

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

**PERMIT ISSUED**

Permit No: 06-0152		Issue Date: MAR 1 2006	CBL: 081	D021001
Location of Construction: 44 Woodmont St	Owner Name: Sheils William J &	Owner Address: 44 Woodmont St	Phone:	
Business Name:	Contractor Name: Willow Ledge Builders	Contractor Address: P.O. Box 859 Farmington	Phone: 2078466944	
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R3	
Past Use: Single Family Home	Proposed Use: Single Family Home/ add a 2-story addition to existing home	Permit Fee: \$714.00	Cost of Work: \$77,000.00	CEO District: 3
Proposed Project Description: add a 2-story addition to existing home		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB  JRC 2003	
		Signature:	Signature: Jm 02/27/06	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 02/01/2006	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <b>OK</b> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	
	Date: Jm 02/27/06	Date: _____	Date: 02/27/06 Jm	

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

3/6/06 - Spoke to Michael Wilbur<sup>on phone</sup> who says that he has to pour footings before the setback inspection and he understands that if not within the acceptable limits for the setback it is his sole responsibility & he will move the footing. Jim M.

3/8/05 Met Scott on site - verified lot lines based on Survey~~ing~~ and new Front Tagged nails on brick sidewalk. ~~Left~~ Right side line measured 14'3" to string - Rear 21' left side pin on sidewalk is not consistent with the drawn survey. It measures 58' from Right pin instead of 52'. Scott will notify the surveyor. Scott will revise deck detail when he starts work on it, where the existing side entry connects to new Rear deck. He will change this to a 45° connection to minimize SF (total) to @50 SF. Jim B ok to pour

5/22/06 Close in w/Scott - deck extension set in line w/existing Entry Footing and curved to match Deck profile rather than 45° ok

- Electric ok - spoke to contractor about smoke placement per spec
- Framing ok - addition of deck
- plumbing test - ok - had question about kitchen sink vent - referred to code & msn - ok - as installed Jim B

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

## PERMIT

**PERMIT ISSUED**  
 Permit Number: 000192  
 MAR 1 1963  
 CITY OF PORTLAND

This is to certify that Sheils William J &/Willow Ridge Builders

has permission to add a 2-story addition to existing home

AT 44 Woodmont St

081 D02100

provided that the person or persons in firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or proposed-in-occupancy. **24 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

- Fire Dept. \_\_\_\_\_
- Health Dept. \_\_\_\_\_
- Appeal Board \_\_\_\_\_
- Other \_\_\_\_\_  
Department Name

*Thomas M. M... 2/27/63*  
 Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0152	Date Applied For: 02/01/2006	CBL: 081 D021001
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Location of Construction: 44 Woodmont St	Owner Name: Sheils William J &	Owner Address: 44 Woodmont St	Phone:
Business Name:	Contractor Name: Willow Ledge Builders	Contractor Address: P.O. Box 859 Yarmouth	Phone (207) 846-6944
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ add a 2-story addition to existing home	Proposed Project Description: add a 2-story addition to existing home
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Dept: Zoning      Status: Approved      Reviewer: Tom Markley      Approval Date: 02/27/2006

Note: Ok to Issue:

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.

Dept: Building      Status: Approved      Reviewer: Tom Markley      Approval Date: 02/27/2006

Note: Ok to Issue:

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

**Comments:**

2/27/2006-tm: called contractor for more permit info 2-27-06@ 2:42 pm.. Tm



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>44 Woodmont Street, Portland</u>		
Total Square Footage of Proposed Structure <u>1192 (existing + addition)</u>	Square Footage of Lot <u>5270 s.f.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>18</u> Block# <u>D</u> Lot# <u>21</u>	Owner: <u>William and Martha Sheils</u>	Telephone: <u>772-6862</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Willow Ledge Builders</u> <u>P.O. Box 859, Yarmouth 04096</u> <u>846-6944</u>	Cost Of Work: \$ <u>77,000</u> Fee: \$ <u>714</u> C of O Fee: \$
Current Specific use: <u>Single family residence</u> If vacant, what was the previous use? Proposed Specific use: <u>Single family residence (no change)</u>		
Project description: <u>Add 2-story addition to existing home.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Michael Wilbur Willow Ledge Builders</u> Mailing address: Phone: <u>846-6944</u> <u>671-3292</u>		

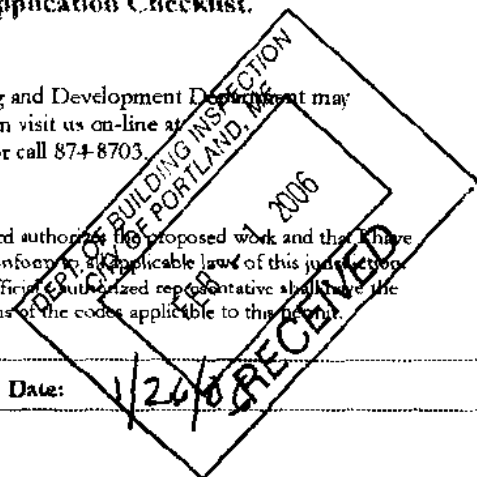
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

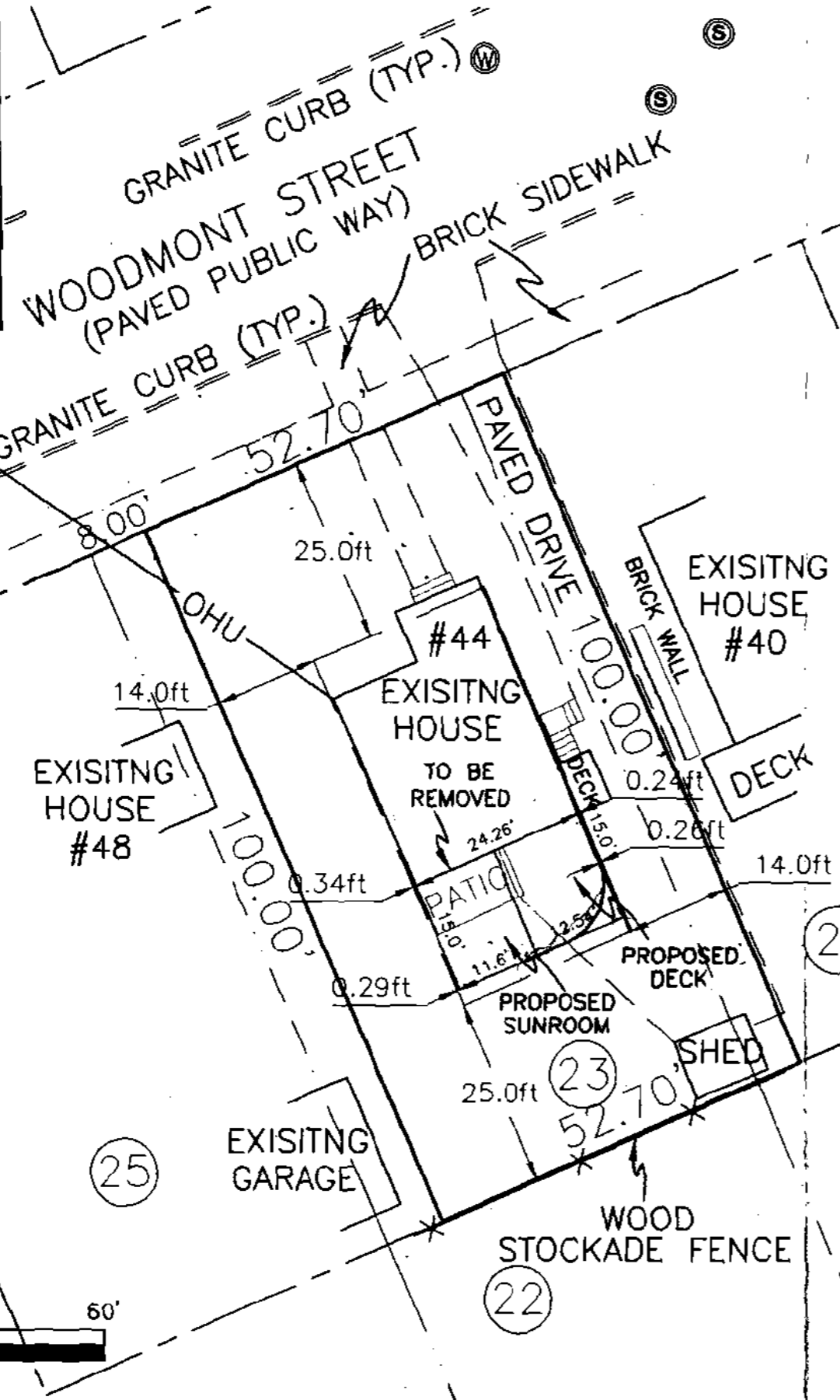
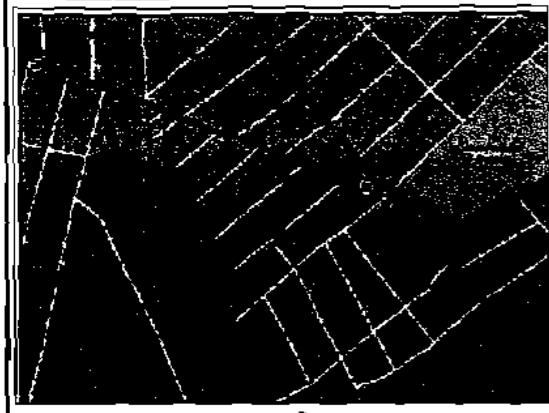
Signature of applicant: [Signature]

Date: 1/26/08



This is not a permit; you may not commence ANY work until the permit is issued.

**SITE LOCATION MAP:**



**GENERAL NOTES:**

1. RECORD OWNER OF PARCEL: WILLIAM J. SHEILS AND MARTHA PAPP BOOK 12127 PAGE 301 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION TAKEN AT THE TIME OF THIS SURVEY, UTILIZING THE FOLLOWING EQUIPMENT:  
LIETZ SOKKISHA SET 4 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
3. AREA OF SUBJECT PARCEL: 5,270.00 SQ. FT., 0.12 ACRES
4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
  - a.) OAKWOOD HEIGHTS, PORTLAND, MAINE, PROPERTY OF THOMAS A SANDERS, BY E.C.JORDAN & CO., MARCH 1923, RECORDED IN THE C.C.R.D. PLAN BOOK 15 PAGE 13.
  - b.) CITY OF PORTLAND ASSESSORS PLAN NO. 81 BLOCK D LOT 21. RETRACED 3-30-67.
5. ZONING: R-3 RESIDENTIAL  
 SETBACKS: FRONT - 25 FT; REAR - 25 FT;  
 SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 14 FT  
 ON SIDE STREET: 20 FT  
 MINIMUM LOT SIZE: 6,500 SQ FT  
 MINIMUM LOT FRONTAGE: 50 FT  
 MAXIMUM BUILDING HEIGHT: 35 FT  
 MAXIMUM LOT COVERAGE: 25%



**LEGEND**

- 3' MON 3' OFFSET GRANITE MONUMENT
- IPF O Iron Pipe Found
- (50.00') Distance from reference plan or deed.
- N/F Now Or Formerly
- Utility Pole
- OHU Overhead Electric or Comm.
- Abutter Line
- Property Line
- Street Line
- Sewer Manhole
- Water Gate
- TYP. Typical
- 12345/99 Deed Book/Page of Local Registry
- Lot Number
- Edge of Traveled Way
- Setback Line
- Old Lot Line

**SURVEYORS STATEMENT:**

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW CORNERS SET

*Robert T. Greenlaw*  
 ROBERT T. GREENLAW P.L.S., #2303  
 V. PRESIDENT BACK BAY BOUNDARY, INC.

DATE: JULY 19, 2005

SKETCH SITE PLAN  
 44 WOODMONT STREET, PORTLAND, MAINE  
 (NOTE: THIS IS NOT A BOUNDARY SURVEY)

FOR:  
 WILLIAM SHEILS

DRAWN BY: DMD / PJM  
 CHECKED BY: KCC  
 SCALE: 1"=20'  
 DATE OF SURVEY: 06/23/2005  
 JOB NUMBER: 2005081  
 SHEET: 1 OF 1

PREPARED BY:  
**BACK BAY BOUNDARY, INC.**  
 PROFESSIONAL LAND SURVEYING  
 643 FOREST AVENUE  
 PORTLAND, MAINE 04101  
 207-774-2855 FAX 207-347-4346



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/~~Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature]  
Signature of Applicant/Designee

3/3/06  
Date

[Signature]  
Signature of Inspections Official

3 3 06  
Date

CBL: 081 D021

Building Permit #:

060152

Applicant: William + MARTHA STEILS Date: 02/27/06

Address: 44 Woodmont ST C-B-L: 18-D-21

CHECK-LIST AGAINST ZONING ORDINANCE

Date - 02/27/06

Zone Location - R-3

Interior or corner lot - NO

Proposed Use/Work -

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25 FT Required 25 shown

Rear Yard - 25 FT Required 25 shown

Side Yard - 14 Required 14 FT shown + 20 FT shown

Projections -

Width of Lot -

Height - 2 stories

Lot Area - 5270 sq FT.

Lot Coverage/Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/Stream Protection -

Flood Plains -



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 081 D021001  
**Location** 44 WOODMONT ST  
**Land Use** SINGLE FAMILY

**Owner Address** SHEILS WILLIAM J & MARTHA PAPP JTS  
 44 WOODMONT ST  
 PORTLAND ME 04102

**Book/Page** 12127/301  
**Legal** 81-D-21  
 WOODMONT ST 44  
 5270 SF

**Current Assessed Valuation For Fiscal Year 2006**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$58,230	\$109,870	\$168,100

**Estimated Assessed Valuation For Fiscal Year 2007\***

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$86,100	\$137,000	\$223,100

\* Value subject to change based upon review of property status as of 4/1/06.  
 The tax rate will be determined by City Council in May 2006.

**Property Information**

<b>Year Built</b> 1930	<b>Style</b> Old Style	<b>Story Height</b> 2	<b>Sq. Ft.</b> 1332	<b>Total Acres</b> 0.121	
<b>Bedrooms</b> 4	<b>Full Baths</b> 2	<b>Half Baths</b>	<b>Total Rooms</b> 7	<b>Attic</b> Unfin	<b>Basement</b> Full

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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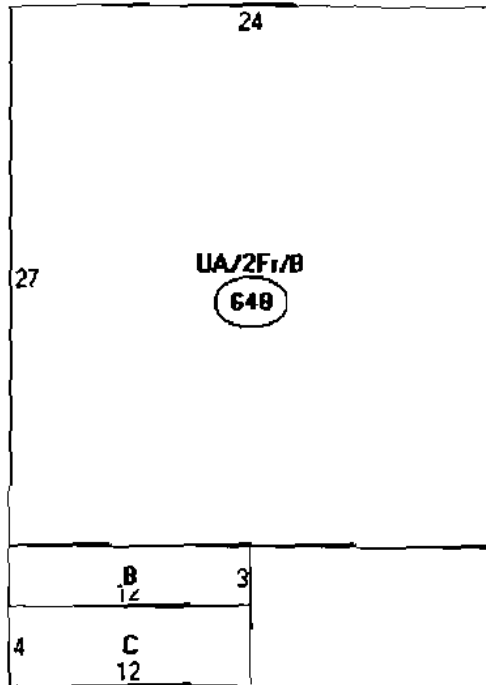
**Sales Information**

<b>Date</b> 09/01/1995	<b>Type</b> LAND + BLDING	<b>Price</b> \$123,500	<b>Book/Page</b> 12127-301
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**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax MAP](#)

[Click here](#) to view Tax Roll Information.



Descriptor/Area

A: UA/2Fr/B  
648 sqft

B: 1Fr/OP  
36 sqft

C: OFF  
48 sqft

732 <sup>sq ft</sup> existing

363.9 proposed

1095.9 TOTAL

lot size 5270 sqft

20.77% 35%

OK





**SHEILS  
44 WOODMONT STREET  
PORTLAND, MAINE 04102**

BUILDING PERMIT APPLICATION WORKSHEET

City of Portland Tax Map 81-D-21

R-3 Residential Zone (Land Use Code Sec. 14-86 et seq.)

**Pertinent Dimensional Requirements:**

- (a) Minimum Lot Size: 44 Woodmont St. is a grandfathered lot of record under Sec. 14-433.
- (b) Rear Yard Setback: Minimum of 25 feet. OK with proposed addition (See Boundary Survey).
- (c) Side Yard Setback: Minimum of 14 feet for two-story structure. OK with proposed addition (See Boundary Survey).
- (d) Maximum Lot Coverage: Thirty-five percent (35%) of lot area. OK.  
Lot Area: 5,270 sq. feet  
35% of 5,270 = 1844.5 sq. feet of maximum coverage  
Current Coverage: 832 sq. feet (House 24 x 27; 3 x 12; Front Porch 4 x 12; Shed 8 x 10; Side Porch 5 x 6)  
Proposed Additional Coverage: 360 sq. feet (Sunroom 15 x 12; Deck 15 x 12)  
Total Lot Coverage with Addition: 1192 sq. feet or 23% of Lot Area

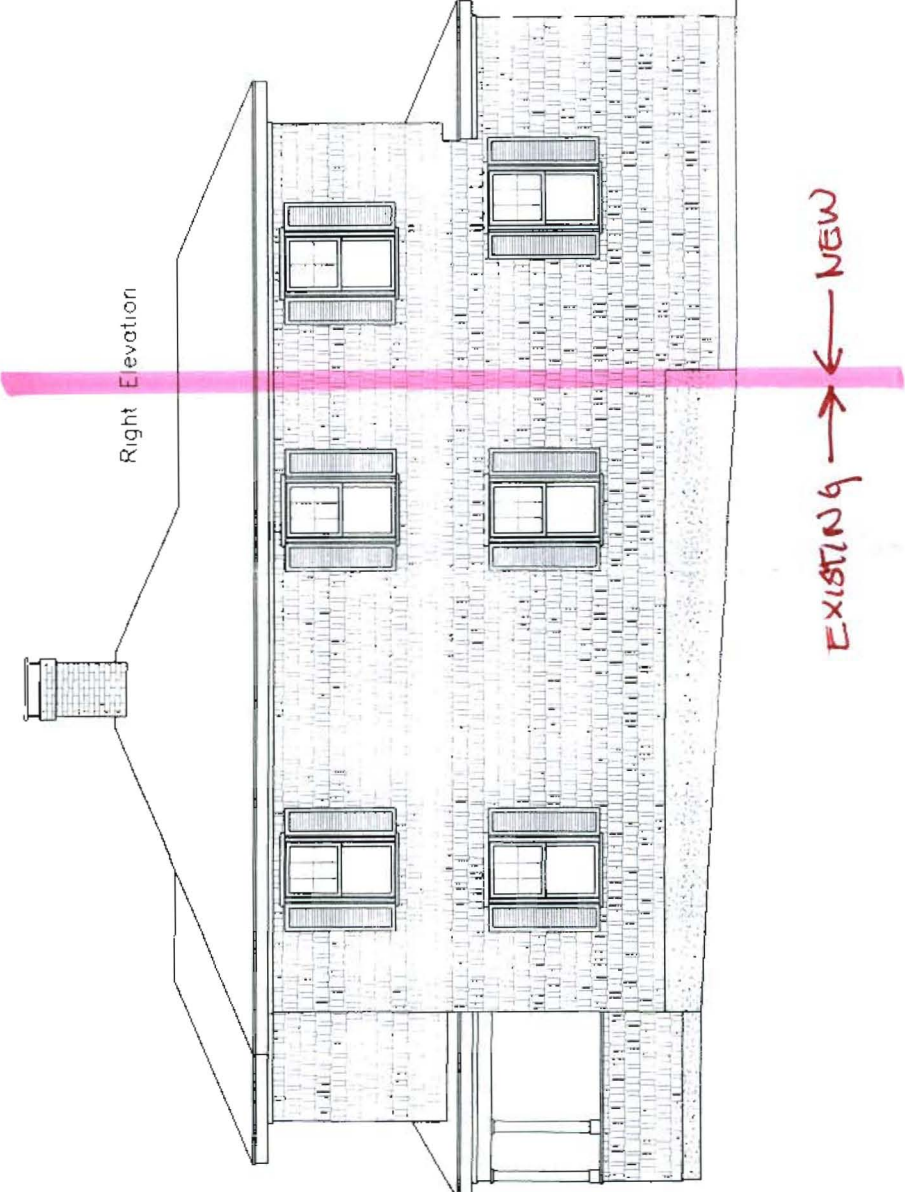


Drawing # A-2

Scale 1/8" = 1'  
Date Jan. 24, 2006  
F.R. Smith

Blovdore  
Stegis  
Portland, ME

This drawing is presented as an advisory opinion of the project  
at completion. It does not constitute a contract. It is intended for  
reference only and should be examined by a  
professional engineer or other professional,  
or both, by an insured.



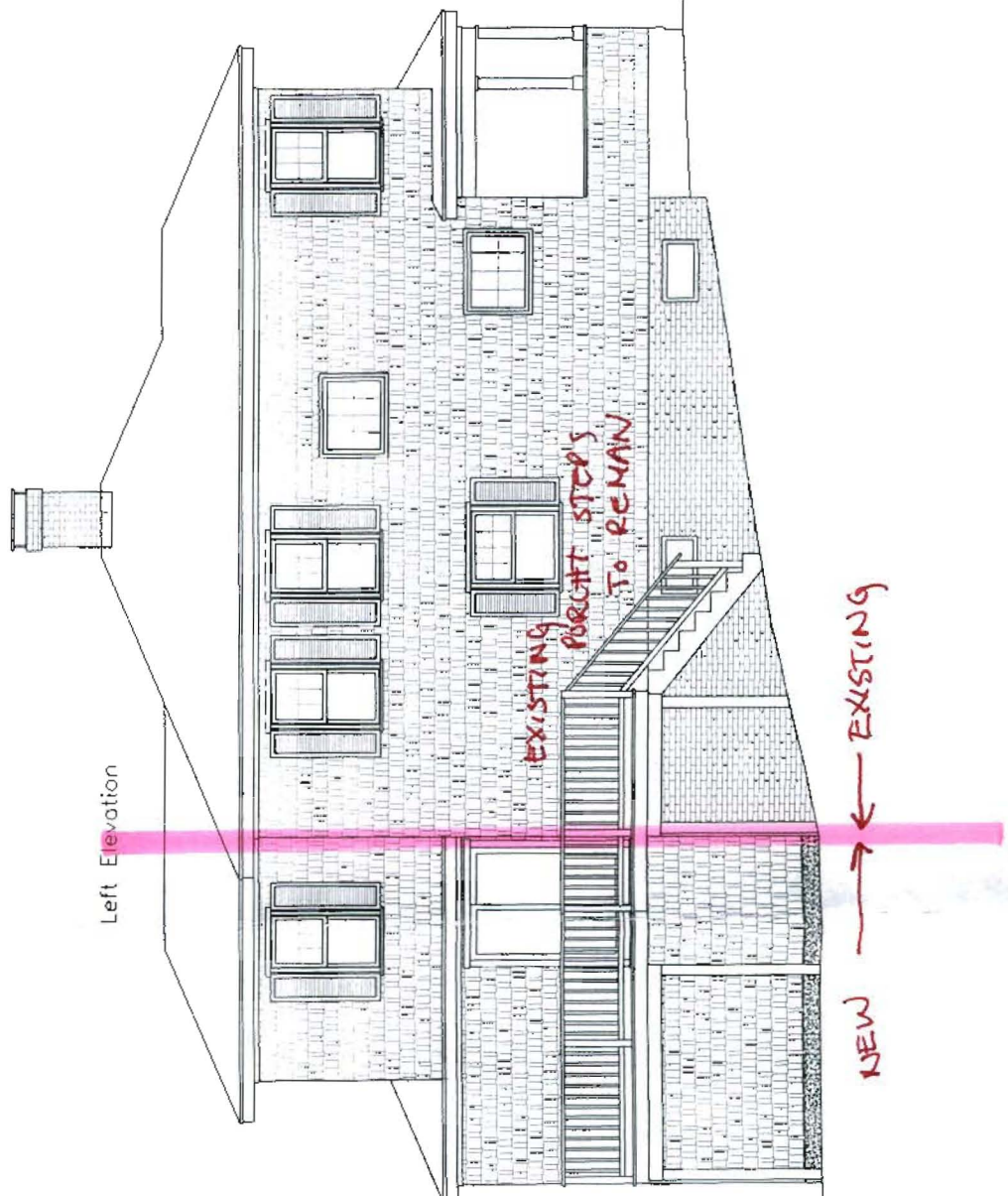
Right Elevation

Drawing # A-1

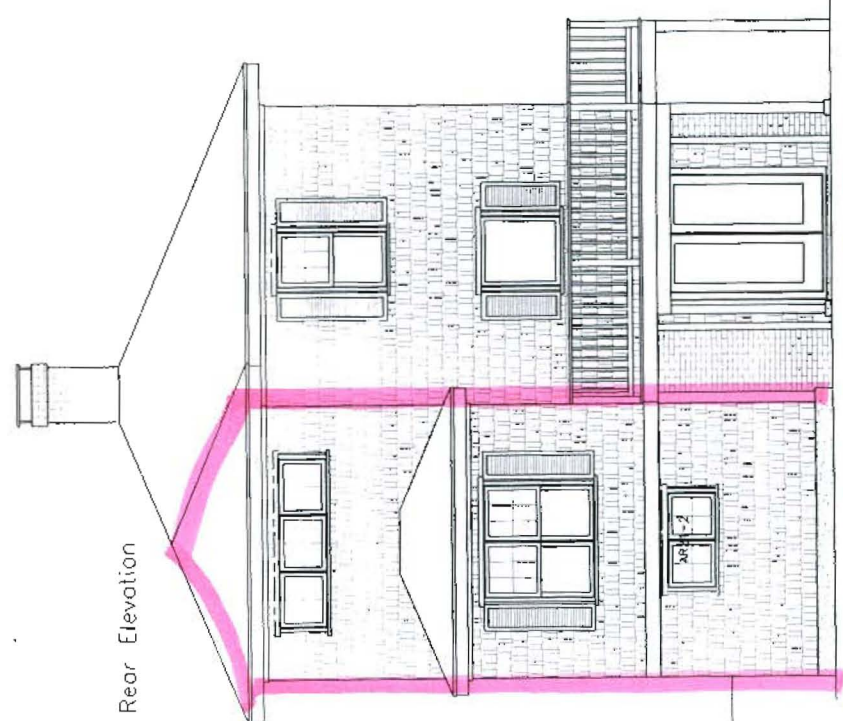
Scale 1/4" = 1'  
Date: Jan. 24, 2006  
For: Shells

DeVadors  
Shells  
Portland, ME

This drawing is prepared as an approximate depiction of the project as completed. It is not intended to be used for construction purposes. It is not intended to be used for construction purposes. It is not intended to be used for construction purposes.



Left Elevation



Rear Elevation

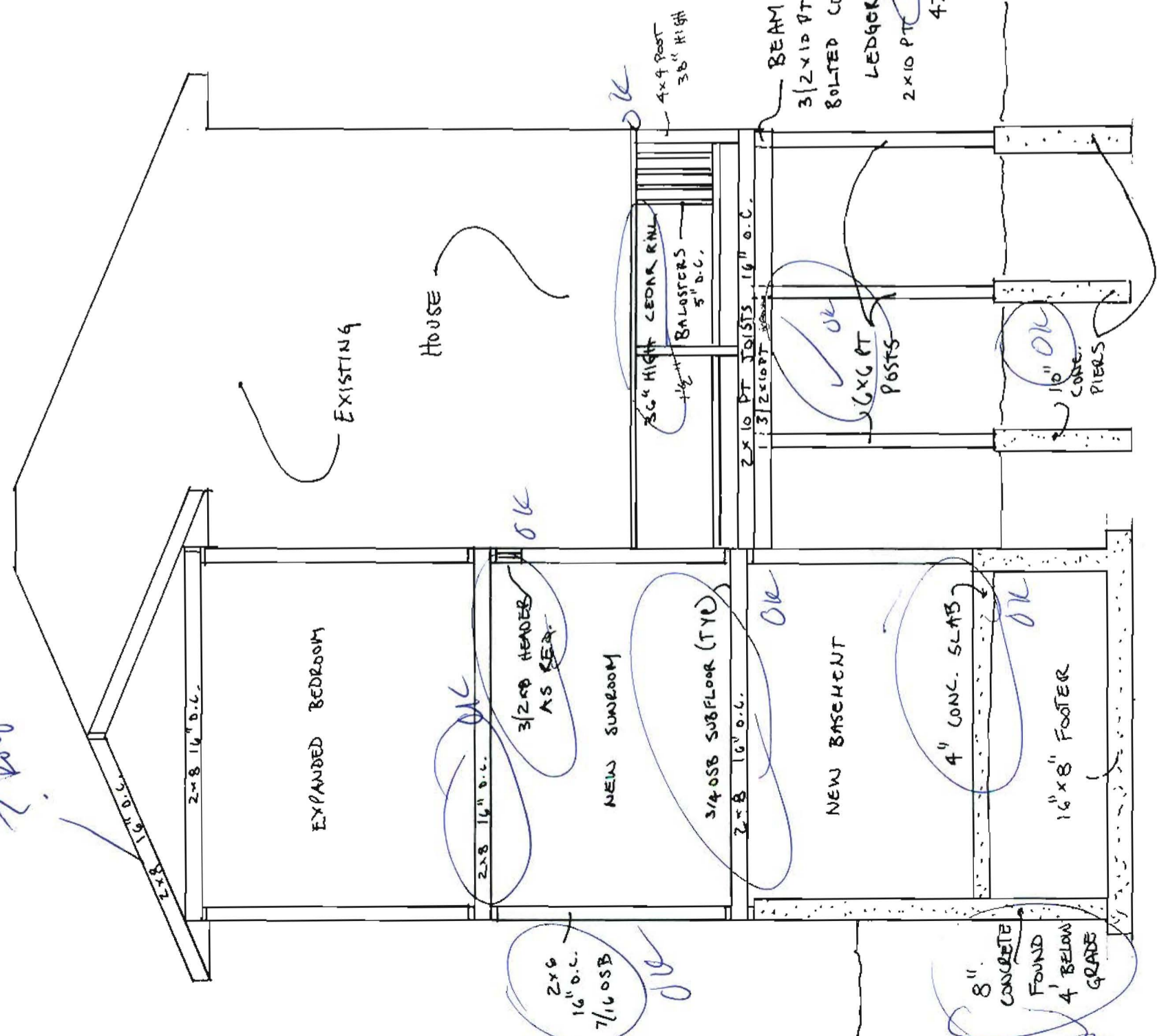


SHELLS RESIDENCE  
44 WOODMONT  
PORTLAND, MAINE

SECTION THROUGH  
ADDITION + PORCH

1/4" = 1'-0"

2 Porches



EXISTING STANS

BEAM:  
3/2 x 10 PT  
BOLTED CONNECTIONS

LEDGER C HAUSE:  
2x10 PT THROUGH-BOLTED  
42" O.C. 1/2 x 6 ANCHORS

4x4 POST  
38" HIGH

3/2 x 10 PT JOISTS 16" O.C.  
3/2 x 10 PT POSTS

EXISTING HOUSE

EXPANDED BEDROOM

NEW SUNROOM

NEW BASEMENT

2x6  
16" O.C.  
7/16 OSB

8" CONCRETE FOUND 4' BELOW GRADE

4" CONC. SLABS

16" x 8" FOOTER

10" CONCRETE PIERS

6x6 PT POSTS

3/2 x 10 PT JOISTS 16" O.C.  
3/2 x 10 PT POSTS

OK

OK

OK

OK

OK

OK

OK

OK

OK

OK

OK

OK

OK

OK