

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that KRISTIN DUFFY

Located At 63 WOODMONT ST

Job ID: 2012-10-5292-ALTR

CBL: 080- H-006-001

has permission to Second floor addition, exterior deck, and interior renovations (Single Family Residence) provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

11/29/2012

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Foundation wall prior to backfill
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

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Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5292-ALTR

Located At: 63 WOODMONT ST

CBL: 080- H-006-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Foundation Drainage: Fabric, Damp proofing shall comply with Section R405 & R406, see attachment.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. A code compliant emergency escape shall be provided in the proposed bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
5. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
6. The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.
7. Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).
8. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
9. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.

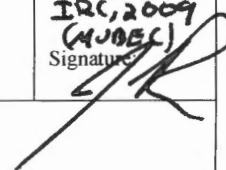
10. R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.
11. Roof Rafter framing and Connection shall comply with Section R802.3 & R802.3.1 of MUBEC.
12. R316.5.10 Interior finish. Foam plastics shall be permitted as interior finish where approved in accordance with Section R316.6 Foam plastics that are used as interior finish shall also meet the flame spread index and smoke-developed index requirements of Sections R302.9.1 and R302.9.2.
13. Notes: Contractor will provide specs for basement egress, and engineered trusses.

Fire

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
4. A sprinkler system is recommended but not required based on the following:
5. **Plans indicate the repairs/ addition will not exceed _50_% of the total completed structure within a one (1) year period**
 - a. **Please Contact Fire Prevention @ 207.874.8405 with any questions.**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-10-5292-ALTR	Date Applied: 10/29/2012	CBL: 080- H-006-001	
Location of Construction: 63 WOODMONT ST	Owner Name: KRISTIN & WILLIAM DUFFY	Owner Address: 63 WOODMONT ST PORTLAND, ME 04102	Phone:
Business Name:	Contractor Name: Gerald Muto, Inc.	Contractor Address: 115 Raymond Rd., Brunswick, ME 04011	Phone: 207-751-4382
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone:
Past Use: Single family	Proposed Use: Same – single family – remove existing rear deck & one story addition- build 10 x11.5' two story addition & 10' x10' deck-add new bathroom on 2 nd floor	Cost of Work: 80000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A <i>per Capt. Pierce</i>	Inspection: Use Group: R3 Type: 5B IRC, 2009 (MURK) Signature: 
Proposed Project Description: remove deck and addition; const 2 story addition & deck		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions</i> <i>10/30/12 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-10-5292-ALTR

Extend 10/29/12
PS

Location/Address of Construction: 63 WOODMONT STREET		
Total Square Footage of Proposed Structure/Area 115 ft²	Square Footage of Lot 5170 ft²	Number of Stories 2
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 080 H006	Applicant: (must be owner, lessee or buyer) Name GERALD MUTO, INC Address 115 RAYMOND ROAD City, State & Zip BRUNSWICK, ME 04011	Telephone: 207-751-4382
Lessee/DBA	Owner: (if different from applicant) Name Bill & KRISTIN DUFFY Address 63 WOODMONT ST City, State & Zip PORTLAND, ME 04102	Cost of Work: \$90,000 C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ 820.00
Current legal use (i.e. single family) SINGLE FAMILY Number of Residential Units one If vacant, what was the previous use? NA Proposed Specific use: _____ Is property part of a subdivision? NO If yes, please name _____ Project description: ① REMOVE EXISTING REAR DECK & ONE STORY ADDITION ② CONSTRUCT NEW 2 STORY ADDITION, NEW REAR DECK, ADD NEW BATHROOM ON SECOND FLOOR		
Contractor's name: GERALD MUTO, INC.		Email: mutoj@comcast.net
Address: 115 RAYMOND ROAD		Telephone: 751-4382
City, State & Zip BRUNSWICK MAINE 04011		Telephone: 751-4382
Who should we contact when the permit is ready: GERALD MUTO		Telephone: 751-4382
Mailing address: 115 RAYMOND ROAD, BRUNSWICK, ME 04011		

PHASE 1 ON PLANS

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

RECEIVED
OCT 29 2012
Dept. of Building Inspections
City of Portland, Maine

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division Office, room 315 City Hall or call 874-8703.

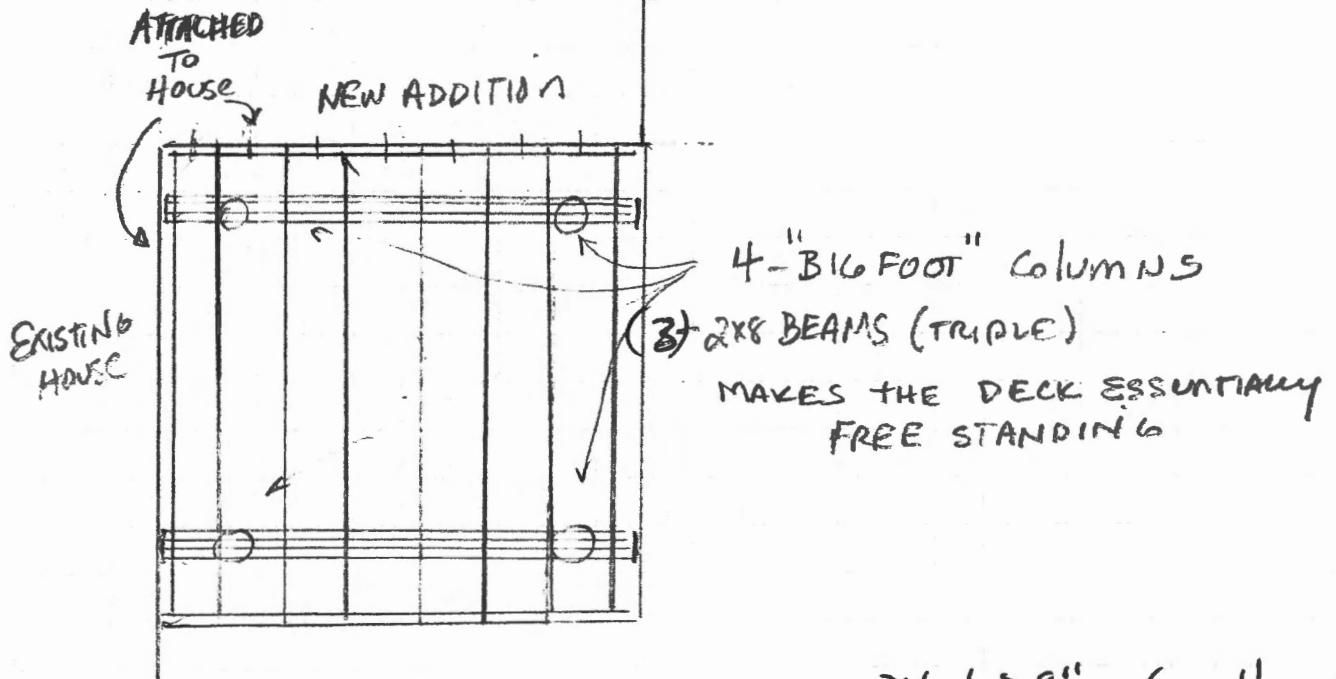
and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Gerald A Muto Date: October 29, 2012

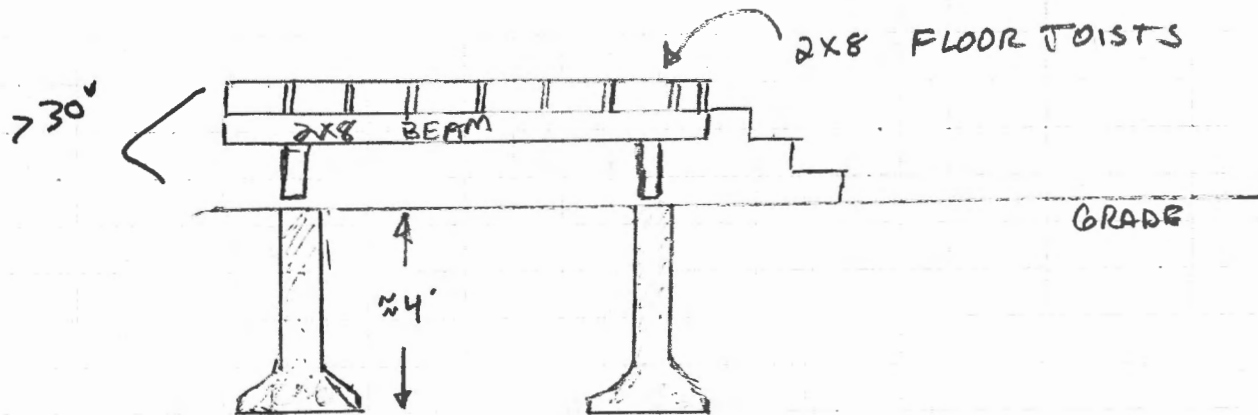
This is not a permit; you may not commence ANY work until the permit is issued

EXTERIOR DECK FRAMING

63 WOODMONT STREET



34 to 38" Graspolc Rail





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Receipts Details:

Tender Information: Check , Check Number: 3460

Tender Amount: 820.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 10/29/2012

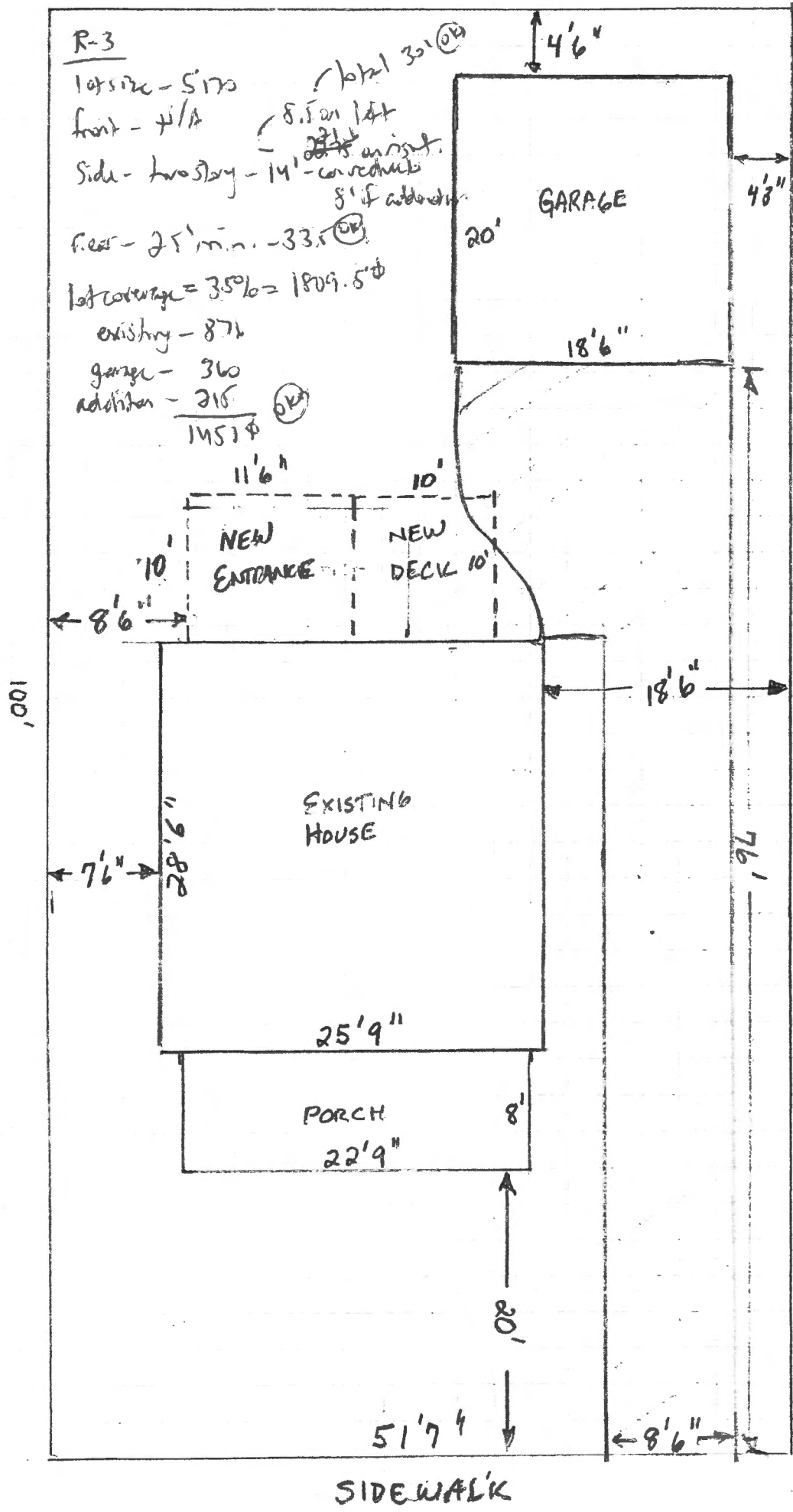
Receipt Number: 49754

Receipt Details:

Referance ID:	8561	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	820.00	Charge Amount:	820.00
Job ID: Job ID: 2012-10-5292-ALTR - Phase I; remove deck and addition; const 2 stories			
Additional Comments: 63 Woodmont St.			

Thank You for your Payment!

63 WOODMONT STREET



DUFFY
 63 WOODMONT ST
 PORTLAND, ME
 04102

GERALD MOTO INC
 115 RAYMOND RD
 BRUNSWICK, ME
 04004

751-4382

SCALE
 1" = 10'
 1/4" = 2.5'



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEBC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Bill & KRISTIN Duffy
63 WOODMONT ST
PORTLAND, Maine 04102

GERALD AUTO INC
115 RAYMOND ROAD
BRUNSWICK, Maine 04011

% LOT COVERAGE

① GARAGE: $20' \times 18.5' = 370 \text{ ft}^2$

② Main EXISTING HOUSE: $28.5' \times 25.75' = 733.875 \text{ ft}^2$

③ FRONT Porch: $22.75' \times 8' = 182 \text{ ft}^2$

④ NEW REAR ENTRANCE: $10' \times 11.5' = 115 \text{ ft}^2$

⑤ REAR DECK (NEW) $16.25' \times 13' = 211.25$

1,612.125 ft²

⑥ SIZE OF LOT $51.7' \times 100' = 5170 \text{ ft}^2$

⑦ % of LOT COVERAGE: $\frac{1612.125}{5170} = .3118$

Renovation area

main house $26 \times 28'' \times 3$ floors = 2184 sq ft
(Basement 1st & 2nd)

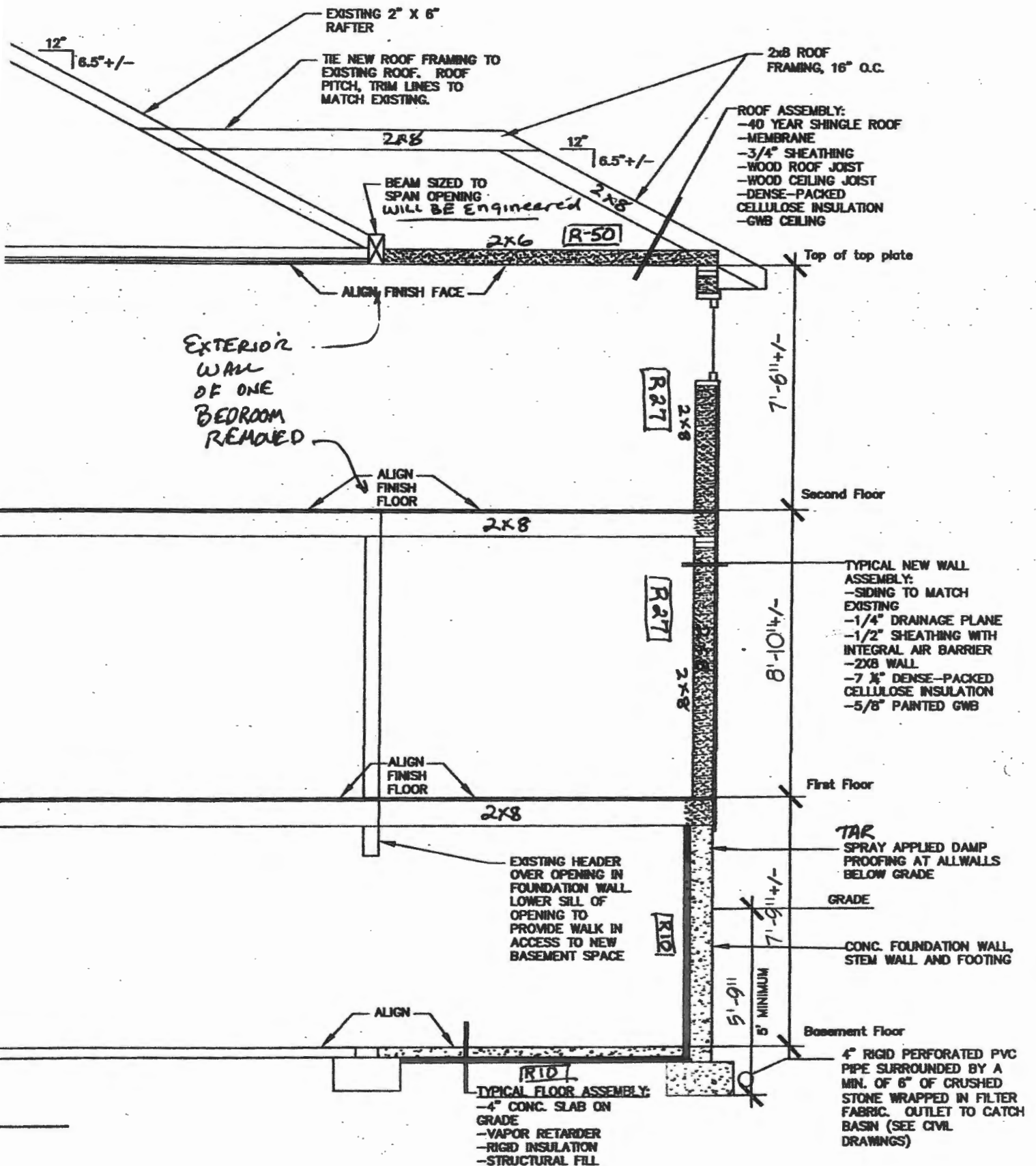
New Addition $10' \times 11.6'' \times 3$ floors = 345 sq ft

% $\frac{345}{2184} = .157 = 15.7\%$

OR

31.18%

FRAMING CROSS SECTION 63 WOODMONT STREET



FOUNDATION AND FIRST FLOOR PLANS

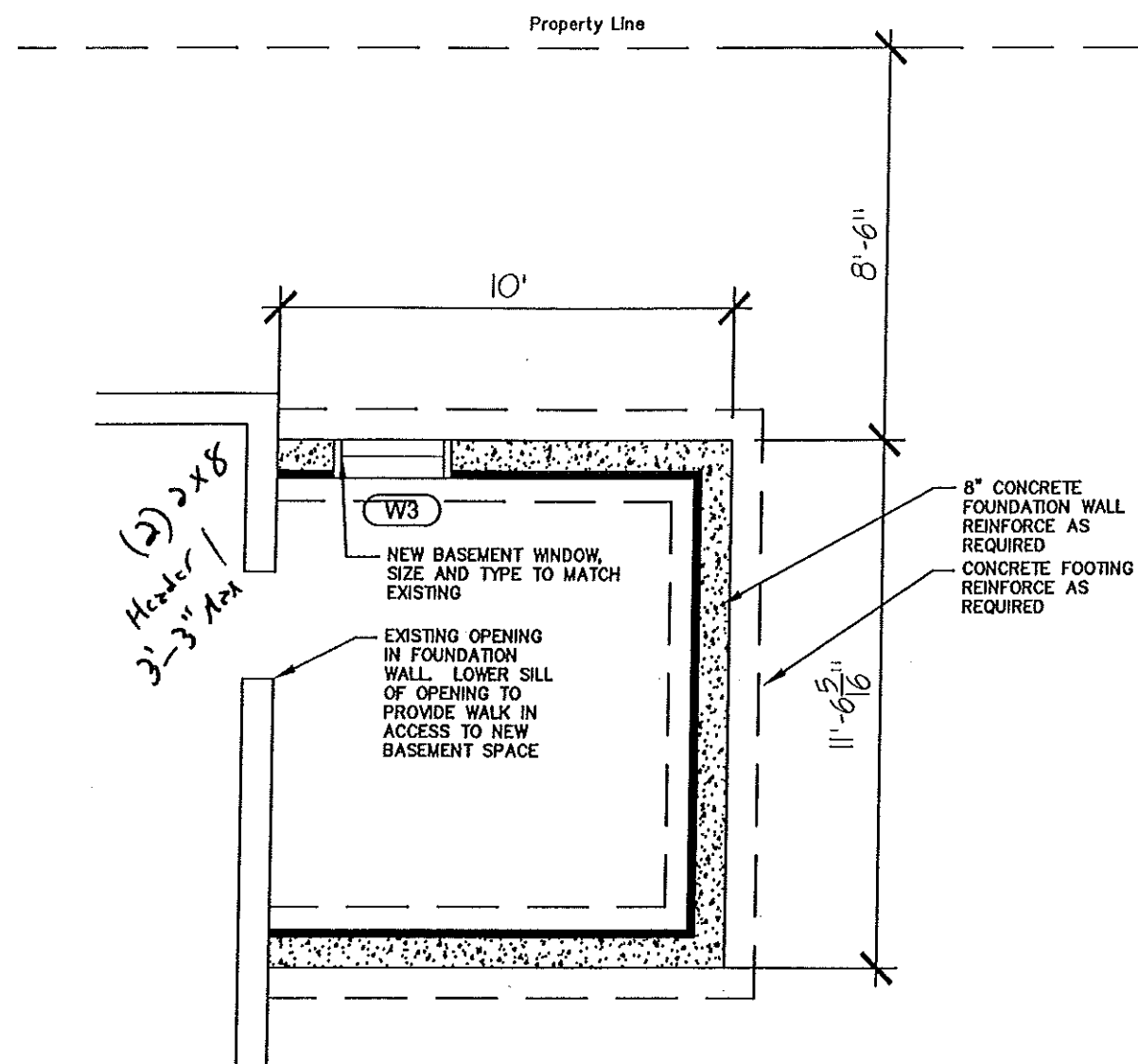
PROJECT NAME:
DUFFY RESIDENCE
 PORTLAND MAINE

DRAWING TITLE:

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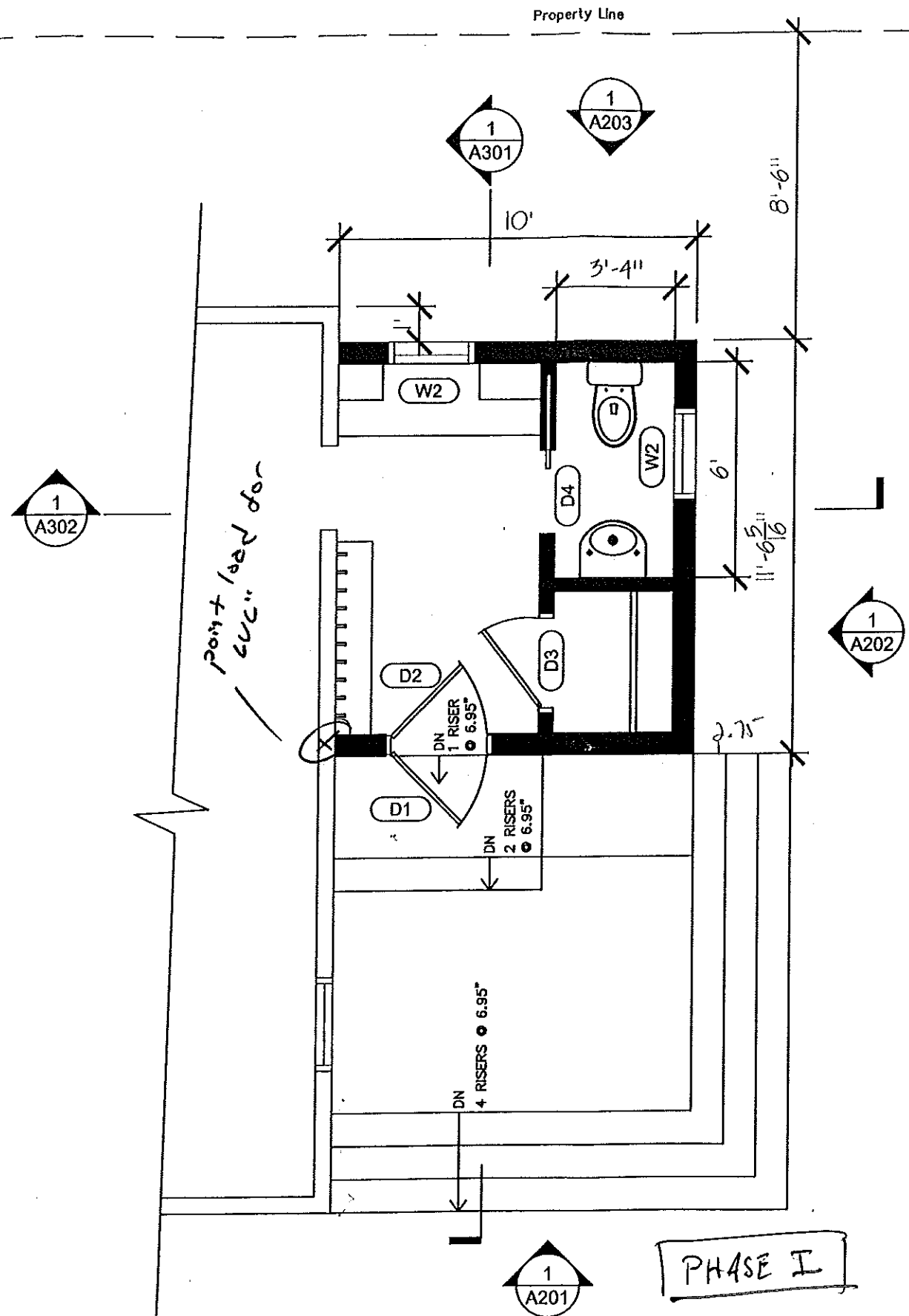
DATE OF ISSUE
 OCTOBER 6, 2012
 DESCRIPTION
 CONCEPTUAL
 SCALE
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 PROJECT NUMBER
 2012-0500

A-101

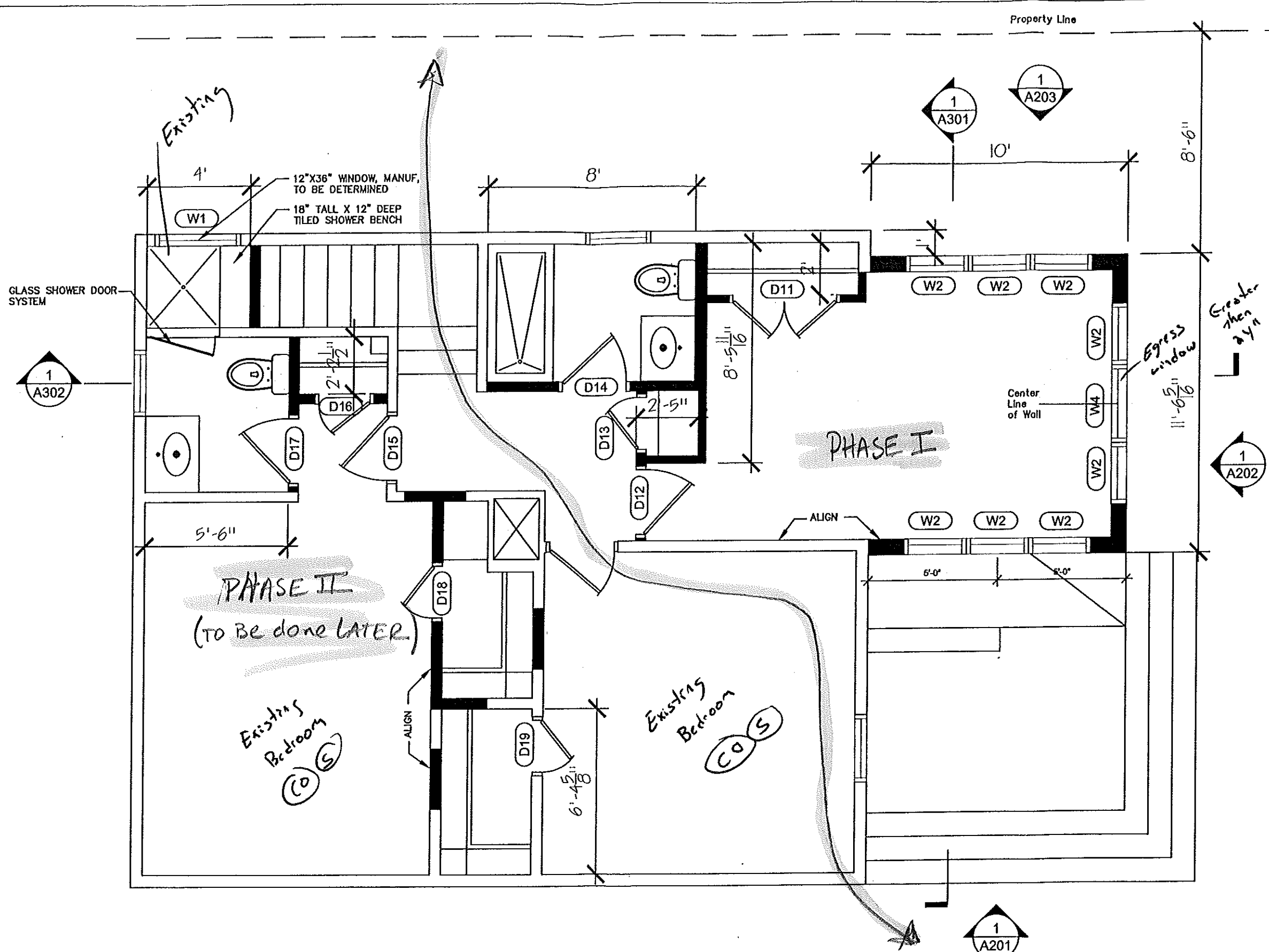


1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. TIE NEW ROOFING INTO EXISTING, MATCH EXISTING SHINGLES. PROVIDE AND INSTALL WHITE ALUMINUM FLASHING, DRIP EDGE, GUTTERS AND DOWNSPOUTS.
 2. NEW ROOF TO HAVE 3/4" SHEATHING, ICE AND WATER SHIELD, SHINGLES TO MATCH EXISTING ROOF.
 3. 2X DORMER FRAMING. INSULATE DORMER ROOF AND WALLS WITH DENSE-PACKED CELLULOSE.
 4. CONTRACTOR TO VERIFY REQUIRED SIZE OF NEW HEADER BEAM.
 5. ALL EXTERIOR TRIM, SIDING, ROOFING TO MATCH EXISTING MATERIAL, SIZE FINISH AND COLOR.
 6. INTERIOR TRIM TO MATCH EXISTING MATERIAL AND SIZE.
 7. PATCH DRYWALL AROUND ALL NEW OPENINGS, PREP PRIME AND PAINT. VERIFY COLOR WITH CLIENT.



2 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:
SECOND FLOOR PLAN

PROJECT NAME:
**DUFFY RESIDENCE
 PORTLAND MAINE**

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DATE OF ISSUE
 OCTOBER 8, 2012

DESCRIPTION
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SCALE
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PROJECT NUMBER
 2012-0500



1 ELEVATION
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:

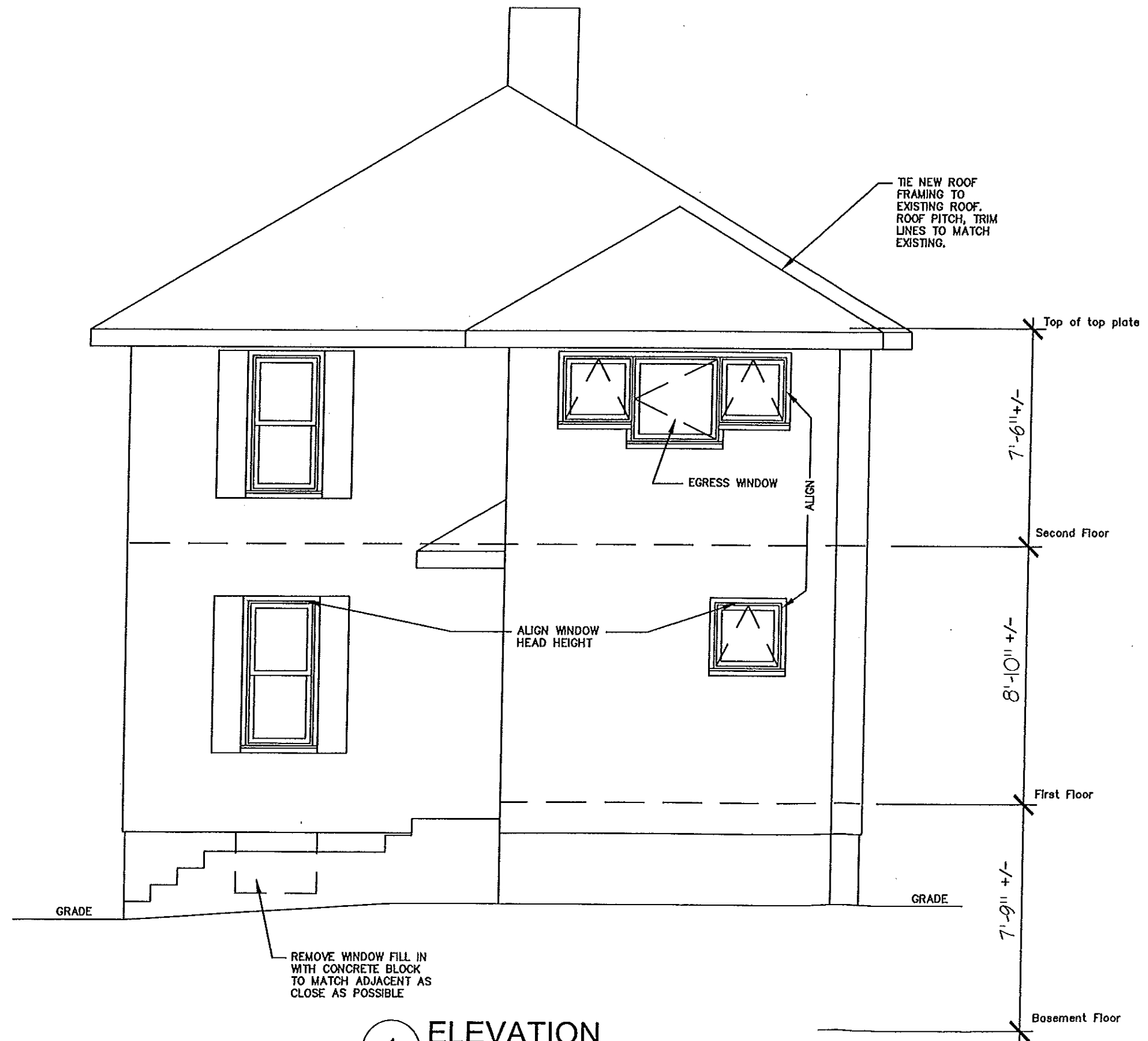
ELEVATION

PROJECT NAME:

**DUFFY RESIDENCE
 PORTLAND MAINE**

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1 ELEVATION
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:
ELEVATION
 PROJECT NAME:
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ELEVATION, GENERAL NOTES, SCHEDULES

PROJECT NAME:
DUFFY RESIDENCE
 PORTLAND MAINE

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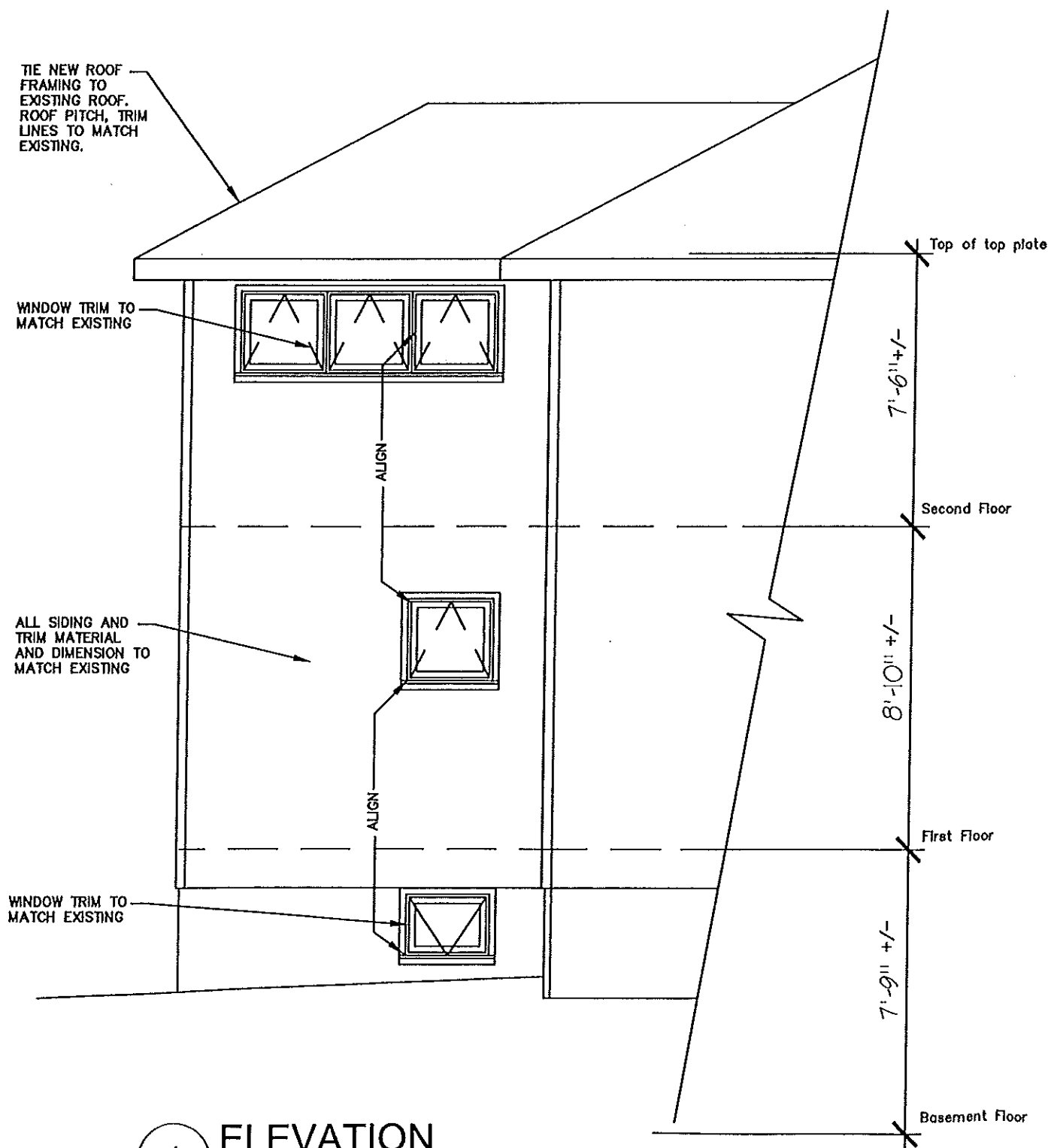
DATE OF ISSUE
 OCTOBER 6, 2012

DESCRIPTION
 CONCEPTUAL

SCALE
 1/4" = 1'-0"

PROJECT NUMBER
 2012-0500

A-203



WINDOW SCHEDULE:

W1 12"x3' FIXED WINDOW
 ALIGN HEAD OF WINDOW WITH WINDOW HEADS ON SAME FLOOR

W2 AW251 AWNING WINDOW,
 ANDERSON 400 SERIES CLAD WOOD WINDOW
 ALIGN HEAD OF WINDOWS WITH WINDOW HEADS ON SAME FLOOR .

W3 REUSE SALVAGED BASEMENT WINDOW

W4 CXW13 CASEMENT WINDOW WITH STRAIGHT ARM HINGE FOR MAXIMUM
 EGRESS OPENING

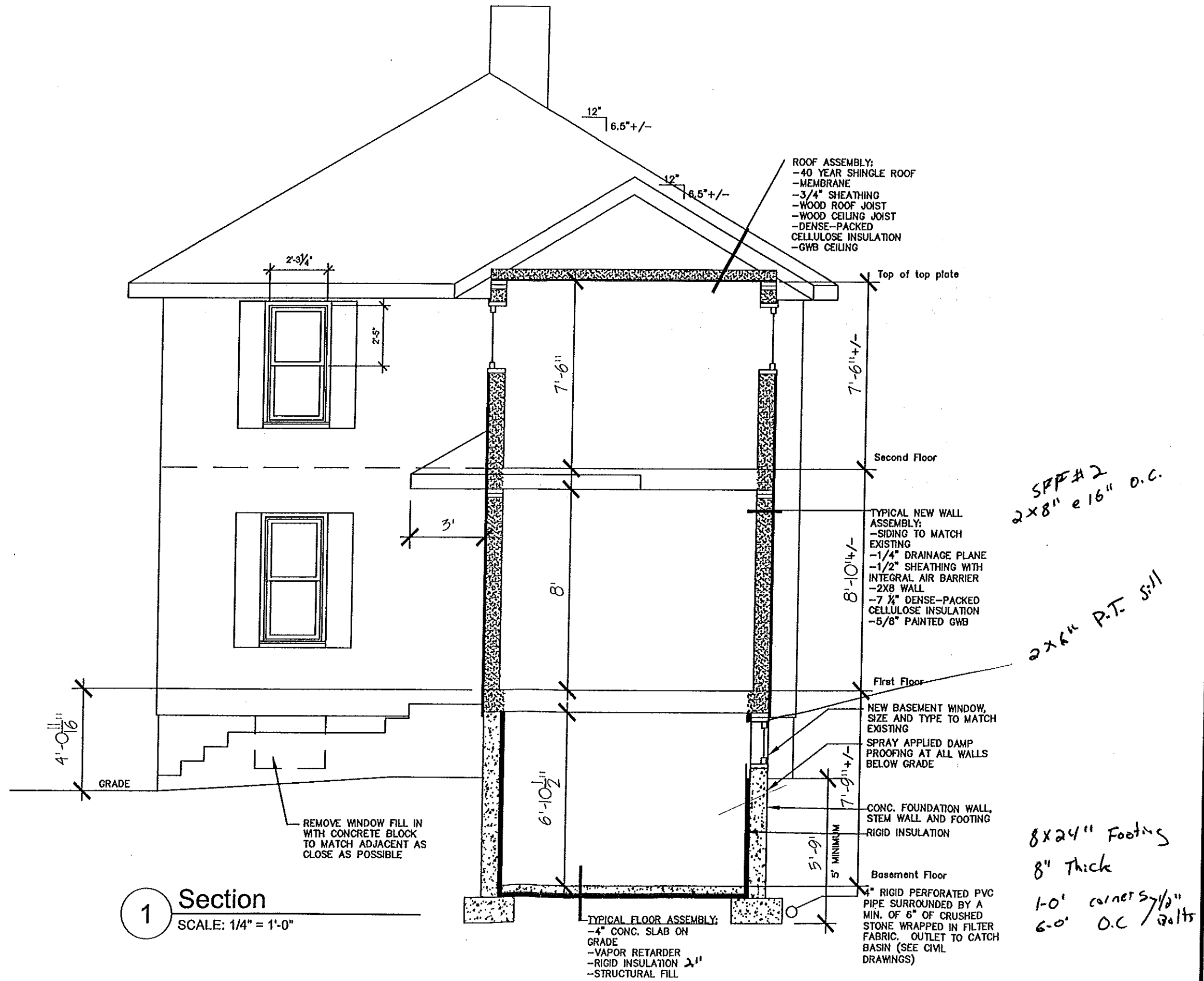
DOOR SCHEDULE:

VERIFY ALL DOOR DIMENSIONS BEFORE FRAMING OPENINGS
 NEW DOORS TO MATCH PANEL PATTERNS OF EXISTING DOORS

- D1 2'-8"x6'-8" RELOCATED
- D2 2'-8"x6'-8" SCREEN/STORM RELOCATED
- D3 2'-6"x6'-8" NEW
- D4 2'-6"x6'-8" NEW POCKET DOOR

- D11 PAIR OF 2'-0"x6'-8" NEW
- D12 2'-6"x6'-8" RELOCATED
- D13 2'-0"x6'-8" RELOCATED
- D14 2'-6"x6'-8" RELOCATED
- D15 2'-6"x6'-8" RELOCATED
- D16 2'-0"x6'-8" NEW
- D17 2'-6"x6'-8" NEW
- D18 2'-0"x6'-8" RELOCATED
- D19 2'-0"x6'-8" RELOCATED

1 ELEVATION
 SCALE: 1/4" = 1'-0"



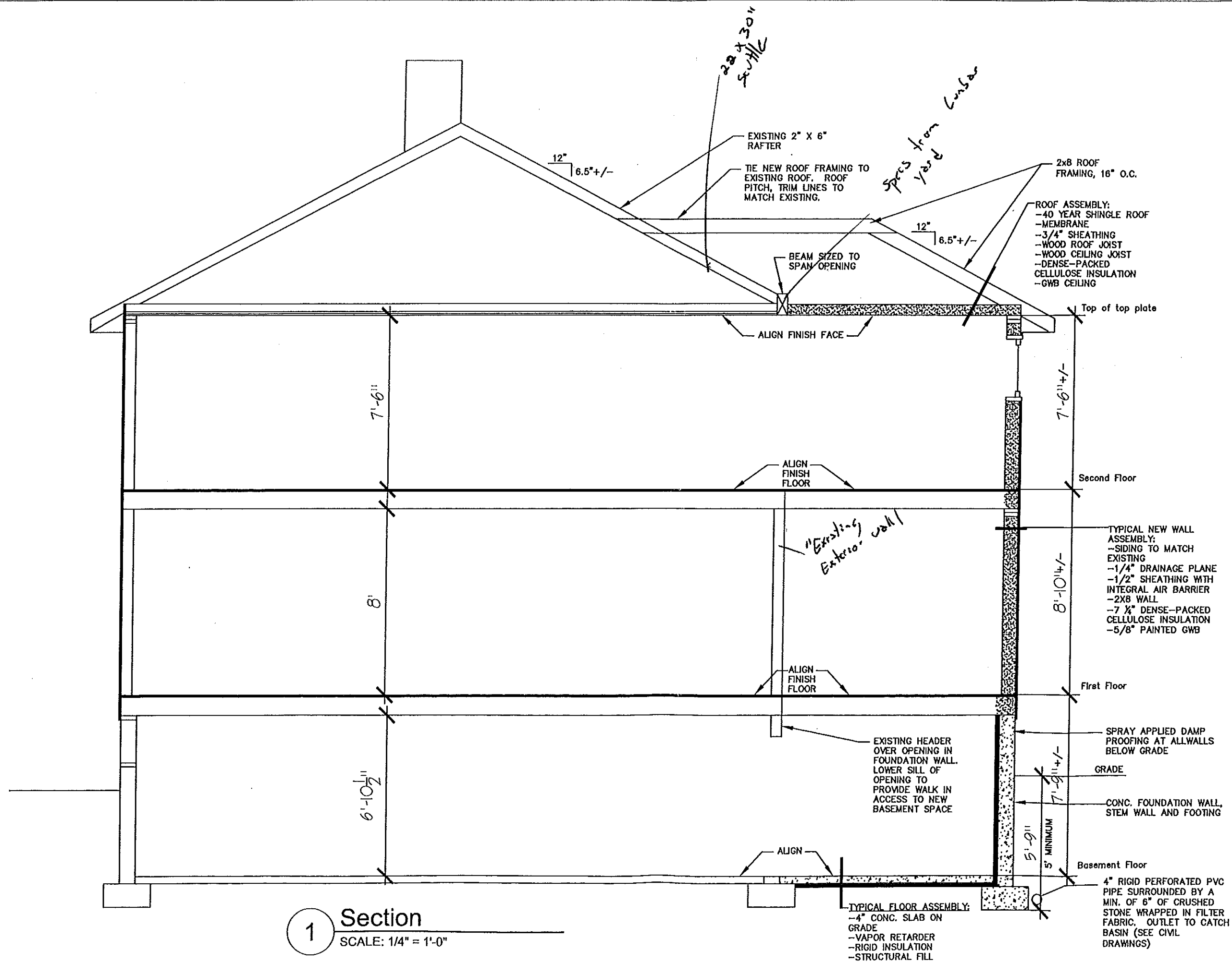
1 Section
 SCALE: 1/4" = 1'-0"

DRAWING TITLE: **Section**
 PROJECT NAME: **DUFFY RESIDENCE PORTLAND MAINE**

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 PROJECT NUMBER: **2012-0500**

A-301



1 Section
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:
Section
 PROJECT NAME:
DUFFY RESIDENCE
 PORTLAND MAINE

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