

City of Portland, Maine - Building or Use Permit Application

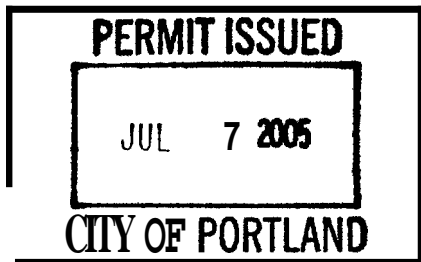
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0907	Issue Date: 07/07/2005	CBL: 081 F020001
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Location of Construction: 42 Kenwood St	Owner Name: Joseph Bowden	Owner Address: 42 Kenwood St	Phone: 871-9890
Business Name:	Contractor Name: American Dreamscape	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3
Past Use: Single Family	Proposed Use: Single Family w/14' x 24'1 deck w/ 10' x 11' sunroom	Permit Fee: \$273.00	Cost of Work: \$27,600.00
Proposed Project Description:		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRL-3003 JMB 7/7/05
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature _____ Date _____	

Permit Taken By: jmb	Date Applied For: 0710712005	Zoning Approval	
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Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 7/7/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Permit No: 05-0907	Date Applied For: 07/07/2005	CBL: 081 F020001
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Business Name:	Contractor Name: American Dreamscape	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family w/14' x 24'1 deck w/ 10' x 11' sunroom	Proposed Project Description: Build a 14' x 24' deck w/ 10' x 11' sunroom
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 07/07/2005
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 07/07/2005
Note: **Ok to Issue:**

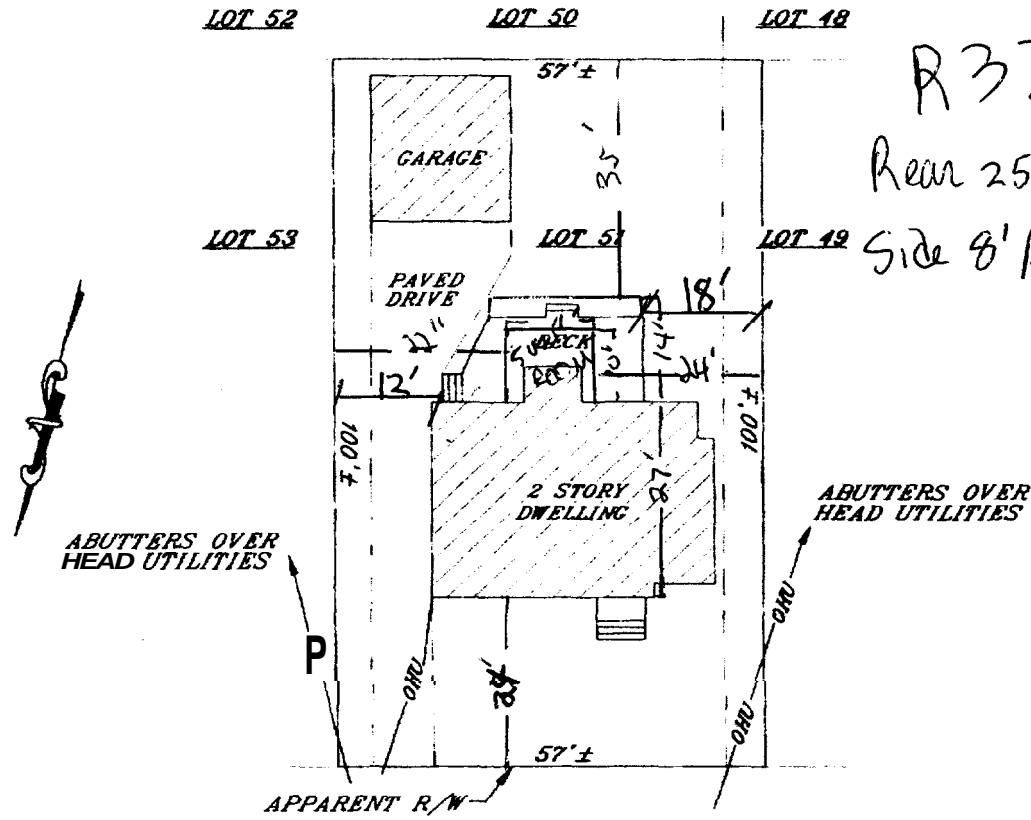
- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.

FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS; AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP. (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS. (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND IS NOT TO BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

THIS SKETCH IS NOT TO BE USED FOR CONSTRUCTION PURPOSES

ADDRESS: 42 KENWOOD STREET INSPECTION DATE: MARCH 25, 2005
PORTLAND, MAINE SCALE: 1" = 20'



R3 Zone
Rear 25' Req 35' shown
Side 8' Req 12' & 18' shown

TO BRIGHTON AVENUE **KENWOOD STREET** INSP. BY SBH
 SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY.

APPLICANT: JOSEPH BOWDEN REQ. PARTY: ATLANTIC TITLE COMPANY
 OWNER: JOSEPH A. BAUGHMAN & CAROL A. PAPZIAK ATTORNEY: _____
 LENDER: NE MOVES MORTGAGE CORPORATION FILE No. 20517413 FIELD BOOK: _____

TITLE REFERENCES:
 DEED BOOK: 18026 PAGE: 334 51 &
 PLAN BOOK: 15 PAGE: 13 LOT: P/O 49
 COUNTY: CUMBERLAND

YOUR FILE #: 1022855 (BOWDEN)

NADEAU & LODGE, INC.
 PROFESSIONAL LAND SURVEYORS
 910 BRIGHTON AVENUE 232 CLARES WOODS ROAD
 PORTLAND, ME 04102 LYMAN, ME 04002
 (207) 878-7870 (207) 480-2558

MUNICIPAL REFERENCE:
 MAP: 81 BLOCK: E LOT: 20

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 230051 PANEL: 0013B ZONE: C DATE: DECEMBER 8, 1998

THE DWELLING WAS ~~NOT~~ IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

[Signature]
 3-31-05

THIS INSPECTION IS VALID ONLY WITH AN EMBOSSED SEAL AND IS NULL & VOID 90 DAYS AFTER INSPECTION DATE.

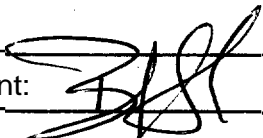
THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING

All Purpose Building Permit Application

if you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>42 Kenwood St</u>		
Total Square Footage of Proposed Structure <u>315 sq ft Sunroom</u>	Square Footage of Lot <u>5700 sq. ft.</u>	
Tax Assessor's Chart, Block & lot Chart# <u>SI</u> Block# <u>F</u> Lot# <u>20</u>	Owner: <u>Joseph Bowden</u>	Telephone: <u>871-9890</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>AMERICAN DREAMSPACE</u> <u>1725 MAIN ST, SANFORD</u>	cost Of Work: \$ <u>27,600</u> Fee: \$ <u>273</u>
<p>As a <u>single family home</u></p> <p>long has it been vacant: <u>N/A</u></p> <p><u>A patio enclosure, patio room 14' x 24' x 14'</u> <u>NO HEAT, NO ELEC, NO PLUMBING</u></p>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Chris Walker / Brian Sullivan</u>		
Mailing address: <u>1725 MAIN ST #9 SANFORD, ME 04073</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>324-6700</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

Signature of applicant: 	Date: <u>7-6-05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 061 F020001
 Location 42 KENWOOD ST
 Land Use SINGLE FAMILY

Owner Address ~~BAUGHMAN JOSEPH A & CAROL A PAPCIAK JTS
 42 KENWOOD ST
 PORTLAND ME 04102~~

Book/Page 18026/334
 Legal 81-F-20
 KENWOOD ST 40-42
 5700 SF

6/7 10 AM
Chris
10x11 Deck/Sunroom
R3 Zone
#907
\$273.

Current Valuation Information

Land	Building	Total
\$30,660	\$104,690	\$135,350

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$66,700	\$200,700	\$267,400	\$211,375

Property information

Year Built 1930	Style Colonial	Story Height 2	Sq. Ft. 1726	Total Acres 0.131
Bedrooms 4	Full Baths 2	Half Baths 1	Total Rooms 7	Attic Unfin
				Basement Full

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1930	Size 18X20	Grade C	Condition A
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Sales Information

Date	Type	Price	Book/Page
07/01/2002	LAND + BLDING	\$275,000	18026-334
04/01/1992	LAND + BLDING	\$124,500	10004-341
04/03/1969	LAND + BLDING	\$146,000	

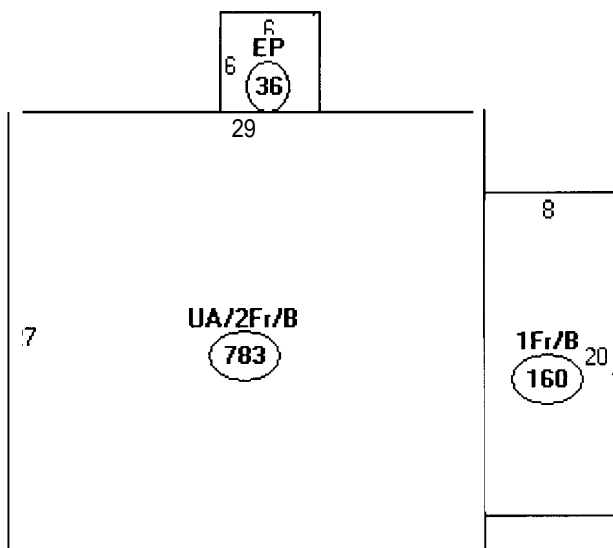
Picture and Sketch

Picture Sketch Tax Map

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[Click here](#) to view comparable sales or below to view by:



Descriptor/Area

- A: UA/2Fr/B
783 sqft
- B: EP
36 sqft
- C: 1Fr/B
160 sqft

979
 360

 1339 SF
 110 sunroom ~~110~~

 1449 SF
 1 - 36

 1413
 310 deck

 1723 SF

Lot 5700
 x 35%

 1995 SF



MAINE DESK
EDITORIAL OFFICE, JHPN
EDITORIAL OFFICE, CIN

FACSIMILE TRANSMITTAL SHEET

TO: Chris Walker c/o Jeanne Bourke	FROM: Susan Shropshire
COMPANY: American Dreamspace	DATE: 7/7/2005
FAX NUMBER: 874-8715 874-8716	TOTAL PAGES INCLUDING COVER: 6
PHONE NUMBER:	PHONE: 207-553-7750
RE: Warranty deed, 42 Kenwood St.	FAX: 207-553-7751

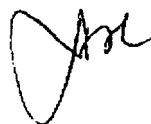
URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY PLEASE RECYCLE

NOTES/COMMENTS:

This document is for purposes of acquiring a Building Permit for work to be done at 42 Kenwood Street, Portland, ME.

If there are problems with this fax, please call 871-9890 (home) or 712-5322 (cell).

Thank you!



10A BEACH STREET, SUITE 2
PORTLAND, ME 04101
SUSAN@MEDESK.COM

Doc#: 22841 Bk:22521 Pg: 286

Exhibit A - Property Description

A CERTAIN LOT OR PARCEL OF LAND, WITH THE BUILDINGS THEREON, SITUATED IN PORTLAND, COUNTY OF CUMBERLAND AND STATE OF MAINE, AT "OAKWOOD HEIGHTS", SO CALLED, AND BEING ALL OF THE LOT NUMBERED FIFTY-ONE (51) AND A FIVE AND THREE TENTHS (5.3) FOOT STRIP FORM THE ENTIRE EASTERLY SIDE OF LOT NUMBERED FORTY-NINE (49) ALL AS SHOWN ON PLAN OF LAND OF THOMAS A. SANDERS RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 15, PAGE 13, SAID LOT BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHERLY LINE OF KENWOOD STREET WHICH POINT MARKS THE DIVIDING LINE BETWEEN THE LOTS NUMBERED FIFTY-ONE (51) AND FIFTY-THREE (53) AND AT LAND NOW OR FORMERLY OF ONE MERRITT; THENCE SOUTHERLY BY THE WESTERLY SIDE LINE OF LOT NUMBERED FIFTY-THREE (53) ONE HUNDRED (100) FEET TO A POINT; THENCE WESTERLY BY THE REAR LINE OF LOTS NUMBERED FIFTY (50) AND FORTY-EIGHT (48), AS SHOWN ON SAID PLAN, FIFTY-SEVEN (57) FEET TO A POINT; THENCE NORTHERLY AT RIGHT ANGLES TO THE LAST DESCRIBED COURSE ONE HUNDRED (100) FEET TO THE SIDE LINE OF SAID KENWOOD STREET; THENCE EASTERLY BY THE SOUTHERLY SIDE OF KENWOOD STREET FIFTY-SEVEN FEET TO THE POINT OF BEGINNING.

MEANING AND INTENDING TO CONVEY THE SAME PREMISES CONVEYED TO JOSEPH A. BAUGHMAN AND CAROL A. PAPCIAK BY VIRTUE OF A DEED FROM DAVID E. MACHESNEY AND NANCY E. MACHESNEY DATED AUGUST 30, 2002 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 18026, PAGE 334.

Received
Recorded Register of Deeds
Apr 13 2005 02:10:40P
Cumberland County
John B O'Brien

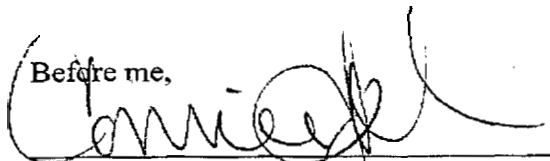
Doc#: 22841 Bk:22521 Pg: 285

STATE OF MAINE
COUNTY OF Cumberland

April 12 2005

Personally **appeared** the above-named Carol **A. Papciak** and **acknowledged** the foregoing **instrument to be her free act and deed.**

Before me,



Notary Public

My commission expires:



Printed Name

Connie Jo Minervino
Notary Public, Maine
My Commission Exp. 12/29/07

Doc#: 22841 Bk:22521 Pg: 284

WARRANTY DEED
(Maine Statutory Short Form)

Know all persons by these presents that We, **Joseph A. Baughman** of 12316 Greenwich Drive, Glen Allen, VA 23059 and **Carol A. Papciak** of 42 Kenwood Street, Portland, Maine 04101, for consideration paid, do hereby grant to **Joseph Bowden**, of Portland, Cumberland County and the State of Maine, whose mailing address is 96 Morning Street, #2, Portland, Maine 04101, with **WARRANTY COVENANTS**, the land together with any buildings thereon, in the City of Portland, County of Cumberland, and **State** of Maine, and being bounded and described as follows:

See attached Exhibit A – Property Description

WITNESS our hands and seals this 5th day of April, 2005.

Signed, sealed and delivered in the presence of

James M. Brown
Witness

[Signature]
Witness

Joseph A. Baughman
Joseph A. Baughman

Carol A. Papciak
Carol A. Papciak

MAINE REAL ESTATE TAX PAID

COMMONWEALTH OF VIRGINIA
COUNTY OF Henrico

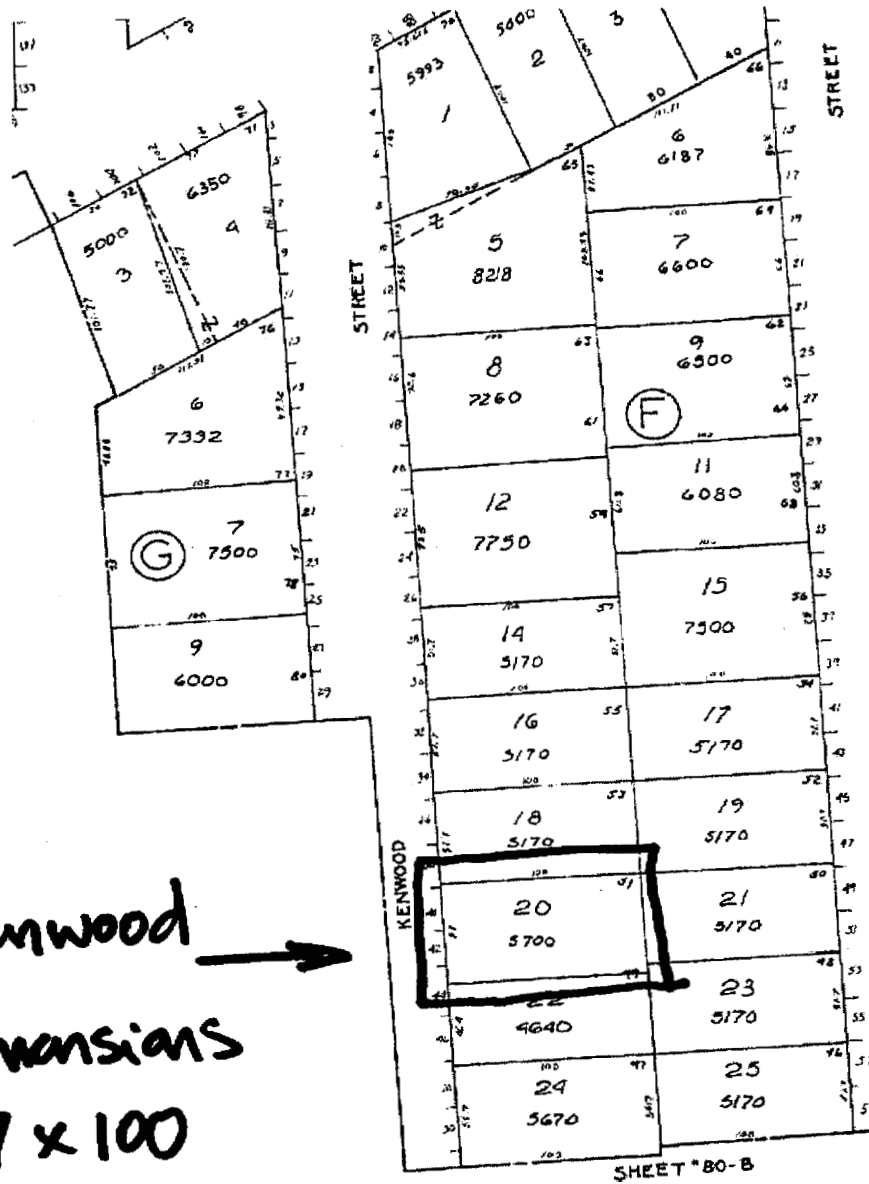
April 5th, 2005

Personally appeared the above-named **Joseph A. Baughman** and acknowledged the foregoing instrument to be his **free act and deed**.

Before me,
L. Renee Beasley
Notary Public

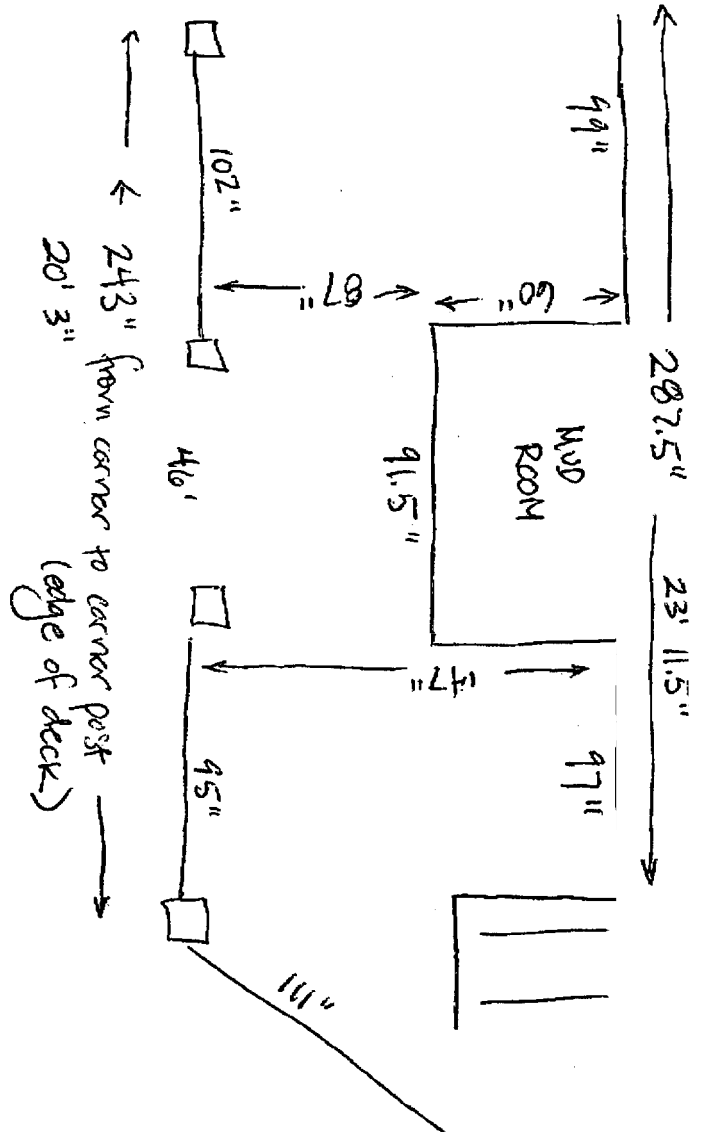
SEAL

My commission expires: L. Renee Beasley
~~My Commission Expires March 31, 2008~~ Printed Name



42 Kenwood
 Lot Dimensions
 57 x 100

Portland ME Tax Assessor's Website



DECK 42 KENWOOD STREET



Purveyors of the Finest Quality Sunrooms • Porch & Patio Enclosures
Custom Blinds & Shades • Wood & Vinyl Decks • Docks
1725 Main Street Suite 9
Sanford, Maine 04073
(207) 324-6700 • Toll Free (877) 5-4 PATIO 72846

HOME IMPROVEMENT CONTRACT

FAX (207) 324-6166
www.americandreamspace.com

"We make your dream room a reality"

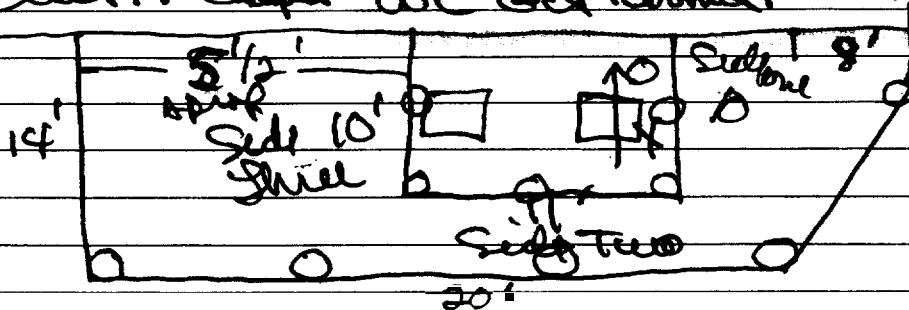
House in Joe's Name only
DATE: 6-28-2005

I, we hereby accept your proposal for labor and materials necessary to perform the following work on the premises of the Owner Joseph Borden located at 42 KENWOOD ST. in the City of PORTLAND state of _____ Zip 04102 Tele: 1-207-871-989

This contract shall be considered non-cancelable after legal cancellation period has expired.

THE WORK TO CONSIST OF:

ADT WILL TEAR OFF Mud Room & Remove Existing Deck And Hall away. ADT WILL BUILD A NEW DECK APPROX. 14' X 24' WITH A OBLIQUE PORTION ON SIDE ONE ALL IN PIT. Upriser, Railing, & STEPS AS OLD DECK WAS. ADT WILL HAVE MANUFACTURED AND INSTALLED A GABLE ROOM WITH GLASS GABLE FRONT, 6" ROOF, GLASS KNEE WALL, Sliding windows, all Double Pane GLASS, ARGON GAS, LOWE, ELEC Ready, three elect. POST. Work will be thermally broken. PORTION of Deck The 10 x 11 x 10 WHITE Gable Room Sets on will be insulated & have 3/4" C/O Ply for sub floor ADT NOT RESPONSIBLE FOR EXIST DEFECT IN HOUSE, Customer Responsible for Elect. + Craft We Got Permit, Aluminum Screening + 2 GRPS



411 glass wall units are insulated (double or triple glazed). Frames are thermally broken however, relative to heating and air conditioning, this product will not perform or meet the r-values (energy efficiency) as found in conventional wood framed construction.

JB
(Initials)

Seller agrees to furnish labor and materials at Buyer's request, and for the contract amount, to complete the work described above, subject to the terms and conditions which appear on both Page 1 & Page 2 and on the REVERSE sides of this contract.

Work to start approximately 8 weeks from the date of this contract and to be completed approximately 2 weeks after commencement if not delayed by building permit, delivery of materials, weather, strikes, fires, or other conditions beyond Seller's control. The completion date is not of the essence.

Buyer represents and warrants that legal title to the property, which is to be improved, is in the following owner(s):

1. John Borden 2. _____

NOTICES

If, Seller and/or all subcontractors, if any, who perform on this contract, and who are not paid, may have a claim against you which may be enforced against the property being improved in accordance with the applicable lien laws.

If a dispute arises concerning the provisions of said Contract or the performance of the parties, then the parties agree to settle the dispute by jointly paying for Binding arbitration as regulated by the Maine Uniform Arbitration Act, with the parties agreeing to accept as final the arbitrator's decision.

Contractor [Signature] Owner John Borden

NOTICE: The signatures of the parties above apply ONLY to the agreement of the parties to alternative dispute settlement initiated by the contractor. The owner may initiate alternative dispute resolution even where this section is not separately signed by the parties.

WHERE REQUIRED HOMEOWNER TO GET PERMIT. Source of Sale: Yellow Pages

Contract Price \$ 27600⁰⁰
Down Payment \$ 8280⁰⁰
When Room Ordered \$ 8280⁰⁰
~~When Room Arrives~~ \$ 8280⁰⁰
~~At Job Start~~ \$ 8280⁰⁰
Balance Due \$ 2760⁰⁰
Upon Installation

THE DOWN PAYMENT SHALL BE A NONREFUNDABLE DEPOSIT ONCE THE THREE DAY CANCELLATION PERIOD HAS EXPIRED. THIS CONTRACT CONSTITUTES THE ENTIRE UNDERSTANDING OF THE PARTIES.

You may cancel this agreement if it has been signed by a party thereto at a place other than an address of the seller, which may be his main office or branch thereof, provided you notify the seller in writing at his main office or branch by ordinary mail posted, by telegram sent or by delivery, not later than midnight of the third business day following the signing of this agreement. See the attached Notice of Cancellation for an explanation of this right.

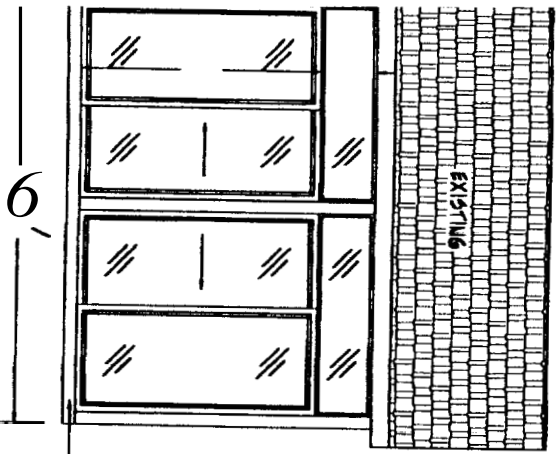
Customer acknowledges receipt of a copy of this contract, product warranty and duplicate notices of cancellation. DO NOT SIGN THIS CONTRACT IF THERE ARE ANY BLANK SPACES

Date Down Payment Received: 6/28/05
By: [Signature]
(Signature Representative)

[Signature]
(Customer Signature)

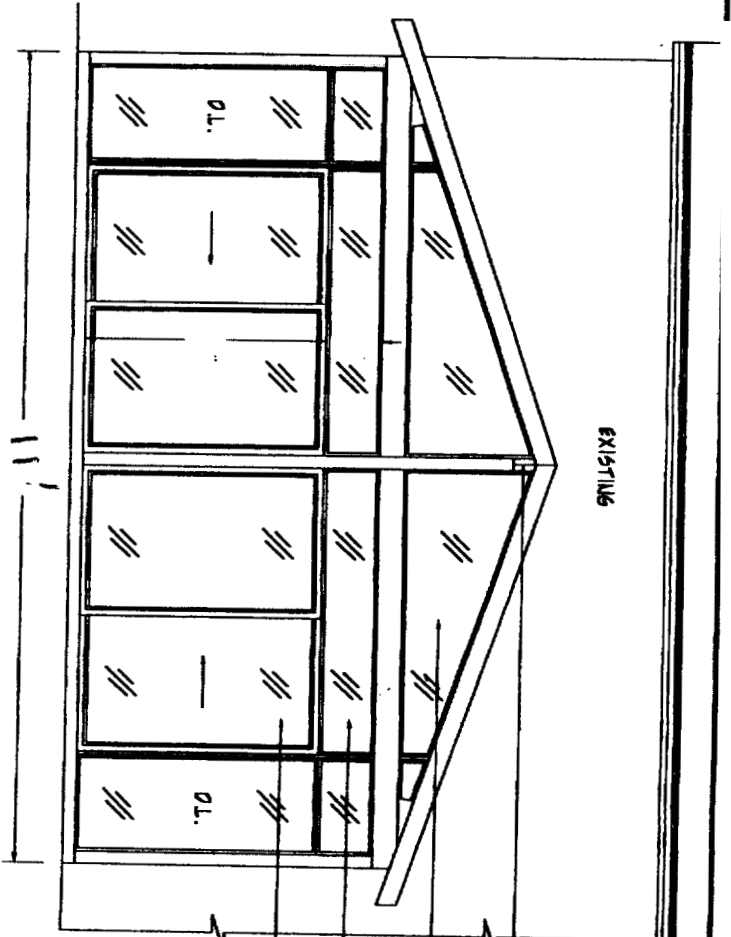
Subject to the terms and conditions which appear on the REVERSE side of this contract.

AMERICAN DREAMSPACE INC.
 Patio Enclosures
 1725 Main St. Unit #9
 Sanford Maine 04073
 207-324-6700
 877-54-PATIO
 (72846)
 www.americandreamspace.com



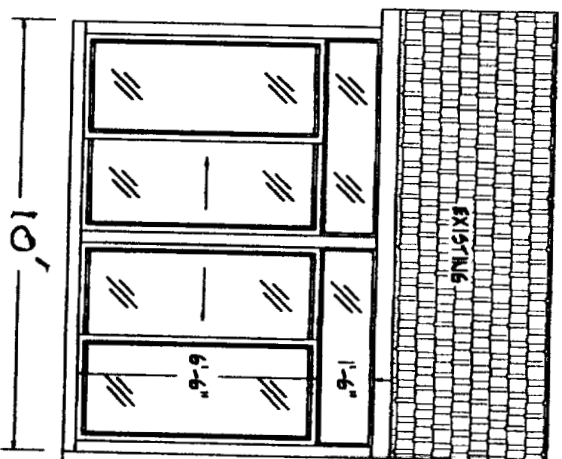
A-WALL ELEVATION

NO Elect.
 NO Plumbing
 NO Heat



B-WALL ELEVATION

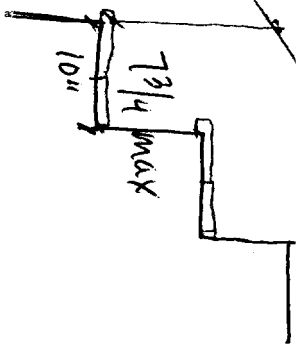
EXISTING
 RIGID BEAM
 GLASS
 WIND UNITS
 GLASS
 TRAPSON UNITS
 GLASS
 UNITS W/ SCREENS



C-WALL ELEVATION

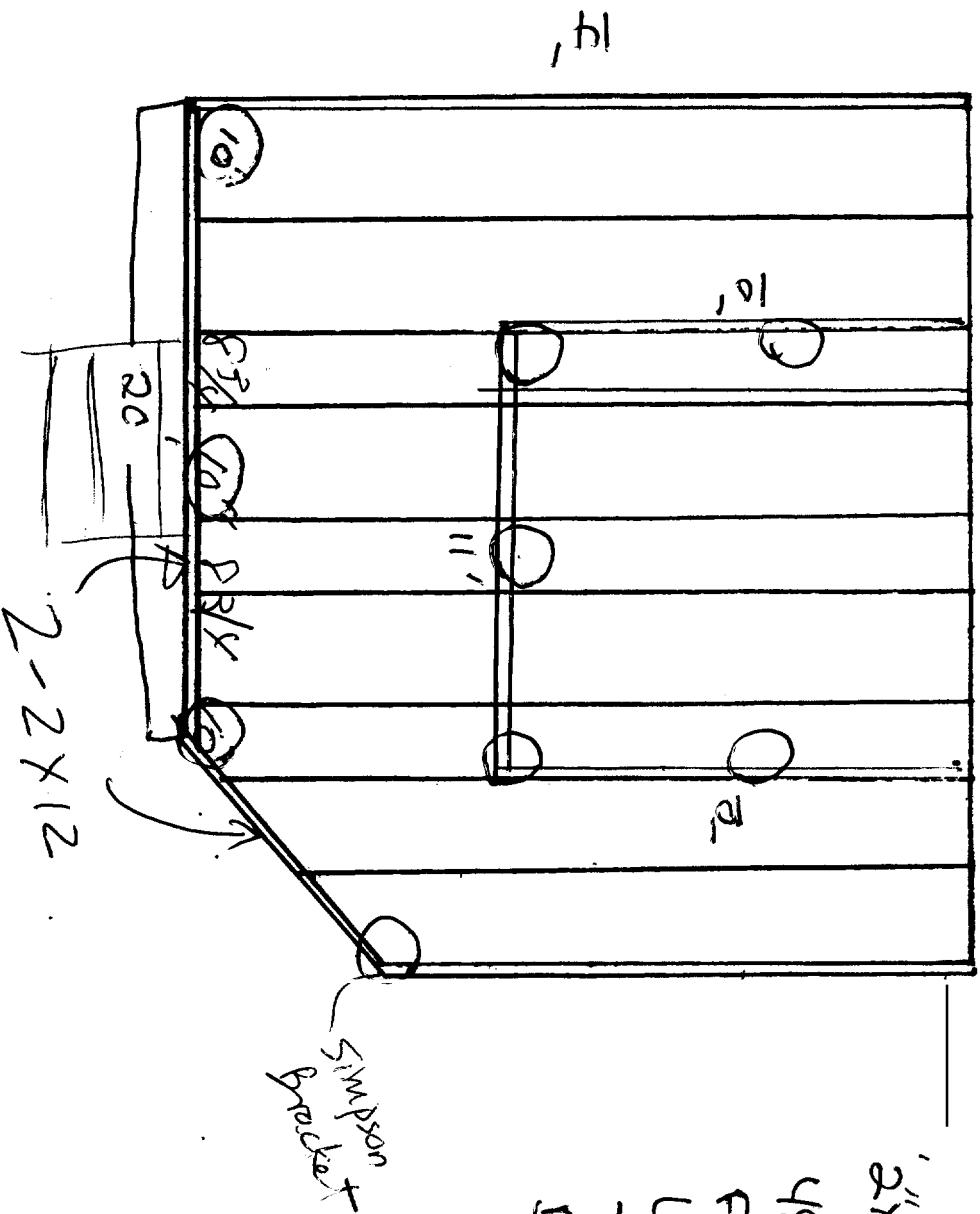
DRAWN		" Not "	BOUNER 42 Kenwood Portland ME
DATE	7/6/05		
SCALE	1/4" = 1'-0"	TR	JOB NO. 0092
		Scale	

If 4 Risers
 need graspable
 34"-38" handrail
 w/ returned
 ends



AMERICAN DREAMSPACE INC.
 Patio Enclosures
 1725 Main St. Unit #9
 Sanford Maine 04078
 207-324-6700
 877-54-PATIO
 (72846)
 www.americandreamspace.com

House



2"x12" PT Lumber 16" ON CENTER
 48" Deep Square Tubes 10" O.D.I.M.
 Filled with Concrete
 Labeled House
 Joist Hanger
 Make em Joists where room goes
 3/4" DP Ply for sub-Floor
 Hot dipped

BOULDER
 42 Kenwood St
 Portland, ME 051
 207-871-9890

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
JUL 7 2005
Permit Number: 050907
CITY OF PORTLAND

This is to certify that Joseph Bowden/American Dr ascape
has permission to Build a 14' x 24' deck w/ 10' x 10' posts
AT 42 Kenwood St 081 F020001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in progress must be reported before this building or part thereof is closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
DepartmentName

Janie Burke 7/7/05
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

AMERICAN DREAMSPACE INC

Patio Enclosures
1725 Main St. Unit #9
Sanford Maine 04073
207-324-6700
877-54-PATIO
(72846)

www.americandreamspace.com

ENGINEERING PACKAGE



DREAMSPACE[®] 3100

AMERICAN DREAMSPACE INC.

Patio Enclosures
1725 Main St. Unit #9
Sanford Maine 04073
207-324-6700
877-54-PATIO
(72846)

www.americandreamspace.com

REVISED
05-3100
ENCL
C/MS/RS

DREAMSPACE 3100
3.00" ENCLOSURE
SECTION DETAILS

DREAMSPACE[®]
PATIO ENCLOSURES
Make Your Dreams Come Alive!

THERMAL INDUSTRIES, INC.
3700 HANEY COURT • MURKYSVILLE • PENNSYLVANIA 15688
724-733-3880 FAX 724-327-8517

DONALD WEISEL, P.E.
AMERIC TECHNOLOGY CORP.
430 NORTH SIXTH STREET
PHILADELPHIA, PA 19106 215-626-0828





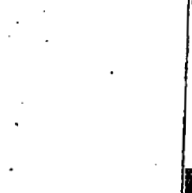
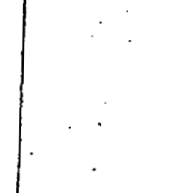




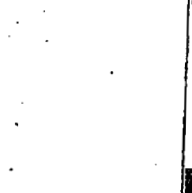
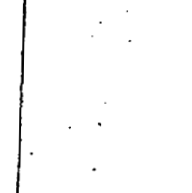



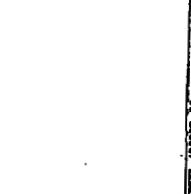
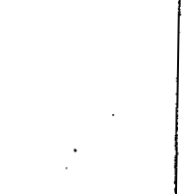
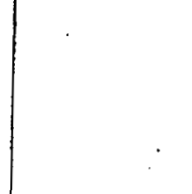


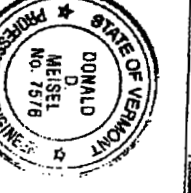

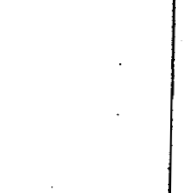
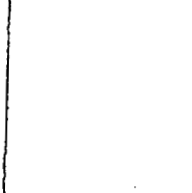


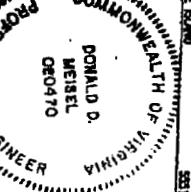
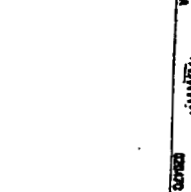
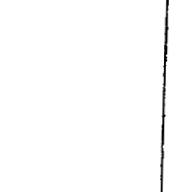


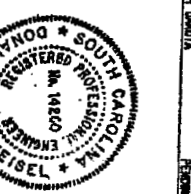

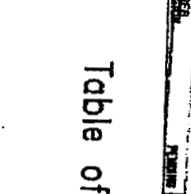
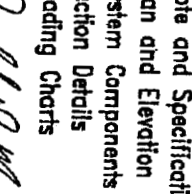
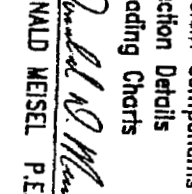

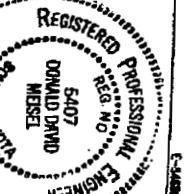
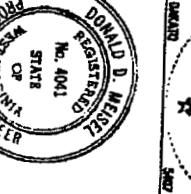
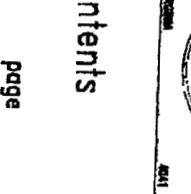
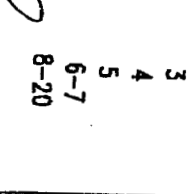
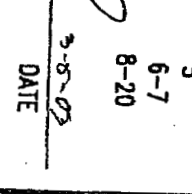
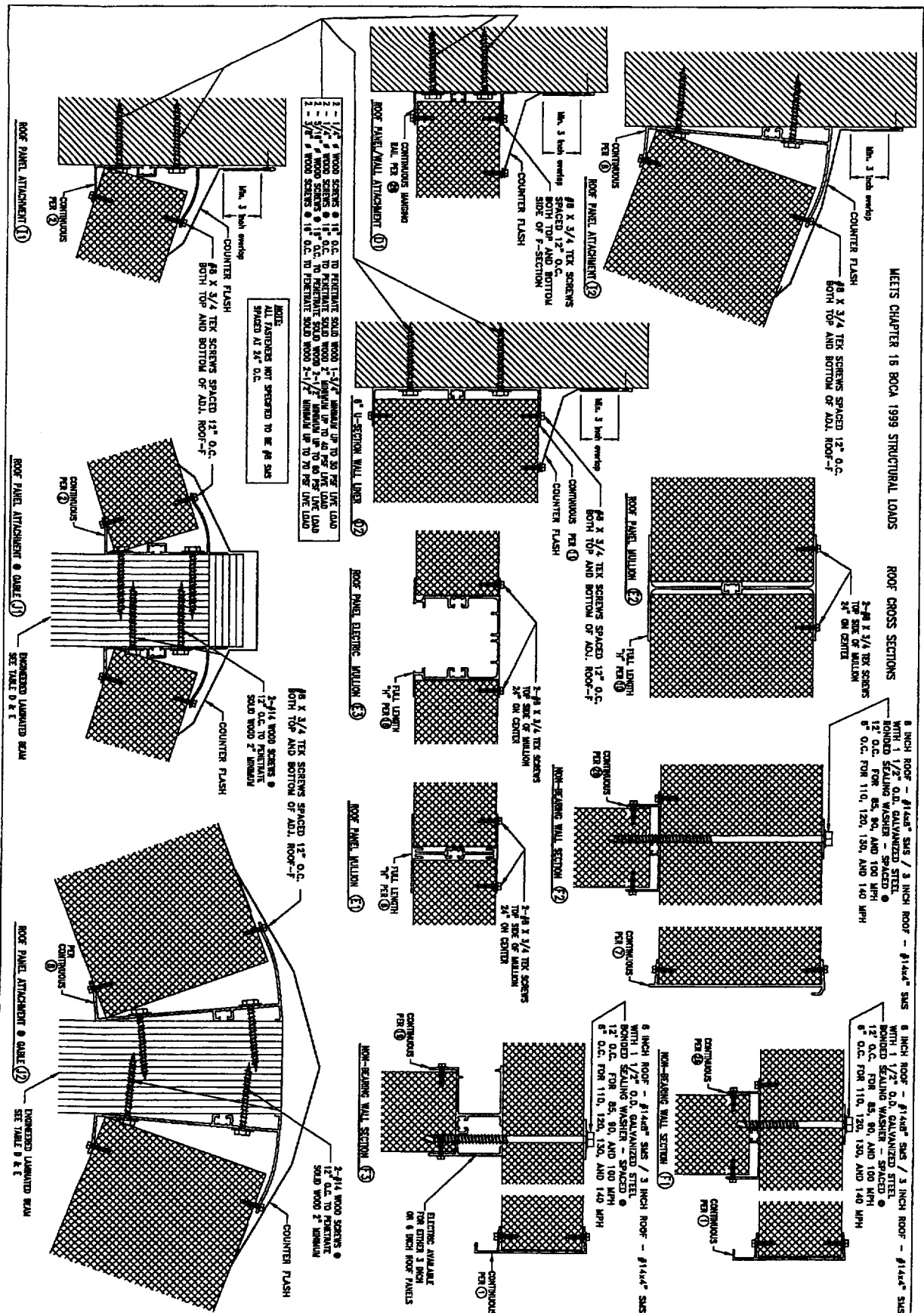
					
					
					
					
					
					
					

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Donald D. Meisel
 DONALD MEISEL P.E. DATE 3-5-03

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DREAMSPACE 3100
 3.00" ENCLOSURE
 SECTION DETAILS
 DATE: FEB. 2003
 DRAWN BY: J. B. BARNER
 CHECKED BY: J. B. BARNER
 SHEET 4
 7 OF 20

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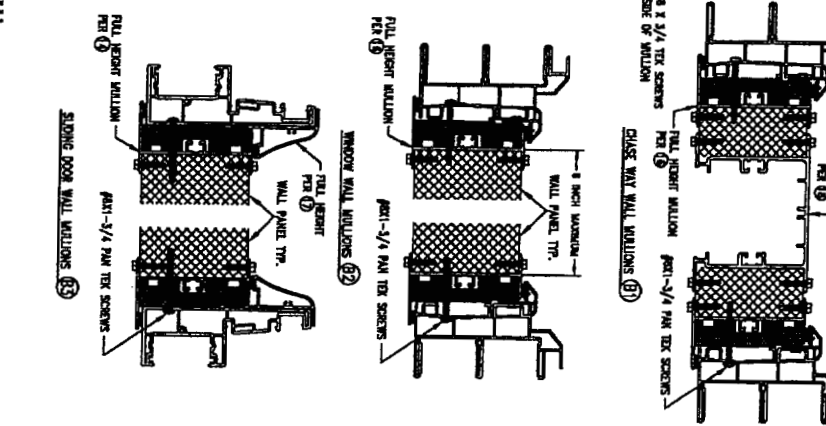
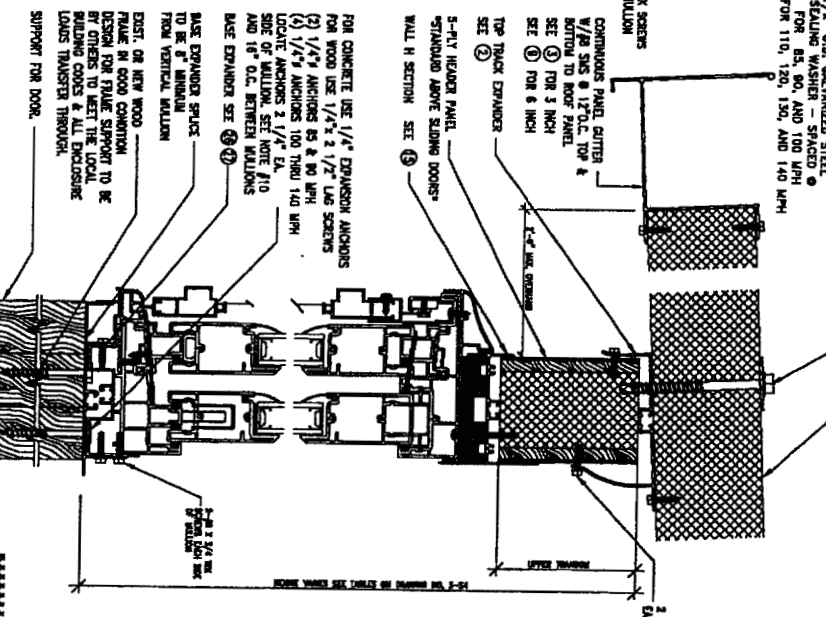
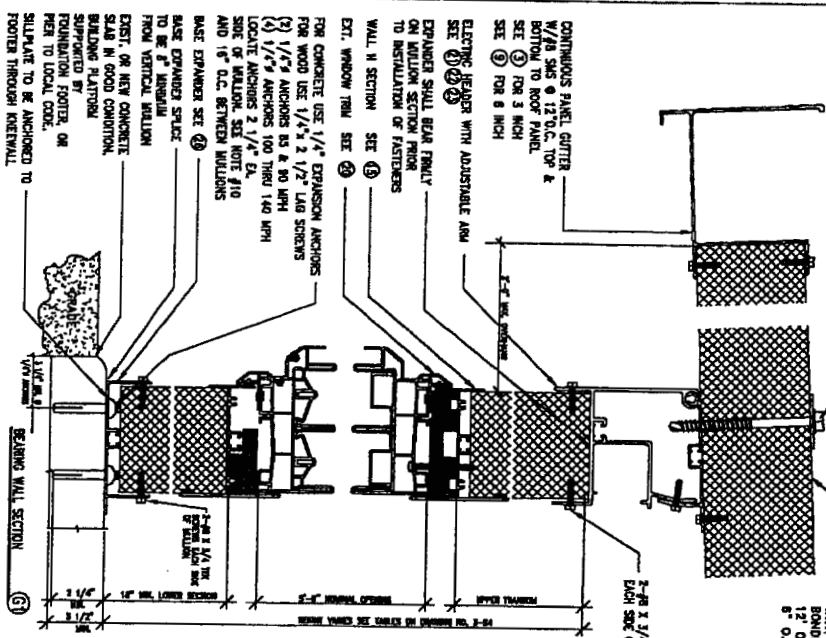
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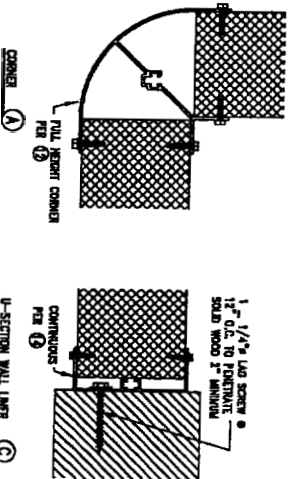
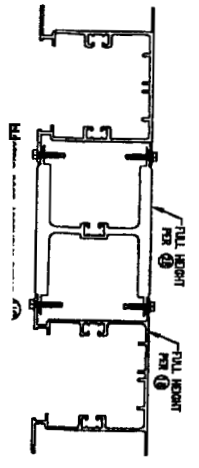
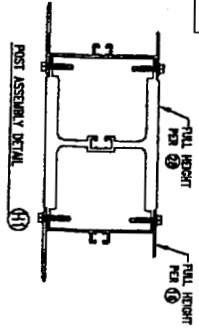
8 INCH ROOF - #14x4" SWS / 3 INCH ROOF - #14x4" SWS
 WITH 1 1/2" O.D. GALVANIZED STEEL
 ROUNDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

3 INCH AND 8 INCH ROOF PANELS AVAILABLE
 (3 INCH SHOWN)
 8 INCH ROOF - #14x4" SWS / 3 INCH ROOF - #14x4" SWS
 WITH 1 1/2" O.D. GALVANIZED STEEL
 ROUNDED SEALING WASHER - SPACED @
 12" O.C. FOR 85, 90, AND 100 MPH
 8" O.C. FOR 110, 120, 130, AND 140 MPH

MEETS CHAPTER 16 BOCA 1999 STRUCTURAL LOADS



NOTE:
 ALL FASTENERS NOT SHOWN TO BE #4 x 3/4 SWS
 SPACED AT 24" O.C.



DREAMSPACE 3100
 3.00" ENCLOSURE
 SECTION DETAILS

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SNOW & WIND LOADING CHARTS

LOAD BEARING WALL - SECTION G

TABLE "A-40S"

40 PSF SNOW LOAD

CHARTS ARE FOR
STANDARD HEADER

MAXIMUM MULLION SPACING	MAXIMUM MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
110 MPH WIND					
36" C/C	84"	19.6	19.0	18.6	17.7
	88"	19.6	19.0	18.6	17.7
	96"	19.6	19.0	18.6	17.7
	108"	19.6	19.0	18.6	17.7
48" C/C	84"	11.3	10.2	9.0	7.9
	88"	11.3	10.2	9.0	7.9
	96"	11.3	10.2	9.0	7.9
	108"	11.3	10.2	9.0	7.9
60" C/C	84"	11.3	10.2	9.0	7.9
	88"	11.3	10.2	9.0	7.9
	96"	11.3	10.2	9.0	7.9
	108"	11.3	10.2	9.0	7.9
72" C/C	84"	11.3	10.2	9.0	7.9
	88"	11.3	10.2	9.0	7.9
	96"	11.3	10.2	9.0	7.9
	108"	11.3	10.2	9.0	7.9

MAXIMUM MULLION SPACING	MAXIMUM MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
120 MPH WIND					
36" C/C	84"	19.6	18.8	17.7	16.8
	88"	19.6	18.8	17.7	16.8
	96"	19.6	18.8	17.7	16.8
	108"	19.6	18.8	17.7	16.8
48" C/C	84"	10.8	9.7	8.5	7.1
	88"	10.8	9.7	8.5	7.1
	96"	10.8	9.7	8.5	7.1
	108"	10.8	9.7	8.5	7.1
60" C/C	84"	10.8	9.7	8.5	7.1
	88"	10.8	9.7	8.5	7.1
	96"	10.8	9.7	8.5	7.1
	108"	10.8	9.7	8.5	7.1
72" C/C	84"	10.8	9.7	8.5	7.1
	88"	10.8	9.7	8.5	7.1
	96"	10.8	9.7	8.5	7.1
	108"	10.8	9.7	8.5	7.1

MAXIMUM MULLION SPACING	MAXIMUM MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
130 MPH WIND					
36" C/C	84"	16.5	15.5	14.4	13.2
	88"	16.5	15.5	14.4	13.2
	96"	16.5	15.5	14.4	13.2
	108"	16.5	15.5	14.4	13.2
48" C/C	84"	8.9	7.8	6.5	5.5
	88"	8.9	7.8	6.5	5.5
	96"	8.9	7.8	6.5	5.5
	108"	8.9	7.8	6.5	5.5
60" C/C	84"	8.9	7.8	6.5	5.5
	88"	8.9	7.8	6.5	5.5
	96"	8.9	7.8	6.5	5.5
	108"	8.9	7.8	6.5	5.5
72" C/C	84"	8.9	7.8	6.5	5.5
	88"	8.9	7.8	6.5	5.5
	96"	8.9	7.8	6.5	5.5
	108"	8.9	7.8	6.5	5.5

MAXIMUM MULLION SPACING	MAXIMUM MULLION HEIGHT	OVERHANG			
		0'-6"	1'-0"	1'-6"	2'-0"
140 MPH WIND					
36" C/C	84"	13.1	12.1	11.0	10.7
	88"	13.1	12.1	11.0	10.7
	96"	13.1	12.1	11.0	10.7
	108"	13.1	12.1	11.0	10.7
48" C/C	84"	7.4	6.3	5.1	4.4
	88"	7.4	6.3	5.1	4.4
	96"	7.4	6.3	5.1	4.4
	108"	7.4	6.3	5.1	4.4
60" C/C	84"	7.4	6.3	5.1	4.4
	88"	7.4	6.3	5.1	4.4
	96"	7.4	6.3	5.1	4.4
	108"	7.4	6.3	5.1	4.4
72" C/C	84"	7.4	6.3	5.1	4.4
	88"	7.4	6.3	5.1	4.4
	96"	7.4	6.3	5.1	4.4
	108"	7.4	6.3	5.1	4.4

<p>DREAMSPACE 3100 3.00" ENCLOSURE LOADING CHARTS</p>	 <p>DREAMSPACE PATIO ENCLOSURES <i>Made in the United States of America</i></p>	<p>THERMAL INDUSTRIES, INC. 3700 HANEY • MURRYSVILLE • PENNSYLVANIA 15668 PHONE 724-733-3880 FAX 724-327-9317</p>	<p>DONALD MEISEL, P.E. AMBRIC TECHNOLOGY CORP. 430 NORTH 80TH STREET PHILADELPHIA, PA 19123 215-826-8930</p>
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FILE NAME:
DS3100_A-40

Table "B":

NON-BEARING WALL MILLION SECTION - B	MAXIMUM MILLION HEIGHT	MAXIMUM MILLION WIDTH	120 MPH WIND LOAD		130 MPH WIND LOAD	
			MAXIMUM MILLION HEIGHT	MAXIMUM MILLION WIDTH	MAXIMUM MILLION HEIGHT	MAXIMUM MILLION WIDTH
85 MPH WIND LOAD	16.4	16.4	36	10.10	36	10.0
48	13.3	48	42	10.0	42	9.5
54	12.6	54	48	8.10	48	8.10
60	11.10	60	60	8.5	60	8.5
66	11.4	66	66	8.0	66	8.0
72	10.10	72	72	7.9	72	7.9
90 MPH WIND LOAD	14.6	14.6	36	10.0	36	10.0
42	13.5	42	42	9.3	42	9.3
48	12.7	48	48	8.8	48	8.8
54	11.10	54	54	8.2	54	8.2
60	11.3	60	60	7.9	60	7.9
66	10.8	66	66	7.5	66	7.5
72	10.3	72	72	7.1	72	7.1
100 MPH WIND LOAD	13.0	13.0	36	9.4	36	9.4
42	12.1	42	42	8.7	42	8.7
48	11.3	48	48	8.1	48	8.1
54	10.8	54	54	7.7	54	7.7
60	10.1	60	60	7.3	60	7.3
66	9.7	66	66	7.0	66	7.0
72	9.2	72	72	6.7	72	6.7
110 MPH WIND LOAD	11.10	11.10	36	9.4	36	9.4
42	10.11	42	42	8.7	42	8.7
48	10.3	48	48	8.1	48	8.1
54	9.8	54	54	7.7	54	7.7
60	9.2	60	60	7.3	60	7.3
66	8.9	66	66	7.0	66	7.0
72	8.4	72	72	6.7	72	6.7

REBURY MOHSI DESIGN AS THE MAXIMUM DISTANCE THAT ONE COLUMN WILL CARRY AIDS MEASURED WITHIN THE NON-LOAD BEARING WALL HORIZONTALLY FROM THE CENTER OF ONE MODULE TO CENTER OF THE ADJACENT MODULE NOT INCLUDING THE PANEL.

Table "C": ROOF PANEL SPAN TABLE - MAXIMUM ENCLOSURE PROTECTION

PANEL TYPE (3 INCH THICK)	DEAD LOAD (PSF)	DEFLECTION=1/20					DEFLECTION=1/80					DEFLECTION=1/240					
		20	30	40	50	60	20	30	40	50	60	20	30	40	50	60	70
3-PLY	1.1	15.2	12.6	10.11	9.10	8.5	12.8	10.9	9.7	8.70	8.2	7.7	7.11	6.7	6.4	6.11	
4-PLY	2.5	16.1	13.8	12.3	11.2	10.5	13.7	11.7	10.4	9.6	8.10	7.8	7.4	7.0	6.7	6.4	
4-PLY SKYLIGHT	2.5	14.9	12.2	10.7	9.6	8.8	12.5	10.6	9.3	8.5	7.10	6.7	6.4	6.1	5.8	5.5	
5-PLY	4.1	17.4	14.11	13.4	12.3	11.5	14.9	12.8	11.4	10.5	9.9	9.2	8.8	8.5	8.2	7.9	
5-PLY SKYLIGHT	4.1	15.6	13.3	11.10	10.10	9.7	13.1	11.2	10.0	9.2	8.6	8.0	7.7	7.4	7.1	6.8	
3-PLY (3 INCH THICK)	1.2	16.3	14.7	13.0	11.8	10.5	14.7	13.0	11.8	10.5	9.4	8.3	7.4	6.3	5.4	4.5	
4-PLY	2.9	20.0	18.11	16.6	15.2	14.3	19.2	17.0	15.2	13.5	11.11	10.7	10.1	9.5	9.0	8.5	
4-PLY SKYLIGHT	2.9	17.9	15.7	13.8	12.0	10.6	15.7	13.8	12.0	10.6	9.3	8.10	7.4	6.8	6.2	5.7	
SHINGLE READY	2.5	20.0	18.3	16.8	15.6	14.6	19.2	17.0	15.2	13.5	11.11	10.7	10.1	9.5	9.0	8.5	
SR SKYLIGHT	2.5	17.9	15.7	13.8	12.0	10.6	15.7	13.8	12.0	10.6	9.3	8.10	7.4	6.8	6.2	5.7	

3-PLY USES TWO 0.024 3106-H154 ALUMINUM SKINS WITH ONE SHEET 7/16" ORIENTED STRAND BOARD(OSB) AND EXPANDED POLYSTYRENE CORE 1.5 LB DENSITY FOR 3 INCH AND 10 LB DENSITY FOR 8 INCH
 4-PLY USES TWO 0.024 3106-H154 ALUMINUM SKINS WITH ONE SHEET 7/16" ORIENTED STRAND BOARD(OSB) AND EXPANDED POLYSTYRENE CORE 1.5 LB DENSITY FOR 3 INCH AND 10 LB DENSITY FOR 8 INCH INSTALLED TO EXTERIOR SIDE
 SHINGLE READY USES ONE 0.024 3106-H154 ALUMINUM SKIN WITH ONE SHEET 7/16" ORIENTED STRAND BOARD(OSB) AND 1.0 LB DENSITY EXPANDED POLYSTYRENE CORE (OSB INSTALLED TO EXTERIOR SIDE)
 5-PLY USES TWO 0.024 3106-H154 ALUMINUM SKINS WITH TWO SHEETS 7/16" ORIENTED STRAND BOARD(OSB) AND 1.5 LB DENSITY POLYSTYRENE CORE
 WHEN USING THE ABOVE TABLE, ONE MUST VERIFY WHAT LOCAL BUILDING CODE REQUIRES. MAXIMUM PANEL OVERHANG IS 2'-0".
 THIS TABLE SHALL BE USED WITH EXTREME CAUTION AND CONSIDERATION SHALL BE GIVEN FOR ANY OTHER LOADS WHICH MAY REDUCE SPAN

Table "D": ALLOWABLE SPAN (ROOM PROJECTION) FOR 3-1/2" X 9-1/2" ENGINEERED LAMINATED RIDGE BEAM

DESIGN LOAD	ROOM WIDTH	20	30	40	50	60	70	80	90	100
20 PSF	11.0	14.0	17.0	20.0	23.0	26.0	29.0	32.0	35.0	38.0
30 PSF	21.4	19.8	18.5	17.6	16.8	16.0	15.5	14.1	14.6	14.1
40 PSF	19.0	17.6	16.5	15.7	14.10	14.3	13.9	13.4	12.9	12.3
50 PSF	17.5	16.1	15.1	14.3	13.7	13.0	12.4	11.8	11.2	10.9
60 PSF	16.3	15.0	14.1	13.4	12.6	11.9	11.1	10.6	10.1	9.8
70 PSF	15.4	14.2	13.4	12.3	11.6	10.8	10.3	9.8	9.3	8.8

Table "E": ALLOWABLE SPAN (ROOM PROJECTION) FOR 3-1/2" X 11-7/8" ENGINEERED LAMINATED RIDGE BEAM

DESIGN LOAD	ROOM WIDTH	20	30	40	50	60	70	80	90	100
20 PSF	11.0	14.0	17.0	20.0	23.0	26.0	29.0	32.0	35.0	38.0
30 PSF	26.8	24.7	23.1	21.0	20.10	20.0	19.4	18.8	18.2	17.8
40 PSF	23.9	21.1	20.0	19.5	18.7	17.10	17.2	16.5	15.9	15.1
50 PSF	21.9	20.1	18.10	17.10	16.1	15.2	14.6	13.10	13.3	12.9
60 PSF	20.4	18.9	17.7	16.6	15.5	14.6	13.9	13.1	12.6	12.0
70 PSF	19.3	17.9	16.6	15.2	14.2	13.4	12.7	12.0	11.6	11.0

Table "F": ALLOWABLE COLUMN LOAD IN POUNDS (SECTION-H)

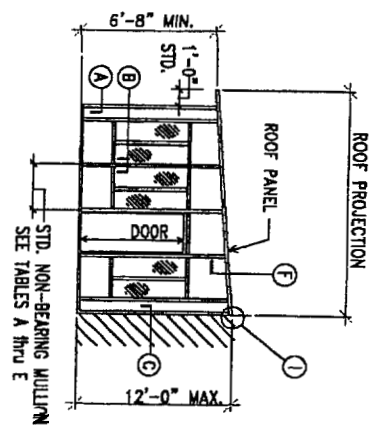
WIND (mph)	8	9	10	11	12	13	14	15
90	10400	10800	11200	11600	12000	12400	12800	13200
100	12800	13600	14400	15200	16000	16800	17600	18400
110	15600	16800	18000	19200	20400	21600	22800	24000
120	18800	20400	22000	23600	25200	26800	28400	30000
130	22400	24400	26400	28400	30400	32400	34400	36400
140	26400	28800	31200	33600	36000	38400	40800	43200

DREAMSPACE THERMAL INDUSTRIES, INC.
 3700 HANEY • MURRYSVILLE • PENNSYLVANIA 15688
 PHONE 724-735-3680 FAX 724-327-8517

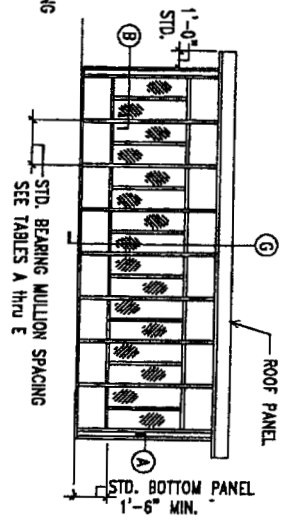
DONALD MEISEL, P.E.
 AMERIC TECHNOLOGY CORP.
 436 NORTH SIXTH STREET
 PHILADELPHIA, PA 19123 215-926-9530

DREAMSPACE PATIO ENCLOSURES
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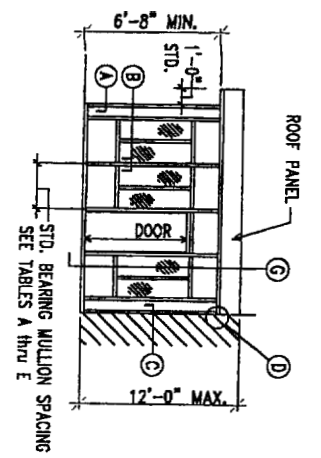
DATE FEB 2003
 DREAMSPACE 3100 FS Z0E 3.00" ENCLOSURE LOADING CHARTS
 BY: BHK
 FILE NAME: DREAMSPACE 3100 FS Z0E
 DESIGN DRAWING: 20 OF 20



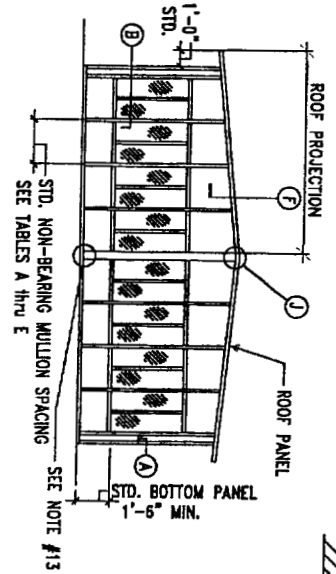
MARQUE (LEAN-TO)
ENCLOSURE END WALL ELEVATION
NON-LOAD BEARING



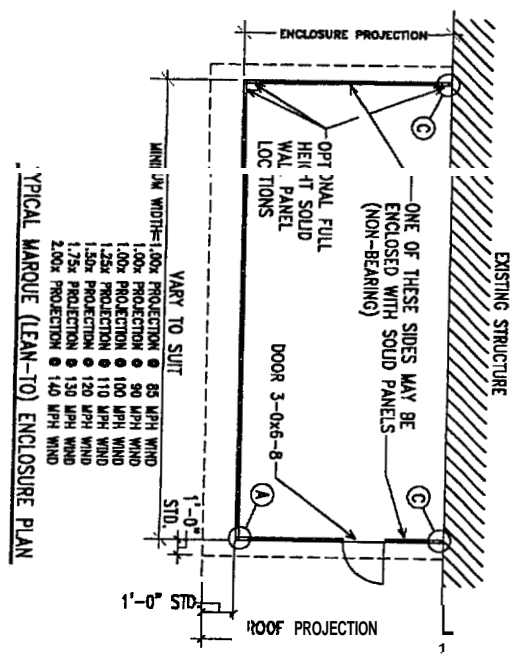
MARQUE (LEAN-TO)
ENCLOSURE FRONT WALL ELEVATION
LOAD BEARING



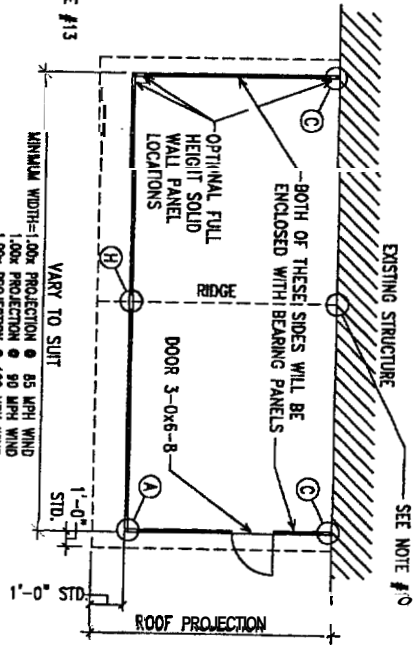
CATHEDRAL (GABLE)
ENCLOSURE PROJECTION WALL ELEVATION
LOAD BEARING



CATHEDRAL (GABLE)
ENCLOSURE FRONT WALL ELEVATION
NON-LOAD BEARING

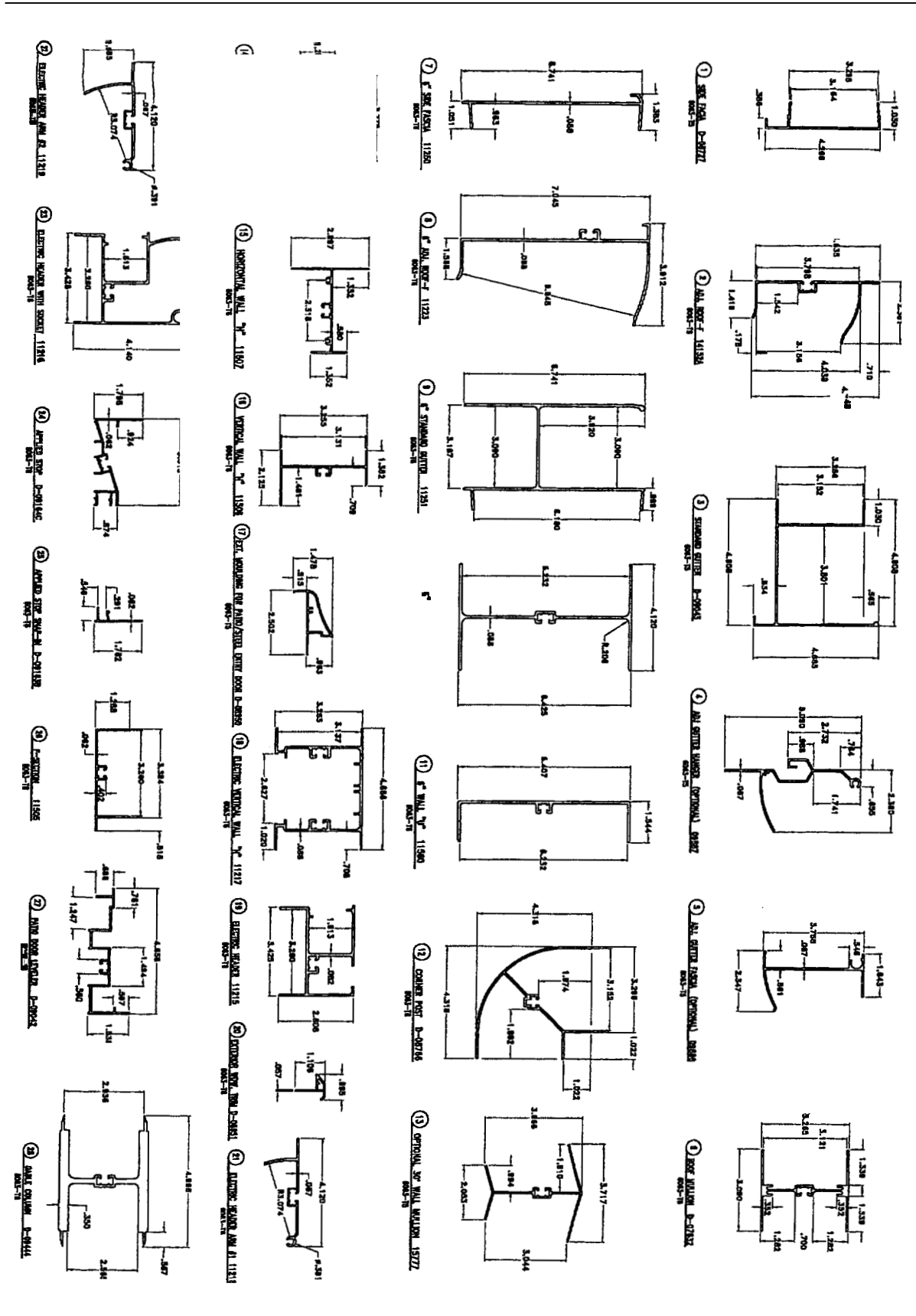


TYPICAL MARQUE (LEAN-TO) ENCLOSURE PLAN



TYPICAL CATHEDRAL (GABLE) ENCLOSURE PLAN

NOTE:
ALL SECTIONS & DETAILS REFERENCED
HERE ARE SHOWN ON SHEET 3-53
SEE NOTES #1 & 2



DREAMSPACE 3100
3.00" ENCLOSURE
SECTION DETAILS

DATE: FEB. 2005
DRAWN BY: ED LUTHERNICK
CHECKED BY: [Signature]

DREAMSPACE
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**SNOW & WIND
LOADING CHARTS**

LOAD BEARING WALL - SECTION G

TABLE "A-40E"

40 PSF SNOW LOAD

CHARTS ARE FOR
ENHANCED HEADER

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
110 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	11.0	9.1	8.9
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
120 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	17.4	16.4	15.3
	108"	7.2	6.0	5.5
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
130 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	19.2	18.2	17.1
	108"	7.2	6.0	5.5
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
140 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	16.1	15.0	14.9
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	11.0	9.1	8.9
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
85 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	11.0	9.1	8.9
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
90 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	11.0	9.1	8.9
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

MAXIMUM MILLION SPACING	MILLION HEIGHT	OVERHANG		
		0'-6"	1'-0"	1'-6"
100 MPH WIND				
36" C/C	84"	19.6	19.0	18.6
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	19.6	19.0	18.6
48" C/C	84"	11.9	10.9	9.7
	88"	19.6	19.0	18.6
	96"	19.6	19.0	18.6
	108"	11.0	9.1	8.9
60" C/C	84"	7.2	6.0	5.5
	88"	12.1	11.0	10.9
	96"	11.0	9.1	8.9
	108"	7.2	6.0	5.5
72" C/C	84"	8.8	7.7	6.4
	88"	8.8	7.7	6.4
	96"	8.8	7.7	6.4
	108"	8.8	7.7	6.4

FILE NAME:
DS3100_A-40
13 OF 20

DREAMSPACE 3100
3.00" ENCLOSURE
LOADING CHARTS



THERMAL INDUSTRIES, INC.
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PHILADELPHIA, PA 19123 215-828-8538

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- ~~Final/Certificate of Occupancy:~~ Prior to any occupancy of the structure or use. ~~NOTE: There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date

CBL:

81-F-20

Building Permit #:

05-0907