

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that PETER M SULLIVAN

Located At 38 KENWOOD ST

Job ID: 2012-04-3839-ALTR

CBL: 081- F-018-001

has permission to enclose the existing porch area for a kitchen expansion (Single Family Residence).  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

05/16/2012

\_\_\_\_\_  
**Fire Prevention Officer**

\_\_\_\_\_  
**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
  2. Foundation prior to backfill
  3. Close In Elec/Plmb/Frame prior to insulate or gypsum
  4. Insulation prior to Close-In
  5. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* • [www.portlandmaine.gov](http://www.portlandmaine.gov)

Acting Director of Planning and Urban Development  
Gregory Mitchell

Job ID: 2012-04-3839-ALTR

Located At: 38 KENWOOD ST

CBL: 081- F-018-001

## **Conditions of Approval:**

### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that there will be no increase in the existing building foot print.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

### **Fire**

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
4. A sprinkler system is recommended but not required based on the following:
  - a. Plans indicate the addition will not exceed 50% of the total completed structure.

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. R311.3 Floors and landings at exterior doors. See attached documentation for landing requirements and exemptions.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).
5. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.

6. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
7. Note: Contractor will install (2) 2 X 6 inch headers for less than 4'-8" openings; 2 x 8 inch floor joist 16 inches O.C. with a max span of 7 feet; 2 x 6 inch @ 16" O.C. exterior walls supporting the existing Hip Roof; crawl space access will be provided from the existing house foundation wall.

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-04-3839-ALTR	Date Applied: 4/24/2012	CBL: 081- F-018-001	
Location of Construction: 38 KENWOOD ST	Owner Name: PETER M SULLIVAN	Owner Address: 38 KENWOOD ST PORTLAND, ME 04102	Phone: 871-5830 (h) 317-4259 (w) 232-2539 (c)
Business Name:	Contractor Name: David Holmes	Contractor Address: 467 AUBURN ST PORTLAND MAINE 04103	Phone: (207) 415-6682
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: R-3
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to change existing rear porch to make an extension of the kitchen - no increase in the foot print of the building	Cost of Work: \$10,000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/ conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IRC 2009 (MUBE)
Proposed Project Description: Interior renovations Change Porch extend Kitchen		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>____ Maj ____ Min ____ MM Date: <i>OK with conditions</i> <i>S</i> 4/25/12</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>S</i></p>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

R-3

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>38 Kenwood St Portland ME 04102</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>Book 15, Page 13, Lot 5110/53</u> <u>(see chart attached)</u>	Applicant: (must be owner, lessee or buyer) Name <u>Peter + Julie Sullivan</u> Address <u>38 Kenwood St</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>207 871 5830</u> <u>Ofc 207 317 4259</u> <u>Cell 207 232 2539</u>
Lessee/DBA <u>81-F-18</u>	Owner: (if different from applicant) Name <u>Same</u> Address City, State & Zip	Cost of Work: \$ <u>10,000<sup>00</sup></u> C of O Fee: \$ _____ Historic Review: \$ _____ Planning Amin.: \$ _____  Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: <u>Residential</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>changing existing porch to extension of kitchen.</u>		
Contractor's name: <u>David Holmes</u>		Email: <u>d.hbuilder@</u>
Address: <u>467 Auburn St.</u>		<u>yahoo.com</u>
City, State & Zip: <u>Portland, ME 04103</u>		Telephone: <u>(207) 415-6682</u>
Who should we contact when the permit is ready: <u>Pete Sullivan</u>		Telephone: <u>(207) 317-4259</u>
Mailing address: <u>38 Kenwood St. Portland ME 04102</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

APR 24 2012  
Dept. of Building Inspections  
City of Portland Maine

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]      Date: 4/24/12

This is not a permit; you may not commence ANY work until the permit is issued

# Residential Alteration Permit Application

Peter & Julie Sullivan  
38 Kenwood Street  
Portland, ME 04102  
Home 207-871-5830  
Work 207-317-4259  
Cell 207-232-4039  
Email [psulliv6@maine.rr.com](mailto:psulliv6@maine.rr.com)

This residential permit application is being submitted for the above referenced address. The intent of the permit is to alter an existing three-season attached porch with the intent of changing it to a four season extension of the kitchen.

## Current Information on Address:

<b>CBL</b>	081 F018001
<b>Land Use Type</b>	SINGLE FAMILY
<b>Property Location</b>	38 KENWOOD ST
<b>Owner Information</b>	SULLIVAN PETER M & JULIE H SULLIVAN JTS 38 KENWOOD ST PORTLAND ME 04102
<b>Book and Page</b>	21587/180
<b>Legal Description</b>	81-F-18 KENWOOD ST 38
	5170 SF
<b>Acres</b>	0.119

## Description of Work:

This alteration will require the three existing porch walls to be removed and replaced with insulated stud walls. The existing sauna tube foundation will be removed and replaced with a permanent concrete foundation.

- The existing footprint, elevations, and dimensions of the house will not change.
- The existing roof of the house, which includes the porch roof, will not change.

# Residential Alteration Permit Application

## Sections:

1. General Specifications:
  - a. Construction details.
  - b. Window and door schedule.
  
2. Existing Structure Details:
  - a. Existing floor plan.
  - b. Existing elevation.
  - c. Existing Pictures of house where alteration will take place-
    - i. South (rear) view
    - ii. East side view
    - iii. West side view
  
3. Proposed Alteration Details:
  - a. Proposed floor plan.
  - b. Proposed elevations-
    - i. South (rear) view
    - ii. East side view
    - iii. West side view
  - c. Proposed foundation plans
  
4. Lot Information:
  - a. Portland Assessor's Office Current Information
  - b. Copy of Warranty Deed
  - c. Lot Survey – Oakwood Heights Neighborhood Plan
  - d. Existing house square footage.



# Residential Alteration Permit Application

## General Specifications:

All specifications to be typical residential construction standard for Portland Maine.

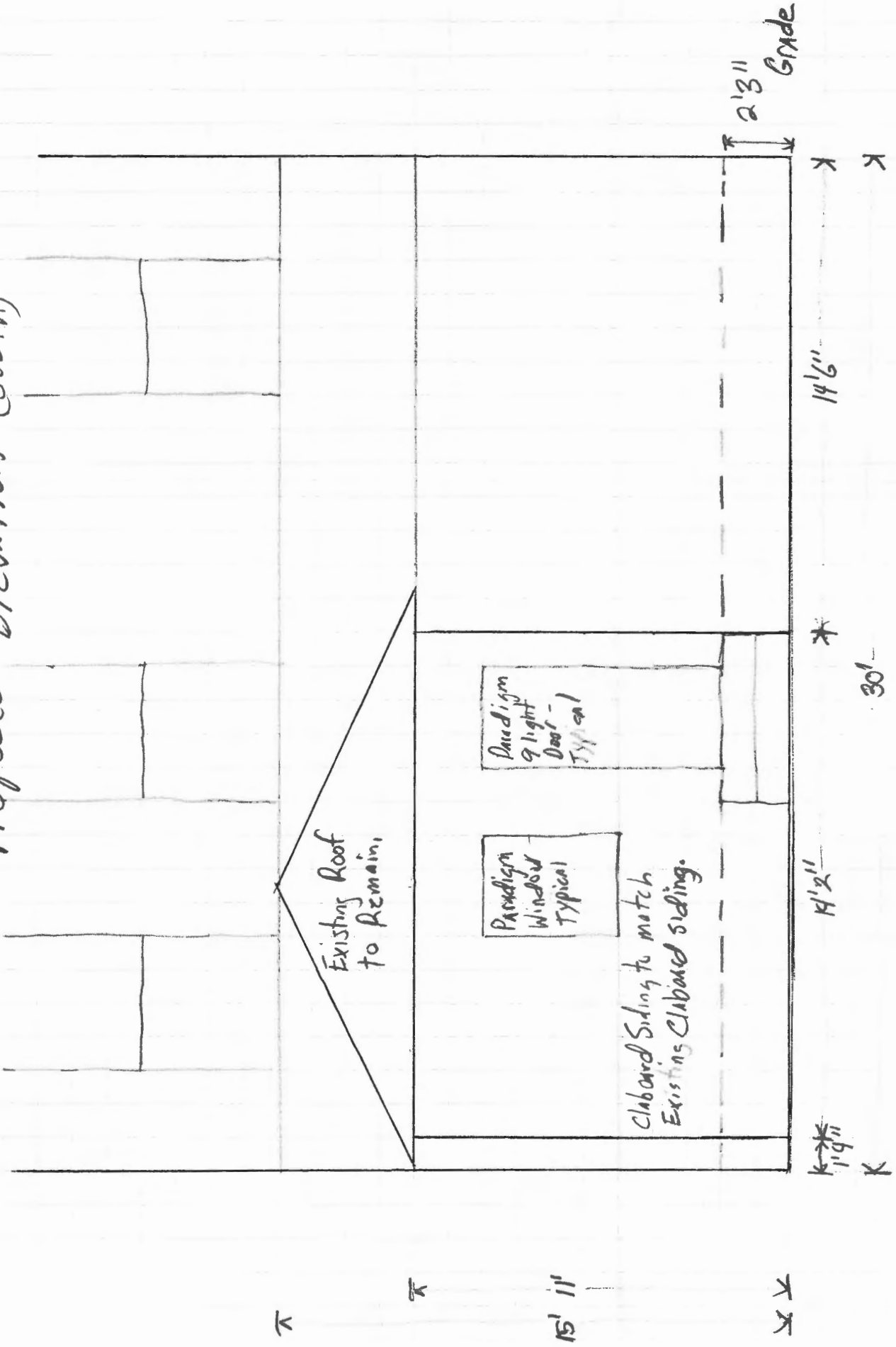
## Construction details:

- New walls to be 2'x6' stud walls.
- New walls to have R-19 Insulation.
- Sheathing to be ½" CPX.
- New joists to be 2'x 8'.
- Joists to be covered in ¾" Advantech sub-flooring.
- New siding to be vinyl and mach existing clapboard siding.
- New external stairs to have risers not exceeding 7 ¾" with minimum 12" tread.
- Foundation to be concrete footing & frost wall.
- Structural beam to be 7"x11 7/8" Microlam.

## Door & Window Schedule:

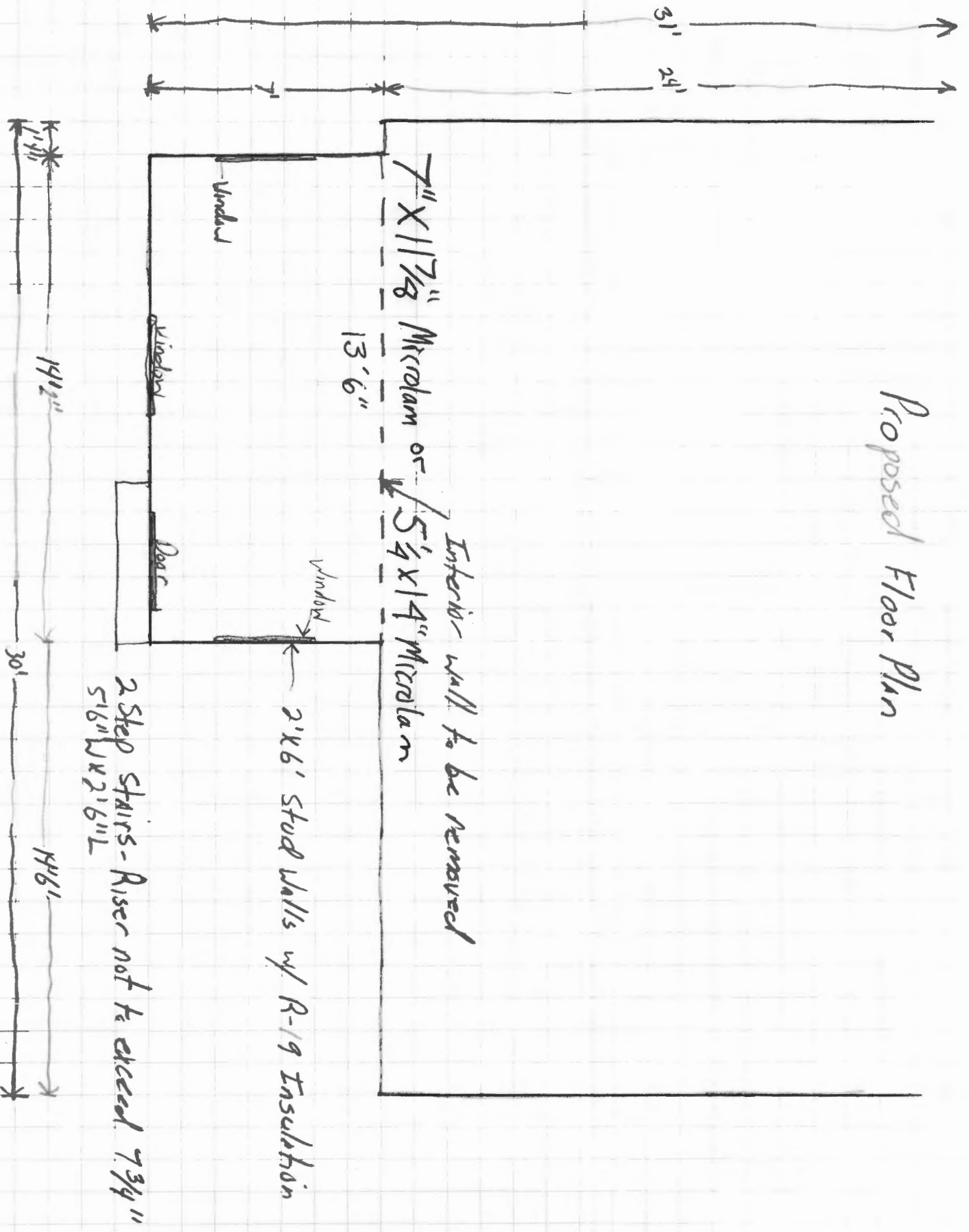
- (3) Windows: Paradigm Double Hung Craft-tech New Construction, Low E & Argon, 28 U Factor.
  - (2) 2'6"x3'6" (approx)
  - (1) 2'6"x4'6" (approx)
- (1)Door: Therma-True Smooth Star S262 Energy Star rated 9 Light Door, Size 3068.

# Proposed Elevation (South)



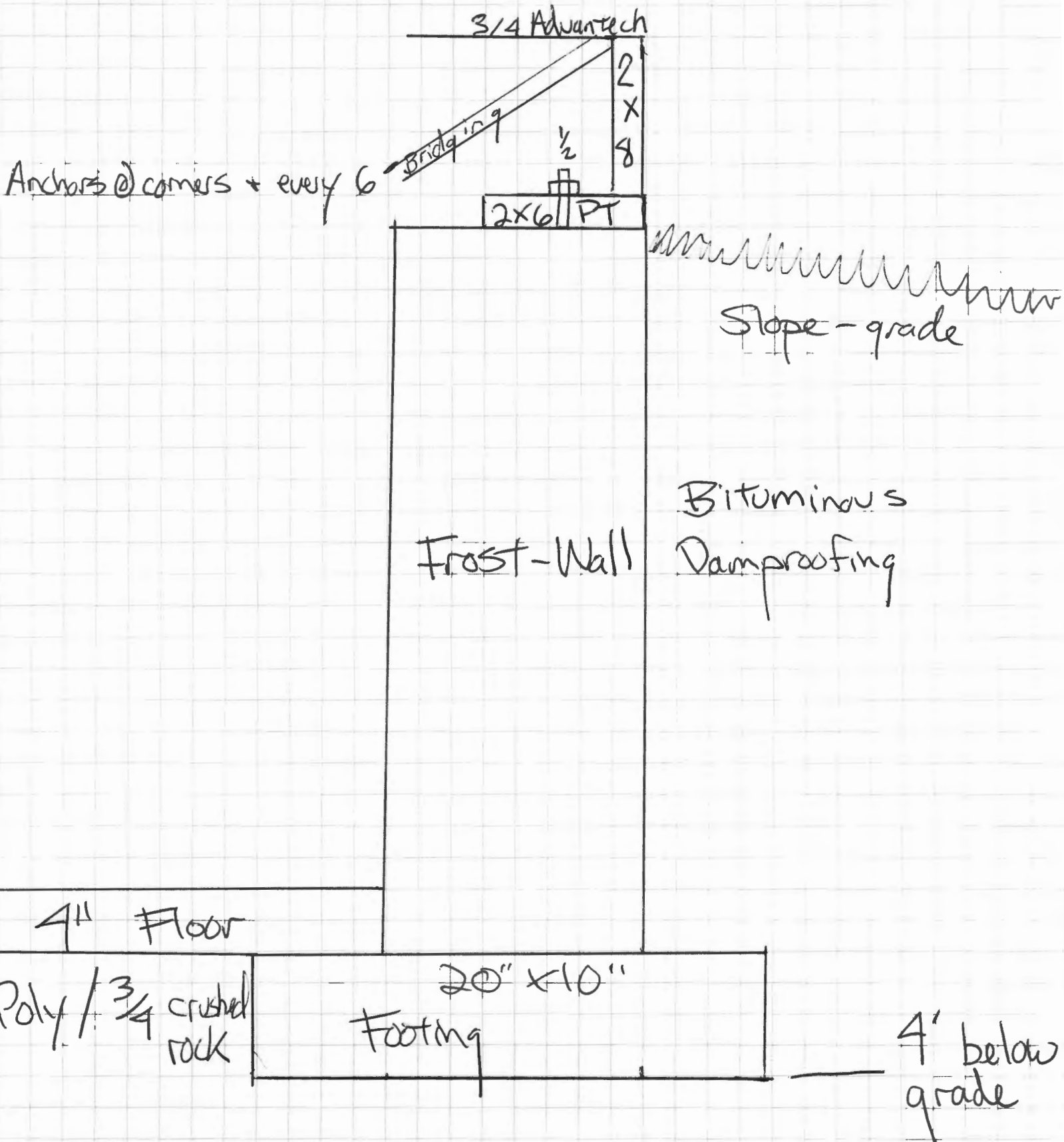
All elevations and dimensions to remain the same, except porch floor. New floor to be raised 3/4" to match 1st floor in house.

# Proposed Floor Plan

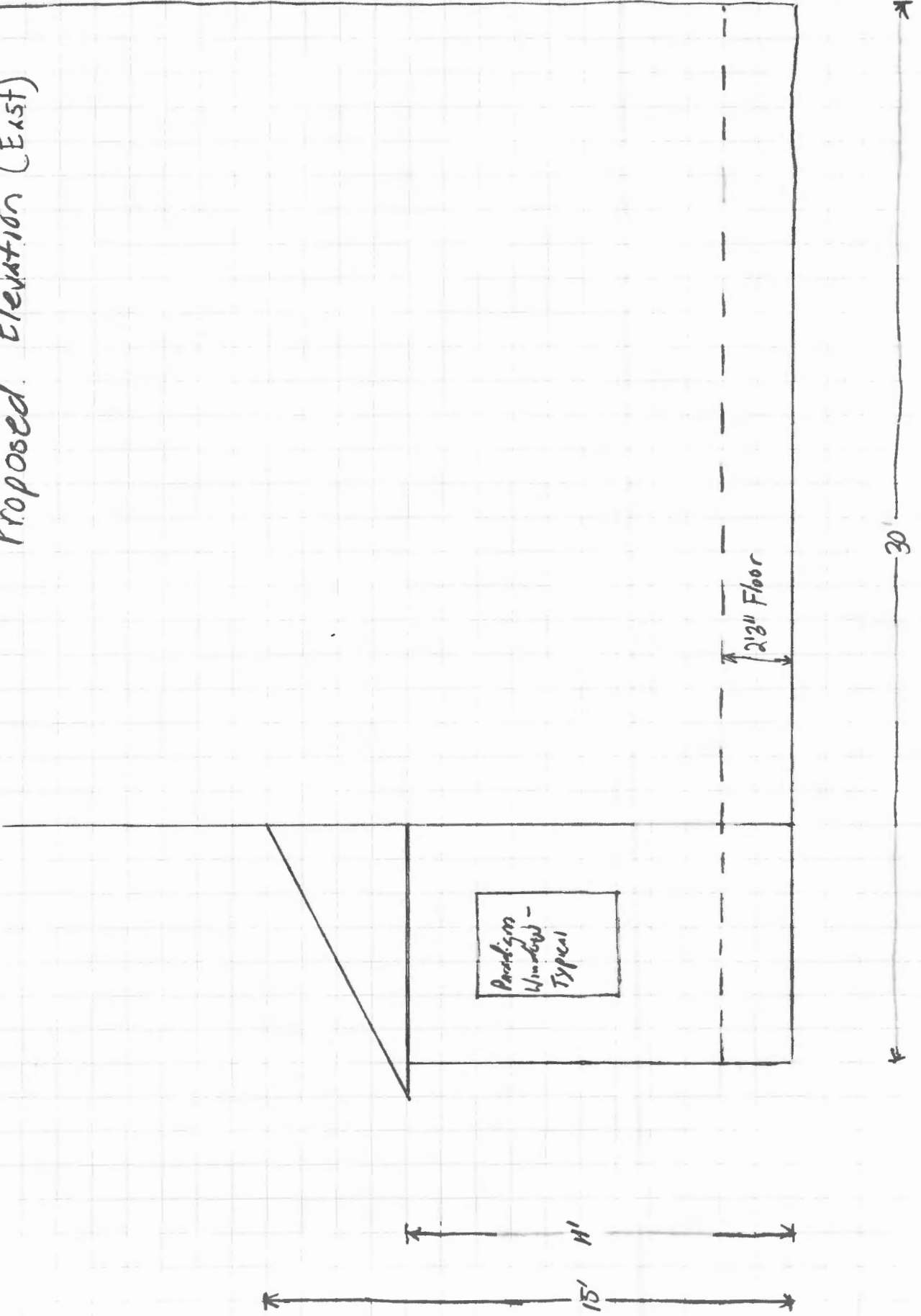


Peter Sullivan Residence

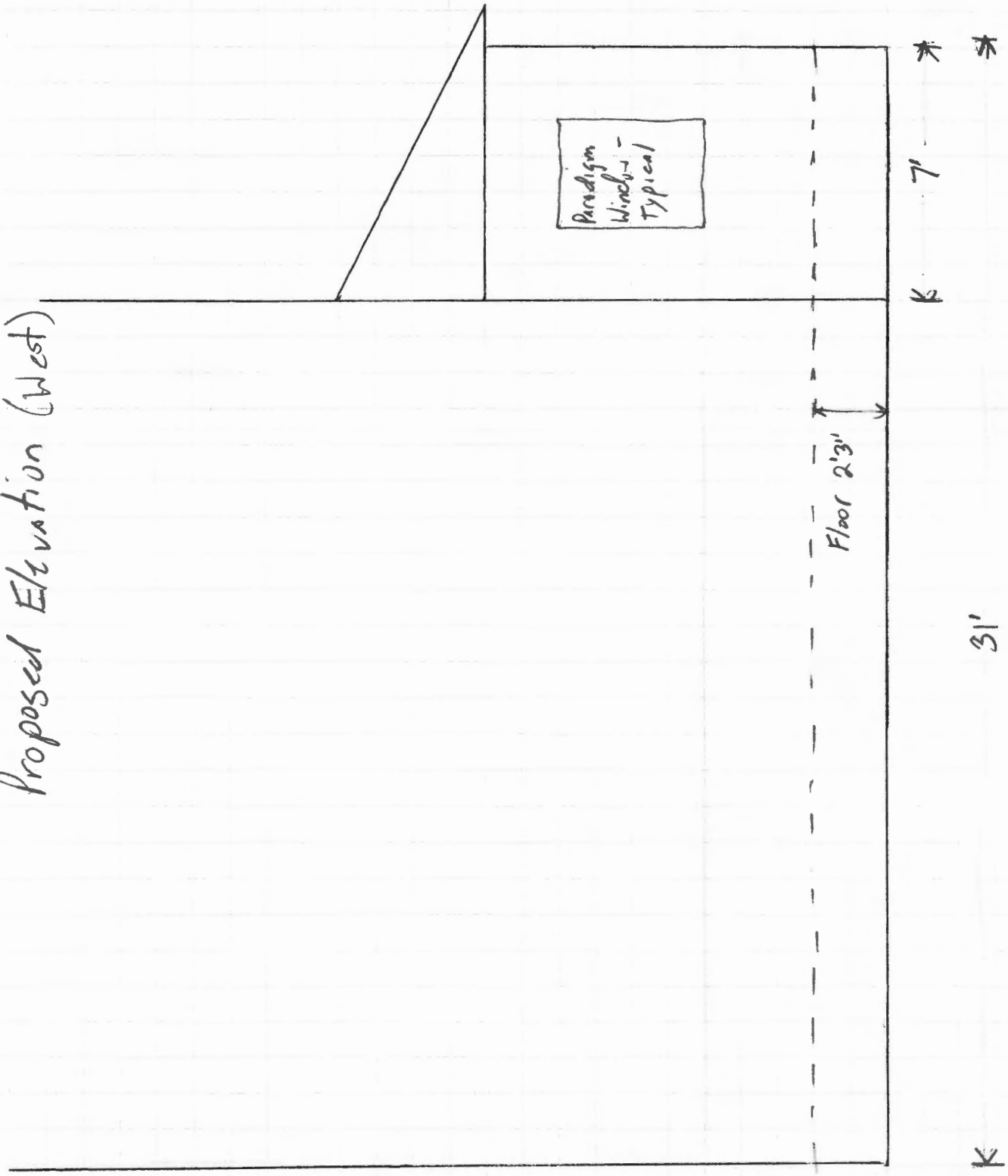
David Holmes/Builder  
415-6682



# Proposed Elevation (East)



Proposed Elevation (West)



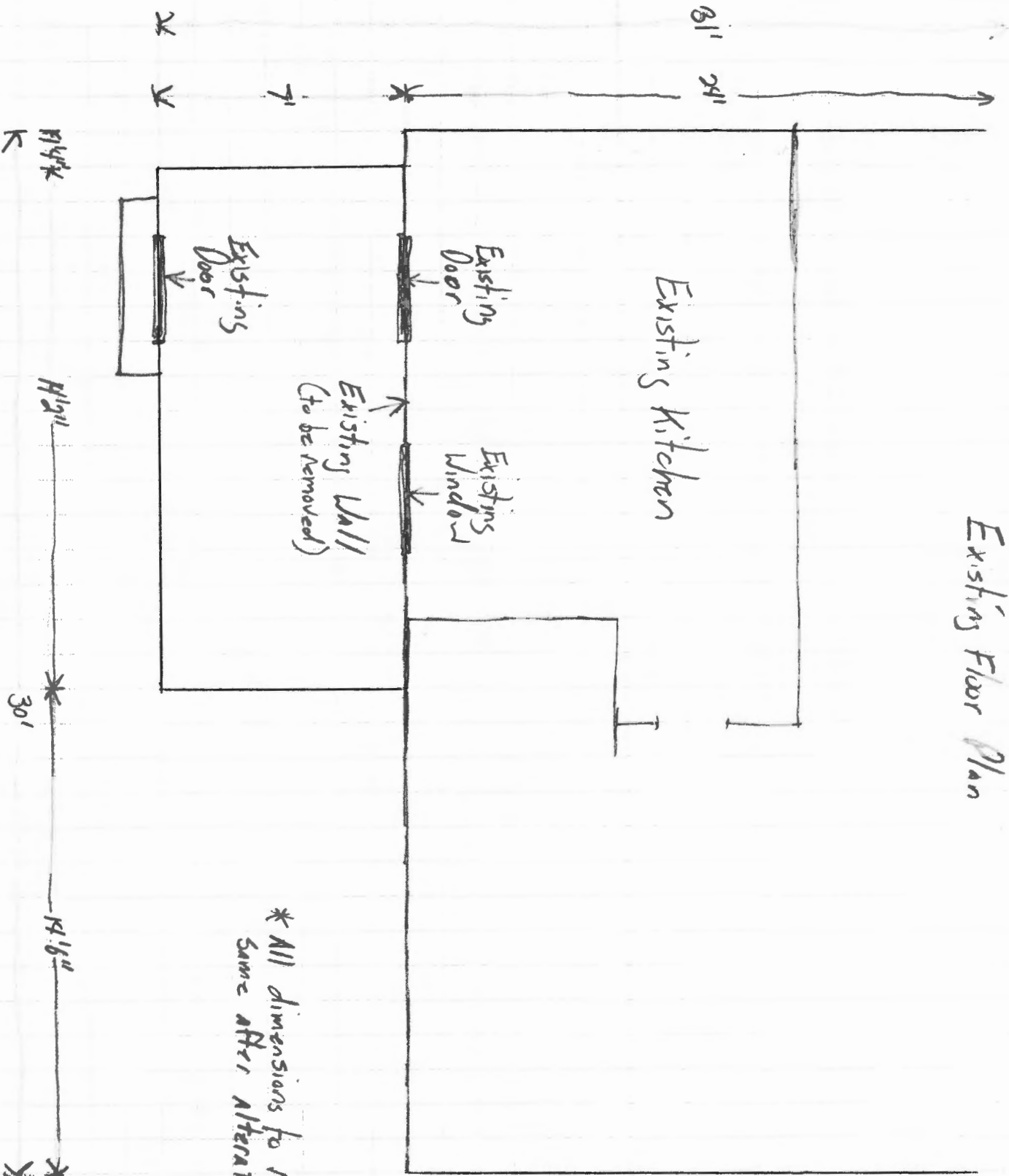
3'

Floor 2'3"

Paradigm  
Window -  
Typical

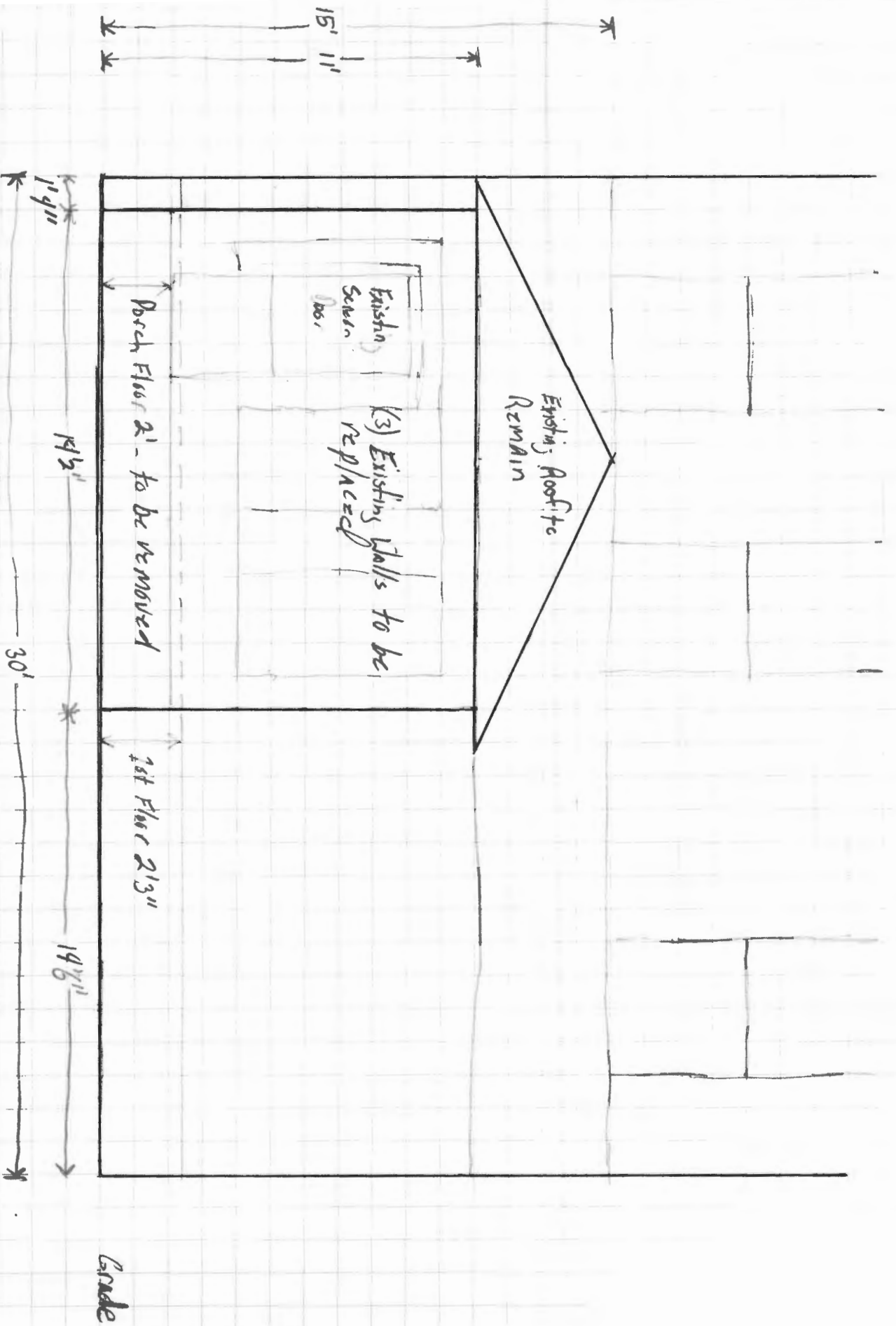
11 15'

# Existing Floor Plan



\* All dimensions to remain the same after alteration.

Existing Elevation (South)



\* All elevations to remain the same after alteration.



4705



EAST

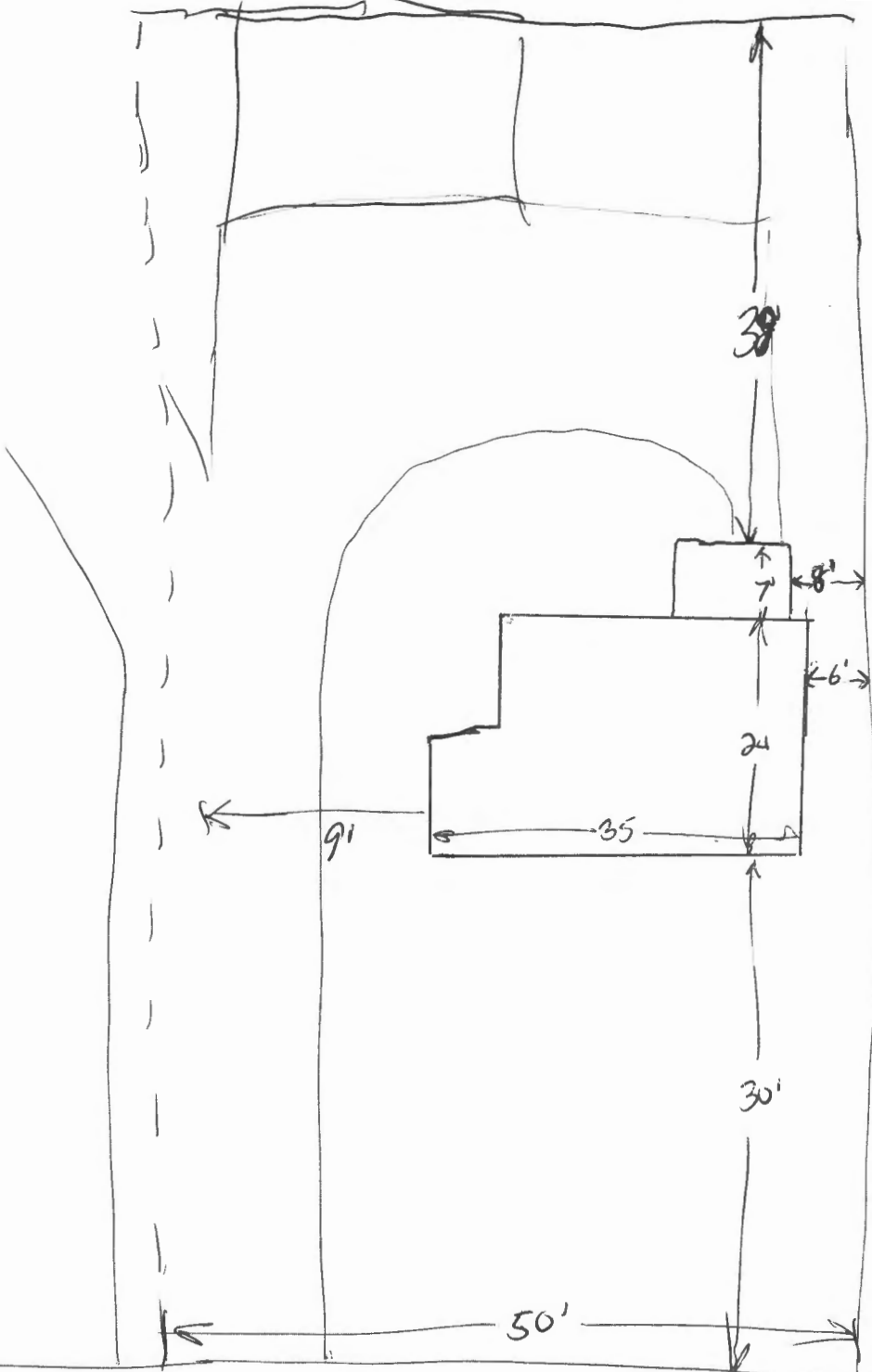


WEST



South Ranch Interior





K-3 Zone

REAR: 25' min - 38' max  
 Side: 8' min - 8' max  
 1 story  
 Front: N/A

38 Kenwood St Plot layout

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

**Applications**

**Doing Business**

**Maps**

**Tax Relief**

**Tax Roll**

**Q & A**

<b>CBL</b>	081 F018001
<b>Land Use Type</b>	SINGLE FAMILY
<b>Property Location</b>	38 KENWOOD ST
<b>Owner Information</b>	SULLIVAN PETER M & JULIE H SULLIVAN JTS
<b>Book and Page</b>	38 KENWOOD ST PORTLAND ME 04102 21587/180
<b>Legal Description</b>	81-F-18 KENWOOD ST 38
<b>Acres</b>	5170 SF 0.119

**Current Assessed Valuation:**

[browse city services a-z](#)

[browse facts and links a-z](#)

<b>TAX ACCT NO.</b>	11804	<b>OWNER OF RECORD AS OF APRIL 2011</b>
<b>LAND VALUE</b>	\$86,000.00	SULLIVAN PETER M & JULIE H SULLIVAN JTS
<b>BUILDING VALUE</b>	\$154,200.00	38 KENWOOD ST PORTLAND ME 04102
<b>HOMESTEAD EXEMPTION</b>	(\$10,000.00)	
<b>NET TAXABLE - REAL ESTATE</b>	\$230,200.00	
<b>TAX AMOUNT</b>	\$4,208.06	



Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**Building Information:**

Best viewed at 800x600, with Internet Explorer

<b>Building 1</b>	
<b>Year Built</b>	1938
<b>Style/Structure Type</b>	GAMBREL
<b># Stories</b>	2
<b># Units</b>	1
<b>Bedrooms</b>	4
<b>Full Baths</b>	1
<b>Half Baths</b>	1
<b>Total Rooms</b>	8
<b>Attic</b>	UNFIN
<b>Basement</b>	FULL
<b>Square Feet</b>	1500

[View Sketch](#)      [View Map](#)      [View Picture](#)



**Outbuildings/Yard Improvements:**

<b>Building 1</b>	
<b>Year Built</b>	1938
<b>Structure</b>	GARAGE-WD/CB
<b>Size</b>	20X18
<b>Units</b>	1
<b>Grade</b>	C
<b>Condition</b>	F

**Sales Information:**

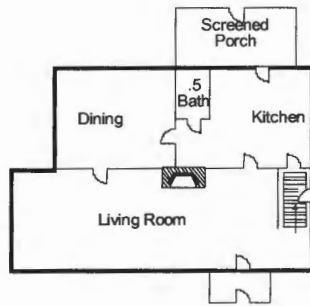
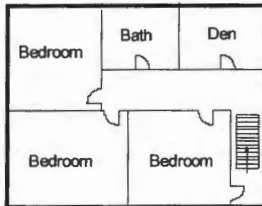
Sale Date	Type	Price	Book/Page
7/23/2004	LAND + BUILDING	\$287,900.00	21587/180
7/1/2003	LAND + BUILDING	\$230,000.00	19688/291
2/2/2003	LAND + BUILDING	\$0.00	/

[New Search!](#)

**FLOORPLAN**

<b>Borrower:</b> Peter Sullivan	<b>File No.:</b> 440611a-d
<b>Property Address:</b> 38 Kenwood Street	<b>Case No.:</b>
<b>City:</b> Portland	<b>State:</b> Me <b>Zip:</b> 04103
<b>Lender:</b> Maine Capital Mortgage	

Dimensions are Approximate  
For Visual Aid Only



Sketch by Apex IV Windows™

AREA CALCULATIONS SUMMARY			
Code	Description	Size	Totals
GLA1	First Floor	780.00	780.00
GLA2	Second Floor	720.00	720.00
<b>TOTAL LIVABLE</b> (rounded)			<b>1500</b>

LIVING AREA BREAKDOWN		
Breakdown		Subtotals
<b>First Floor</b>		
12.0 x 35.0		420.00
12.0 x 30.0		360.00
<b>Second Floor</b>		
24.0 x 30.0		720.00
<b>3 Areas Total (rounded)</b>		<b>1500</b>

# WARRANTY DEED

**Know All Men By These Presents That** We, Phillip J. Drazek and Juliet M. Drazek of 38 Kenwood Street, Portland, County of Cumberland and State of Maine,

for consideration paid, grant to Peter M. Sullivan and Julie H. Sullivan of 287 Deering Avenue, Portland, County of Cumberland and State of Maine as Joint Tenants with **WARRANTY COVENANTS:**

A certain lot or parcel of land together with any buildings thereon situated in Portland County of Cumberland and State of Maine, more particularly described in Exhibit A attached hereto and incorporated herein by reference.

**In Witness Whereof,** we have hereunto set our hand(s) this 19th day of July, 2004.

Karen M. Stearns  
Witness

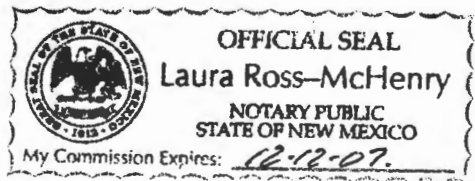
[Signature]  
Phillip J. Drazek  
[Signature]  
Juliet M. Drazek

State of New Mexico  
County of Bernalillo ss.

On this 19th day of July, 2004, personally appeared before me the above named Phillip J. Drazek and Juliet M. Drazek and acknowledged the foregoing to be his/her/their free act and deed.

[Signature]  
Notary Public, Attorney at Law

Return to: Peter M. Sullivan





### Exhibit A - Deed

A certain lot or parcel of land, with the buildings thereon, situated in the City of Portland, County of Cumberland and State of Maine, on the southerly side of Kenwood Street, being Lot #53 as shown on Plan of Oakwood Heights, which Plan is recorded in the Cumberland County Registry of Deeds, in Plan Book 15, Page 13, said premises being further bounded and described as follows:

Beginning at a point on the Southerly side of Kenwood Street, which point marks the Northwesterly corner of Lot #55, and the northeasterly corner of Lot #53 herein conveyed as appears on said Plan; thence Southwesterly along the Southerly side of Kenwood Street 51.7 feet to Lot #51; thence Southerly at right angles to said Kenwood Street and following the Easterly side line of Lot #51 100 feet to the rear line of Lot #52; thence Easterly following the rear line of lot #52, 51.7 feet to Lot #55; thence Northerly following the said line of Lot #55 100 feet to the point of beginning on said Kenwood Street.

Reference is hereby made to a deed from Estate of Charlotte Silver dated July 2, 2003 to Phillip J. Drazek and Juliet M. Drazek and recorded in the Cumberland County Registry of Deeds in Book 19688, Page 291