

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Please Read Application And Notes, If Any, Attached

**PERMIT ISSUED**  
 Permit Number: 050379  
 APR 13 2005  
 CITY OF PORTLAND

This is to certify that Jepson Todd O &/Gerald Mu

has permission to build 15' x 21' 2 story addition

AT 67 Woodmont St

080 H008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*[Signature]* 4/13/05  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0379	Issue Date: <b>PERMIT ISSUED</b>	080-11008001
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<b>Location of Construction:</b> 67 Woodmont St	<b>Owner Name:</b> Jepson Todd O &	<b>Owner Address:</b> 67 Woodmont St	<b>Phone:</b> 207-240-9354
<b>Business Name:</b>	<b>Contractor Name:</b> Gerald Muto	<b>Contractor Address:</b> 30 Stovers Point Road Harpswell	<b>Phone:</b> 207-833-5043
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Alterations - Dwellings</b> <span style="float: right;">ZONE: <b>R-3</b></span>	

<b>Past Use:</b> single family	<b>Proposed Use:</b> single family - build 15' x 21' 2 stories addition	<b>Permit Fee:</b> \$606.00	<b>Cost of Work:</b> \$65,000.00	<b>CEO District:</b> 3
<b>Proposed Project Description:</b> build 15' x 21' 2 story addition		<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>NA</i>	<b>INSPECTION:</b> Use Group: <b>R-5</b> Type: <b>SB</b> <b>IRC 2003</b>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>				
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
		Signature:	Date:	

<b>Permit Taken By:</b> tmm	<b>Date Applied For:</b> 04/12/2005	<b>Zoning Approval</b>		
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<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MM <input type="checkbox"/> Date: <b>4/13/05</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>4/13/05</b>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 05-0379	<b>Date Applied For:</b> 0411212005	<b>CBL:</b> 080 H008001
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<b>Location of Construction:</b> 67 Woodmont St	<b>Owner Name:</b> Jepson Todd O &	<b>Owner Address:</b> 67 Woodmont St	<b>Phone:</b> 207-240-9354
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<b>Business Name:</b>	<b>Contractor Name:</b> Gerald Muto	<b>Contractor Address:</b> 30 Stovers Point Road Harpswell	<b>Phone:</b> (207) 833-5043
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<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings
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<b>Proposed Use:</b> single family - build 5' x 21' 2 stories addition	<b>Proposed Project Description:</b> build 15' x 21' 2 story addition
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**Dept:** Zoning      **Status:** Approved      **Reviewer:** Tammy Munson      **Approval Date:** 04/13/2005  
**Note:**      **Ok to Issue:**

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tamrny Munson      **Approval Date:** 04/13/2005  
**Note:**      **Ok to Issue:**

- 1) As discussed, filter fabric must be installed over the foundation drain tile.
- 2) The basement is NOT approved as habitable space. A code compliant 2nd means of egress must be installed in order to change the use of this space.
- 3) As discussed, hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, on every level, and in a common area.
- 4) Separate permits are required for any electrical, plumbing, or heating.



# GERALD MUTO, INC.

Fine Homes • Additions • Renovations

April 6, 2005

Tammy Munson  
Portland Codes Enforcement  
389 Congress Street – Room 315  
Portland, Maine 04101

Dear Tammy,

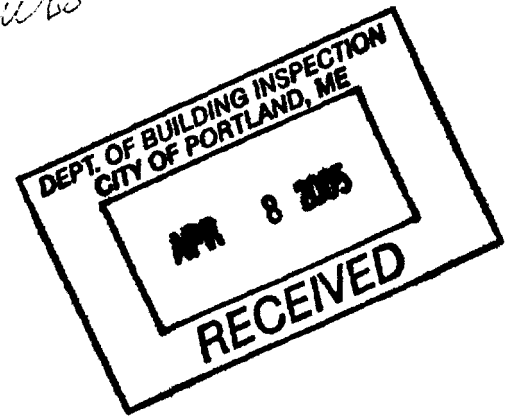
Enclosed you will find drawings for the Jepson Addition at 67 Woodmont Street. They include:

- A bulkhead foundation plan
- An alternate bulkhead foundation plan (I need to discuss this with Todd yet!)
- A cross section of the porch with the bulkhead, sizings of material, and a note about headers for the addition. (I normally fill the space from the rough opening to the bottom of the top plate, which in this case should be a 2x12, but at least we have a minimum.)
- Information about the Bilco "C" door and metal stringers. As you can see I allowed for the option of the stairs extending into the basement slightly.

Please let me know if you need any other information for the building permit. I can be reached at:

Cell 751-4382  
Home 833-5043  
FAX 833-6001

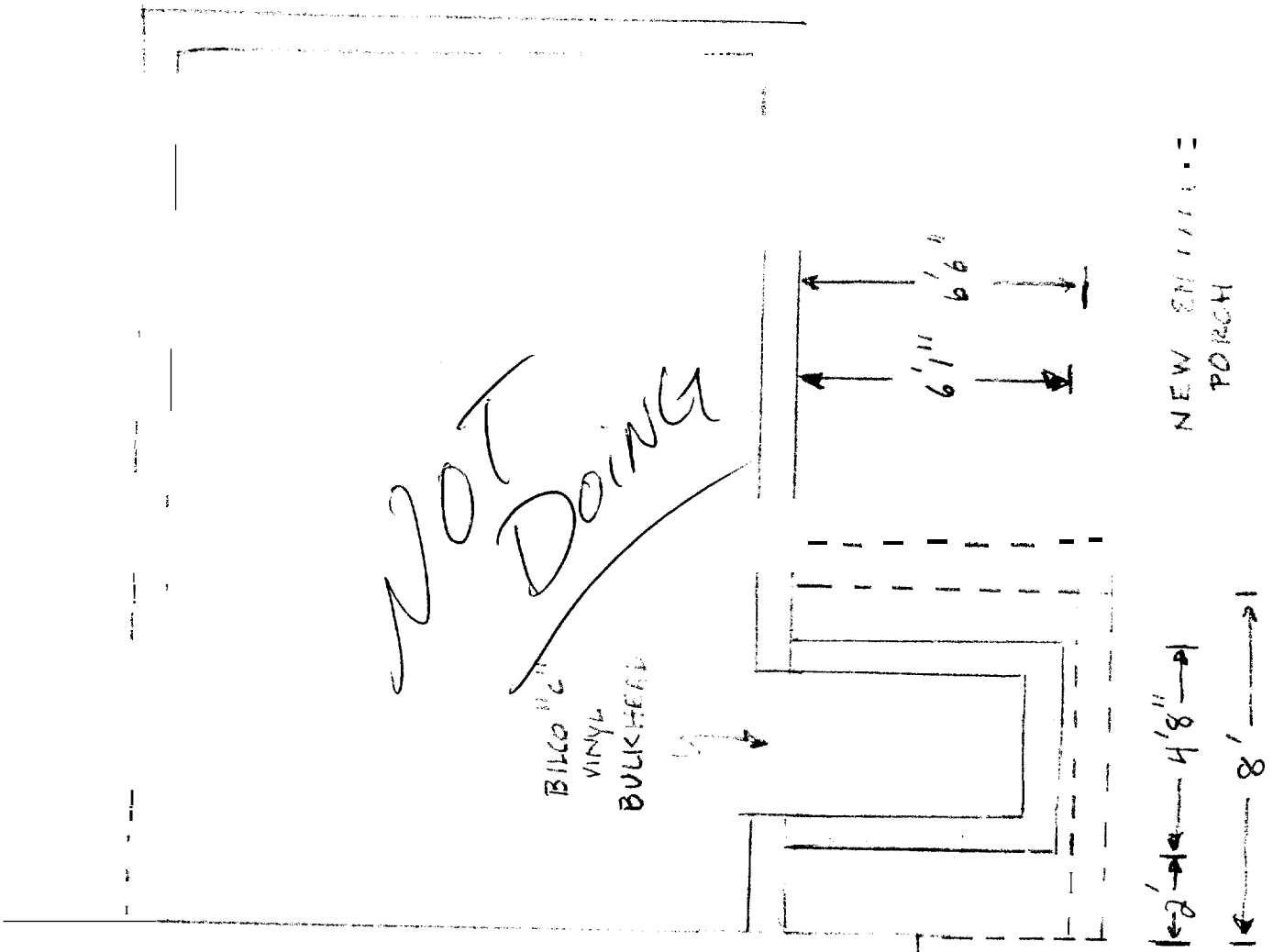
Thanks,



BULKHEAD FOUNDATION  
PLANS

TOOD & LAEL JEPSON 67 WOODS MOUNT ST PORTLAND, ME 04103	GRAND MUTS INC 30 STONING POINT RD PORTLAND, ME 04103
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3/4" = 1'-0"



DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

APR 8 2005

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TODD LAEL JEPSON  
67 WOODMONT ST  
PORTLAND ME 04102

GERALD MUTO INC  
30 STOVING POINT RD  
HARPSWELL ME 04177

SCALE 1/4" = 1'

*[Handwritten signature]*

ALTERNATE  
BULKHEAD  
LOCATION

ENTRANCE  
AS PER  
ORIGINAL  
PLAN

6'1"

10' 4'8"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

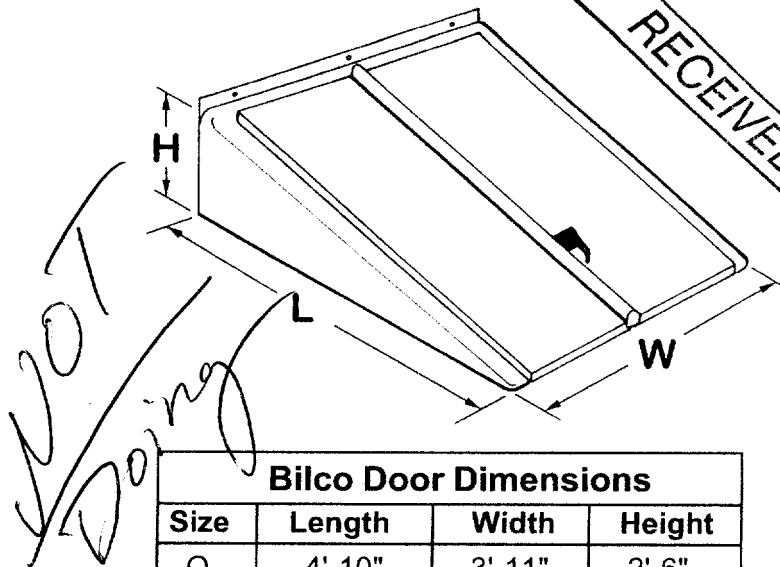
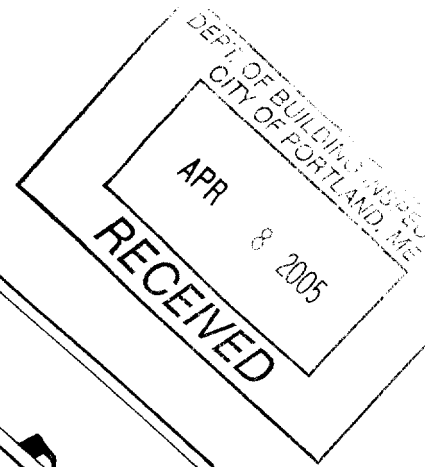
APR 8 2005

RECEIVED

# Information and stairwell dimensions for new construction

The stairwell for the Bilco basement door should be built at the same time as the house foundation. If foundation and stairwell are poured concrete, build the stairwell to about the height of the proposed finish grade. Push Z-anchors or short pieces of reinforcing rods into wet concrete. This allows for pouring a 4" cement capping later. Waterproof outside of stairwell walls as you do the basement. If stairwell is masonry block, fill cores of block with paper before pouring cap, or cap the wall with solid 4" masonry blocks.

To construct stairwell to proper dimensions for various grade conditions, first determine the approximate height the grade will be above the finished basement floor. Then, refer to the construction guide below. Find the range in which this grade height falls. Read across to determine dimensions of the stairwell and the size and dimensions of the Bilco basement door and stair stringers to be used.



Size	Length	Width	Height
O	4'-10"	3'-11"	2'-6"
B	5'-4"	4'-3"	1'-10"
C	6'-0"	4'-7"	1'-7 1/2"
SL	3'-7 1/4"	4'-3"	4'-4"

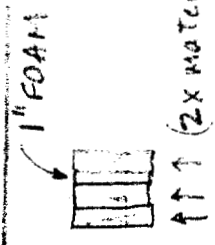
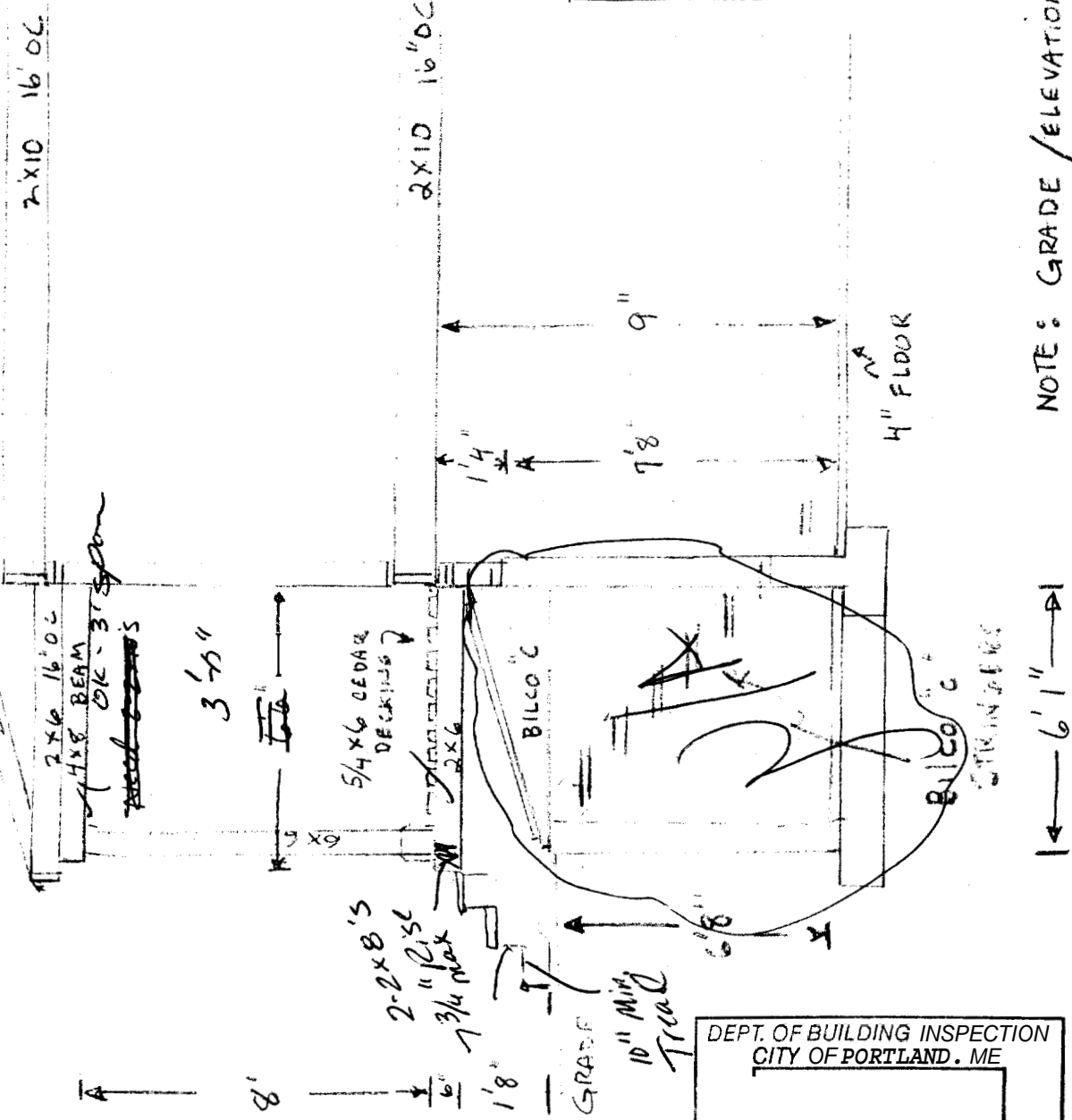
**BILCO DOOR EXTENSIONS** Available for Size C Door (only), these extensions increase the length to fit longer areaways. Horizontal top and two sidepieces are easily assembled and installed. Furnished in four sizes: 6', 12', 18" and 24'. Complete with instructions and required hardware.

HEIGHT OF GRADE ABOVE FINISHED BASEMENT FLOOR WILL BE:	AREAWAY DIMENSIONS			USE THIS BILCO DOOR AND EXTENSION		STAIR STRINGER SPECIFICATIONS		USE THESE BILCO STAIR STRINGERS AND EXTENSIONS (Size E Extension has 3-Tread Run)
	H*	L	W	Door Size	Extension Size	Run + in Areaway	Treads in Areaway	
24" to 31" ‡	33"	40"	44"	SL	None	26-1/4"	3	(Not Available)
32" to 39"	41-1/4"	40"	44"	SL	None	34-5/8"	4	SL
▶ 40" to 47" (See Note)	49-1/2"	40"	44"	SL	None	34-5/8"	4	SL
48" to 55" ‡‡	57-3/4"	54"	40"	O	None	51-3/8"	6	O
56" to 64" ‡‡	66"	60"	44"	B	None	59-3/4"	7	B
65" to 72"	74-1/4"	68"	48"	C	None	68-1/8"	8	C
▶ 73" to 80" (See Note)	82-1/2"	60"	48"	C	12"	76-1/2"	9	O + E
▶ 81" to 88" (See Note)	90-3/4"	80"	48"	C	12"	76-1/2"	9	O + E
▶ 81" to 88"	90-3/4"	86"	48"	C	18"	84-7/8"	10	B + E
▶ 89" to 97" (See Note)	99"	86"	48"	C	18"	84-7/8"	10	B + E
▶ 89" to 97"	99"	93"	48"	C	24"	93-1/4"	11	C + E
98" to 106"	107-1/4"	104"	48"	C	24" + 12"	101-5/8"	12	C + SL
107" to 115"	115-1/2"	114"	48"	C	24" + 18"	110"	13	O + B

\* Above Finished Basement Floor    ‡ Maximum House Wall 85"    ‡‡ Maximum House Wall 88"    → Run plus 1-1/8" Nosing on Bottom Tread

AS NECESSARY

ASPHALT SHINGLES  
 3/4" ADJUSTERS  
 2x6 16" OC  
 HX8 BEAM  
~~2x6 16" OC~~  
 3' 7"



HEADER NOTE:

- ALL HEADERS TO BE 3-2"x6" for 3' OPENINGS (MINIMUM)
- ALL HEADERS TO BE 3-2"x8" for 6' OPENINGS (MINIMUM)

TODD & LAD JEPSON  
 607 WOODMONT ST  
 PORTLAND ME 04102

GERALD MUIR INC  
 30 STUBBS POINT ROAD  
 HARPSWELL ME 04079

Scale 1/4" = 1'

NOTE: GRADE/ELEVATIONS TO BE SITE DETERMINED

DEPT. OF BUILDING INSPECTION  
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