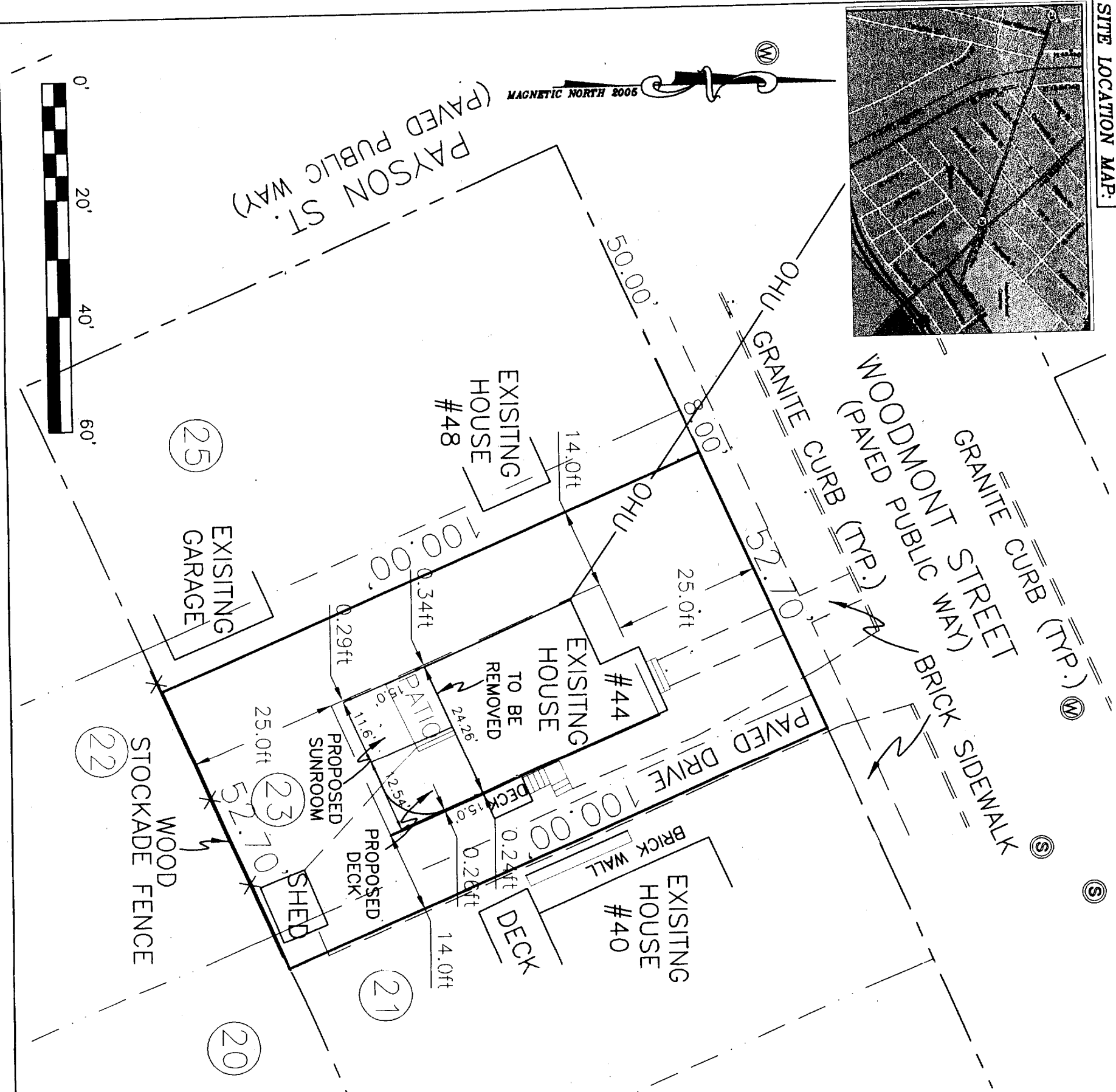


MAGNETIC NORTH 2005



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: WILLIAM J. SHEILS AND MARTHA PAPP BOOK 12127 PAGE 301 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:
LEITZ SOKKISHA SET 4 TOTAL STATION, LEITZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 5,270.00 SQ. FT., 0.12 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) OAKWOOD HEIGHTS, PORTLAND, MAINE, PROPERTY OF THOMAS A SANDERS, BY E.C. JORDAN & CO., MARCH 1923, RECORDED IN THE C.C.R.D. PLAN BOOK 15 PAGE 13.
b.) CITY OF PORTLAND ASSESSORS PLAN NO. 81 BLOCK D LOT 21, RETRACED 3-30-67.
5. ZONING: R-3 RESIDENTIAL
FRONT - 25 FT; REAR - 25 FT;
SIDE - 1-1/2 STORY; 8 FT; 2 STORIES: 14 FT
SETBACKS: FRONT - 25 FT; REAR - 25 FT;
SIDE - 1-1/2 STORY; 8 FT; 2 STORIES: 14 FT
ON SIDE STREET: 20 FT
MINIMUM LOT SIZE: 6,500 SQ. FT.
MINIMUM LOT FRONTAGE: 50 FT.
MAXIMUM BUILDING HEIGHT: 35 FT
MAXIMUM LOT COVERAGE: 25%



LEGEND

- 3" MON □ 3" OFFSET GRANITE MONUMENT
- IPF ○ Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Utility Pole
- Overhead Electric or Comm.
- Abutter Line
- Property Line
- - - Street Line
- ① Lot Number
- Edge of Traveled Way
- Setback Line
- Old Lot Line
- ⑤ Sewer Manhole
- ⑥ Water Gate
- ⑦ TYP. Typical 12345/99 Deed Book/Page of Local Registry

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

Robert T. Greenlaw

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

DATE: JULY 19, 2005

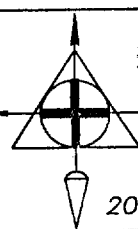
SKETCH SITE PLAN
44 WOODMONT STREET, PORTLAND, MAINE
(NOTE: THIS IS NOT A BOUNDARY SURVEY)

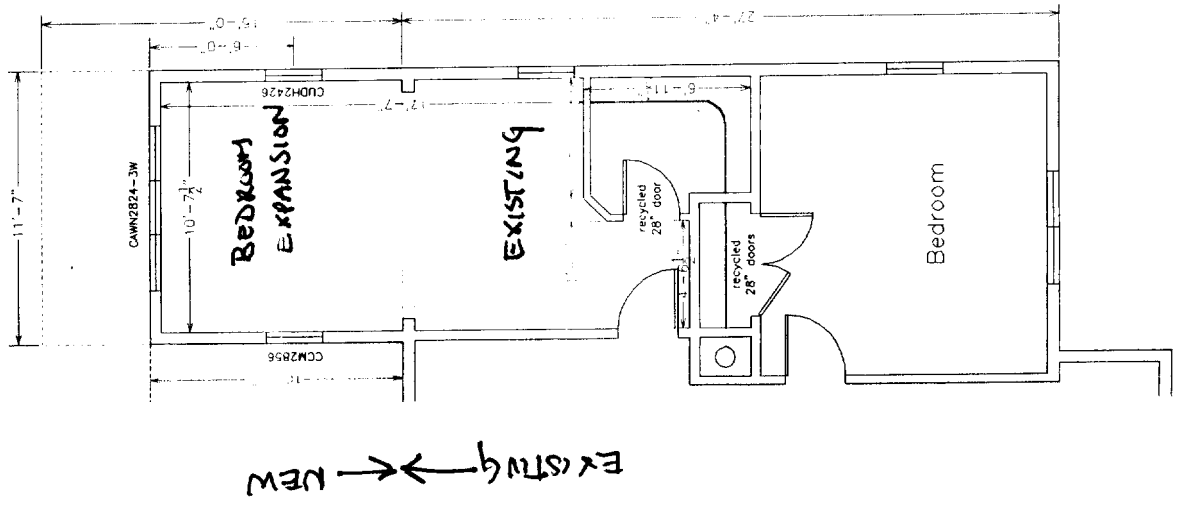
FOR: WILLIAM SHEILS

DRAWN BY: DMD / PJM	
CHECKED BY: KCC	
SCALE: 1"=20'	
DATE OF SURVEY: 06/23/2005	
JOB NUMBER: 2005081	
SHEET: 1 OF 1	

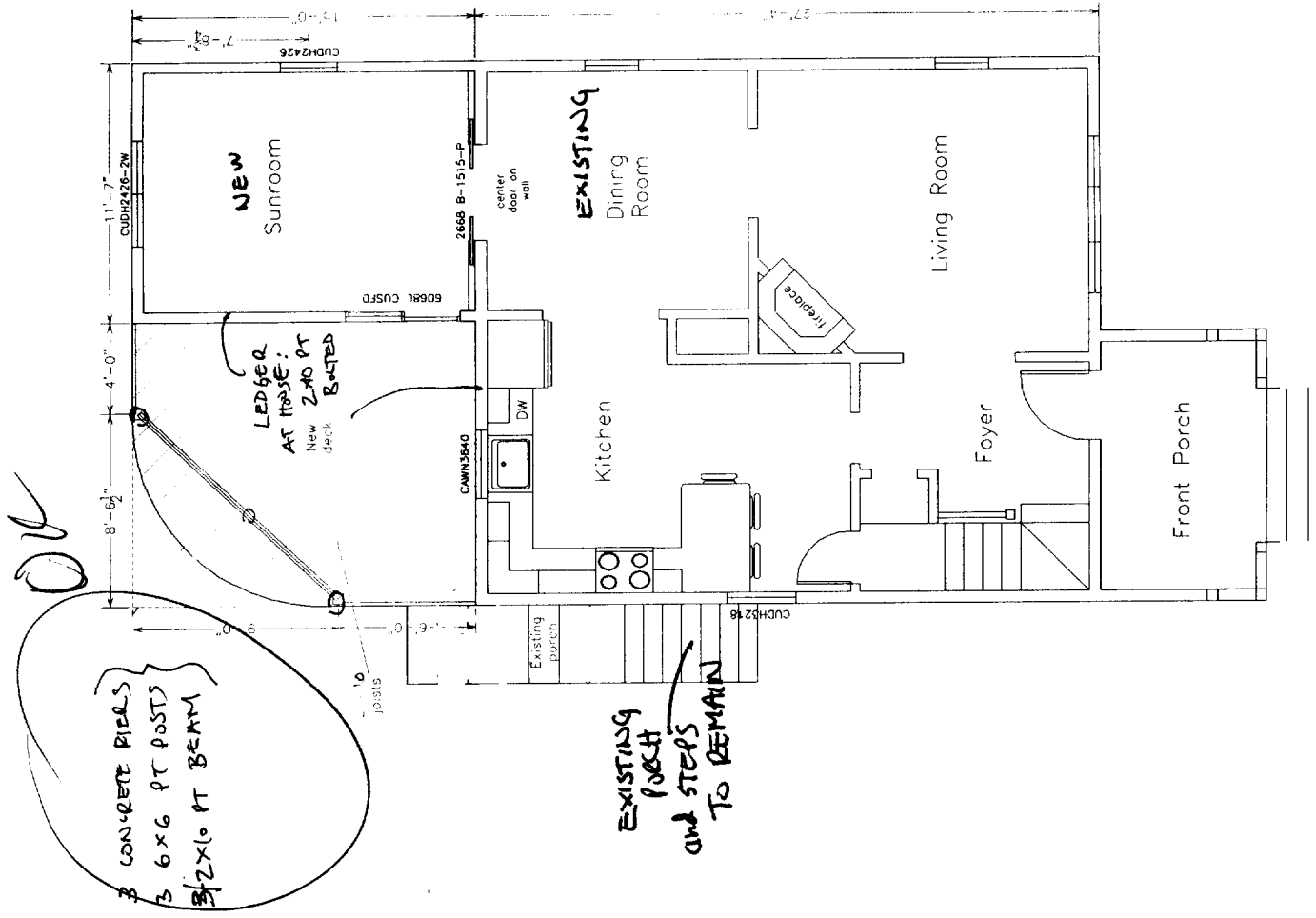
PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING

643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346





EXISTING → NEW



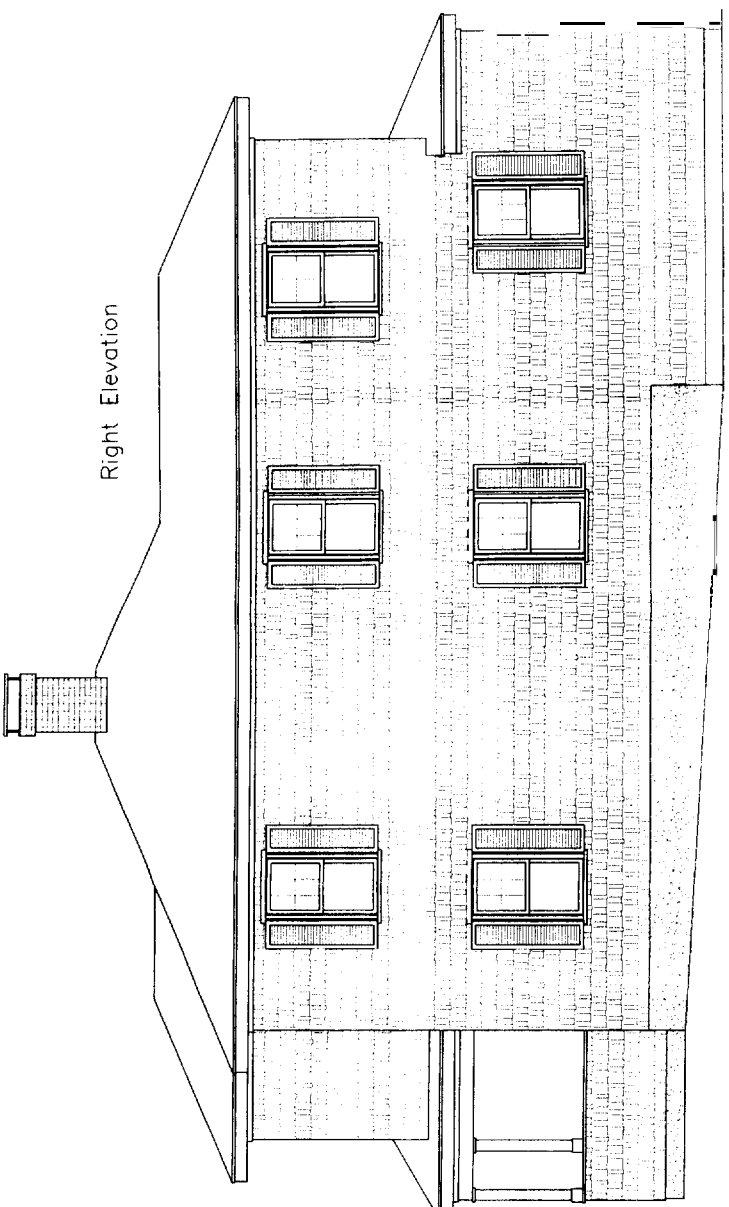
3 TAB asphalt

Drawing # A-2

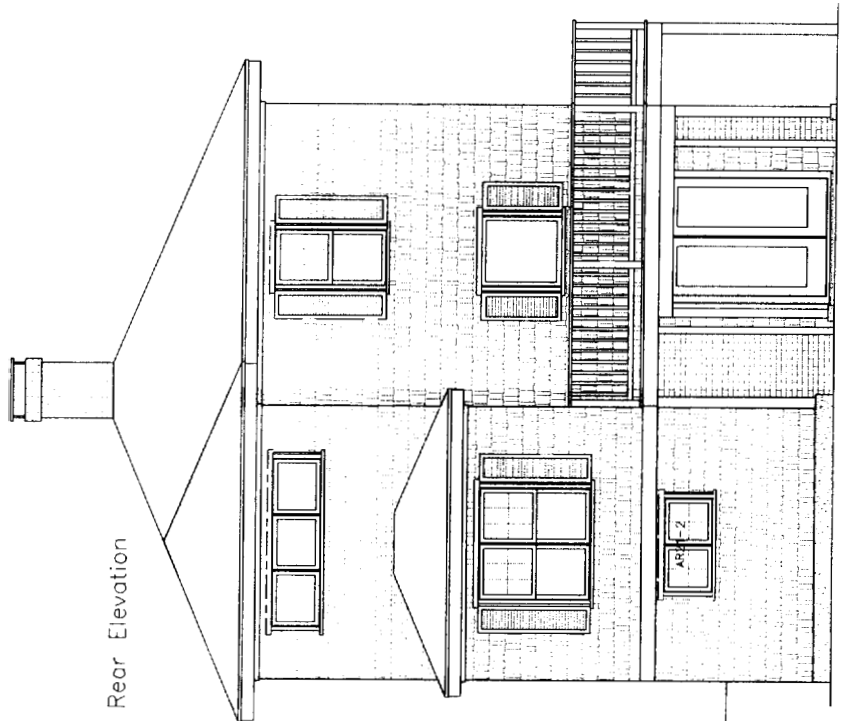
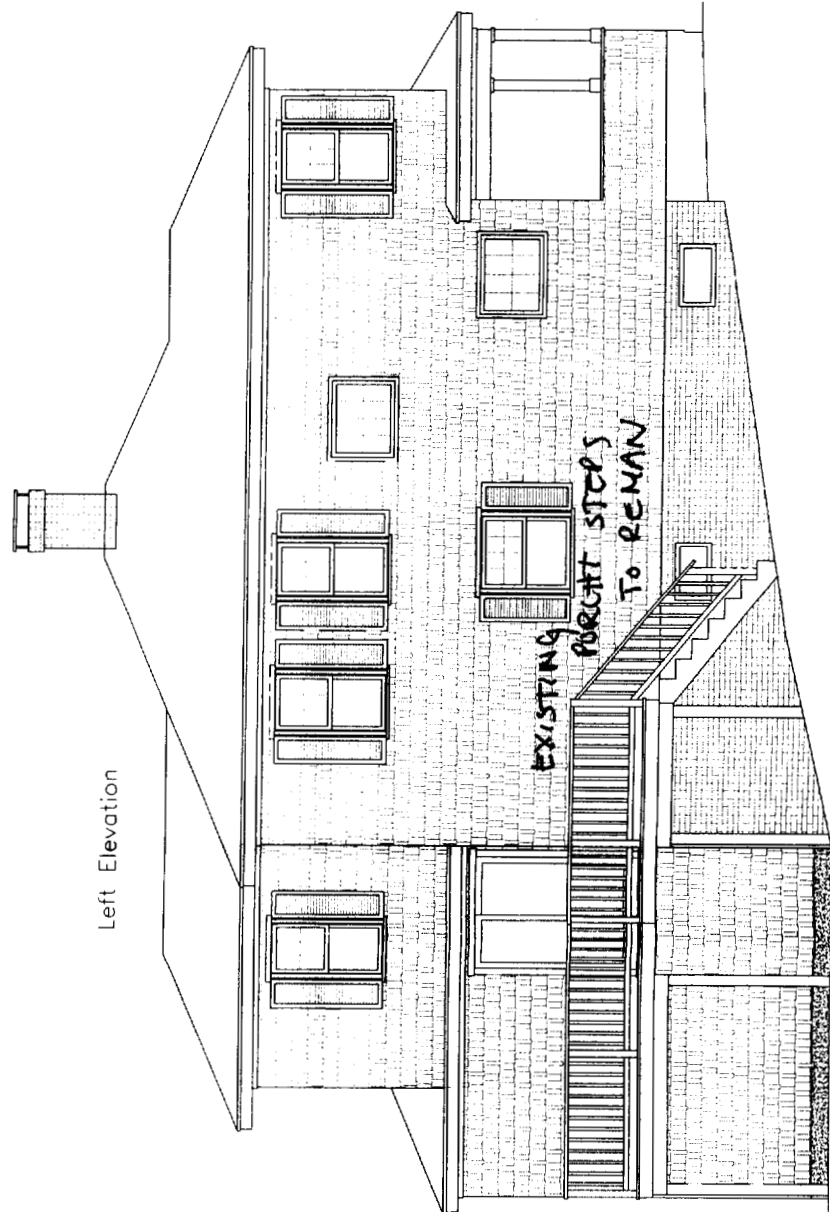
Scale: 1/4" = 1'
Date: Jan. 24, 2006
Firm: Sheels

Elevators
Sheels
Portland, ME

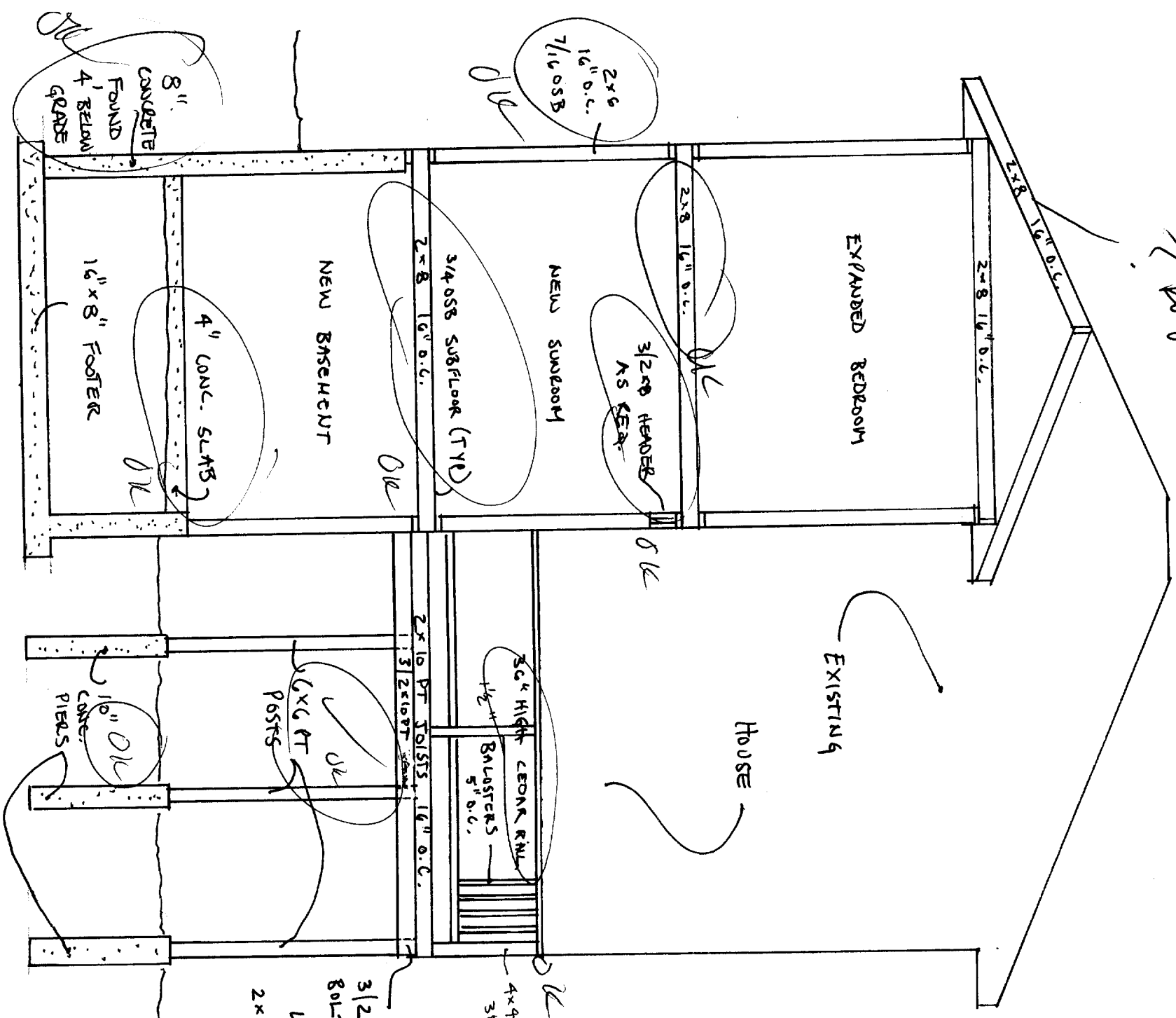
This drawing is presented as an approximate depiction of the project at completion. To insure code compliance and structural soundness, all plans for residential construction should be reviewed by a professional engineer or other professional, as built by an insured professional building contractor.



NEW → ← EXISTING



2 Joists



SHELLS RESIDENCE
49 WOODHUNT
PORTLAND, MAINE

SECTION THROUGH
ADDITION + PORCH

1/4" = 1'-0"

Existing
Stairs

4x4 POST
35" HIGH

3/4" HIGH CEDAR RAIL
BALUSTERS
5" O.C.

2x10 PT JOISTS 16" O.C.

3/2x10 PT

BEAM:

3/2x10 PT
BOLTED CONNECTIONS

LEDGER @ HOUSE:

2x10 PT THROUGH-BOLTED

42" O.C. 1/2 x 6 ~~carriage~~
through Bolts

16x16 FT
POSTS

10" O.C.
CONCRETE
PIERS

4" CONC. SLABS

16" x 8" FOSTER

8" CONCRETE
FOUND
4' BELOW
GRADE

2x6
16" O.C.
7/16 OSB

NEW SUNROOM

3/4 OSB SUBFLOOR (TYE)

NEW BASEMENT

EXPANDED BEDROOM

EXISTING
HOUSE

HOUSE

3/2x8 HEADERS
AS SEEN

2x8 16" O.C.

2x8 16" O.C.

2x8 16" O.C.

2x8 16" O.C.