

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION PERMIT

Permit Number: 040614

Please Read  
Application And  
Notes, If Any,  
Attached

This is to certify that Jepson Todd O &/Chris T. MacWhinnie  
has permission to Build 14' x 20' 2-story addition w/full basement  
AT 67 Woodmont St CBL 080 H008001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS  
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

PERMIT  
DENIED

PERMIT  
DENIED

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0614	Issue Date:	CBL: 080 H008001
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Location of Construction: 67 Woodmont St	Owner Name: Jepson Todd O &	Owner Address: 67 Woodmont St	Phone:
Business Name:	Contractor Name: Chris T. MacWhinnie	Contractor Address: PO Box 623 Standish	Phone 2075902623
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family w/14' x 20' 2-story addition w/full basement	Permit Fee: \$723.00	Cost of Work: \$78,000.00	CEO District: 3
Proposed Project Description: Build 14' x 20' 2-story addition w/full basement		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	
		Signature: _____		Signature: _____
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: kwd	Date Applied For: 05/17/2004	<b>Zoning Approval</b>		
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: _____	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

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SIGNATURE OF APPLICANT ADDRESS DATE PHONE

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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



# Residential Building Permit Application

04-0614

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>67 Woodmont St. Portland, ME 04102</u>		
Total Square Footage of Proposed Structure Footprint: <u>280</u> Total: <u>560</u>		Square Footage of Lot <u>5,000 +</u>
Tax Assessor's Chart, Block & Lot Chart# <u>80</u> Block# <u>H</u> Lot# <u>8</u>	Owner: <u>Todd O. &amp; Lael C. Jepson</u>	Telephone: <u>(207) 774-7067</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Todd O. &amp; Lael C. Jepson</u> <u>67 Woodmont St.</u> <u>Portland, ME 04102</u>	Cost Of Work: \$ <u>78,000</u> Fee: \$ <u>723.00</u>
Current Specific use: <u>Primary Residence</u>		
Proposed Specific use: <u>Primary Residence</u>		
Project description: <u>Add 2-story addition with full basement. Project will involve removing existing mudroom. Will add living space, bed room and 1/2 bathrooms. (See plans).</u>		
Contractor's name, address & telephone: <u>Chris T. MacWhinnie P.O. Box 623 Standish, ME 04084</u> <u>590-2623</u>		
Who should we contact when the permit is ready: <u>Todd O. Jepson</u>		
Mailing address: <u>67 Woodmont St.</u> <u>Portland, ME 04102</u>		Phone: <u>(207) 240-9354 (cell)</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

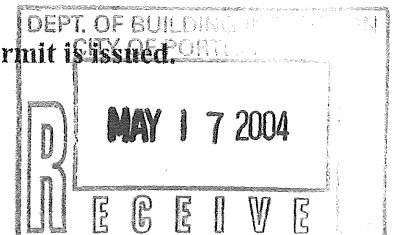
At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Todd O. Jepson</u>	Date: <u>05.16.04</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



**FRAME SPECIFICATIONS**

**FLOOR SYSTEM**

JOISTS AS INDICATED  
BRIDGING AT CENTER  
2X6 PT SILL W/ SEALER  
SUBFLOOR AS INDICATED  
**EXTERIOR WALLS**  
2X6 STUDS AS INDICATED  
SHEATHING AS INDICATED  
AIR INFILTRATION WRAP  
VAPOR BARRIER  
SIDING/FINISH AS INDICATED  
**INTERIOR WALLS**  
2X4 STUDS AT 16" OC  
GYPBOARD AS INDICATED

**ROOF SYSTEM**

RAFTERS/TRUSSES AS INDICATED  
SHEATHING AS INDICATED  
15# UNDERLAYMENT  
ICE SHIELD AT EAVES/VALLEYS  
23# SHINGLES AS INDICATED

**INSULATION**

EXTERIOR WALLS-R19  
ATTIC CAP-R38  
SILLS-R19  
FROST WALL-2" RIGID  
**VENTILATION**  
SOFFIT-2" CONT. STRIP  
RIDGES-CONT. SHINGLE  
CIRCULATION VENTS BETWEEN

**BEAMS/HEADERS**

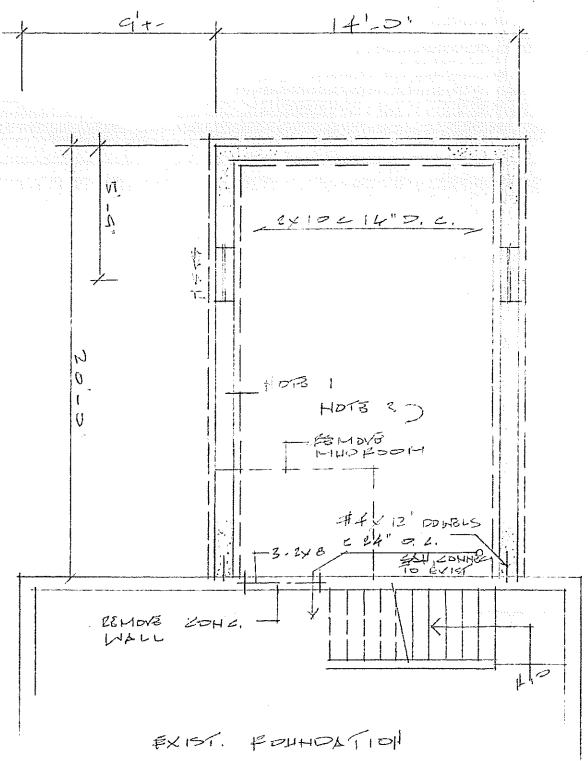
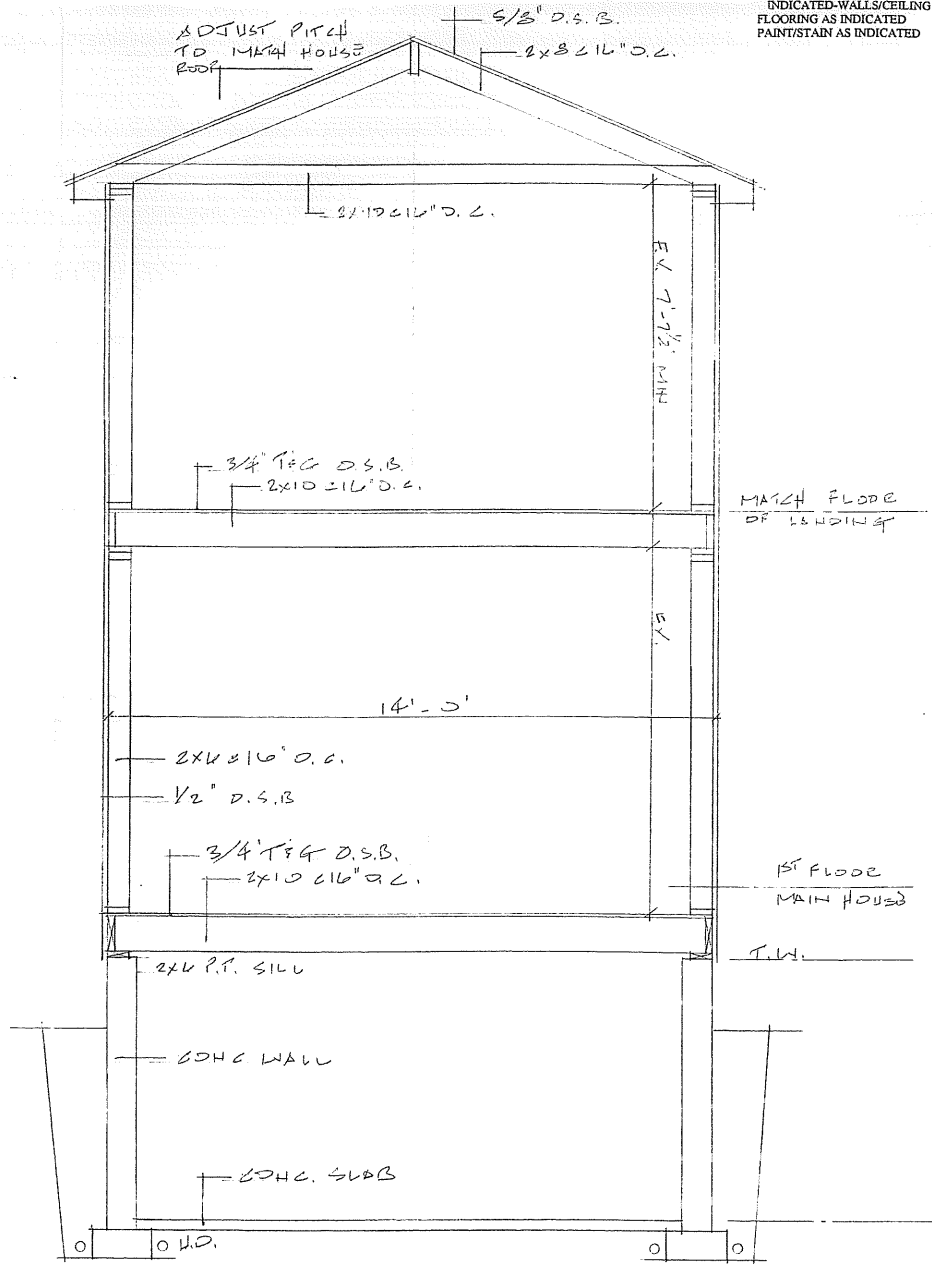
3-2X6 MAX. 40' SPAN  
3-2X8 MAX. 30' SPAN  
BEAMS AS INDICATED  
MIN 4" BEARING ALL BEAMS

**INTERIOR FINISHES**

1/2" GYPBOARD OR AS INDICATED-WALLS/CEILING  
FLOORING AS INDICATED  
PAINT/STAIN AS INDICATED

**GENERAL NOTES**

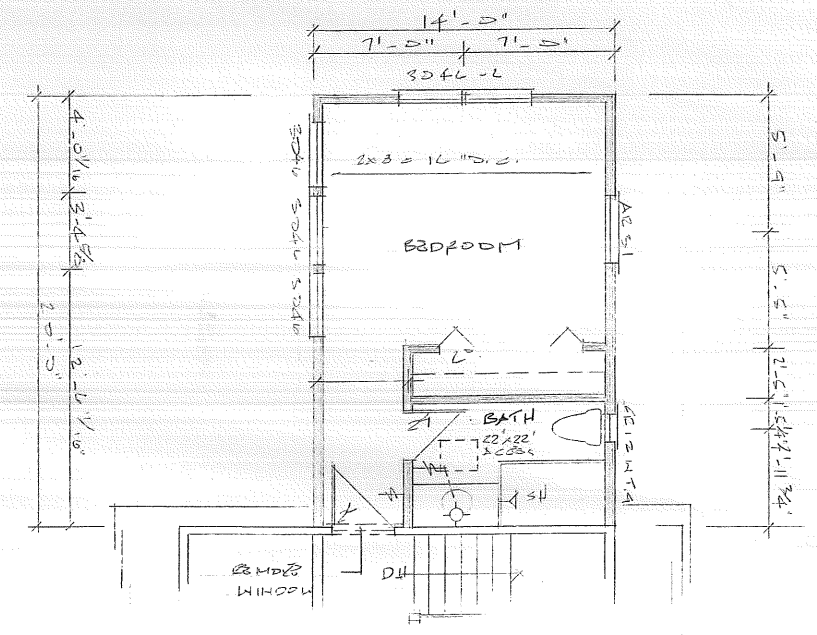
- Plans are designed to comply with the 1999 BOCA code. Compliance with other codes and ordinances shall be the responsibility of the general contractor.
- All site, mechanical, electrical and utility design shall be by others.
- Unless otherwise certified on the plans, all structural beams, columns and frame members shall be verified by a structural engineer.
- Contractor shall consult kitchen / bath millwork plans for framing around adjacent walls.
- Contractor shall verify all dimensions prior to construction.
- Contractor shall insure that fireplace/chimney construction conforms to the latest NFPA ch. 211 standards.
- All manufactured structural lumber and trusses shall be installed in accordance with manufacturer instructions. Openings cut in members shall meet recommended guidelines.



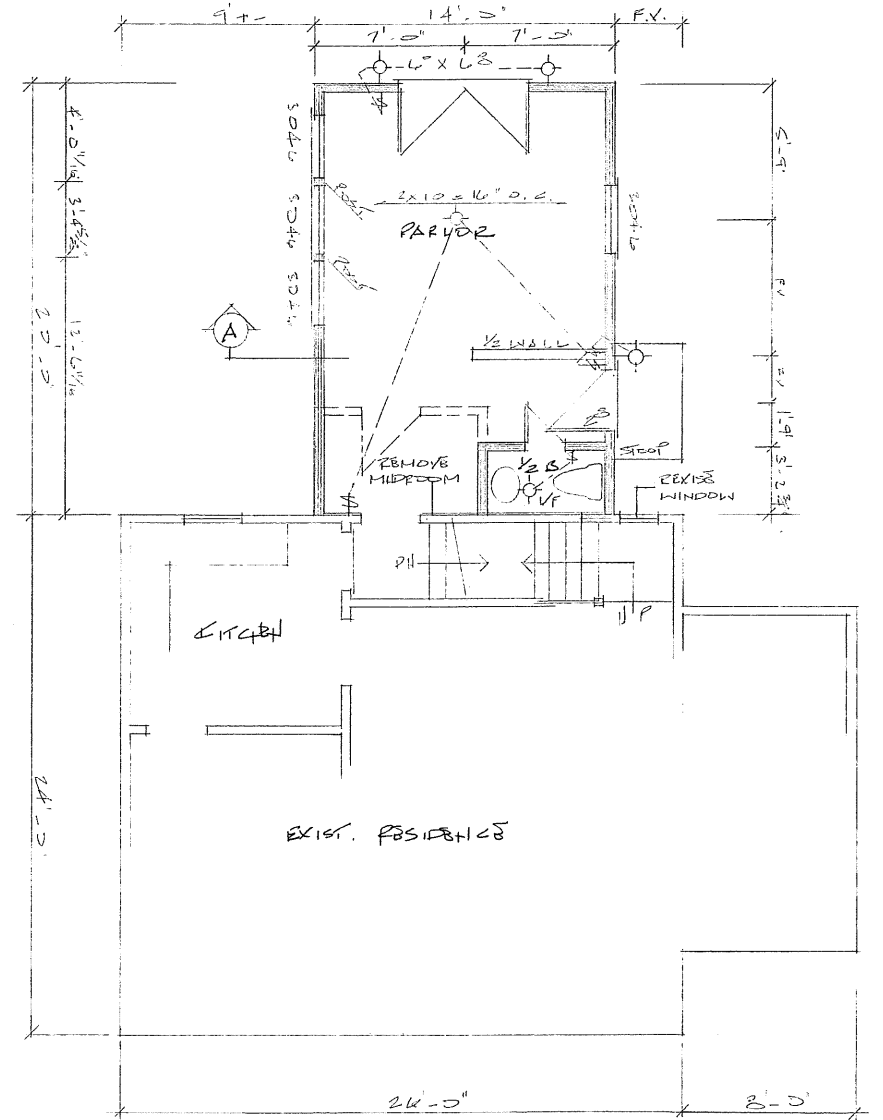
**FOUNDATION PLAN**  
1/4" = 1'-0"

**FOUNDATION NOTES**

- 7" CONCRETE WALL AS INDICATED ON CONT. KEYED FOOTING
- 4" CONCRETE FROST WALL AS INDICATED ON CONT. KEYED FOOTING
- 4" CONCRETE SLAB ON 6 MIL VAPOR BARRIER ON 8" MEN. GRAN. FILL
- CHIMNEY FLUE ON CONG. PAD
- 3-1/2" STEEL LALLY COLUMNS ON 24" X 24" X 12" FOOTINGS
- SLOPE CONG. SLAB 2" TO DOORS OR DRAIN
- STEER WALL DOWN TO GRADE AT 2" MAX DROP 1/4" MIN RISE
- DROP SLAB 4" FROM TOP OF WALL
- TAPERED PRECAST CONG. PIER 3" L, PROVIDE POST CAP
- 2X6 DAYLIGHT BASEMENT WALL ON PF PLATE
- STRAPS OR ANCHORS AT CORNERS AND 4' OC
- SUMP PIT W/ 4" DIA. PERFORATED UNDERDRAIN PIPES BOTH SIDES OF WALL TO SUMP OR DAYLIGHT GRAVITY
- 4" DIA. PERFORATED RADON PIPES UNDER SLAB AT 20" MAX. OC, CONNECT TO UNDERDRAINS, PROVIDE STUBS AT 20" OC
- CONTROL JOINTS AT MAX. 30' OC WALLS AND SLABS
- ASPHALT PAINT EXTERIOR WALLS TO GRADE
- CONCRETE-2500 PSI AT FOOTINGS, 3000 PSI AT WALLS SOIL BEARING-2500 PSF
- ALL FOOTINGS TO FROST DEPTH AND UNDISTURBED SOIL



**2ND FLOOR PLAN**  
1/4" = 1'-0"



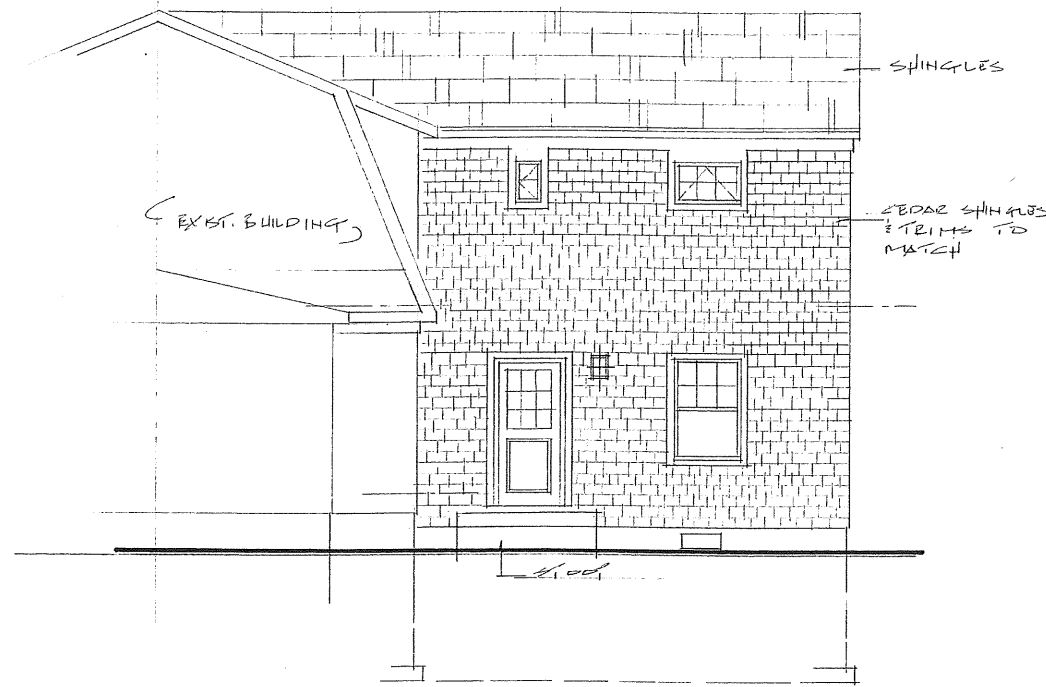
**1ST FLOOR PLAN**  
1/4" = 1'-0"

DATE: 4.20.04  
REVISIONS:

JEPSON RESIDENCE  
TWO STORY ADDITION

PLANNING / DESIGN ASSOCIATES  
RESIDENTIAL DESIGN AND CONSTRUCTION SERVICES  
38 WALTER PARTIDGE ROAD, WINDHAM, ME 04996-2004

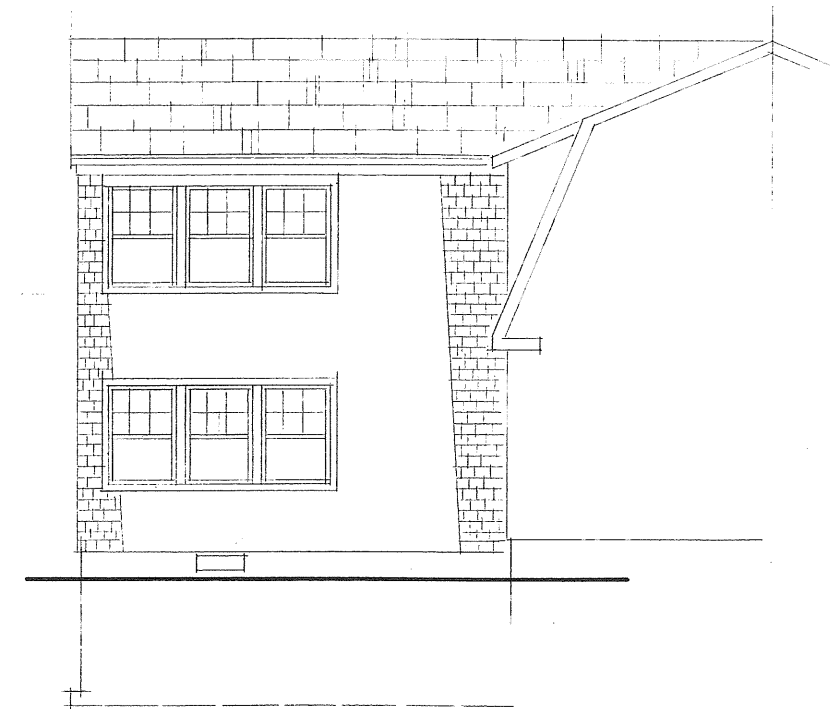
SHEET 2 OF 2



RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION



LEFT ELEVATION

DATE: 4.25.04  
REVISIONS:

SHEET 1 OF 2

JEPSON RESIDENCE  
TWO STORY ADDITION

PLANNING / DESIGN ASSOCIATES  
RESIDENTIAL PLANNING SERVICES  
35 WALTER PARTRIDGE ROAD, WINNHAM, ME 02093-5004

City of Portland  
Planning and Development Department  
Room 315 City Hall  
Portland, ME 04101

May 17, 2004

To Whom It May Concern:

Enclosed, please find documents pertaining to an application for a building permit for an addition to our home at 67 Woodmont Street, Portland, Maine.

This home was built in 1927 and is the smallest house on Woodmont St. with two bedrooms, one bathroom, living room, dining room, sun porch and a small kitchen, totaling approximately 1,400 sq. ft. of living space. The proposed addition would add one bedroom and a full bathroom on the second floor, and a family room, entryway and half bathroom on the main floor. This would increase the living space by 560 sq. ft. and greatly improve the home for our growing family. The full basement will remain unfinished. It would also allow us to remain in the neighborhood that we have grown to love since we moved to this neighborhood in 1998.

Given the significant construction work that is currently underway here on Woodmont Street, I submit these documents in hopes that the permit process will be expedited. This will allow any site work and construction deliveries to take place while the street is still in unfinished condition and better able of handling heavy equipment traveling on the street without damage and before the final paving process is complete.

I have enclosed the required documents according to the Application Checklist provided on the City of Portland website.

Please feel free to contact me at the address, telephone numbers and/or e-mail address below at any time if there are any questions. Thank you.

Sincerely,



Todd O. Jepson  
67 Woodmont St.  
Portland, ME 04102  
Day time phone: 240-9354  
Evening phone: 774-7067  
[tjepson@pinelandfarms.org](mailto:tjepson@pinelandfarms.org)

R-3

5170 SF Lot  
x 25%

<hr/>	
1292.5	Allowed
-440	Garage
-624	
-128	} House
-33	
280	addition
<hr/>	
-212.5	under

30%

5170  
x 30%

<hr/>	
1551	Allowed
1225	current
280	addition
<hr/>	
45	left

OVW on Lot  
COV.

R-3

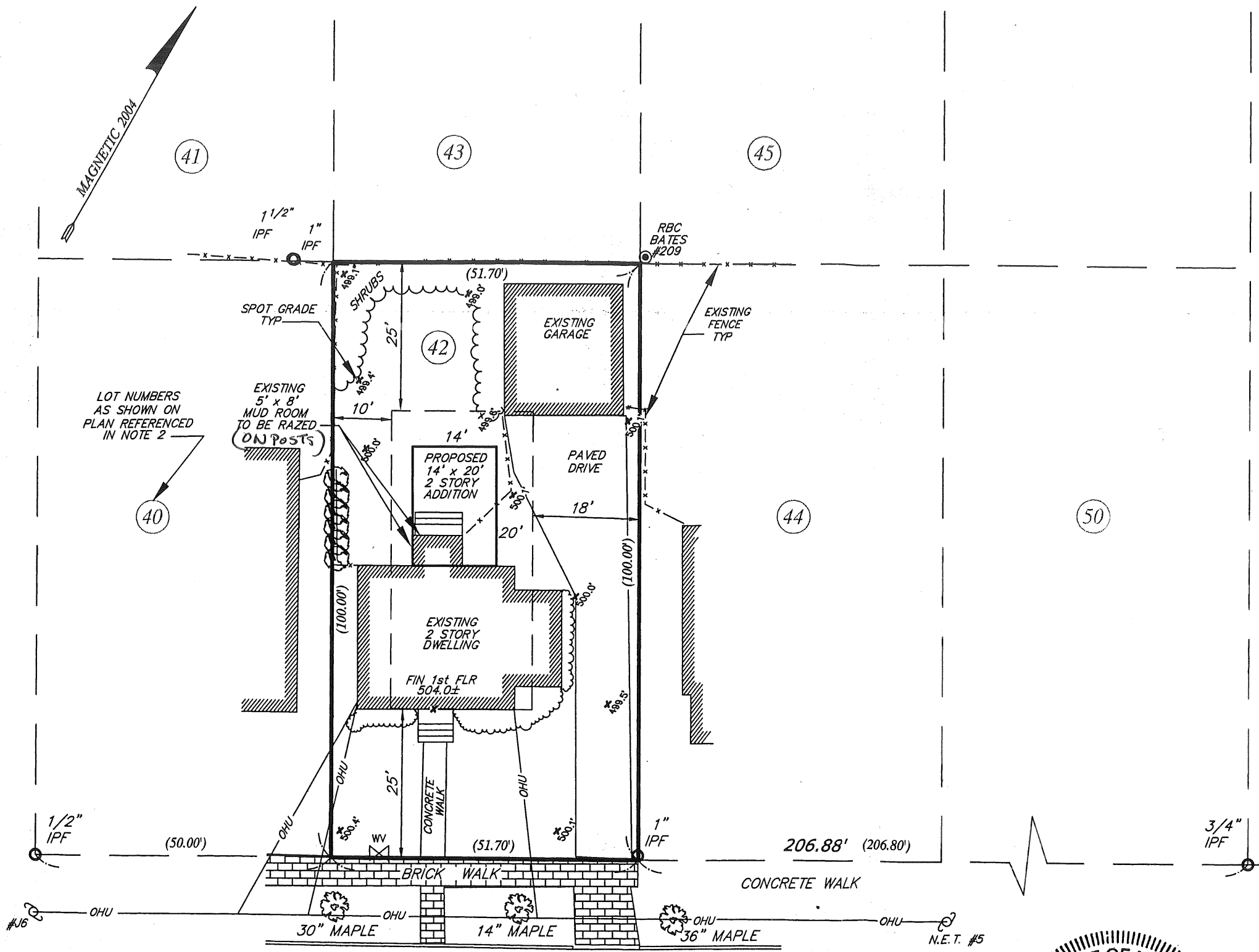
5170 SF Lot
.25
<hr/>
1292.5
Allowed

1192
280
<hr/>
1472



**NOTES:**

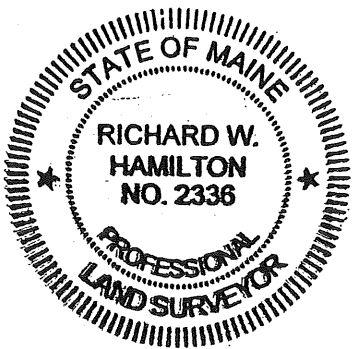
1. OWNERSHIP OF THE PROPERTY SHOWN CAN BE FOUND IN A DEED FROM ROMAINE SIMENSON TO TODD O. AND LAEL C. JEPSON DATED AUGUST 28, 1998 AND RECORDED IN DEED BOOK 14103, PAGE 29 CUMBERLAND COUNTY REGISTRY OF DEEDS (CCRD).
2. PLAN REFERENCE:
  - a. PLAN ENTITLED OAKWOOD HEIGHTS PORTLAND, MAINE PROPERTY OF THOMAS A. SANDERS, DATED MARCH 1923 BY E.C. JORDAN & CO. AND RECORDED IN PLAN BOOK 15, PAGE 13 CCRD.
3. ELEVATIONS AS SHOWN ARE ASSUMED.
4. THE PROPERTY SHOWN IS IDENTIFIED ON THE CITY OF PORTLAND TAX ASSESSOR'S MAP 80, BLOCK H, LOT 8
5. THE PROPERTY SHOWN IS LOCATED WITHIN THE R3 RESIDENTIAL ZONE AS DEFINED BY THE CITY OF PORTLAND ZONING ORDINANCE.
6. THE SIDE SETBACKS FOR THE R3 ZONE AS DEFINED BY THE CITY OF PORTLAND ZONING ORDINANCE IS 14'. THE WESTERLY SIDE SETBACK HAS BEEN REDUCED TO 10' AND THE EASTERLY SIDE SETBACK HAS BEEN INCREASED TO 18' AS ALLOWED BY THE CITY OF PORTLAND ZONING ORDINANCE.
7. PARENTHESIS INDICATE RECORD INFORMATION CONTAINED IN THE LOCUS DEED AND PLAN REFERENCED IN NOTE 2.
8. THIS IS NOT A BOUNDARY SURVEY. THIS SKETCH PLAN EXCEPTS CHAPTER 90, PART 2 SECTIONS 4-8 OF THE MAINE BOARD LICENSURE FOR PROFESSIONAL LAND SURVEYOR'S RULES. A COMPLETE BOUNDARY SURVEY MAY YIELD A DIFFERENT RESULT.



SKETCH PLAN OF LAND  
AT  
67 WOODMONT  
IN  
**PORTLAND**  
CUMBERLAND COUNTY  
MAINE

PREPARED FOR: TODD JEPSON  
67 WOODMONT STREET  
PORTLAND, MAINE 04103

DATE: APRIL 22, 2004  
SCALE: 1" = 20'



*Richard W. Hamilton*  
4/22/04

**BOUNDARY ENGINEERING SURVEY TECHNOLOGY**

25 TUBROS LANE  
BUXTON, MAINE 04093  
TELEPHONE 929-BEST  
FAX 929-2379

JOB NUMBER: 04006JEP      DRAWING FILE: 04006

1 inch = 20 feet

**NOTES:**

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R-3  
 5170 SF Lot  
 X 25%  
 1292.5 Allowed  
 -440 garage  
 -624  
 -128 > house  
 -33  
 -280 proposed  
 -----  
 -212.5 SF

SKETCH PLAN OF LAND  
 AT  
 67 WOODMONT  
 IN  
**PORTLAND**  
 CUMBERLAND COUNTY  
 MAINE

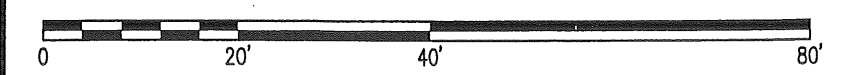
PREPARED FOR: TODD JEPSON  
 67 WOODMONT STREET  
 PORTLAND, MAINE 04103

DATE: APRIL 22, 2004  
 SCALE: 1" = 20'

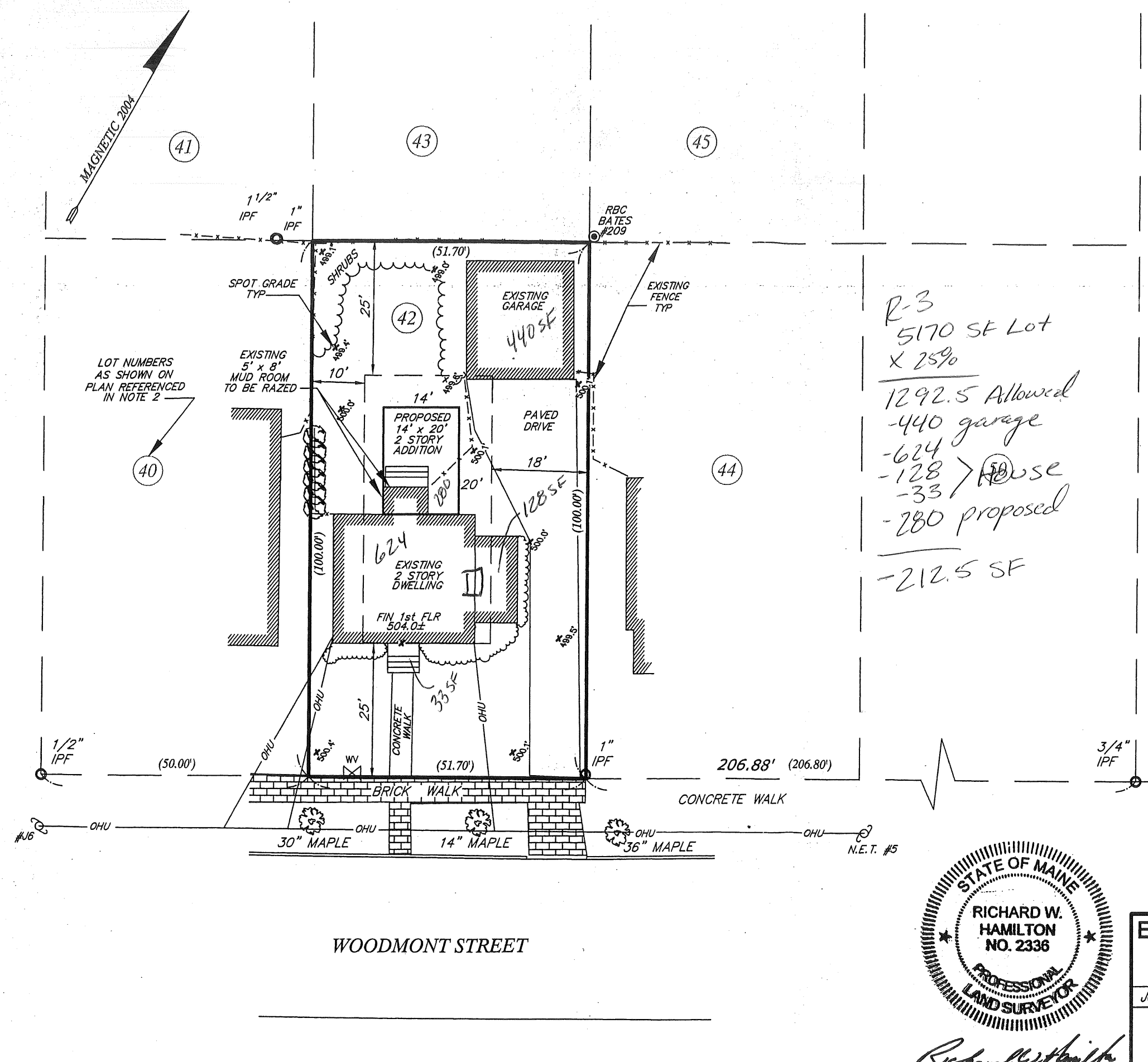
**BOUNDARY ENGINEERING SURVEY TECHNOLOGY**

25 TUBROS LANE  
 BUXTON, MAINE 04093  
 TELEPHONE 929-BEST  
 FAX 929-2379

JOB NUMBER: 04006JEP      DRAWING FILE: 04006



*Richard W. Hamilton*  
 4/22/04

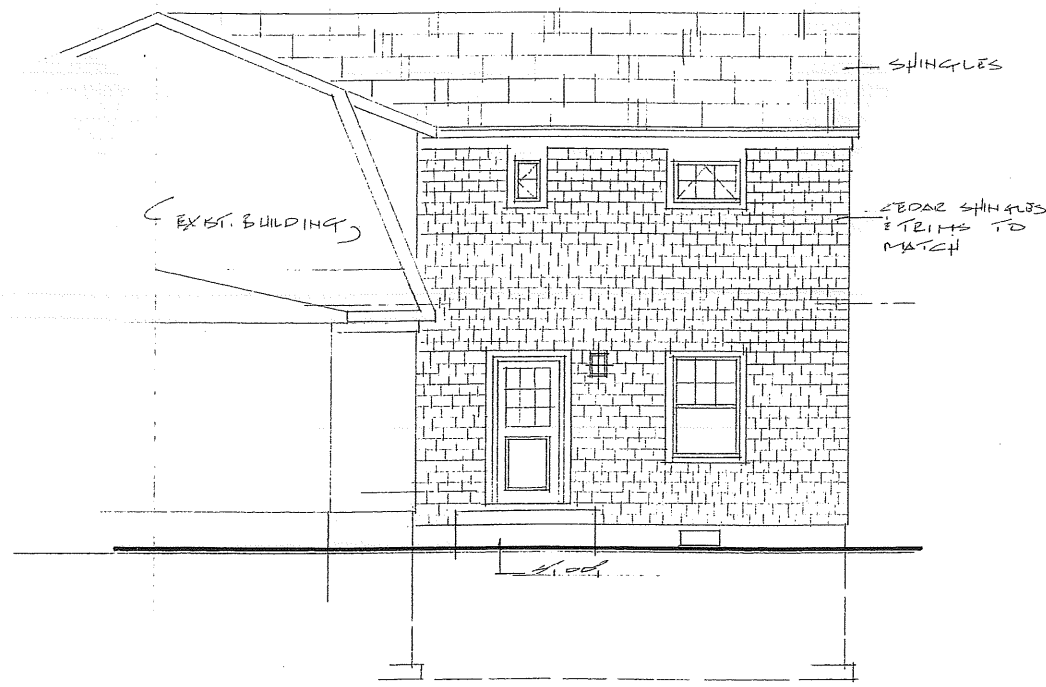


LOT NUMBERS AS SHOWN ON PLAN REFERENCED IN NOTE 2

1/2" IPF

3/4" IPF

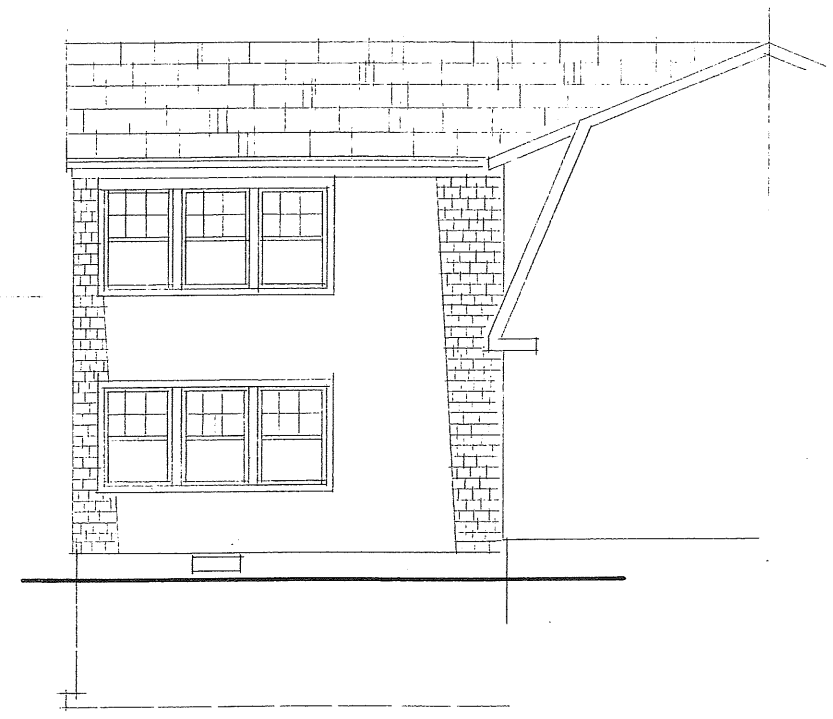
WOODMONT STREET



RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION



LEFT ELEVATION

DATE: 4.25.2014  
REVISIONS:

SHEET 1 OF 2

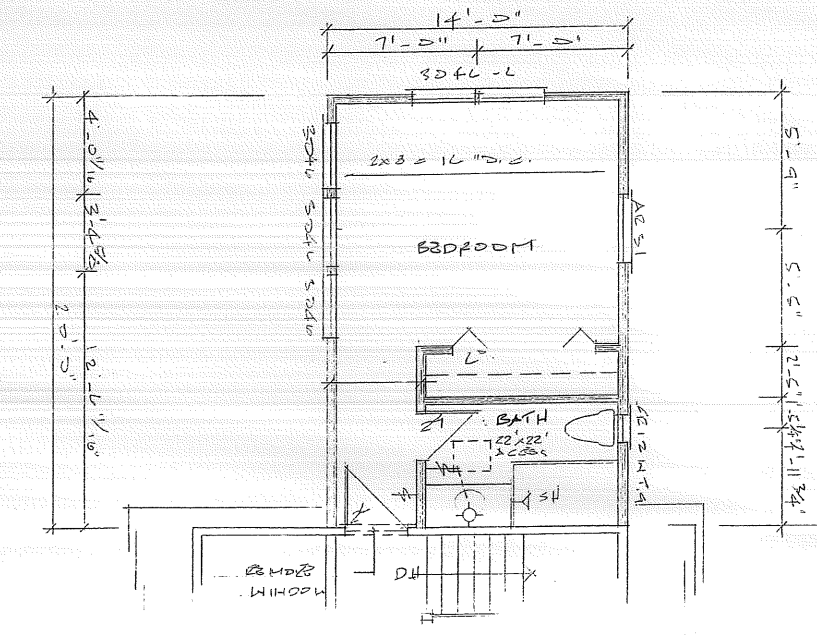
JEPSON RESIDENCE  
TWO STORY ADDITION

PLANNING / DESIGN ASSOCIATES  
RESIDENTIAL DESIGNERS / SITE PLANNERS / DRAFTING SERVICES  
35 WALTER PARTRIDGE ROAD, WINDHAM, NH 03093-2460

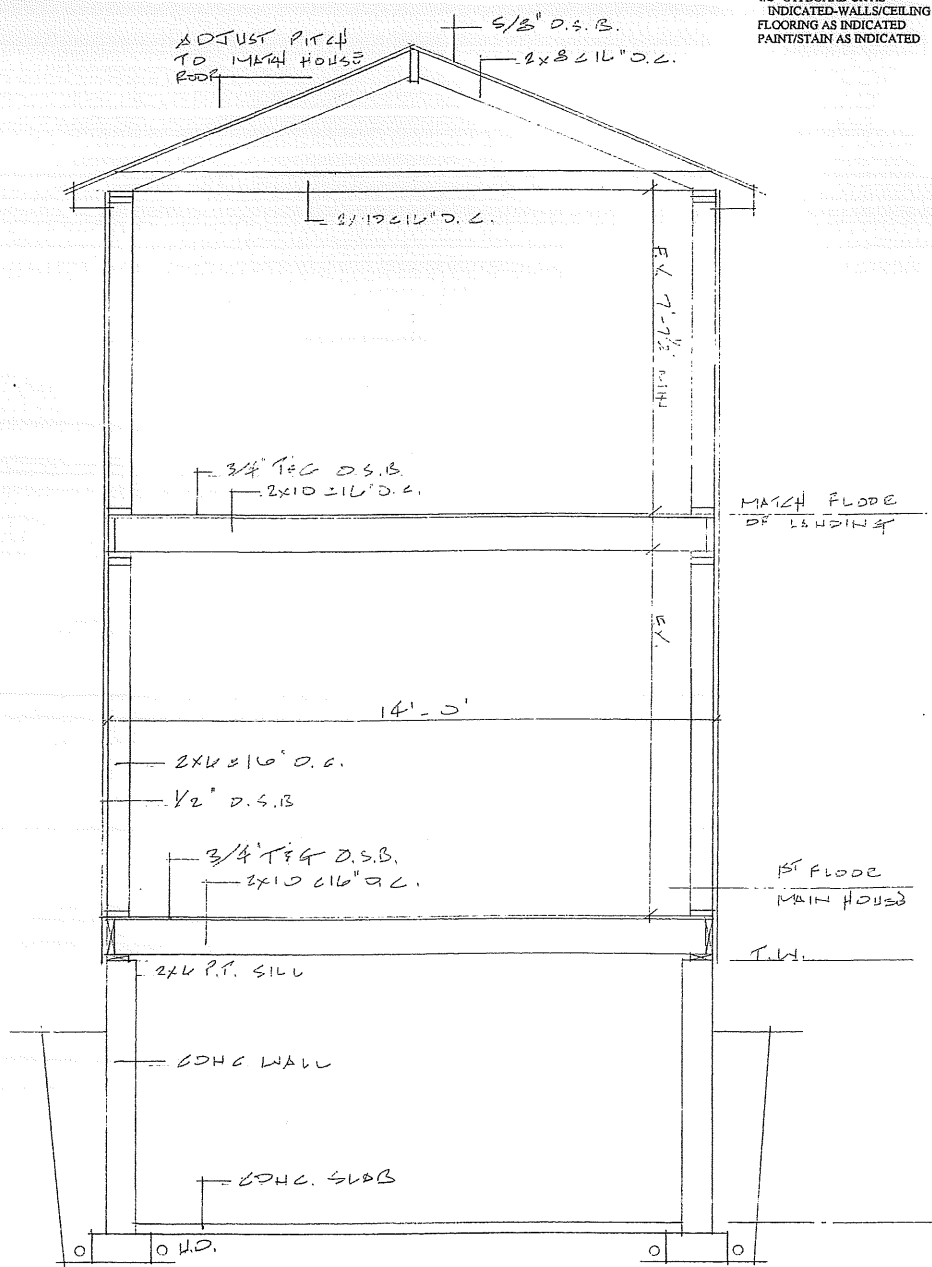
**FRAME SPECIFICATIONS**

- FLOOR SYSTEM**  
 JOISTS AS INDICATED  
 BRIDGING AT CENTER  
 2X6 PT SILL W/ SEALER  
 SUBFLOOR AS INDICATED  
**EXTERIOR WALLS**  
 2X6 STUDS AS INDICATED  
 SHEATHING AS INDICATED  
 AIR INFILTRATION WRAP  
 VAPOR BARRIER  
 SIDING/FINISH AS INDICATED  
**INTERIOR WALLS**  
 2X4 STUDS AT 16" OC  
 GYPBOARD AS INDICATED  
**ROOF SYSTEM**  
 RAFTERS/TRUSSES AS INDICATED  
 SHEATHING AS INDICATED  
 15# UNDERLAYMENT  
 ICE SHIELD AT EAVES/VALLEYS  
 23# SHINGLES AS INDICATED  
**INSULATION**  
 EXTERIOR WALLS-R19  
 ATTIC CAP-R38  
 SILLS-R19  
 FROST WALL-2" RIGID  
**VENTILATION**  
 SOFFIT-2" CONT. STRIP  
 RIDGES-CONT. SHINGLE  
 CIRCULATION VENTS BETWEEN  
 RAFTERS/TRUSSES  
**BEAMS/HEADERS**  
 3-2X6 MAX. 40' SPAN  
 3-2X8 MAX. 80' SPAN  
 BEAMS AS INDICATED  
 MIN 4" BEARING ALL BEAMS  
**INTERIOR FINISHES**  
 1/2" GYPBOARD OR AS  
 INDICATED-WALLS/CEILING  
 FLOORING AS INDICATED  
 PAINT/STAIN AS INDICATED

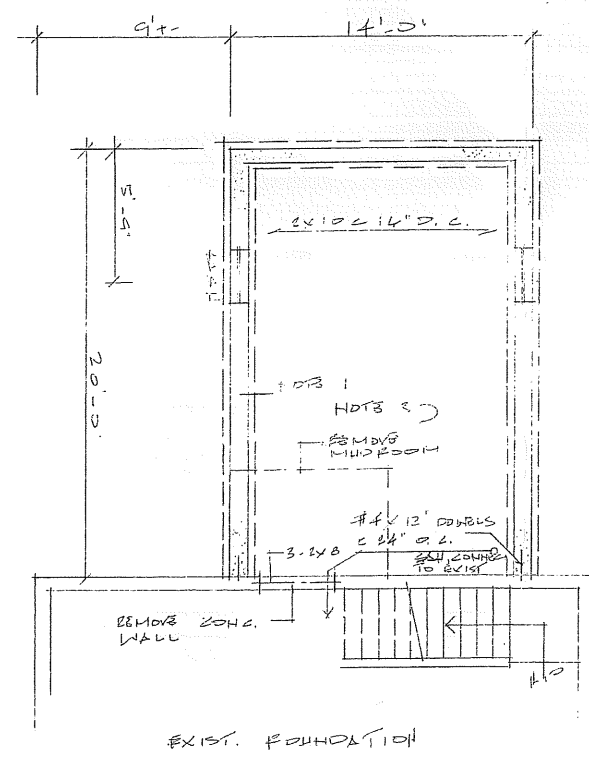
- GENERAL NOTES**
- Plans are designed to comply with the 1999 BOCA code. Compliance with other codes and ordinances shall be the responsibility of the general contractor.
  - All site, mechanical, electrical and utility design shall be by others.
  - Unless otherwise certified on the plans, all structural beams, columns and frame members shall be verified by a structural engineer.
  - Contractor shall consult kitchen / bath millwork plans for framing around adjacent walls.
  - Contractor shall verify all dimensions prior to construction.
  - Contractor shall insure that fireplace/chimney construction conforms to the latest NFPA ch. 211 standards.
  - All manufactured structural lumber and trusses shall be installed in accordance with manufacturer instructions. Openings cut in members shall meet recommended guidelines.



**2ND FLOOR PLAN**  
1/4" = 1'-0"

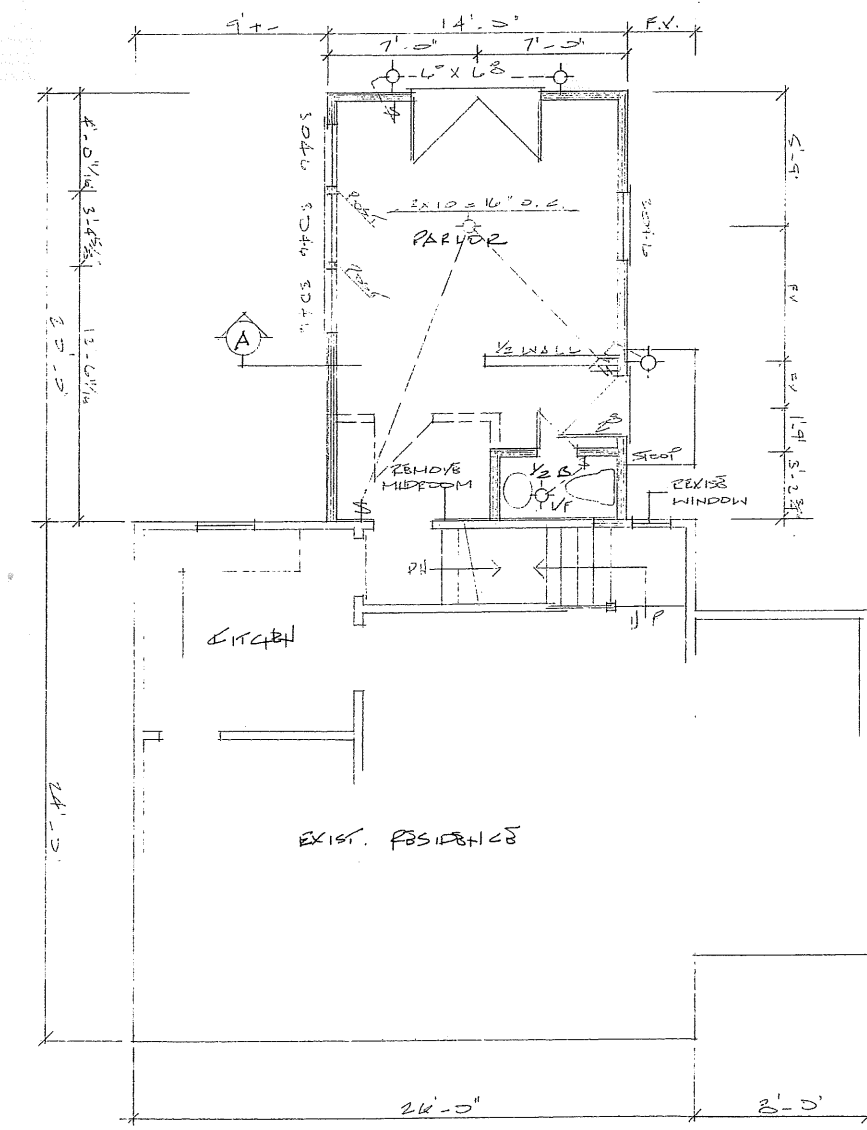


**A-A SECTION**  
1/2" = 1'-0"



**FOUNDATION PLAN**  
1/4" = 1'-0"

- FOUNDATION NOTES**
- 7"O" CONCRETE WALL AS INDICATED ON CONT. KEYED FOOTING
  - 4"O" CONCRETE FROST WALL AS INDICATED ON CONT. KEYED FOOTING
  - 4" CONCRETE SLAB ON 6 MIL VAPOR BARRIER ON 8" MIN. GRAN. FILL
  - CHIMNEY FLUE ON CONC. PAD
  - 3-1/2" STEEL LALLY COLUMNS ON 24"X24"X12" FOOTINGS
  - SLOPE CONC. SLAB 2" TO DOGERS OR DRAIN
  - STEER WALL DOWN TO GRADE AT 2" MAX DROP-1/4" MIN RISE
  - DROP SLAB 4" FROM TOP OF WALL
  - TAPERED PRECAST CONC. PIER, 5" L, PROVIDE POST-CAP
  - 2X6 DAYLIGHT BASEMENT WALL ON PE PLATE
  - STRAPS OR ANCHORS AT CORNERS AND 4' OC
  - SUMP PIT W/ 4" DIA. PERFORATED UNDERDRAIN PIPES BOTH SIDES OF WALL TO SUMP OR DAYLIGHT GRAVITY
  - 4" DIA. PERFORATED RADON PIPES UNDER SLAB AT 20" MAX. OC, CONNECT TO UNDERDRAINS, PROVIDE STUBS AT 20" OC
  - CONTROL JOINTS AT MAX. 30' OC WALLS AND SLABS
  - ASPHALT PAINT EXTERIOR WALLS TO GRADE
  - CONCRETE-2500 PSI AT FOOTINGS, 3000 PSI AT WALLS
  - SOIL BEARING-2500 PSF
  - ALL FOOTINGS TO FROST DEPTH AND UNDISTURBED SOIL



**1ST FLOOR PLAN**  
1/4" = 1'-0"