

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 070824

Please Read Application And Notes, If Any, Attached

This is to certify that DUFFY KRISTIN & WILLIAM DUFFY (Bob St On)

has permission to Remove wall between Kit. & Bath 1/2 Bath and Mud room

AT 63 WOODMONT ST

080 H006001

PERMIT ISSUED	
JUL 9 2007	
CITY OF PORTLAND	

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Christopher M. ... 7/9/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0824	Issue Date: 7/9/07	CBL: 080 H006001
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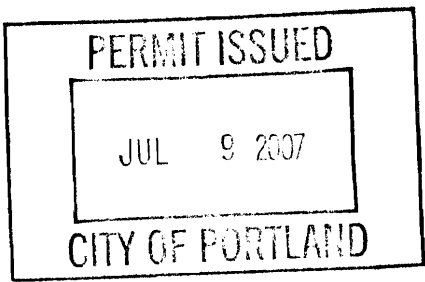
Location of Construction: 63 WOODMONT ST	Owner Name: DUFFY KRISTIN & WILLIAM J D	Owner Address: 63 WOODMONT ST	Phone: 773-1805
Business Name:	Contractor Name: Bob St Onge	Contractor Address: 2424 N. Belfast Ave. Augusta	Phone: 2076263631
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone:

Past Use: Single Family	Proposed Use: Single Family /Remodle Kitchen and Bath	Permit Fee: \$270.00	Cost of Work: \$24,614.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003	

Proposed Project Description: Remove wall between Kit.& Bath 1/2 Bath and Mudroom	Signature:	Signature: 7/9/07 CLM
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: csh	Date Applied For: 07/09/2007	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/9/07 CLM	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<p>Historic Preservation</p> <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 7/9/07 CLM
	<p><i>O.K Int work only</i></p>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0824	Date Applied For: 07/09/2007	CBL: 080 H006001
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Location of Construction: 63 WOODMONT ST	Owner Name: DUFFY KRISTIN & WILLIAM J D	Owner Address: 63 WOODMONT ST	Phone: () 773-1805
Business Name:	Contractor Name: Bob St Onge	Contractor Address: 2424 N. Belfast Ave. Augusta	Phone (207) 626-3631
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family /Remodle Kitchen and Bath	Proposed Project Description: Remove wall between Kit.& Bath 1/2 Bath and Mudroom
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date:
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
Dept: Building	Status: Approved with Conditions	Reviewer: Chris Hanson	Approval Date:
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process. 2) Fastener schedule per the IRC 2003 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>63 Woodmont St. Portland, ME</u>		
Total Square Footage of Proposed Structure <u>0</u>	Square Footage of Lot <u>5170 (I think!) 0.119 acres</u>	
Tax Assessor's Chart, Block & Lot Chart# _____ Block# <u>H</u> Lot# <u>6</u> Tax map <u>80 (C80H006001)</u>	Owner: <u>William J Duffy Jr & Kristin Chase Duffy</u>	Telephone: <u>207- 773-1805</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Kristin C. Duffy 69 Woodmont St. Portland, ME 04102 207-773-1805</u>	Cost Of Work: <u>\$ 24,614</u> Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>single family</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>- opening kitchen & dining room up (remains, wall)</u> <u>- Reducing bathroom/laundry to small bath & mud room</u> <u>(adding small wall & swinging door)</u>		
Contractor's name, address & telephone: <u>Bob St. Onge, SARK Management, Inc. 2424 N. Belfast Ave. Augusta, ME 04330</u>		
Who should we contact when the permit is ready: <u>Kristin Duffy</u>		
Mailing address: <u>69 Woodmont St Portland ME 04102</u>	Phone: <u>773-1805</u>	<u>207-626-3631 (C) 557-3631</u>

30
240
270

Please submit all the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Kristin C Duffy</u>	Date:
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This is not a permit; you may not commence ANY work until the permit is issued.

JARR Management, Inc.

Bill & Kristin Duffy
69 Woodmont Street
Portland, Me 04102
207-773-1805

Dear Bill & Kristin

Here is a breakdown of what our Contract

- | | |
|---|---------------------------|
| 1. Demo | \$ 350.00 - B. 11 |
| 2. Move rear door to new rear entrance & re-use rear steps with some modifications | \$500.00 |
| 3. Install new window at sink and install new siding to match existing | \$ 550.00 |
| 4. Re-install old kitchen window in bathroom | \$ 600.00 |
| 5. Frame new bath area with pocket door. (we will try to use existing door so all the door in the house look alike) | \$ 400.00 |
| 6. Re-locate cabinet in dining to hall way closet | \$ 400.00 |
| 7. Install header where wall has to be removed | \$ 600.00 |
| 8. All new trim will match the existing | \$ 500.00 |
| 9. Sanding of the floor. | \$ 300.00 - Jimmy's |
| 10. The drywall will be repaired ready for paint (new ceiling in the old kitchen area) | \$1,500.00 |
| 11. Electrical will be moved so new kitchen will be functional. | \$ 2,000.00 - Bill? |
| 12. Plumbing & hearing will be moved so the project can be completed. | \$ 3,500.00 |
| 13. Cubbies will be at the new entrance area. | \$ 600.00 - Todd or Bill? |
| 14. Debris will be disposed off. | \$ 500.00 - Bill |
| 16. Install new cabinets | \$1,500.00 |
| 17. Cost of new cabinets & counter top | \$13,364.00 |

Total contract \$ 27,164.00

Remainder

Demo cabinets -250.00
Sanding of the floor -300.00
~~Electrical~~ -2,000

27,164
- 2,550

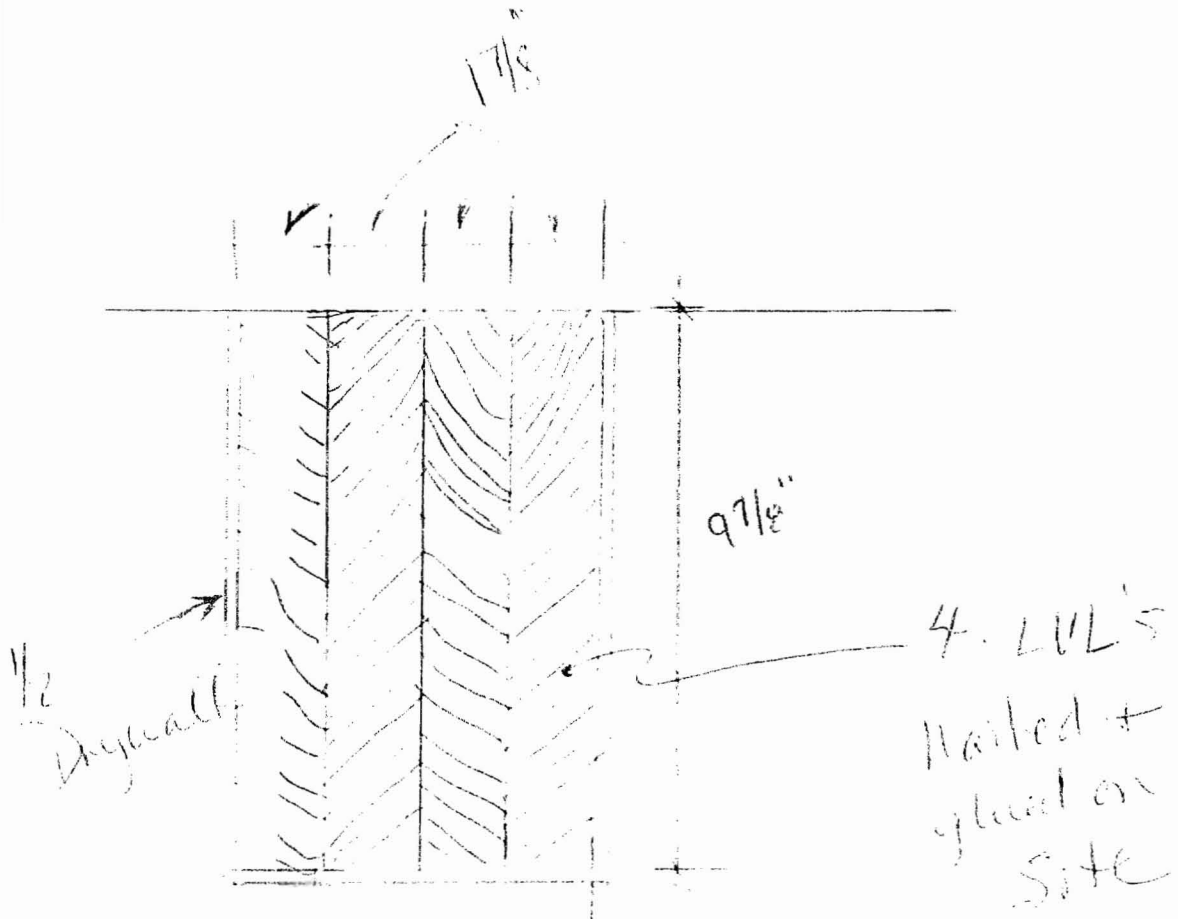
\$ 24,614

Bob St. Onge, Pres 5-14-07
Bob St. Onge

Bill Duffy
Bill Duffy

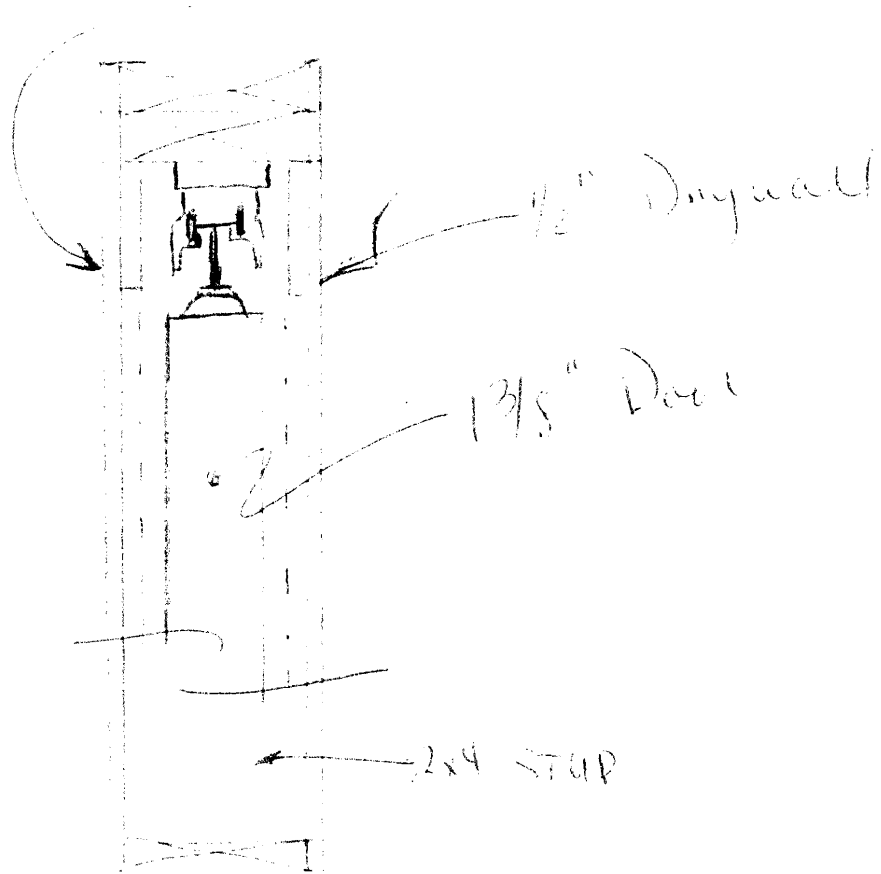
Kristin Duffy
Kristin Duffy

Detail @ New Slab

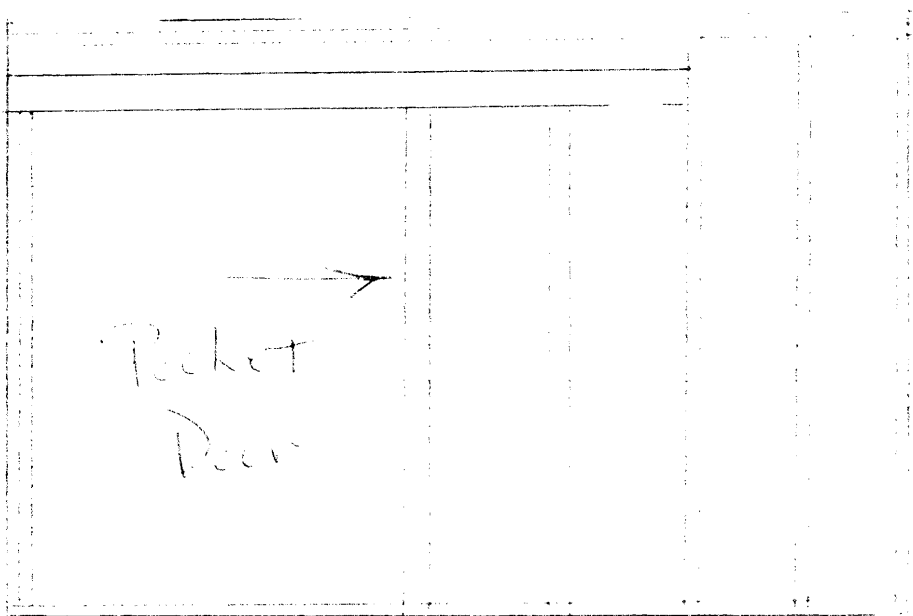


3 - Tracks @
1" strip @
each end of
Beam in
Walls

Double Plates @ Floor

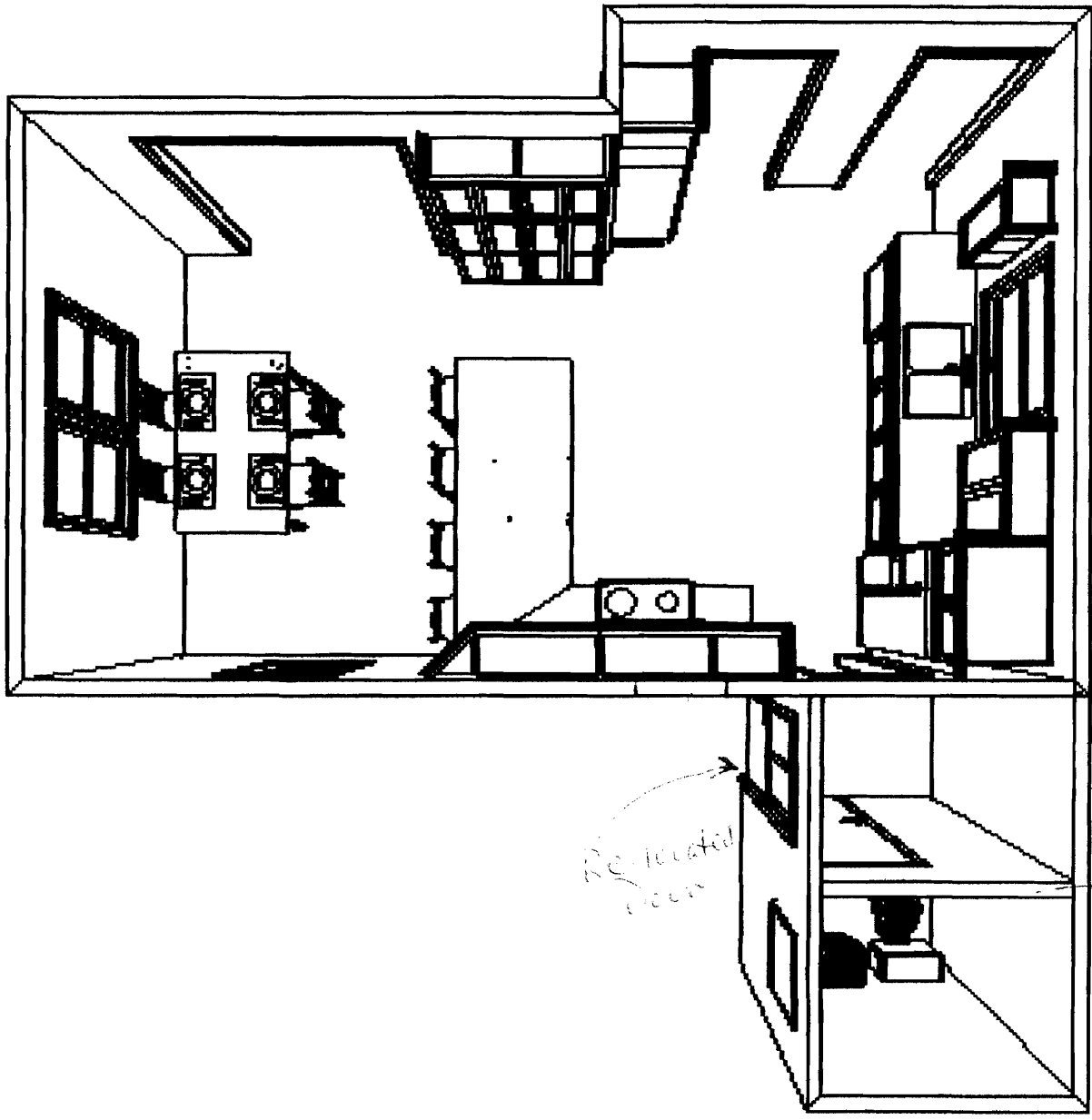


Cross-section of New Bathroom Wall



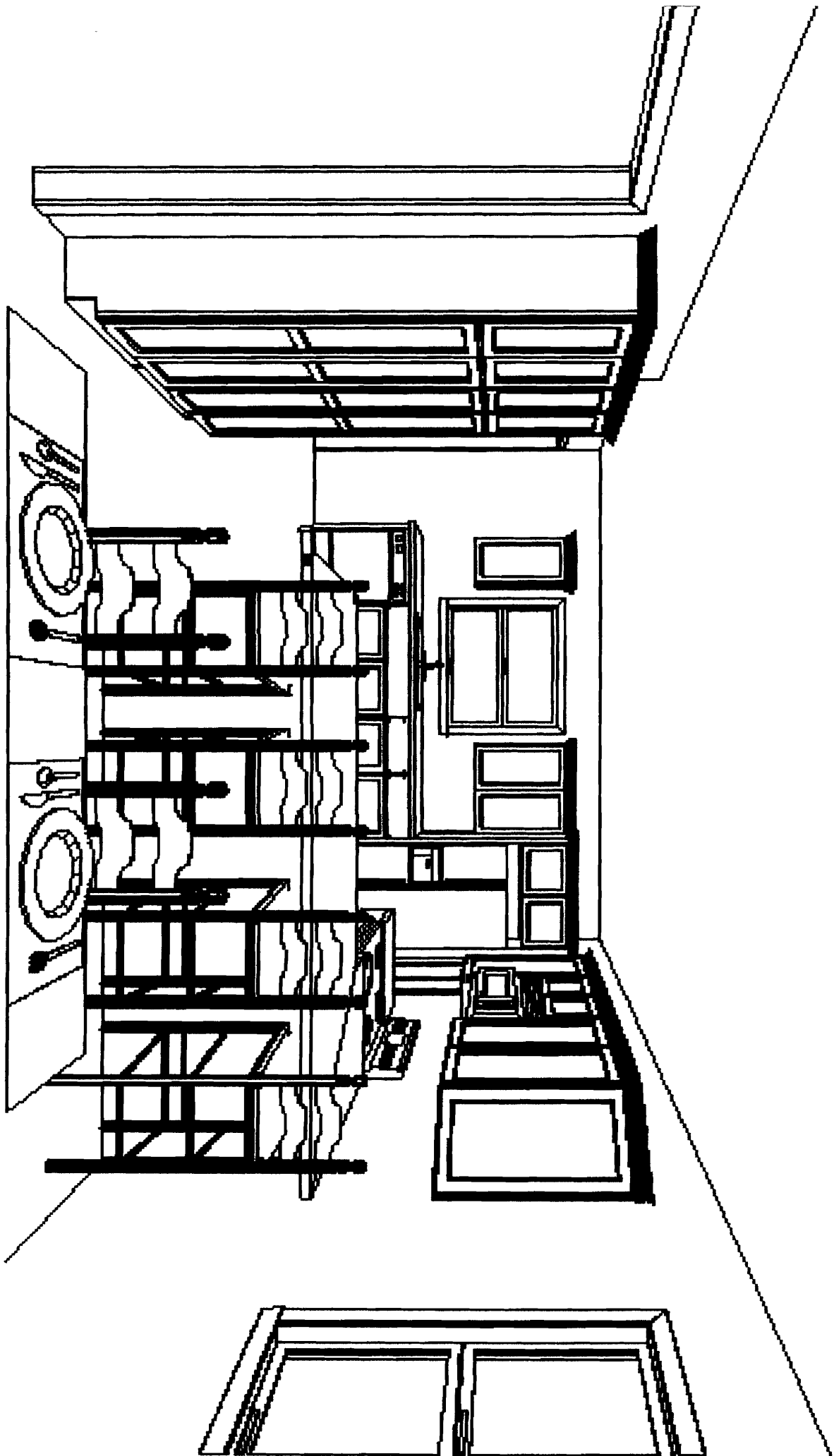
Plan View of New Wall in Bathroom

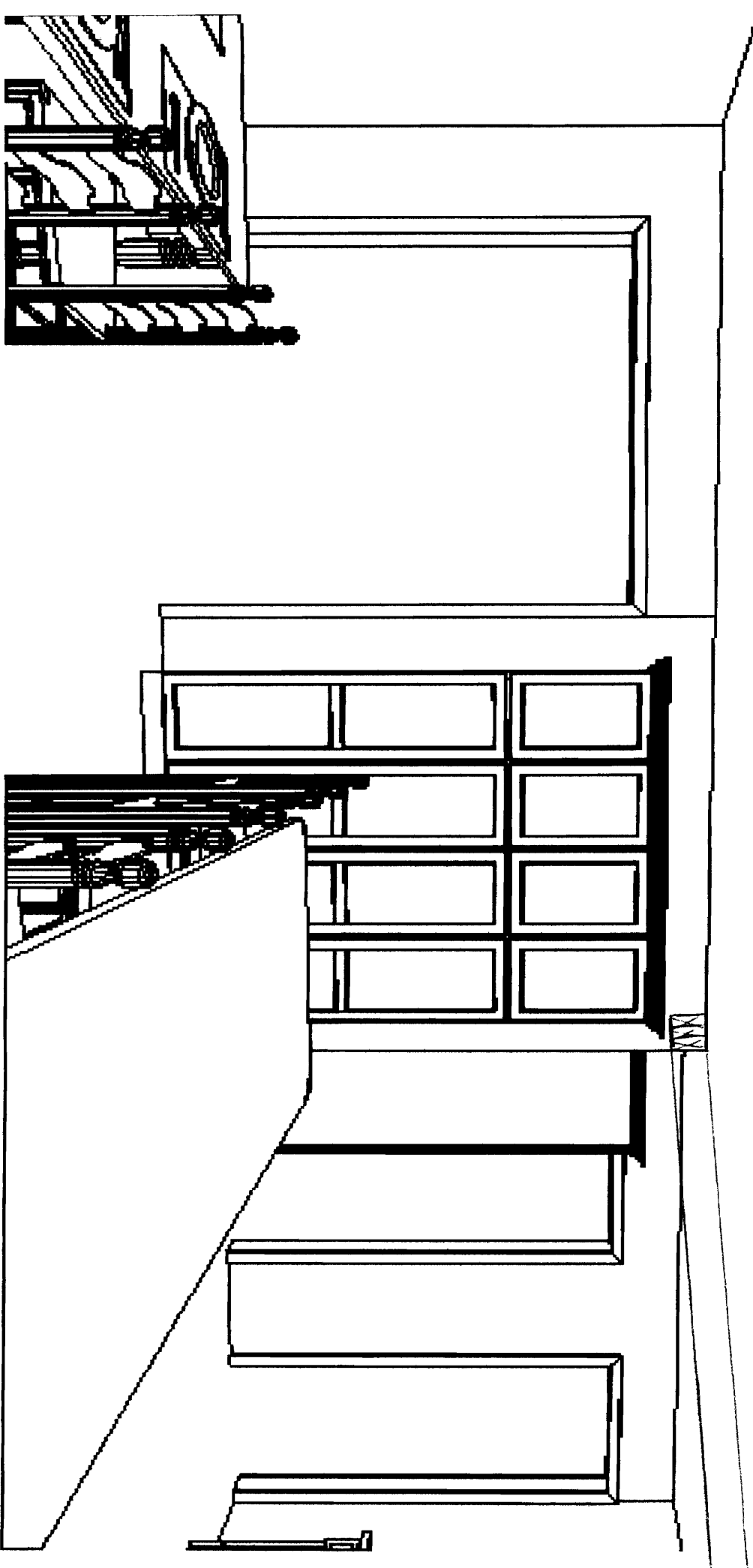
A.T.S.

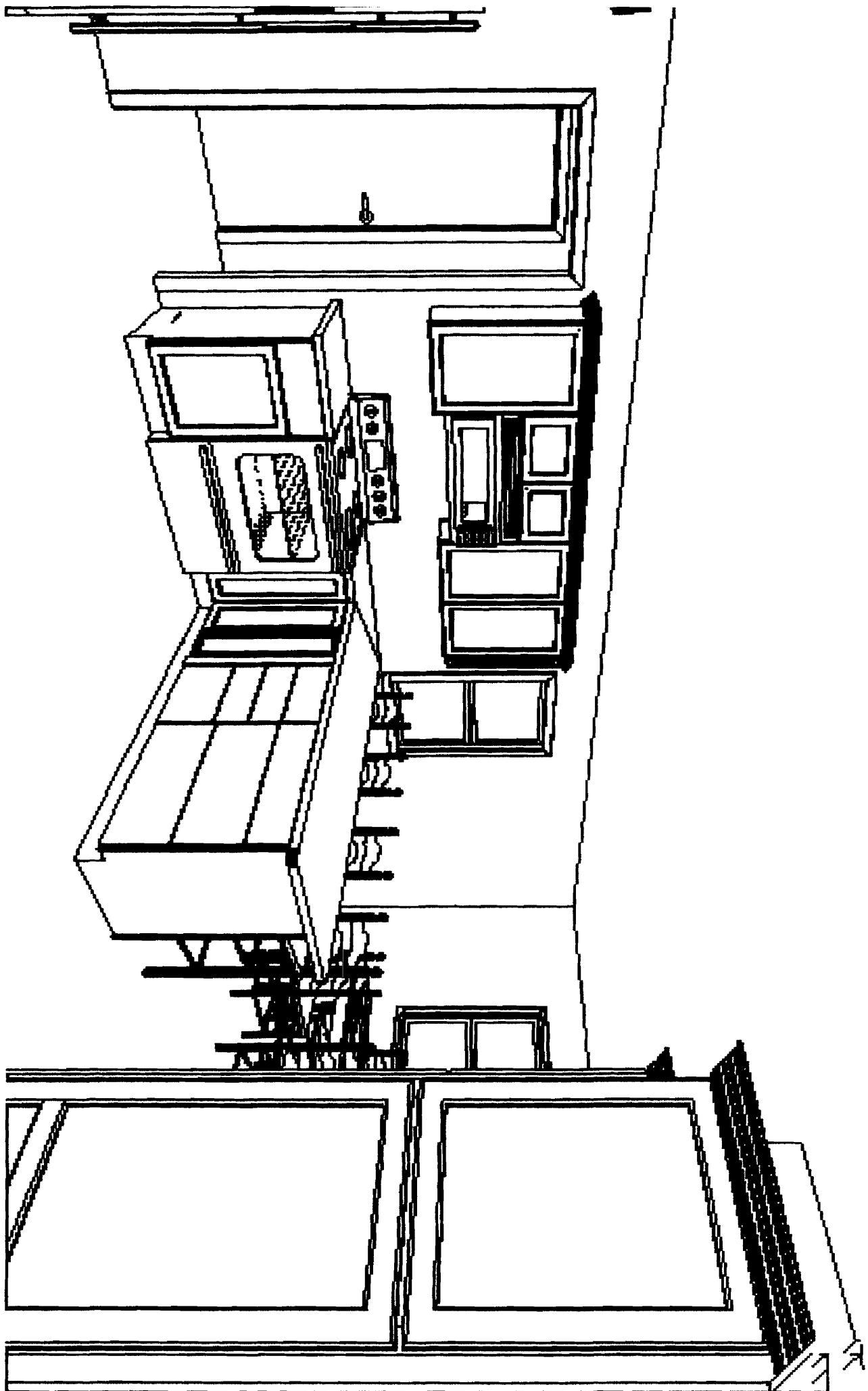


Re-located
oven

New
wall









(11) B

