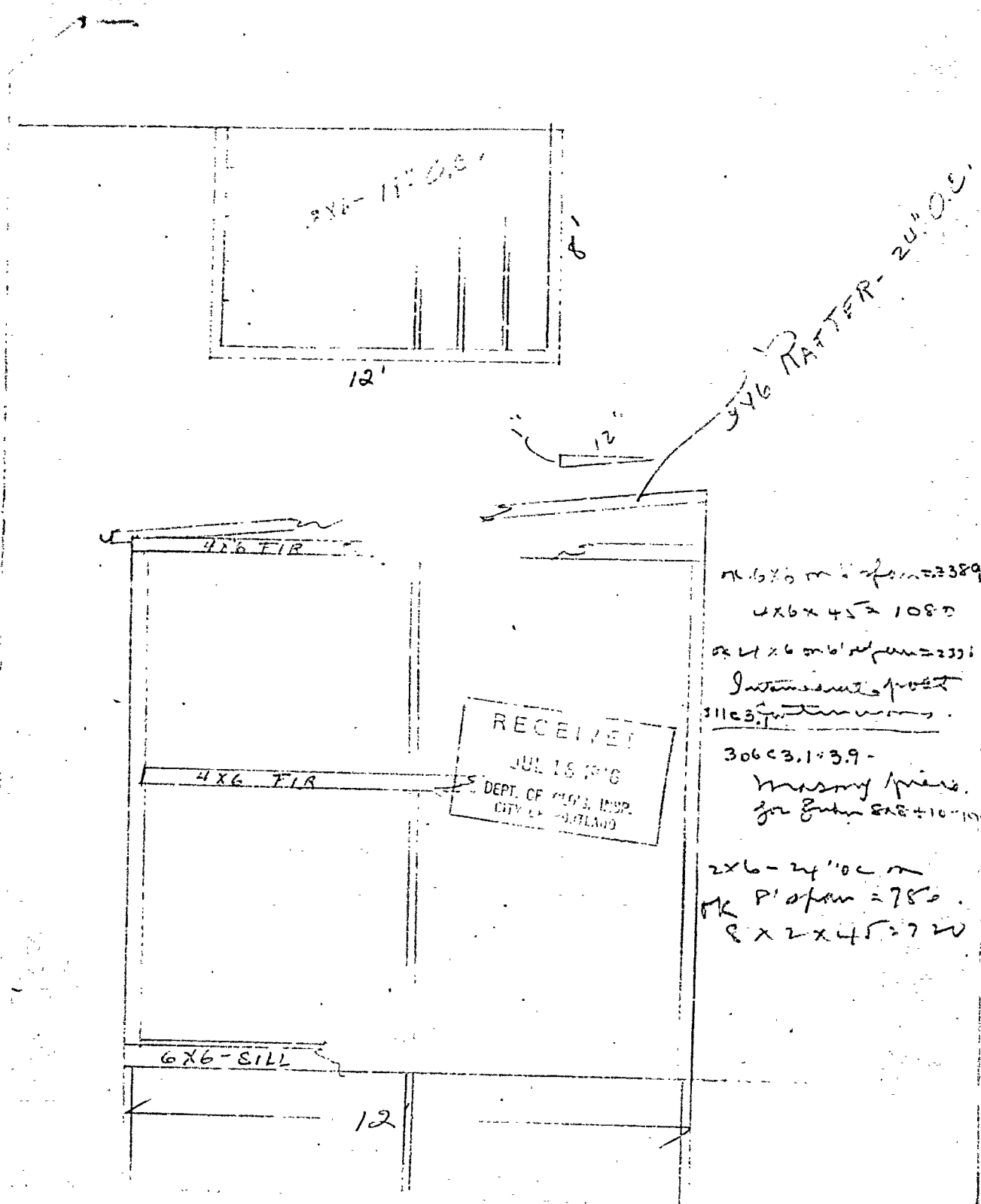
197-199 DARTMOUTH STREET

Full cut # 920R - Half cut # 1202R - Third cut # 920SR - Fifth cut # 920CR



197 DARTMOUTH ST.

CHAS. MORTON



RECEIVED
JUL 18 1916
DEPT. OF CIVIL ENG.
CITY OF OAKLAND

4x6x6 m. of 2x6 = 3389
4x6x4x2 = 1080
2x4x6 on 6' of 2x6 = 2331
Intensified post
31163.7
30663.1+3.9-
Masonry piece
for 2x6x8x10-10
2x6-24'0.5" m
PK P' of 2x6 = 780
8x2x4x5 = 720

AP 137 Dartmouth Street-I

July 26, 1948

Mr. H. L. McKenney
60 Brasley Street
Mr. Charles Norton
137 Dartmouth Street

Subject: Building permit for demolition
of existing two-story porch and con-
struction of somewhat larger two-story
porch in its place at 137 Dartmouth St.

Gentlemen:

To expedite the work the building permit for the above is issued without sufficient information to show compliance with Building Code requirements therefor, subject to the following provisions; and on the basis that should any questions arise as to compliance with these details called to your attention below, you will refrain from starting the work and take the matter up with this office:

1. In accordance with Section 308c3.1 and 3.2 of the Building Code, the foundations of this two-story piazza must be of masonry, piers to be no less than 8 inches by 8 inches at the finished grade of the ground and no less than 10 inches by 10 inches at the bottom of the pier, each pier to extend at least four feet below the finished grade of the ground and at least six inches above; wooden posts to be anchored to piers by means of metal dowels cast or built into the masonry pier and set up into the wooden member above--this instead of the doubled pipe arrangement indicated on application which is only allowable if a building or structure does not exceed one and one-half stories in height.

2. I take it that the intermediate post as well as the corner posts are to be at least 4x8 solid timber in cross-section and that the intermediate post is to be continuous from sill to underside of roof plate--this being required. No doubt 6x6 sills are to be used across the ends of the piazza under first floor level as well as across the front and 4x8 outline beams to be used across the ends at second floor level as well as at the front. Apparently the beams are to be supported upon the corner and intermediate posts by letting the beams into the posts. We have had some difficulty in the past through letting in beams into more than one side of 4x6 posts as the post is weakened thereby, leaving little of the cross-section, this being especially true with dressed lumber. Increasingly 6x6 posts have been used although only 4x6 is required, wherever the popular method of letting the beams into the post has been followed. If either corner post or intermediate post cannot be procured long enough to make them continuous from sill to underside of roof plate, lap splices no less than eight inches long are allowable and should occur just above the second floor level.

Very truly yours,

Inspector of Buildings

WLCB/L

BS
ATH
VSS
RMT
PH
AJS
HL
DJ



(RC) RESIDENCE ZONE - C

APPLICATION FOR PERMIT

Class of Building or Type of Structure third

Portland, Maine, July 18, 1946

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect alter repair demolish install the following building structure equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 197 Dartmouth St. Within Fire Limits? no Dist. No. _____
Owner's name and address Charles Morton 197 Dartmouth St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address H.D. Mc Kenney 60 Bradley St. Telephone 3-3309
Architect _____ Specifications _____ Plans _____ No. of sheets _____
Proposed use of building Dwelling No. families 2
Last use Dwelling No. families 2
Material frame No. stories 2 1/2 Heat steam Style of roof pitch Roofing _____
Other buildings on same lot garage
Estimated cost \$ 300 Fee \$ 1.00

General Description of New Work

two story

Two

To demolish rear/porch 6'x12' and rebuild 8'x12' ~~2nd~~ story with roof.
4x6 plate for roof 6' max. span.

Permit issued with Letter

NOTIFICATION BEFORE LATHING
OR CLOSING-IN IS WAIVED

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? no
Height average grade to top of plate 20' Height average grade to highest point of roof 20' 8"
Size, front 12 depth 8 No. stories 2 solid or filled solid earth or rock? earth
Material of foundation set on flat stone of thickness, top bottom cellar no
Material of underpinning concrete footing Height _____ Thickness _____
Kind of roof flat Rise per foot 1" Roof covering asphalt roofing Class C under Lab.
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind hemlock and fir frame Dressed or full size? Full size hemlock
Corner posts 4x6 Sills 6x6 Girt or ledger board? _____ Size _____
Girders 4x6 one length Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2x6, 2nd 2x6, 3rd _____, roof 2x6
On center: 1st floor 16", 2nd 16", 3rd _____, roof 24"
Maximum span: 1st floor 8', 2nd 8', 3rd _____, roof 8'
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars no accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes H.D. Mc Kenney

INSPECTION COPY

Signature of owner Charles Morton

H.D. Mc Kenney

Permit No. 46/1371

Location 197 Dartmouth St

Owner Charles Norton

Date of permit 7/26/46

Notif. closing-in

Inspn. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued 11/1/46

NOTES

2/27/46 - Work will
along
11/22/46 - Permits
issued



Location, ownership, and detail must be correct, complete and legible. Separate application required for every building.

APPLICATION FOR PERMIT TO BUILD A PRIVATE GARAGE

Portland, Me., April 21, 1923 19

To THE

INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following Specifications:-

Location 127 Dartmouth Street Fire Dist. 4 no Ward 8
Name of owner is? Thomas G Moran Address 127 Dartmouth Street
Name of mechanic is? James Shortill Address 18 Madison Street
Proposes occupancy of building (purpose)? Private garage for two
cars only, and no space to be let.
Not nearer than two feet from any lot line, will not obstruct windows of adjoining property.
A Pyrene fire extinguisher to be kept in garage.
Size of building. No. of feet front? 18ft; No. of feet rear? 16ft; No. of feet deep? 23ft
No. of stories? 1
No. of feet in height from the mean grade of street to the highest part of the roof? 12ft
Floor to be? wood
Will the roof be flat, pitch, mansard, or hip? pitch Material of roofing? asphalt
Will there be a chimney? no Will the flues be lined? no No stoves to be used.
Will the building conform to the requirements of the law? yes
Will the building be as good in appearance as other surrounding buildings? yes
Have you or any person acting for you previously applied for a permit to build a private garage? no
If so, state the particulars _____

Estimated Cost,

\$ 400.

Signature of owner or authorized representative,

Thomas G. Moran
Address, 127 Dartmouth

127 Dartmouth St.
197-9
No. 6052

APPLICATION FOR
PRIVATE GARAGE

LOCATION

No. 127 Dartmouth
197-99
Ward 8

PERMIT GRANTED

April 21, 1927 102



City of Portland.

OFFICE OF INSPECTOR OF BUILDINGS

OFFICE HOURS
10 TO 12 M.
4 TO 5 P. M.

.....9-12-12.....191

To the Inspector of Buildings of the City of Portland:

197-199 The undersigned respectfully makes application for a permit to erect enlarge a building on.....
Dartmouth street, at number 125 to be.....
Two stories high. Forty-one feet long. Twenty-five
feet wide; also an addition to be..... stories high,
feet long..... feet wide, and to be used as a Dwelling.....
CELLAR WALL—To be constructed of Stone to be 20 inches wide on bottom and
batter to 20 inches on top.
UNDERPINNING—To be Brick Height of underpinning from top of cellar wall to bottom of
sill 3 ft. 6 inches to be 8 inches in thickness.
EXTERIOR WALLS—To be constructed Wood If of Brick, Stone, etc. Total length of wall
..... ft. inches. Thickness of 1st..... 2d..... 3d..... 4th.....
5th..... 6th..... story walls. If of reinforced concrete state mix and reinforcing system
to be used.
If wood construction, sills to be 8-8" Girders 6-7"
Posts 4-6 Girts 2-4 Studs 2-4 to be spaced 16 in. on C
This building will be used for the purposes of Dwelling (If for apartments,
tenements, or other family uses state number of families accommodated and number on each floor.
If for manufacturing or mercantile purposes state character of business and amount of estimated
weight to be carried by the floor.)
Number of families on floor. One
Total number of families. Two
Manufacturing (state character).....
Estimated load on floors per sq. ft. 60 lbs
Mercantile business (state character and load per sq. ft.).....

If building is used for tenement house or family use and more than one family, the following provis-
ions of the Building Laws regarding dividing partitions shall be adhered to (Quote Law re. this).

FIRESTOPS—All bearing and center partitions will have firestops cut in tight on top of each partition cap
and between each set of floor timbers. Where ledger boards are used there shall be firestops cut in
tight against bottom of ledger boards, of same size as wall studs. Also wherever the Inspector of
Buildings may consider necessary.

STAIRWAYS—No. in building Two location F. R. to be enclosed
with..... walls to be lathed with..... lathing.

ROOF—To be constructed of Wood 2-6" inches to be spaced 24
..... inches on centers. Roof to be covered with Shingles

Gutters to be made of Wood Cornices to be made of Wood

Bay windows to be made of Two to be covered with

Dormer Windows to be made of to be covered

Chimneys, Smoke flues to be lined with Blue Lining and provided with a 10 inch outside collar and an
inside collar to go to the inside of the flue.

Estimated Cost of Building 4000

INSPECTION—The Inspector of Buildings is to be notified when building is ready for lathing and at least
24 hours before the lathing is begun. 46 Morning St.

The Builder is..... Address.....

The Architect is..... Address.....

The Owner is..... Address.....

No Deviation will be made from the above application without written permission from the Inspector of
Buildings.

The above petition was granted the..... day of..... 191

Floor timbers to be 2-8 in. to be spaced 16 in. on centers

(Applicant to sign here)

M. J. Lunn

~~175~~
125 Dartmouth St.
197-111

PERMIT NO. 3729.....
DATE OF ISSUE 9-13-12
LOCATION
Dartmouth St.

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

077

JAN 27 1987

ZONING LOCATION

PORTLAND, MAINE Jan. 26, 1987

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 197 Dartmouth St. - 1st floor

1. Owner's name and address Hyman Erlick - same Fire District #1 ☐ #2 ☐
2. Lessee's name and address Telephone 774-7096
3. Contractor's name and address Telephone

Proposed use of building recruiter for pulp and paper industry No. of sheets

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$

FIELD INSPECTOR—Mr.

@ 775-5451

Appeal Fees \$

Base Fee 25.00

Late Fee

TOTAL \$

change of use from single family dwelling to single family dwelling with home occupation & recruiter for pulp and paper industry no alterations or structural changes

Stamp of Special Conditions

Send permit to Edward Levine - C/O Serious Business P.O. Box 77 Cumb

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? no
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

ZONING:

BUILDING CODE:

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street?

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant Edward Levine for Hyman Erlick Phone # same

Type Name of above Edward Levine for Hyman Erlick 1 ☐ 2 ☐ 3 ☐ 4 ☐

Other Erlick and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date August 20, 1993, 19
Receipt and Permit number 2873

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 197 Dartmouth St

OWNER'S NAME: John Woodhead

ADDRESS: _____

FEES

CUTLETS:

Receptacles _____ Switches _____ Plugmold _____ ft. TOTAL _____

FIXTURES: (number of)

Incandescent _____ Fluorescent _____ (not strip) TOTAL _____

Strip Fluorescent _____ ft. _____

SERVICES: existing service upgrading from fuses to circuit breakers

Overhead X Underground _____ Temporary _____ TOTAL amperes 200 ..

15.00

METERS: (number of) _____

MOTORS: (number of)

Fractional _____

1 HP or over _____

RESIDENTIAL HEATING:

Oil or Gas (number of units) _____

Electric (number of rooms) _____

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler) _____

Oil or Gas (by separate units) _____

Electric Under 20 kws _____ Over 20 kws _____

APPLIANCES: (number of)

Ranges _____

Cook Tops _____

Wall Ovens _____

Dryers _____

Fans _____

Water Heaters _____

Disposals _____

Dishwashers _____

Compactors _____

Others (denote) _____

TOTAL _____

MISCELLANEOUS: (number of)

Branch Panels _____

Transformers _____

Air Conditioners Central Unit _____

Separate Units (windows) _____

Signs 20 sq. ft. and under _____

Over 20 sq. ft. _____

Swimming Pools Above Ground _____

In Ground _____

Fire/Burglar Alarms Residential _____

Commercial _____

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under _____

over 30 amps _____

Circus, Fairs, etc. _____

Alterations to wires _____

Repairs after fire _____

Emergency Lights, battery _____

Emergency Generators _____

INSTALLATION FEE DUE: _____

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT ... DOUBLE FEE DUE: _____

FOR REMOVAL OF A "STOP ORDER" (304-16.b) _____

TOTAL AMOUNT DUE: _____

15.00

INSPECTION:

Will be ready on _____, 19____; or Will Call X

CONTRACTOR'S NAME: Woodhead Electric

ADDRESS: 63 Forest Ave Auburn

TEL.: 782-0149

MASTER LICENSE NO.: 2873

LIMITED LICENSE NO.: _____

SIGNATURE OF CONTRACTOR: John A. Woodhead

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

Sten
874-8300
x 8700
7-9
11-1

Permit Number 2873Permit Number 2873

Location 197 Dartmouth

Owner John Boerhman

Date of Permit 8-20-93

Final Inspection 7-25-93

By Inspector John P. [Signature]

Permit Application Register Page No. Completion

INSPECTIONS: Service 9-21-93 by 813

Service called in 11:05 AM

Closing-in _____ by _____

PROGRESS INSPECTIONS: _____/_____/_____

[illegible]

DATE:

REMARKS:

[illegible]

