

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that PVA LIMITED PARTNERSHIP

Located At 7 ELIZABETH RD

Job ID: 2012-06-4331-SIGN

CBL: 080-1-001-001

has permission to replace the free standing sign - 5'x 8' - at the corner of Brighton & Douglass provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

*J/A*

*[Signature]*

7/27/12

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-06-4331-SIGN	Date Applied: 6/26/2012	CBL: 080-1-001-001	
Location of Construction: 7 ELIZABETH RD (214-216 Brighton Ave.)	Owner Name: PVA LIMITED PARTNERSHIP	Owner Address: 1115 WESTFORD ST  LOWELL, MA 01851	Phone:
Business Name:	Contractor Name: Barlo Signs	Contractor Address: 158 Greeley ST Hudson NH 03051	Phone:  (800) 227-5674
Lessee/Buyer's Name:	Phone:	Permit Type: SIGN - PERM - Signage - Permanent	Zone:  R-5
Past Use:  Princeton Village – 13 multi-tenant buildings	Proposed Use:  Same – 13 multi-tenant buildings – replace free standing sign at corner of Brighton Ave. & Douglass St – 5' x 8' with 10" x 4' panel below	Cost of Work:	CEO District:
		Fire Dept:  <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A  Signature:	Inspection: Use Group: Type: Sign Signature: ABU
Proposed Project Description: replace freestanding sign –corner of Douglass		Pedestrian Activities District (P.A.D.)  7/27/12	
Permit Taken By: Gayle		<b>Zoning Approval</b>	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building Permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied  Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied  Date: ABU
	Date: <i>ABU</i> 07.27.2012 <b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# Signage/Awning Permit Application

2012 06 4331 #1 66

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Corner of  
Dorchester!  
Brighton

(1-17) 7 Elizabeth Ave

Location/Address of Construction: 214-216 Brighton Ave

Tax Assessor's Chart, Block & Lot Chart# 080 Block# I Lot# 001	Owner: Princeton Properties 1375 Forest Ave Portland ME 04101	Telephone: PMA Limited Partnership 1115 Westford Lowell MA 01857
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Lessee/Buyer's Name (If Applicable) N/A	Contractor name, address & telephone: Barlo 158 Grealey St Hudson NH 03051	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00 For H.D. signage \$75.00 Fee: \$ 110.00 Awning Fee= cost of work — Total Fee: \$ _____
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Who should we contact when the permit is ready: Jean Barlo phone: 800.227.5674 (333)

Tenant/allocated building space frontage (feet): Length: \_\_\_\_\_ Height: \_\_\_\_\_  
Lot Frontage (feet) \_\_\_\_\_ Single Tenant or Multi Tenant Lot \_\_\_\_\_  
Current Specific use: Apartments ITEM I

If vacant, what was prior use: \_\_\_\_\_  
Proposed Use: Replacement Signs NON-ILLUMINATED

Information on proposed sign(s):  
Freestanding (e.g., pole) sign? Yes  No  Dimensions proposed: 5'x8' Height from grade: 8'  
Bldg. wall sign? (attached to bldg) Yes  No  Dimensions proposed: \_\_\_\_\_

Proposed awning? Yes  No  Is awning backlit? Yes  No   
Height of awning: \_\_\_\_\_ Length of awning: \_\_\_\_\_ Depth: \_\_\_\_\_  
Is there any communication, message, trademark or symbol on it? Yes  No   
If yes, total s.f. of panels w/communications, message, trademark or symbol: \_\_\_\_\_ s.f.

Information on existing and previously permitted sign(s):  
Freestanding (e.g., pole) sign? Yes  No  Dimensions: 5'x8'  
Bldg. wall sign? (attached to bldg) Yes  No  Dimensions: \_\_\_\_\_  
Awning? Yes  No  Sq. ft. area of awning w/communication: \_\_\_\_\_

Remove 40 \$ 333  
Install - 40 \$ 433

A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.

Please submit all of the information outlined in the Sign/Awning Application Checklist. Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: \_\_\_\_\_ Date: 6-21-12

This is not a permit; you may not commence ANY work until the permit is issued. RECEIVED

Revised 10/19/09 R-5 - multi family developments  
15' allowed 5'x5 = 40sq  
5' high  
per major entrance - 2 one Dorchester! one @ Main St @

JUN 26 2012  
Dept. of Building Inspections  
City of Portland Maine



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

## Receipts Details:

**Tender Information:** Check , BusinessName: Barlo Signs International, Inc, Check Number: 2977

**Tender Amount:** 110.00

## Receipt Header:

**Cashier Id:** gguertin

**Receipt Date:** 6/26/2012

**Receipt Number:** 45352

## Receipt Details:

Referance ID:	7041	Fee Type:	BP-Signs
Receipt Number:	0	Payment Date:	
Transaction Amount:	110.00	Charge Amount:	110.00
Job ID: Job ID: 2012-06-4331-SIGN - replace freestanding 40 sq. ft sign			
Additional Comments: Barlo Signs			

Thank You for your Payment!

City of Portland  
Planning and Development  
Ms. Ann Machado  
389 Congress St.  
Portland ME 04101

RECEIVED

JUL 19 2012

Dept. of Building Inspections  
City of Portland Maine

June 17<sup>th</sup>, 2012

Ms. Machado,

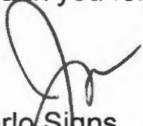
Thank you for handling my paperwork for replacement signs for Princeton Properties at 214 and 216 Brighton Ave. As discussed, our client hopes to replace the two existing 40 sf, 8' tall, non illuminated monument signs, with two new signs, same area, and same height.

Princeton Village is a large scale residential property(s) that needs adequate identification, more so than the sign ordinance currently allows.

Our client only seeks to clean up and replace their existing signs; our proposal is a positive improvement to these two addresses.

Should your department have any questions or concerns, or require any additional information, please don't hesitate to contact me.

Thank you for your time,



Barlo Signs  
Jenn Robichaud  
158 Greeley St  
Hudson/NH 03051  
800 227 5674 x 333

CORPORATE OFFICE: 158 Greeley Street, Hudson, NH 03051-3422 (603) 882-2638 or 800-227-5674  
FAX (603) 882-7680 Email: [your\\_image@barlosigns.com](mailto:your_image@barlosigns.com) Website: [www.barlosigns.com](http://www.barlosigns.com)





# PORTLAND MAINE

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Receipts Details:

**Tender Information:** Check , Check Number: 3012

**Tender Amount:** 75.00

Receipt Header:

**Cashier Id:** bsaucier

**Receipt Date:** 7/19/2012

**Receipt Number:** 46158

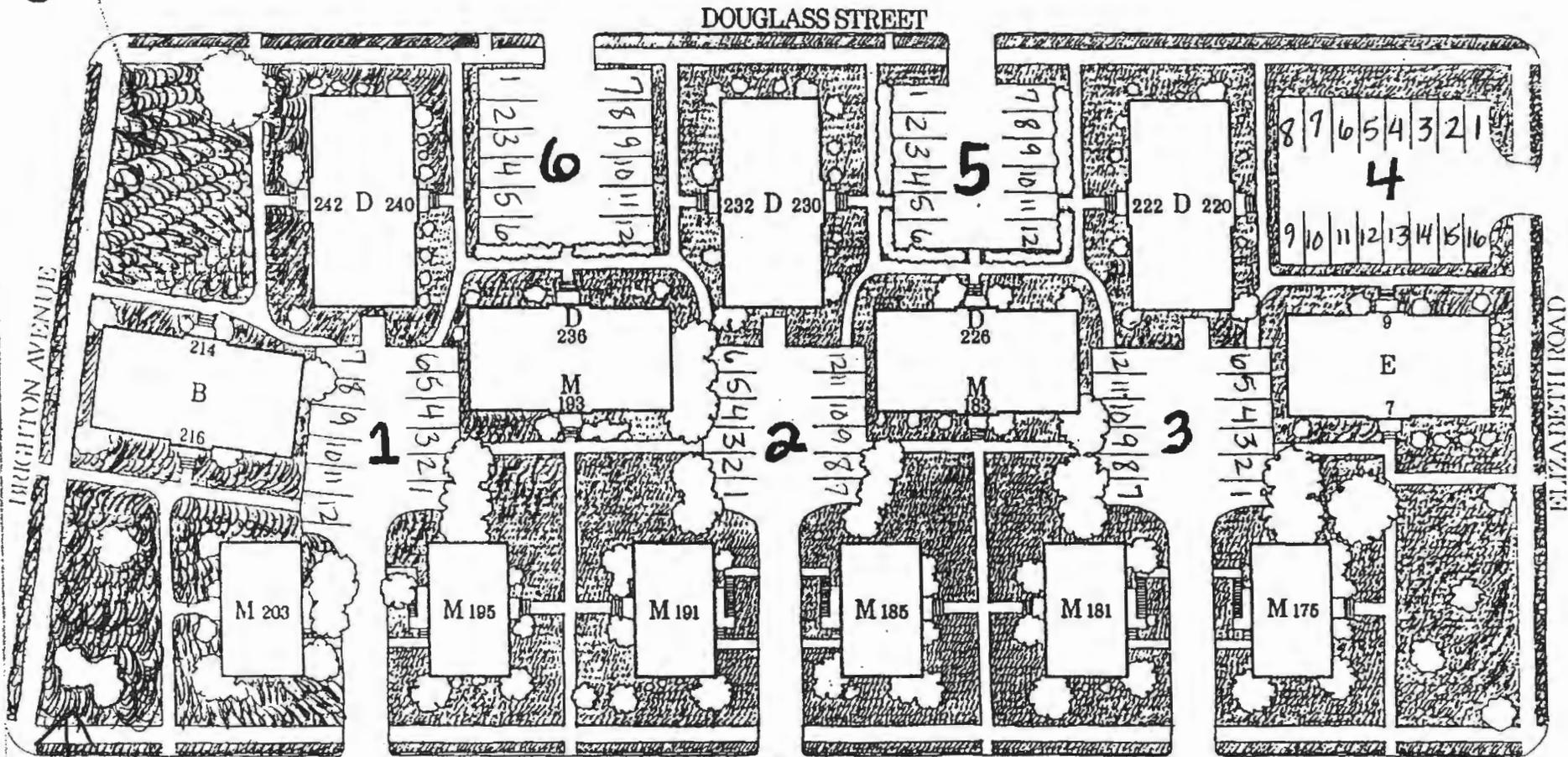
Receipt Details:

Referance ID:	7322	Fee Type:	SAP
Receipt Number:	0	Payment Date:	
Transaction Amount:	75.00	Charge Amount:	75.00
Job ID: Job ID: 2012-06-4332-SIGN - replace freestanding sign - corner of Mass. Ave.			
Additional Comments: 7 Elizabeth/214 Brighton			

Thank You for your Payment!

# Princeton Village Parking

*Sign location*



*Sign location*

RECEIVED

JUL 19 2012

Dept. of Building Inspections  
City of Portland, Maine

JOB#:

**ITEM MANUFACTURING**

Barlo BarloMax Sub Other:

**ITEM INSTALLATION**

Barlo BarloMax Sub Other:

**ITEM SCOPE OF WORK**

ITEM A - MANUFACTURE & INSTALL (1) S/F NON-ILLUMINATED SIGN

Sign Area: 43.3 SQ FT

**GENERAL NOTES**

REMOVAL OF OLD SIGNS BY CLIENT

ALL PAINTED SURFACES TO BE THREE PART POLYURETHANE SYSTEM

**COLORS**

**SIGN**

Cabinet: PTM S/G WHITE  
 Retainer: NA - BLEED FACE  
 Face B/G: PTM S/G WHITE  
 Copy: THIS COPY ON 1" DEEP PAN SIGN, PTM 7725-56 DK GREEN  
 "PRINCETON VILLAGE": WHITE  
 "APARTMENT HOMES...": WHITE

D/F WHITE BEA PANEL WITH 7725-56 DK GREEN VINYL APPLIED

**POLES**

(2) 6" X 6" X 10' GRANITE POSTS

ALL COLORS ARE FOR REPRESENTATION ONLY. SEE ACTUAL SAMPLES FOR COLOR MATCH.

**SIGN DISPOSITION**

Store for Barlo  Leave @ Site  Dispose  
 Store for Customer  Chargeable  N/A

**MANUFACTURING INFORMATION**

S/F D/F ILL. Non-ILL  
 Interior Exterior Custom Extrusion

Cabinet Depth: Ret. Size:

Framing: Steel Alum.

Face Mat: ALUM Th: .063

Copy: 1/8" & 1/4" DEEP FCO PLEXIGLAS  
 1/8" DEEP FCO LINES NEXT TO "VILLAGE"  
 (SEE DWG)

STEEL	Existing	Required
Size		
Length		
W. Thickness		
Stub Size		
Stub Length		
W. Thickness		
PLATE	W L Th	
GUSSETS	W L Th	



NEW SIGN TO BE LOCATED IN BASIC VICINITY OF EXISTING. CLIENT WILL DETERMINE EXACT LOCATION AND POSITION UPON INSTALL

Field Survey Required

ITEM A - (1) S/F NON-ILLUMINATED SIGN  
 SCALE: 1/2" = 1'-0"



RECEIVED

JUL 19 2012

Dept. of Building Inspections  
 City of Portland Maine

PROJECT APPROVAL - PRESALE		Job Name:	PRINCETON VILLAGE
Design:	Date:	Location:	214 / 216 Brighton Ave. PORTLAND, ME.
Sales:	Date:	Client:	
PROJECT APPROVAL - PROD.		Design Specifications Accepted By:	Drawn By: LT
Design:	Date:	Landlord:	Sales Rep: PINE
Estimating:	Date:	Date:	5/16/12
Engineering:	Date:	© COPYRIGHT 2012 THE BARLO GROUP	
Sales:	Date:	THIS DESIGN CONCEPT IS THE PROPERTY OF THE BARLO GROUP. ALL PRODUCTIONS AND DUPLICATION RIGHTS ARE RESERVED BY THE BARLO GROUP. THIS PRINT IS UNDESIGNED FOR YOUR PERSONAL USE AND IS NOT TO BE USED OUTSIDE YOUR ORGANIZATION OR CREDITED IN ANY MANNER.	
Production:	Date:		
Installation:	Date:		

REVISIONS	
Date	Comment
5/17 DR	REVISE COPY AND FONT
5/23	REVISE COPY AND FONT

**BARLO SIGNS**  
 158 Greeley St., Hudson, NH 03051  
 (603) 882-2638 Fax (603) 882-7680

File Name: Princeton Village 12059652 J

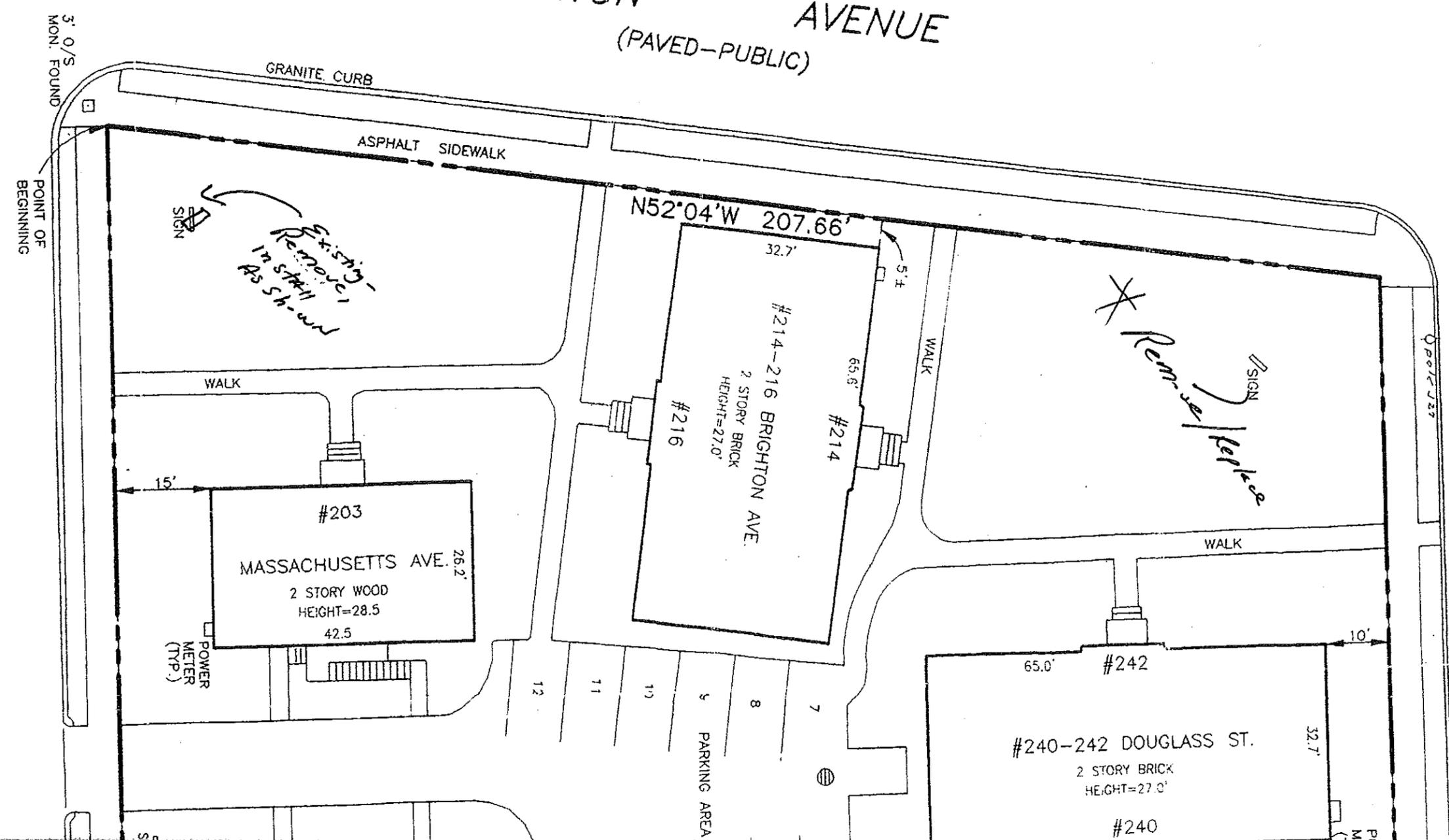
**B- 12-05-9652**  
 R-2 SHEET: 1.0





ST. GEORGE STREET

BRIGHTON AVENUE  
(PAVED-PUBLIC)



Page 1 of 1

DESCRIPTION

A CERTAIN PARCEL OF LAND SITUATED ON THE SOUTHWESTERLY SIDE OF BRIGHTON AVENUE, IN THE CITY OF PORTLAND, COUNTY OF CUMBERLAND, STATE OF MAINE BEING BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING ON THE SOUTHWESTERLY SIDELINE OF BRIGHTON AVENUE AND THE SOUTHEASTERLY SIDELINE OF MASSACHUSETTS AVENUE; THENCE S 29° 30' W ALONG SAID SIDELINE OF MASSACHUSETTS

THE UNDERSIGNED,  
CERTIFIES TO:  
PVA LIMITED PARTN  
BERKSHIRE MORTGA  
MAINE STATE HOUS  
BANKNORTH, NATIO  
FANNIE MAE, ITS S  
COMMONWEALTH LA

JOB#: \_\_\_\_\_

**ITEM MANUFACTURING**

Barlo BarloMex Sub Other: \_\_\_\_\_

**ITEM INSTALLATION**

Barlo BarloMex Sub Other: \_\_\_\_\_

**ITEM SCOPE OF WORK**

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 Store for Customer  Chargeable  N/A

**MANUFACTURING INFORMATION**

(S/F) D/F ILL. (Non-ILL)  
Interior (Exterior) (Custom) Extrusion  
Cabinet Depth: Ret. Size:  
Framing: Steel Alum.  
Face Mat: ALUM Th: .063

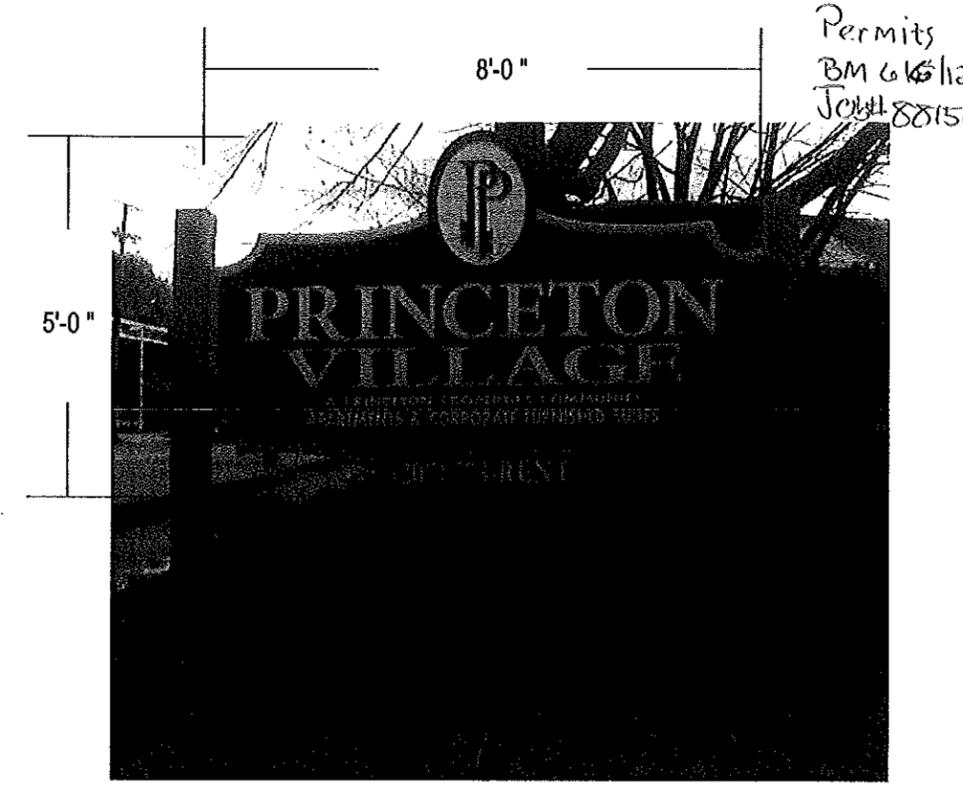
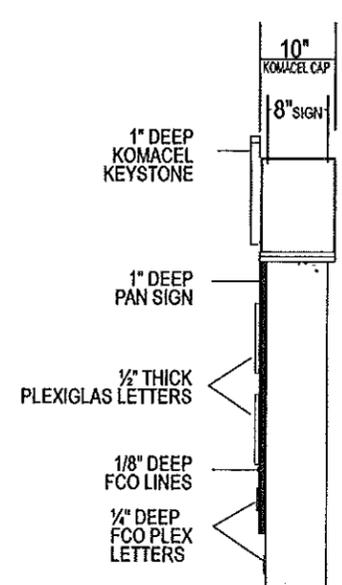
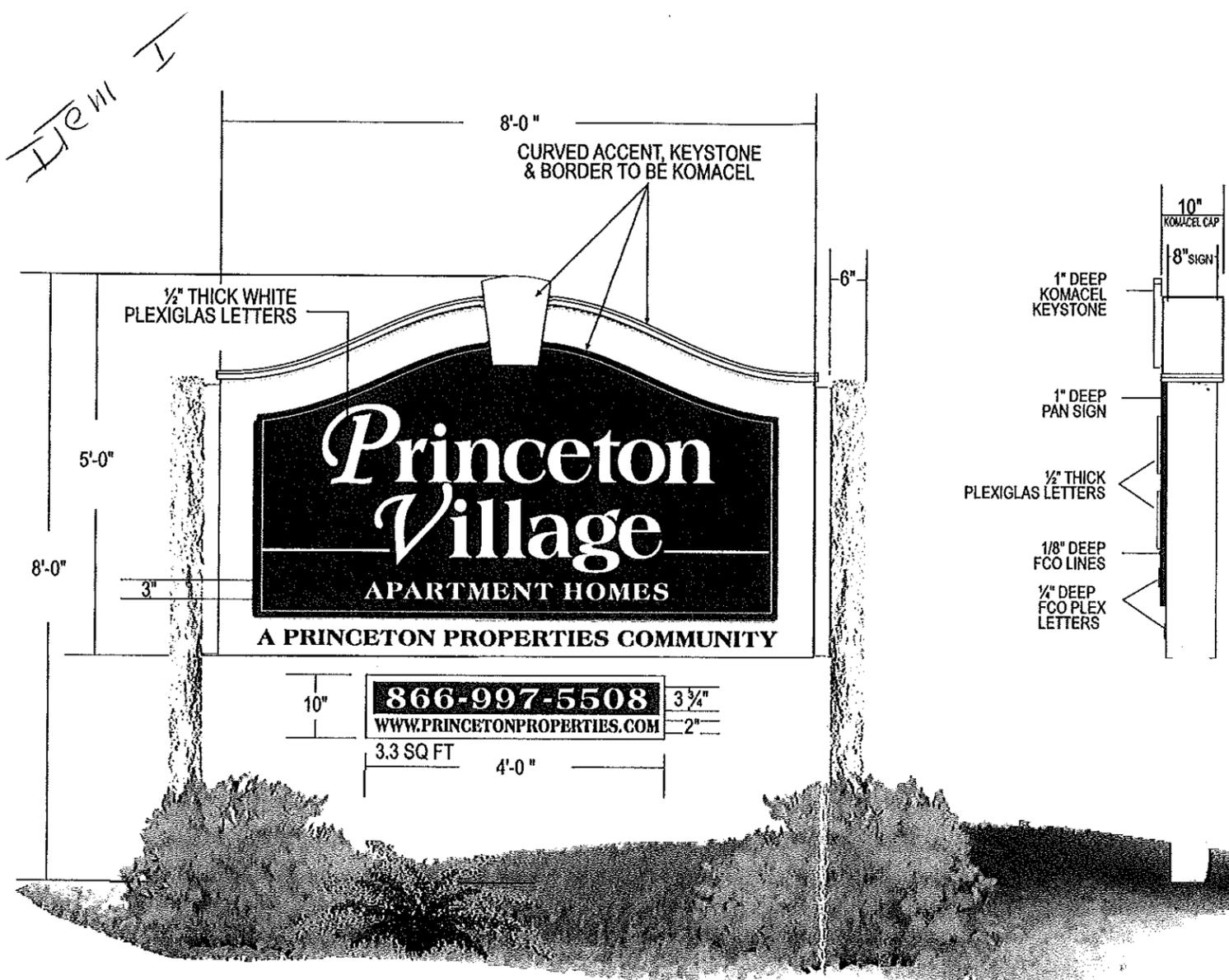
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Stub Size		
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GUSSETS	W	L Th

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REVISIONS	
Date	Comment
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5/23	REVISE COPY AND FONT

<b>PROJECT APPROVAL - PRESALE</b>		Job Name: PRINCETON VILLAGE
Design: <i>Jan</i>	Date:	Location: 214 / 216 Brighton Ave. PORTLAND, ME.
Sales:	Date:	Design Specifications Accepted By:
<b>PROJECT APPROVAL - PROD.</b>		Drawn By: LT
Design: <i>Jan</i>	Date: 5/16/12	Client:
Estimating:	Date:	Sales Rep: PINE
Engineering:	Date:	Date: 5/16/12
Sales:	Date:	Landlord:
Production:	Date:	© COPYRIGHT 2012 THE BARLO GROUP THIS DESIGN CONCEPT IS THE PROPERTY OF THE BARLO GROUP. ALL PRODUCTION AND DUPLICATION RIGHTS ARE RESERVED BY THE BARLO GROUP. THIS PRINT IS DESIGNED FOR YOUR PERSONAL USE AND IS NOT TO BE USED OUTSIDE YOUR ORGANIZATION OR EXERCISED IN ANY MANNER.
Installation:	Date:	Underwriters Laboratories Inc.

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158 Greeley St., Hudson, NH 03051  
(603) 882-2638 Fax (603) 882-7680

File Name: Princeton Village 12059652 J

**B-12-05-9652**  
R-2 SHEET: 1.0