

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that KRISTIN DUFFY

Located At 63 WOODMONT ST

Job ID: 2012-10-5292-ALTR

CBL: 080- H-006-001

has permission to Second floor addition, exterior deck, and interior renovations (Single Family Residence) provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

11/29/2012

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

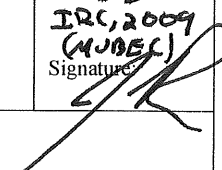
THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

closed

SCANNED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-10-5292-ALTR	Date Applied: 10/29/2012	CBL: 080- H-006-001	
Location of Construction: 63 WOODMONT ST	Owner Name: KRISTIN & WILLIAM DUFFY	Owner Address: 63 WOODMONT ST PORTLAND, ME 04102	Phone:
Business Name:	Contractor Name: Gerald Muto, Inc.	Contractor Address: 115 Raymond Rd., Brunswick, ME 04011	Phone: 207-751-4382
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone:
Past Use: Single family	Proposed Use: Same – single family – remove existing rear deck & one story addition- build 10 x11.5' two story addition & 10' x10' deck-add new bathroom on 2 nd floor	Cost of Work: 80000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A <i>per. Capt. Perez C</i>	Inspection: Use Group: R3 Type: 5B IRC, 2009 (MURK) Signature: 
Proposed Project Description: remove deck and addition; const 2 story addition & deck		Pedestrian Activities District (P.A.D.)	

Permit Taken By: Brad	Zoning Approval		
<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/conditions</i> <i>10/30/12 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12-11-12 DWM Footing OK as per plan.

12-14-12 DWM Back fill OK

1-8-13 DWM Jerry 751-4382 Framing partial Ext walls OK no plumbing or elec.

1-25-13 DWM Jerry Close-in O/C Reviewed Bathroom outlet configuration regulations.

2-21-13 DWM Jerry Final Provide WR exterior outlet, PE SDs,

SDs in each Bedroom (hard wired)

3-6-13 DWM Bill Final OK

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Footings/Setbacks prior to pouring concrete
 2. Foundation wall prior to backfill
 3. Close In Elec/Plmb/Frame prior to insulate or gypsum
 4. Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-10-5292-ALTR

Located At: 63 WOODMONT ST

CBL: 080- H-006-001

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Foundation Drainage: Fabric, Damp proofing shall comply with Section R405 & R406, see attachment.
3. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches above the finished floor of the room, unless a window fall prevention devices is installed in accordance with section R612.3.
4. A code compliant emergency escape shall be provided in the proposed bedroom. Window sills in locations more than 72 inches from finished grade shall be a minimum of 24 inches (no higher than 44 inches) above the finished floor of the room, or in compliance with Section R612.4.2 Operation for emergency escape.
5. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
6. The maximum riser height shall be 7 3/4 inches; the minimum tread depth shall be 10 inches.
7. Ventilation of this space is required per ASRAE 62.2 , 2007 edition; Contractor agreed that the "building envelope" insulation will comply with the IECC, 2009 (Maine State Energy Codes).
8. A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
9. Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level.

10. R807.1 Attic access. Buildings with combustible ceiling or roof construction shall have an attic access opening to attic areas that exceed 30 square feet and have a vertical height of 30 inches or greater. The vertical height shall be measured from the top of the ceiling framing members to the underside of the roof framing members. The rough-framed opening shall not be less than 22 inches by 30 inches and shall be located in a hallway or other readily accessible location.
11. Roof Rafter framing and Connection shall comply with Section R802.3 & R802.3.1 of MUBEC.
12. R316.5.10 Interior finish. Foam plastics shall be permitted as interior finish where approved in accordance with Section R316.6 Foam plastics that are used as interior finish shall also meet the flame spread index and smoke-developed index requirements of Sections R302.9.1 and R302.9.2.
13. Notes: Contractor will provide specs for basement egress, and engineered trusses.

Fire

1. All construction shall comply with City Code Chapter 10.
2. All smoke detectors and smoke alarms shall be photoelectric.
3. Hardwired Carbon Monoxide alarms with battery back up are required on each floor.
4. A sprinkler system is recommended but not required based on the following:
5. **Plans indicate the repairs/ addition will not exceed _50_% of the total completed structure within a one (1) year period**
 - a. **Please Contact Fire Prevention @ 207.874.8405 with any questions.**



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2012-10-5292-ALTR

Entered 10/29/12
B

Location/Address of Construction: <u>63 WOODMONT STREET</u>		
Total Square Footage of Proposed Structure/Area <u>115 ft²</u>	Square Footage of Lot <u>5170 ft²</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>080</u> <u>H006</u>	Applicant: (must be owner, lessee or buyer) Name <u>GERALD MUTO, INC</u> Address <u>115 RAYMOND ROAD</u> City, State & Zip <u>BRUNSWICK, ME 04011</u>	Telephone: <u>207-751-4382</u>
Lessee/DBA	Owner: (if different from applicant) Name <u>Bill & KRISTIN DUFFY</u> Address <u>63 WOODMONT ST</u> City, State & Zip <u>PORTLAND, ME 04102</u>	Cost of Work: <u>\$80,000</u> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$ <u>820.00</u>
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>one</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: _____ Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>(1) REMOVE EXISTING REAR DECK & ONE STORY ADDITION</u> <u>(2) CONSTRUCT NEW 2 STORY ADDITION, NEW REAR DECK, ADD NEW BATHROOM IN SECOND FLOOR</u>		
Contractor's name: <u>GERALD MUTO, INC.</u>		Email: _____
Address: <u>115 RAYMOND ROAD</u>		<u>mutoj@comcast.net</u>
City, State & Zip <u>BRUNSWICK MAINE 04011</u>		Telephone: <u>751-4382</u>
Who should we contact when the permit is ready: <u>GERALD MUTO</u>		Telephone: <u>751-4382</u>
Mailing address: <u>115 RAYMOND ROAD, BRUNSWICK, ME 04011</u>		

PHASE I ON PLANS

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

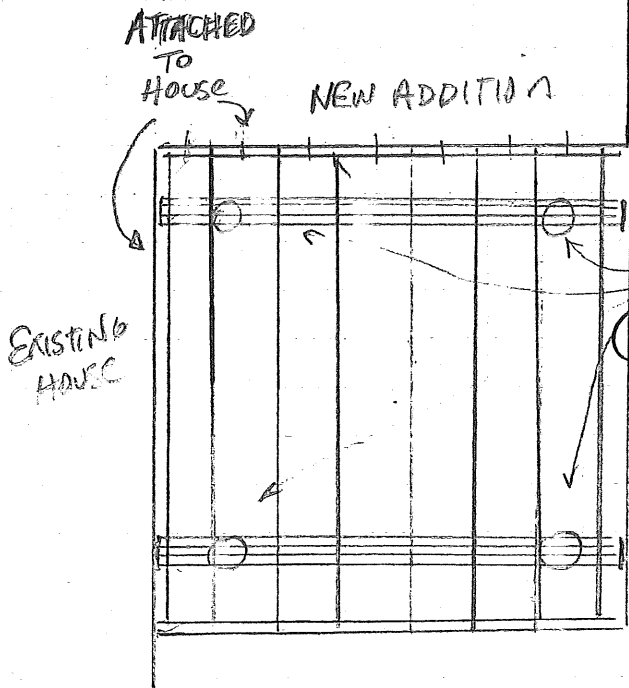
Signature: Gerald A Muto Date: October 29, 2012

This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED
OCT 29 2012
Dept. of Building Inspections
City of Portland Maine

EXTERIOR DECK FRAMING

63 WOODMONT STREET

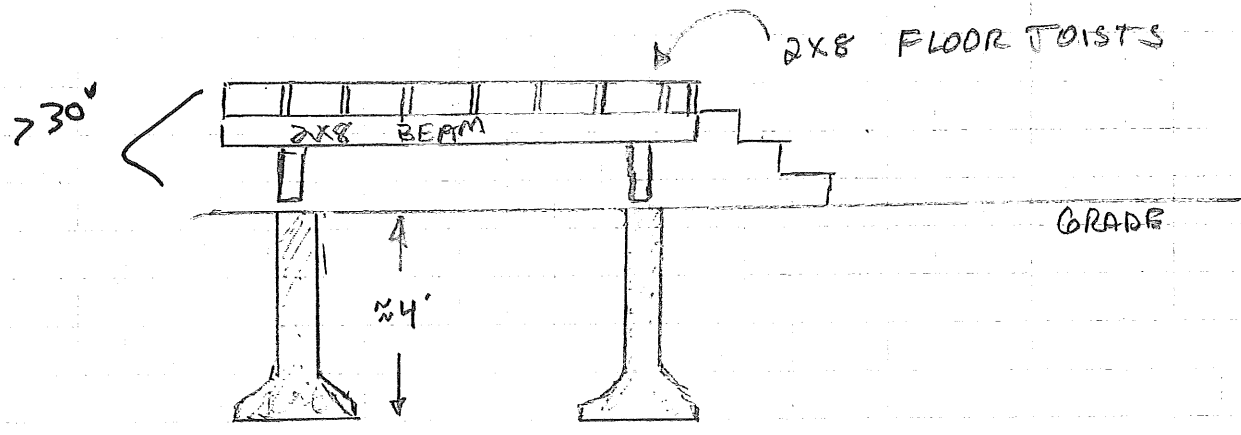


4 - "BIG FOOT" COLUMNS

(3) 2X8 BEAMS (TRIPLE)

MAKES THE DECK ESSENTIALLY FREE STANDING

34 to 38" Graspable Rail





PORTLAND MAINE

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Receipts Details:

Tender Information: Check , Check Number: 3460

Tender Amount: 820.00

Receipt Header:

Cashier Id: bsaucier

Receipt Date: 10/29/2012

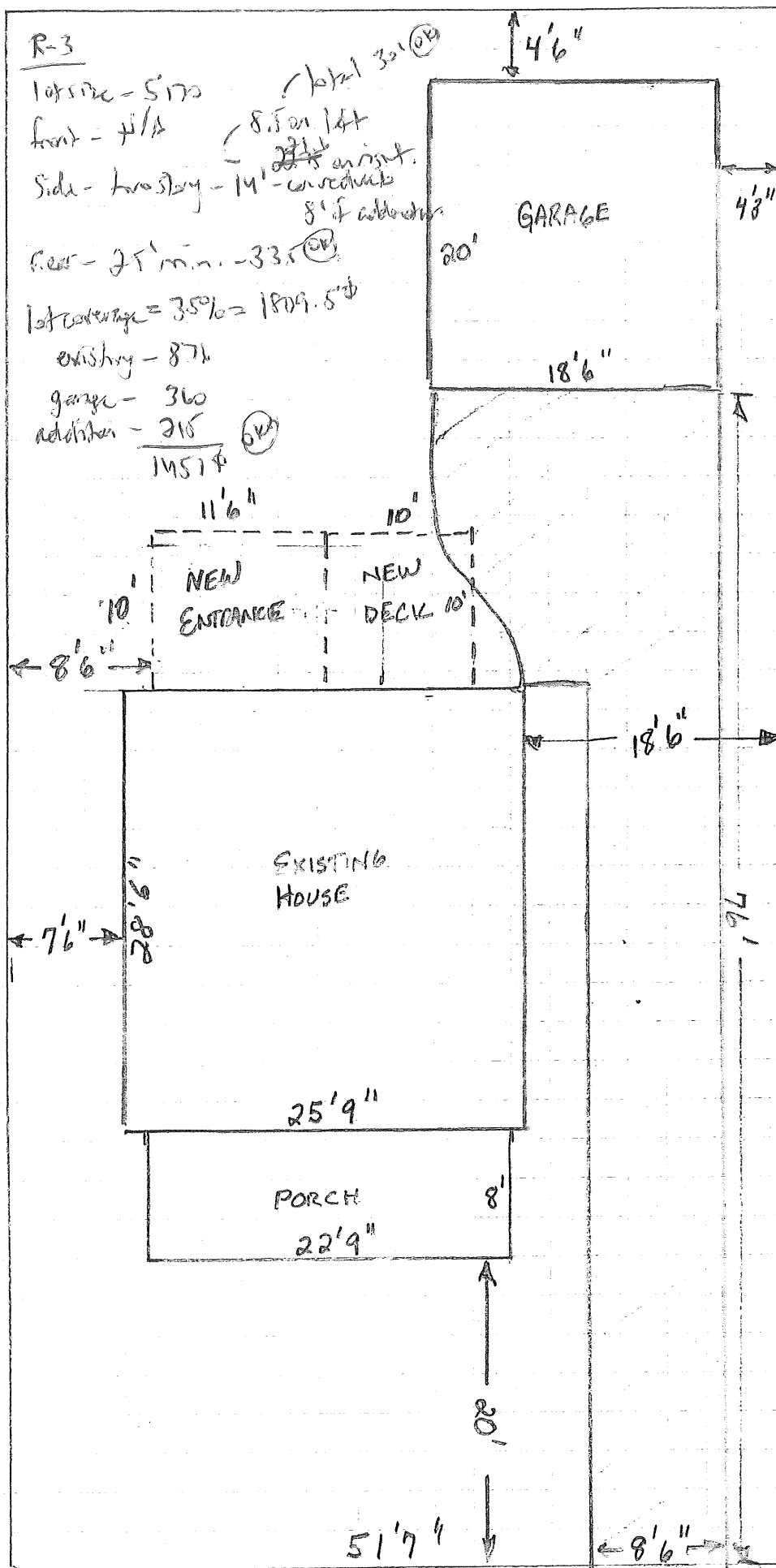
Receipt Number: 49754

Receipt Details:

Referance ID:	8561	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	820.00	Charge Amount:	820.00
Job ID: Job ID: 2012-10-5292-ALTR - Phase I; remove deck and addition; const 2 stories			
Additional Comments: 63 Woodmont St.			

Thank You for your Payment!

63 WOODMONT STREET



R-3
 Lot size - 5170
 front - 1/4
 Side - two story - 14' - covered
 Rear - 25' min. - 33.5'
 lot coverage = 35% = 1809.5'
 existing - 876
 garage - 360
 addition - 315
 1451'4

DUFFY
 63 Woodmont St
 PORTLAND, ME
 04102

GERALD MUTO INC
 115 RAYMOND Rd
 BRUNSWICK, ME
 04004

751-4382

SCALE
 1" = 10'
 1/4" = 2.5'

SIDEWALK



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2009
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Electronic files in pdf format are also required
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Bill & Kristin Duffy
63 Woodmont St
Portland, Maine 04102

GERALD AUTO INC
115 Raymond Road
Brunswick, Maine 04011

% LOT COVERAGE

- ① GARAGE: $20' \times 18.5' = 370 \text{ ft}^2$
 - ② Main Existing House: $28.5' \times 25.75' = 733.875 \text{ ft}^2$
 - ③ FRONT Porch: $22.75' \times 8' = 182 \text{ ft}^2$
 - ④ NEW REAR ENTRANCE: $10' \times 11.5' = 115 \text{ ft}^2$
 - ⑤ REAR DECK (NEW) $16.25' \times 13' = 211.25$
-
- 1,612.125 ft^2

⑥ SIZE OF LOT $51.7' \times 100' = 5170 \text{ ft}^2$

⑦ % of LOT COVERAGE: $\frac{1612.125}{5170} = .3118$

Renovation area

main house $26 \times 28'' \times 3$ floors = 2184 $\text{sq} \text{ ft}$
(Basement 1st & 2nd)

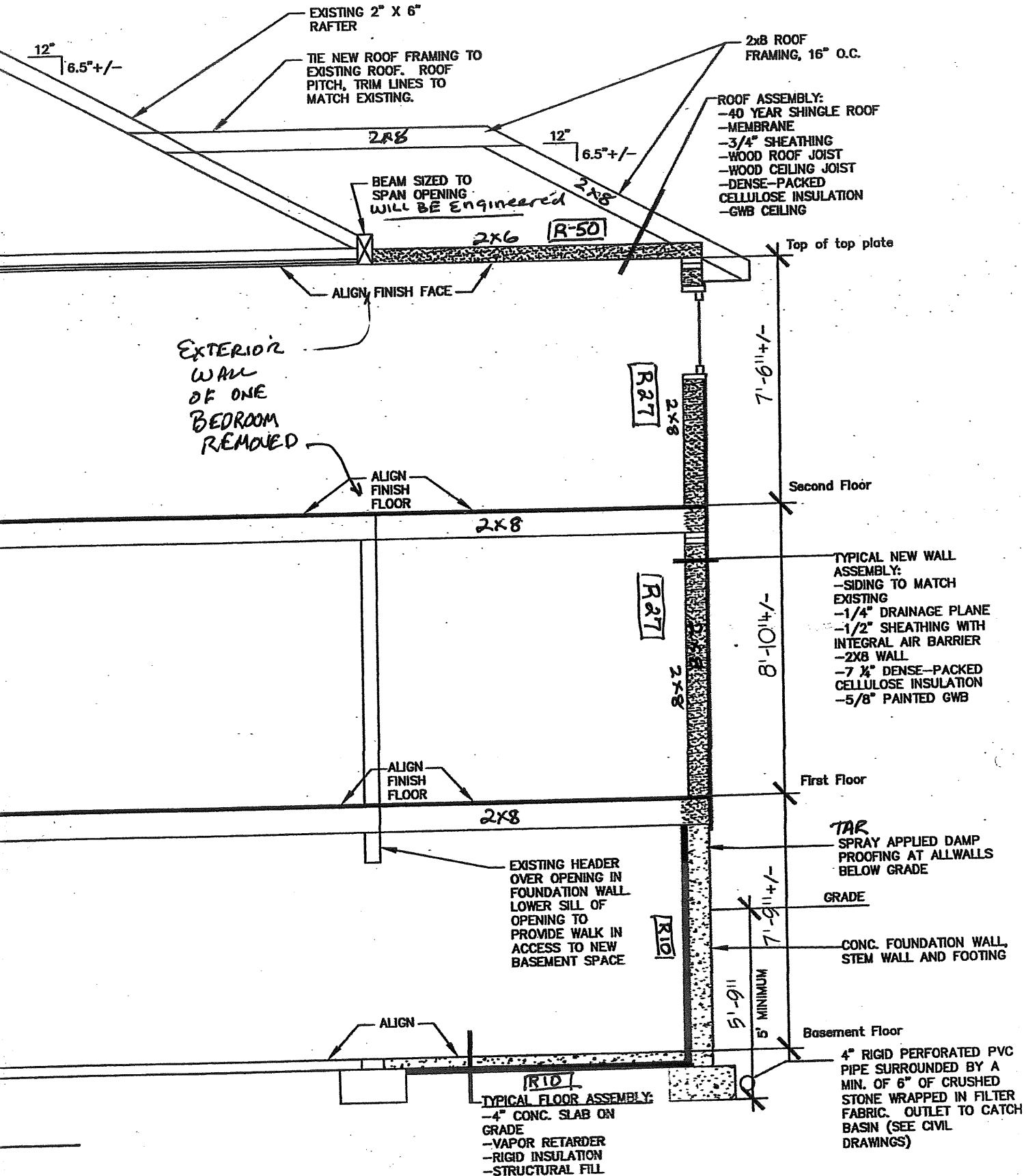
New Addition $10' \times 11.6'' \times 3$ floors = 345 $\text{sq} \text{ ft}$

% $\frac{345}{2184} = .157 = 15.7\%$

OR

31.18%

FRAMING GROSS SECTION 63 WOODMONT STREET



EXISTING 2" X 6" RAFTER

TIE NEW ROOF FRAMING TO EXISTING ROOF. ROOF PITCH, TRIM LINES TO MATCH EXISTING.

2x8 ROOF FRAMING, 16" O.C.

ROOF ASSEMBLY:
 -40 YEAR SHINGLE ROOF
 -MEMBRANE
 -3/4" SHEATHING
 -WOOD ROOF JOIST
 -WOOD CEILING JOIST
 -DENSE-PACKED CELLULOSE INSULATION
 -GWB CEILING

BEAM SIZED TO SPAN OPENING WILL BE ENGINEERED

Top of top plate

ALIGN FINISH FACE

EXTERIOR WALL OF ONE BEDROOM REMOVED

ALIGN FINISH FLOOR

Second Floor

TYPICAL NEW WALL ASSEMBLY:
 -SIDING TO MATCH EXISTING
 -1/4" DRAINAGE PLANE
 -1/2" SHEATHING WITH INTEGRAL AIR BARRIER
 -2x8 WALL
 -7 1/2" DENSE-PACKED CELLULOSE INSULATION
 -5/8" PAINTED GWB

ALIGN FINISH FLOOR

First Floor

TAR SPRAY APPLIED DAMP PROOFING AT ALL WALLS BELOW GRADE

GRADE

EXISTING HEADER OVER OPENING IN FOUNDATION WALL LOWER SILL OF OPENING TO PROVIDE WALK IN ACCESS TO NEW BASEMENT SPACE

CONC. FOUNDATION WALL, STEM WALL AND FOOTING

ALIGN

Basement Floor

TYPICAL FLOOR ASSEMBLY:
 -4" CONC. SLAB ON GRADE
 -VAPOR RETARDER
 -RIGID INSULATION
 -STRUCTURAL FILL

4" RIGID PERFORATED PVC PIPE SURROUNDED BY A MIN. OF 6" OF CRUSHED STONE WRAPPED IN FILTER FABRIC. OUTLET TO CATCH BASIN (SEE CIVIL DRAWINGS)



11187

APPLICATION

PROPERTY ADDRESS

Street: 63 WOODMONT ST.
CBL: 080 H 006

Town/City PORTLAND Permit # 2013-00149

Date Permit Issued 1/23/13 Fee: \$ Double Fee Charged []

L.P.I. # 360

PROPERTY OWNER(S) NAME

NAME: Bill & Kristin Duffy
Applicant Name: IMPERIAL PLUMBING & HEATING

Local Plumbing Inspector Signature

The Internal Plumbing Fixtures and Piping shall not be installed until a Permit is issued by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the plumbing system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Mailing Address of Owner/Applicant (if Different) 7 STEPHENSON ST. CAPE ELIZABETH, ME.
Owner/Applicant Statement 04107

Caution: Inspection Required

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspector(s) to deny a permit.

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules Application.

Date Approved (Rough-in)

Signature of Owner/Applicant

Date 1/23/13

LPI Signature

Date Approved (Final)

PERMIT INFORMATION

This Application is for

- 1. NEW PLUMBING
- 2. RELOCATED PLUMBING

Type of Structure to be Served

- 1. SINGLE FAMILY RESIDENCE
- 2. MODULAR OR MOBILE HOME
- 3. MULTIPLE FAMILY DWELLING
- 4. OTHER-SPECIFY _____

Plumbing to be Installed by:

- NAME: IMPERIAL P&H
- 1. MASTER PLUMBER
 - 2. OIL BURNERMAN
 - 3. MFG'D HOUSING DEALER / MECHANIC
 - 4. PUBLIC UTILITY EMPLOYEE
 - 5. PROPERTY OWNER

LICENSE # MS90013274

RECEIVED

JAN 23 2013

Dept. of Building Inspections
City of Portland Maine

Hook-Up & Piping Relocation
Maximum of 1 Hook-Up

HOOK-UP: to public sewer by those cases where the connection is not regulated and inspected by the local sanitary district.

HOOK-UP: to an existing subsurface wastewater disposal system

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

Column 2

Number Type of Fixture

- 01 Hosebib / Sillcock
- 01 Floor Drain
- 01 Urinal
- 01 Drinking Fountain
- 01 Indirect Waste
- 01 Water Treatment Softener, Filter, Etc.
- 01 Grease / Oil Separator
- 01 Roof Drain

Column 1

Number Type of Fixture

- 01 Bathtub (and Shower)
- 01 Shower (separate)
- 01 Sink
- 02 Wash Basin
- 02 Water Closet (Toilet)
- 01 Clothes Washer
- 01 Dish Washer
- 01 Garbage Disposal
- 01 Laundry Tub
- 01 Water Heater

01 Fixtures (Subtotal) Column 2

05 Fixtures (Subtotal) Column 1

OR

06 TOTAL FIXTURES

TRANSFER FEE \$10.00

Fees by fixture:
First 4 fixtures = \$40 Over 4 = \$10/fixture
+ \$10 Surcharge

Fixture Fee
Transfer Fee

Hook-Up & Relocation Fee

HHE-211 Rev. 08/2011

PERMIT FEE (TOTAL)

ELECTRICAL PERMIT

City of Portland, Maine

To the Electrical Inspector, Portland Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland's Electrical Ordinances, National Electrical Code and the following specifications:



Date: 11/24/13
 Permit #: 2013-00149
 CBL#: 080 H006

ADDRESS: 63 Woodmont METER MAKE/MODEL #: _____
 CMP Work Order #: _____ OWNER: Duffy
 TENANT: _____ PHONE #: _____

CBL: 080 H006

						TOTAL EACH FEE		
OUTLETS:	<u>19</u>	Receptacles	<u>12</u>	Switches	<u>6</u>	Smoke Detector	0.20	<u>9.00</u>
FIXTURES:	<u>10</u>	Incandescent		Flourescent		Strips	0.20	<u>2.00</u>
SERVICES:		Overhead		Underground		TTL Amps <800	15.00	
						TTL Amps >800	25.00	
TEMPORARY SERVICE:		Overhead		Underground		TTL Amps	25.00	
METERS:		(Number of)					1.00	
MOTORS:		(Number of)					2.00	
RESID/COMMER:		Electric Units					1.00	
HEATING:		Oil/Gas Units		Interior		Exterior	5.00	
APPLIANCES:		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-hot		Water Heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
MISC. (# of):		Air Cond (Window)					3.00	
		Air Cond (Central)				Pools	10.00	
		HVAC		BMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/Resident					5.00	
		Alarms/Commer					15.00	
		Heavy Duty (CRKT)					2.00	
		Alterations					5.00	
		Fire Repairs					15.00	
		Emergency Lights					1.00	
	Emer Generators					20.00		
	Circus/Carnival					25.00		
PANELS:		Service		Remote		Main	4.00	
TRANSFORMER:		0-25 Kva					5.00	
		25-200 Kva					8.00	
		Over 200 Kva					10.00	

SCANNED

RECEIVED

JAN 24 2013

Dept. of Building Inspections
City of Portland Maine

MINIMUM COMMERCIAL FEE: \$55.00 **MINIMUM RESIDENTIAL FEE: \$45.00** **TOTAL DUE: 45.00**

Brief Description of work: _____

CONTRACTOR INFORMATION:

Contractor Name: DAVID WAITE Master License #: 04892
 Address: POB 201 Topshem Limited License #: _____
 Telephone: w. 7296925 cell - 7515850
 Contractor Signature: Del Wait

FOUNDATION AND FIRST FLOOR PLANS

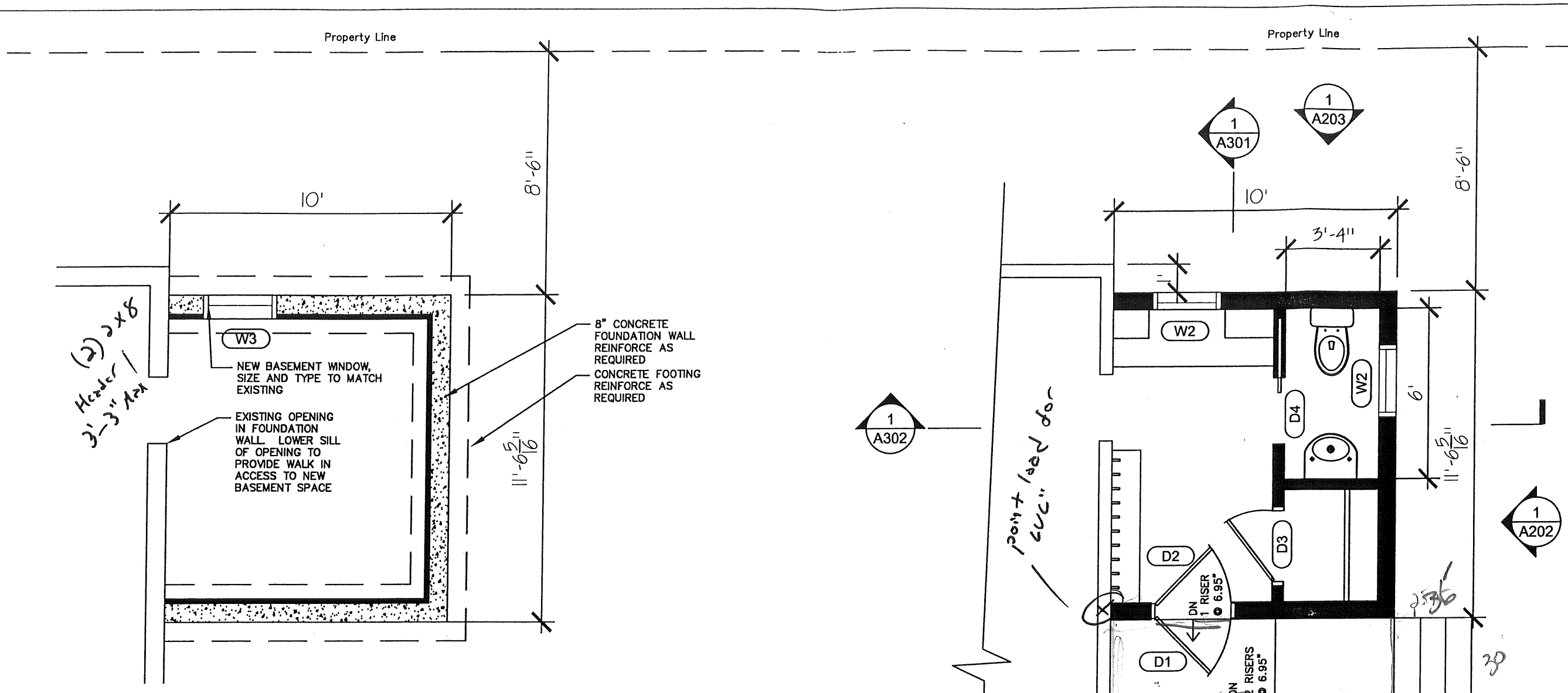
PROJECT NAME:
DUFFY RESIDENCE
 PORTLAND MAINE

DRAWING TITLE:

THIS DRAWING IS THE PROPERTY OF
 LINDA BRALEY AND IS NOT TO BE
 COPIED OR REPRODUCED IN PART OR
 WHOLE. 2012 © LINDA BRALEY

DATE OF ISSUE
 OCTOBER 6, 2012
 DESCRIPTION
 CONCEPTUAL
 SCALE
 1/4" = 1'-0"
 PROJECT NUMBER
 2012-0500

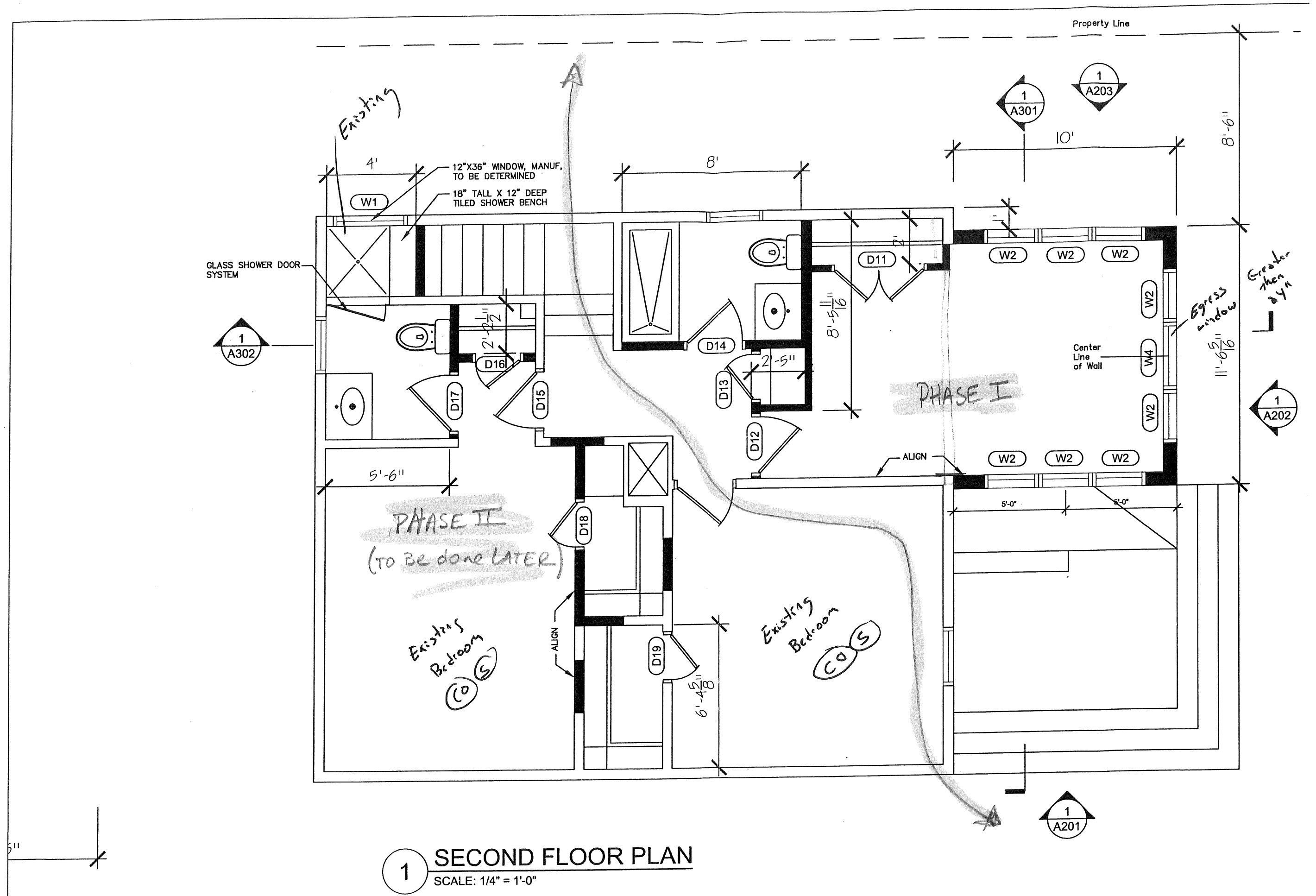
A-101



1 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. TIE NEW ROOFING INTO EXISTING, MATCH EXISTING SHINGLES. PROVIDE AND INSTALL WHITE ALUMINUM FLASHING, DRIP EDGE, GUTTERS AND DOWNSPOUTS.
 2. NEW ROOF TO HAVE 3/4" SHEATHING, ICE AND WATER SHIELD, SHINGLES TO MATCH EXISTING ROOF.
 3. 2X DORMER FRAMING. INSULATE DORMER ROOF AND WALLS WITH DENSE-PACKED CELLULOSE.
 4. CONTRACTOR TO VERIFY REQUIRED SIZE OF NEW HEADER BEAM.
 5. ALL EXTERIOR TRIM, SIDING, ROOFING TO MATCH EXISTING MATERIAL, SIZE FINISH AND COLOR.
 6. INTERIOR TRIM TO MATCH EXISTING MATERIAL AND SIZE.
 7. PATCH DRYWALL AROUND ALL NEW OPENINGS, PREP PRIME AND PAINT. VERIFY COLOR WITH CLIENT.

2 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:
SECOND FLOOR PLAN

PROJECT NAME:
**DUFFY RESIDENCE
 PORTLAND MAINE**

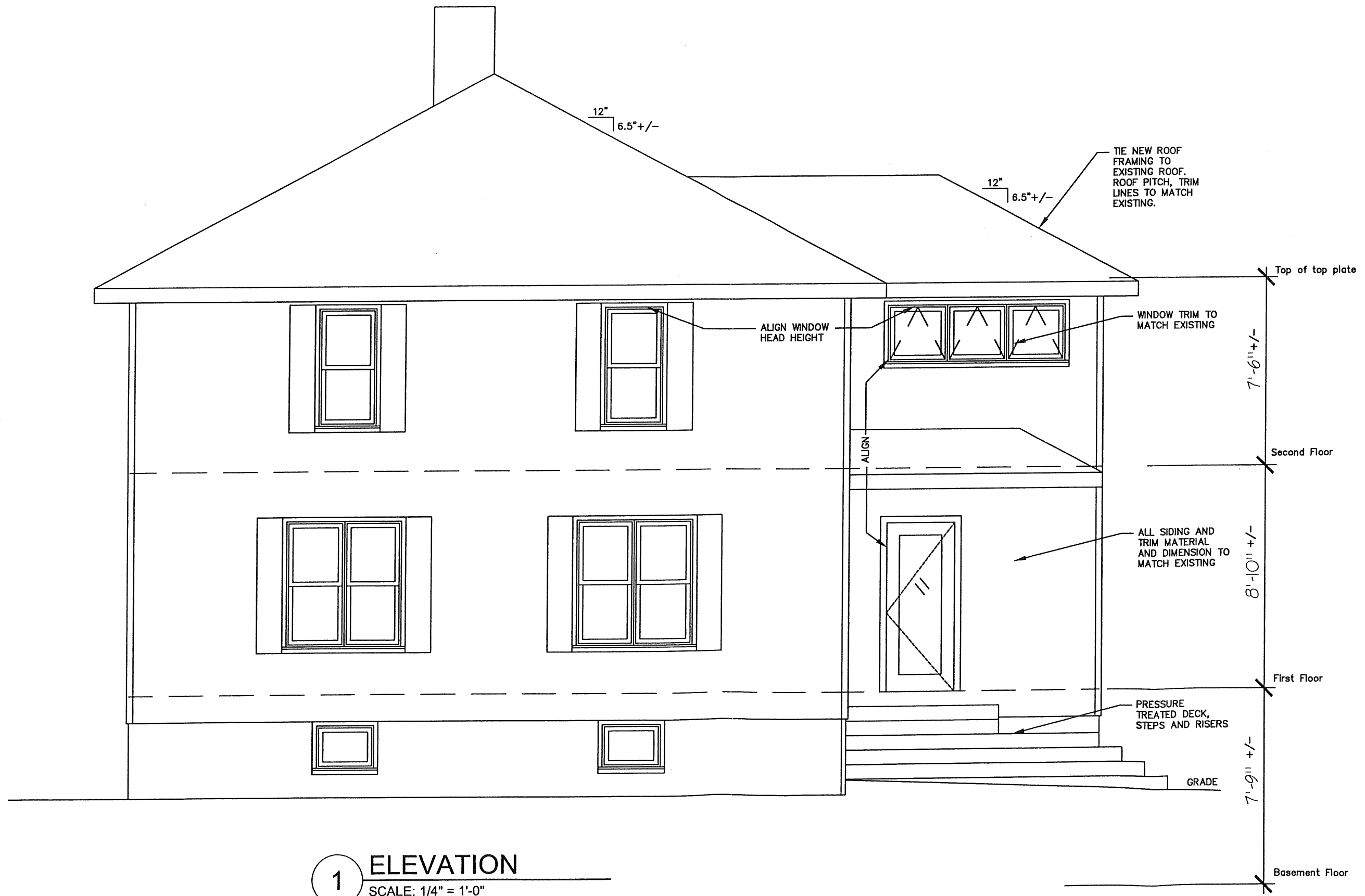
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DATE OF ISSUE
 OCTOBER 6, 2012

DESCRIPTION
 CONCEPTUAL

SCALE
 1/4" = 1'-0"

PROJECT NUMBER
 2012-0500



1 ELEVATION
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:

ELEVATION

PROJECT NAME:

**DUFFY RESIDENCE
 PORTLAND MAINE**

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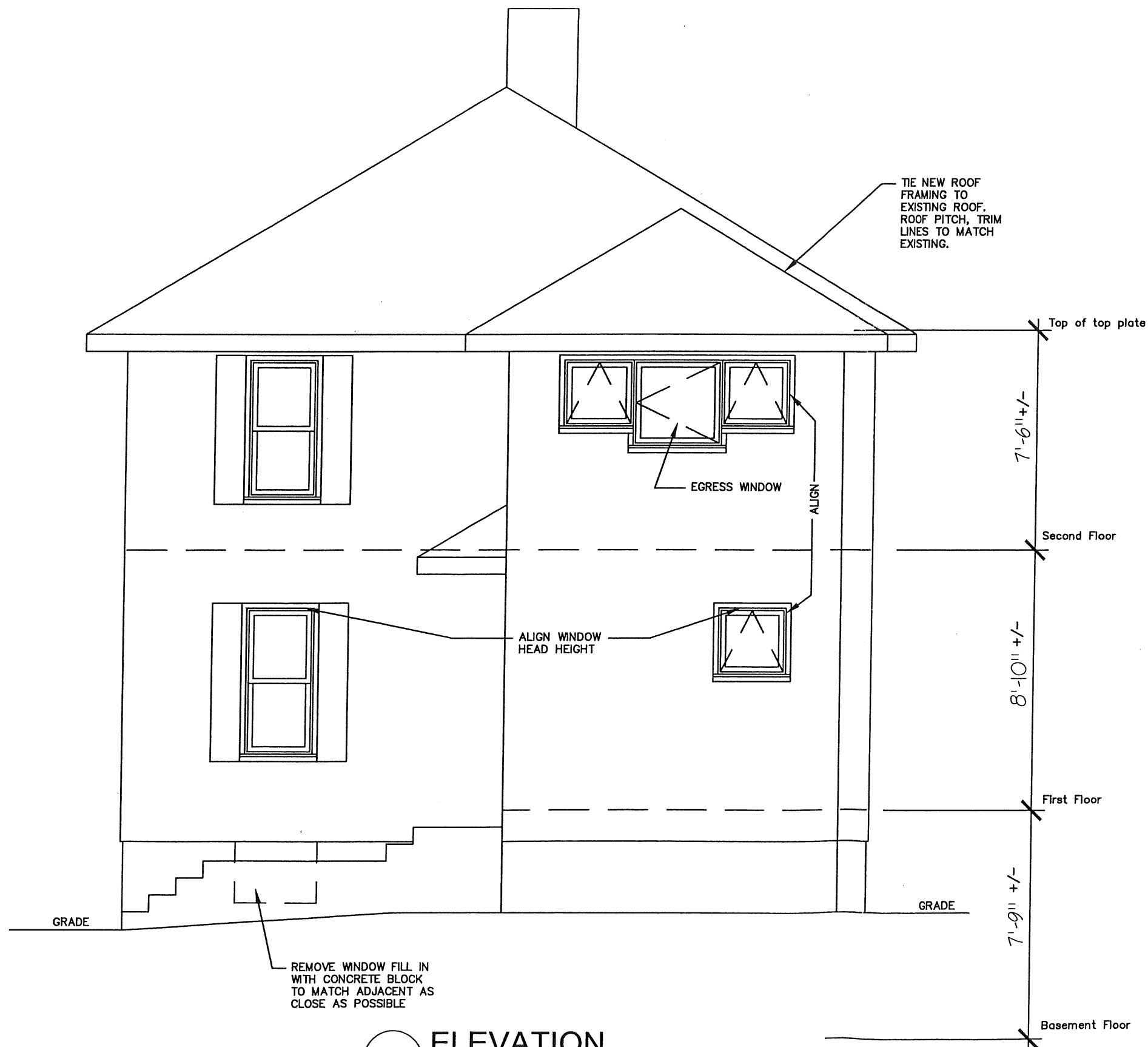
SCALE

1/4" = 1'-0"

PROJECT NUMBER

2012-0500

A-201



1 ELEVATION
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:
ELEVATION
 PROJECT NAME:
DUFFY RESIDENCE
 PORTLAND MAINE

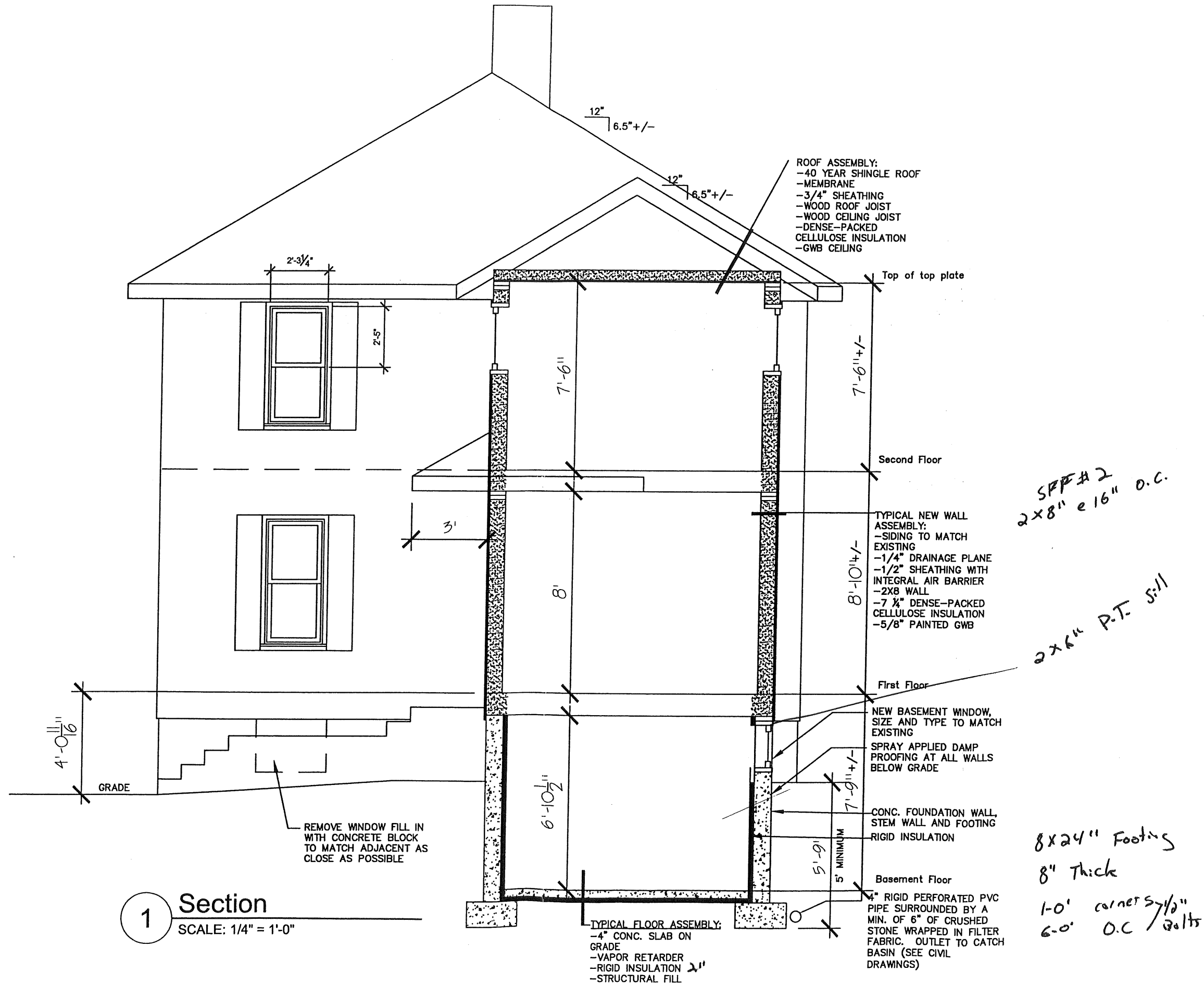
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A-202

PORTLAND MAINE

OF
 TOR



1 Section
 SCALE: 1/4" = 1'-0"

DRAWING TITLE:

Section

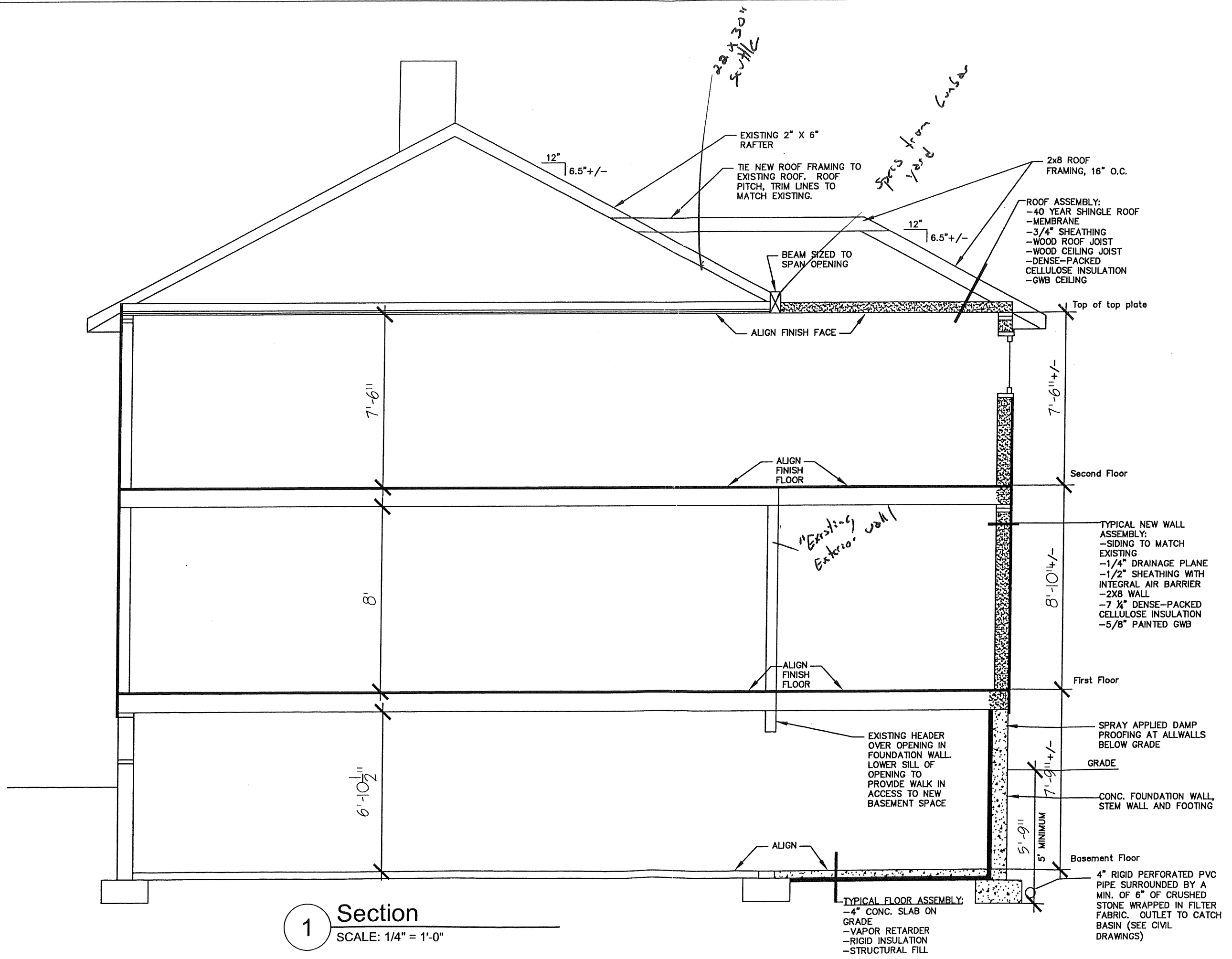
PROJECT NAME:

DUFFY RESIDENCE
 PORTLAND MAINE

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A-301



1 Section
 SCALE: 1/4" = 1'-0"

DRAWING TITLE: **Section**
 PROJECT NAME: **DUFFY RESIDENCE PORTLAND MAINE**

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DATE OF ISSUE
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 CONCEPTUAL
 SCALE
 1/4" = 1'-0"
 PROJECT NUMBER
 2012-0500