

# PERMIT ISSUED

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0519	Issue Date: <b>MAY 19 2003</b>	CBL: 080 H005001
-----------------------	-----------------------------------	---------------------

Location of Construction: 54 Kenwood St	Owner Name: Griffin Eric C & Colleen E Jts	Owner Address: 54 Kenwood St <b>CITY OF PORTLAND</b>	Phone: 828-4487
Business Name:	Contractor Name: Mill Creek Builders	Contractor Address: 276 Middle Road Falmouth	Phone: 2077977060
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <b>R3</b>

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 3
----------------------------	--------------------------------	-------------------------	------------------------------	--------------------

Proposed Project Description: Rebuild existing 9 x 12-1/2 sunroom w/2nd floor deck, & build 9 x 21-1/2 deck	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>5B</b> <b>BOCA 1999</b> Signature: <b>JMB 5/19/03</b>
--	--	--

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:	

Permit Taken By: jmb	Date Applied For: 05/19/2003	<b>Zoning Approval</b>
-------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.  2. Building permits do not include plumbing, septic or electrical work.  3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>approved</i> <input type="checkbox"/> Flood Zone <i>w/conditions</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>JMB 5/19/03</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>JMB</b>
--	--	---	---

### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 03-0519	<b>Date Applied For:</b> 05/19/2003	<b>CBL:</b> 080 H005001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 54 Kenwood St	<b>Owner Name:</b> Griffin Eric C & Colleen E Jts	<b>Owner Address:</b> 54 Kenwood St	<b>Phone:</b> ( ) 828-4487
<b>Business Name:</b>	<b>Contractor Name:</b> Mill Creek Builders	<b>Contractor Address:</b> 276 Middle Road Falmouth	<b>Phone:</b> (207) 797-7060
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family	<b>Proposed Project Description:</b> Rebuild existing 9 x 12-1/2 sunroom w/2nd floor deck, & build 9 x 21-1/2 deck
---------------------------------------	---

<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 05/19/2003
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<p>1) It is the responsibility of the owner/contractor to verify property lines. The side setback to the deck is required to be a minimum of 8'. You are allowed to replace in the same footprint as the steps to exit the dwelling, however the new deck will need to meet required setbacks.</p> <p>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 05/19/2003
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<p>1) Guardrails are required if grade change is more than 15-1/2"</p> <p>2) Separate permits are required for any electrical or plumbing work.</p>			



# Residential Building Permit Application

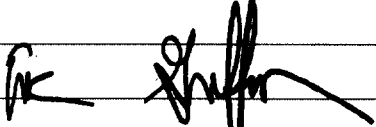
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>54 Kenwood ST</u>		
Total Square Footage of Proposed Structure <u>112 1/2 ft re-modeling; 198 sq ft new deck</u>	Square Footage of Lot <u>55 x 100 = 5,500 ft<sup>2</sup></u>	
Tax Assessor's Chart, Block & Lot Chart# <u>86</u> Block# <u>H</u> Lot# <u>15</u>	Owner: <u>Eric and Colleen Griffin</u>	Telephone: <u>828-4487</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Eric and Colleen Griffin</u> <u>54 Kenwood ST</u> <u>Portland, ME 04102</u>	Cost Of Work: \$ <u>30,850</u> Fee: \$ <u>240.00</u>
Current Specific use: <u>Single Family</u>		
Proposed Specific use: <u>SAVE</u>		
Project description: <u>REMODEL Sunroom/Porch INTO 4-Season room. Add deck.</u>		
Contractor's name, address & telephone: <u>Miles Fenderson</u> <u>Mill Creek Builders</u> <u>276 Middle RD</u> <u>Falmouth ME 04105</u> <u>(207) 747-7000</u>		
Who should we contact when the permit is ready: Mailing address: <u>Eric Griffin</u> <u>54 Kenwood ST</u> <u>Portland, ME 04102</u> Phone: <u>828-4487</u>		

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>05-16-03</u>
---	-----------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$7.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

*JAM*

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	080 H005001
<b>Location</b>	54 KENWOOD ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	GRIFFIN ERIC C & COLLEEN E JTS 54 KENWOOD ST PORTLAND ME 04102
<b>Book/Page</b>	12747/31
<b>Legal</b>	80-H-5 KENWOOD ST 52-54  5470 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$30,560	\$98,800	\$129,360

**Property Information**

<b>Year Built</b> 1926	<b>Style</b> Garrison	<b>Story Height</b> 2	<b>Sq. Ft.</b> 1666	<b>Total Acres</b> 0.126	
<b>Bedrooms</b> 4	<b>Full Baths</b> 1	<b>Half Baths</b> 1	<b>Total Rooms</b> 7	<b>Attic</b> Unfin	<b>Basement</b> Full

**Outbuildings**

<b>Type</b> FLAT BARN	<b>Quantity</b> 1	<b>Year Built</b> 1926	<b>Size</b> 12X18	<b>Grade</b> C	<b>Condition</b> A
--------------------------	----------------------	---------------------------	----------------------	-------------------	-----------------------

**Sales Information**

<b>Date</b> 09/01/1996	<b>Type</b> LAND + BLDING	<b>Price</b> \$141,000	<b>Book/Page</b> 12747-031
---------------------------	------------------------------	---------------------------	-------------------------------

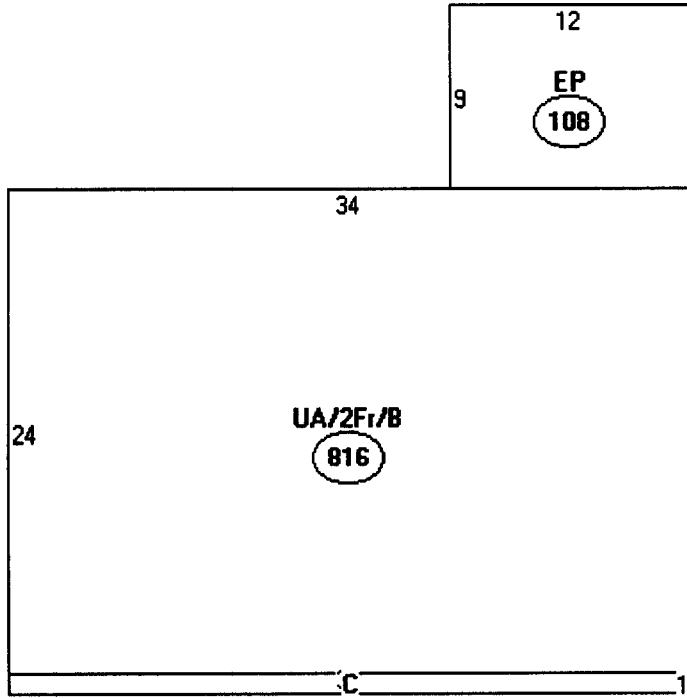
**Picture and Sketch**

Picture                      Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

**New Search!**



Descriptor/Area

A: UA/2Fr/B  
816 sqft

B: EP  
108 sqft

C: FOH  
34 sqft

958 ~~4~~

Lot = 5,470 x .25%

1,367.5

New 193.5

958

OK

1,151.5  
216 Garage  
1,367.5

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE LOAN INSPECTION PLAN

54 KENWOOD STREET  
PORTLAND, ME.

No. 77-05

TO THE LENDING INSTITUTION AND ITS TITLE INSURER I hereby certify that the location of the dwelling shown on this plan did conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

BOOK 2108 PAGE 235 COUNTY CUMBERLAND

PLAN BOOK 15 PAGE 13 REVISIONS OF LOTS 45 & 43

BUYER: ERIC C. & COLLEEN E. GRIFFIN

COLLER: JAMES R. MORPHY, JR.

R3 Zone

Rear 25' Req Shown 44'

Side 8' Req. 9 1/2' shown

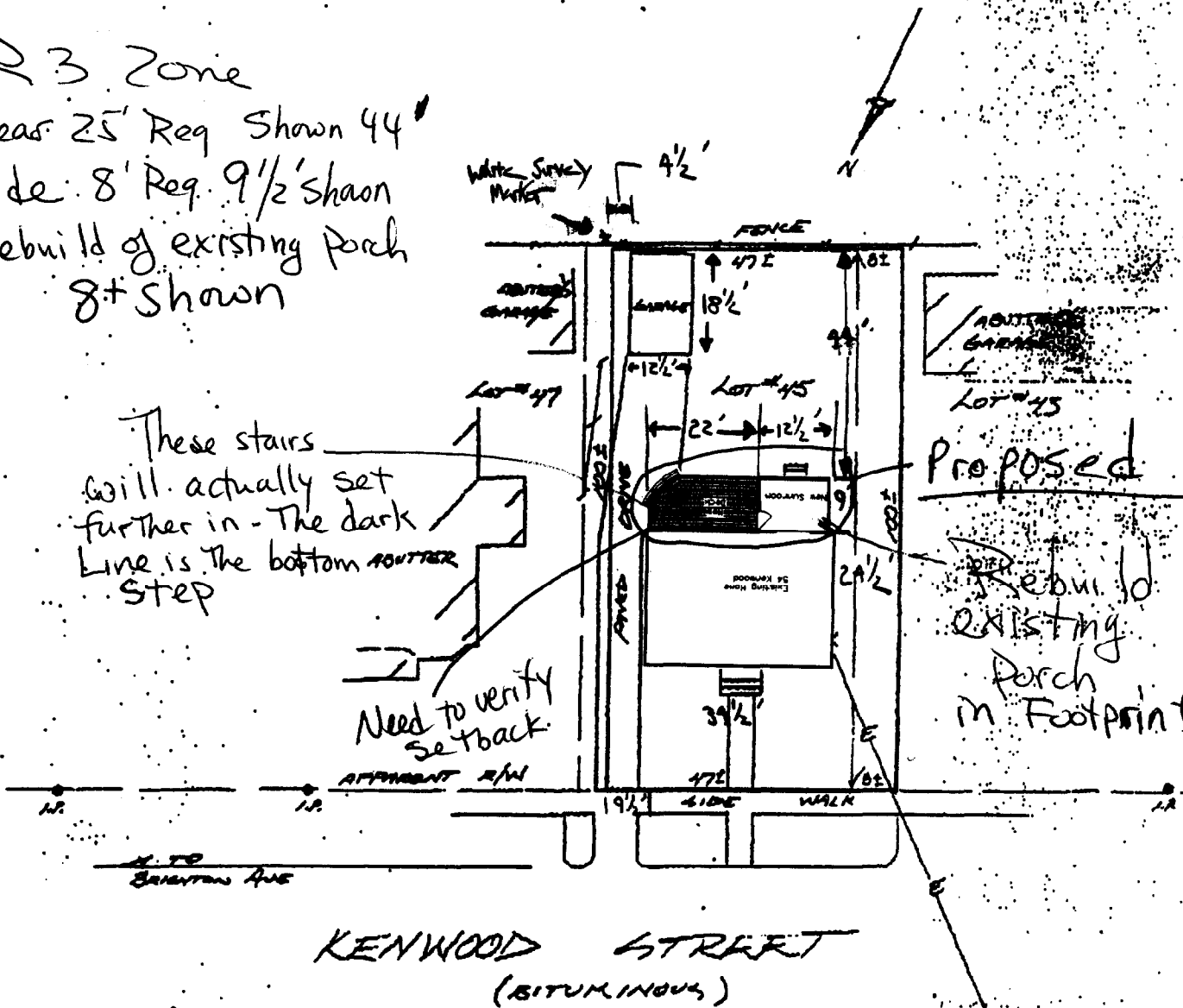
Rebuild of existing porch 8' shown

These stairs will actually set further in - The dark line is the bottom OUTER STEP

Need to verify setback.

Proposed

Rebuild existing porch in Footprint



*[Handwritten signature]*

MA 5/1/03

**THIS IS NOT A BOUNDARY SURVEY.** This plan is based strictly on information provided by others and does not take into consideration any conflicts which abutting descriptions may contain. This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date shown hereon. This plan is not for recording.

Date 02-20-96 Scale 1" = 30'

TITCOMB ASSOCIATES, INC. Falmouth, Maine Drawn By CD

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE LOAN INSPECTION PLAN

54 KENWOOD STREET  
PORTLAND, ME.

No. 77-05

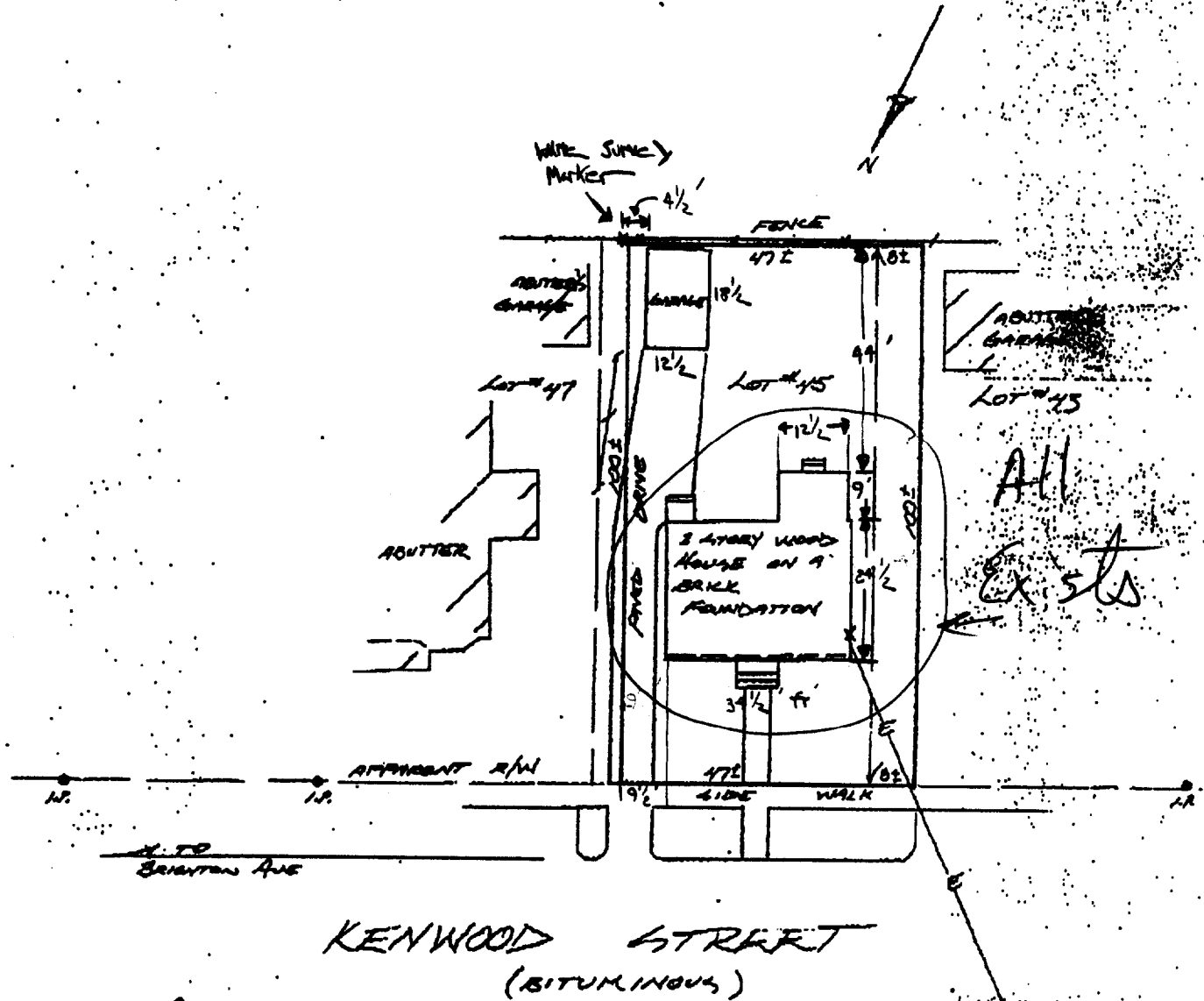
TO THE LENDING INSTITUTION AND ITS TITLE INSURER I hereby certify that the location of the dwelling shown on this plan did conform with the local zoning laws in effect at the time of construction. The property does not fall within a special flood hazard zone.

BOOK Z108 PAGE Z35 COUNTY CUMBERLAND

PLAN BOOK 15 PAGE 13 PARTIONS OF LOTS 45 & 43

BUYER: ERIC C. & COLLEEN E. GRIFFIN

SELLER: JAMES R. MURPHY, JR.

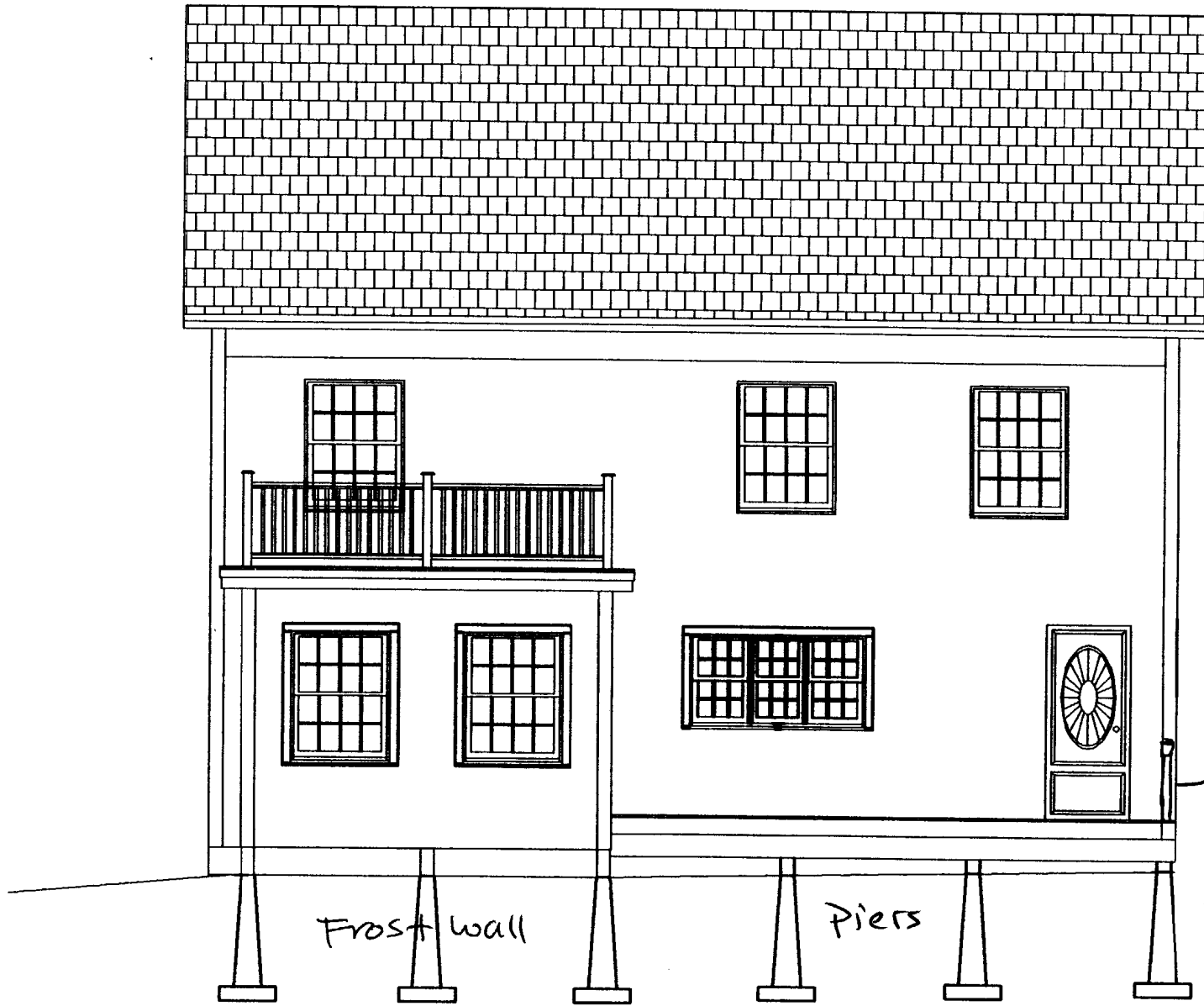


All Ex's

*[Handwritten signature]*

**THIS IS NOT A BOUNDARY SURVEY.** This plan is based strictly on information provided by others and does not take into consideration any conflicts which existing descriptions may contain. This plan was not made from an instrument survey. The certifications are for mortgage purposes only. This plan applies only to conditions existing as of the date shown hereon. This plan is not for recording.

Date 02-20-96 Scale 1" = 30'



Frost wall

Piers

Railing 36" min.  
<4" baluster spacing

If 2 Risers or less  
on stairs NO Rail  
Required

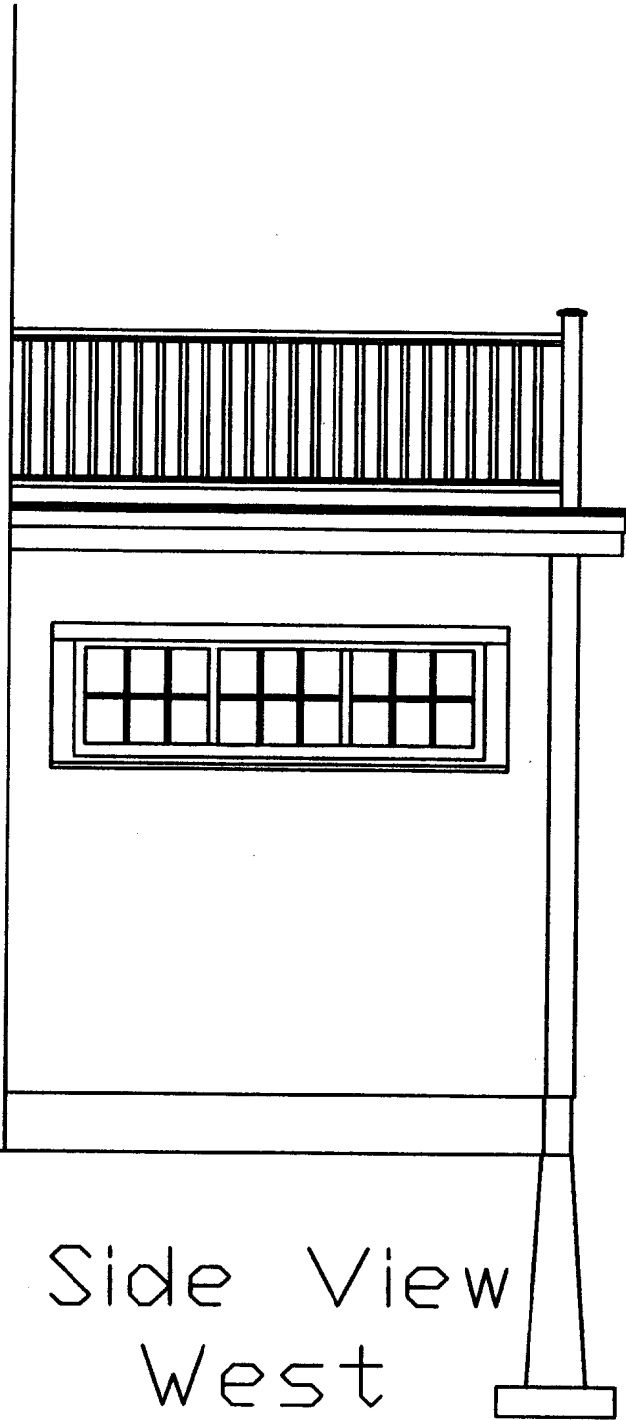
15 1/2" or less on  
deck NO Rail  
Required.

Rear Elev.  
Proposed

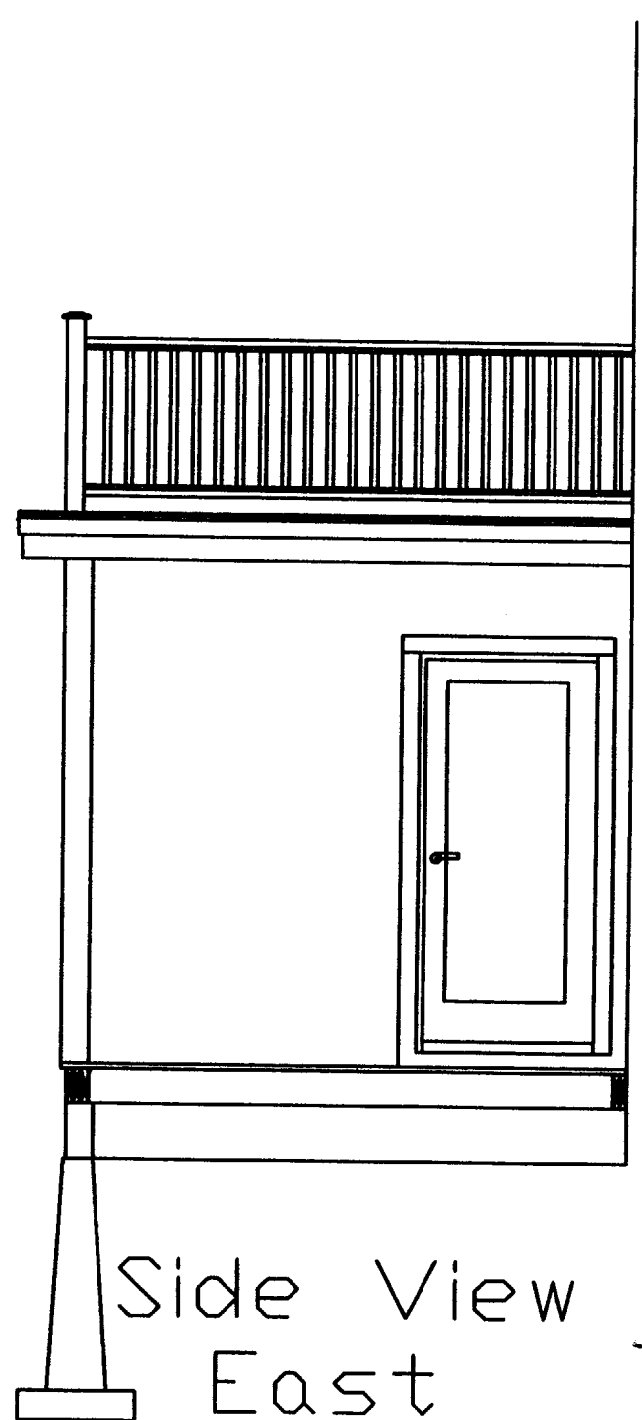
MJ  
5/7/03







Side View  
West



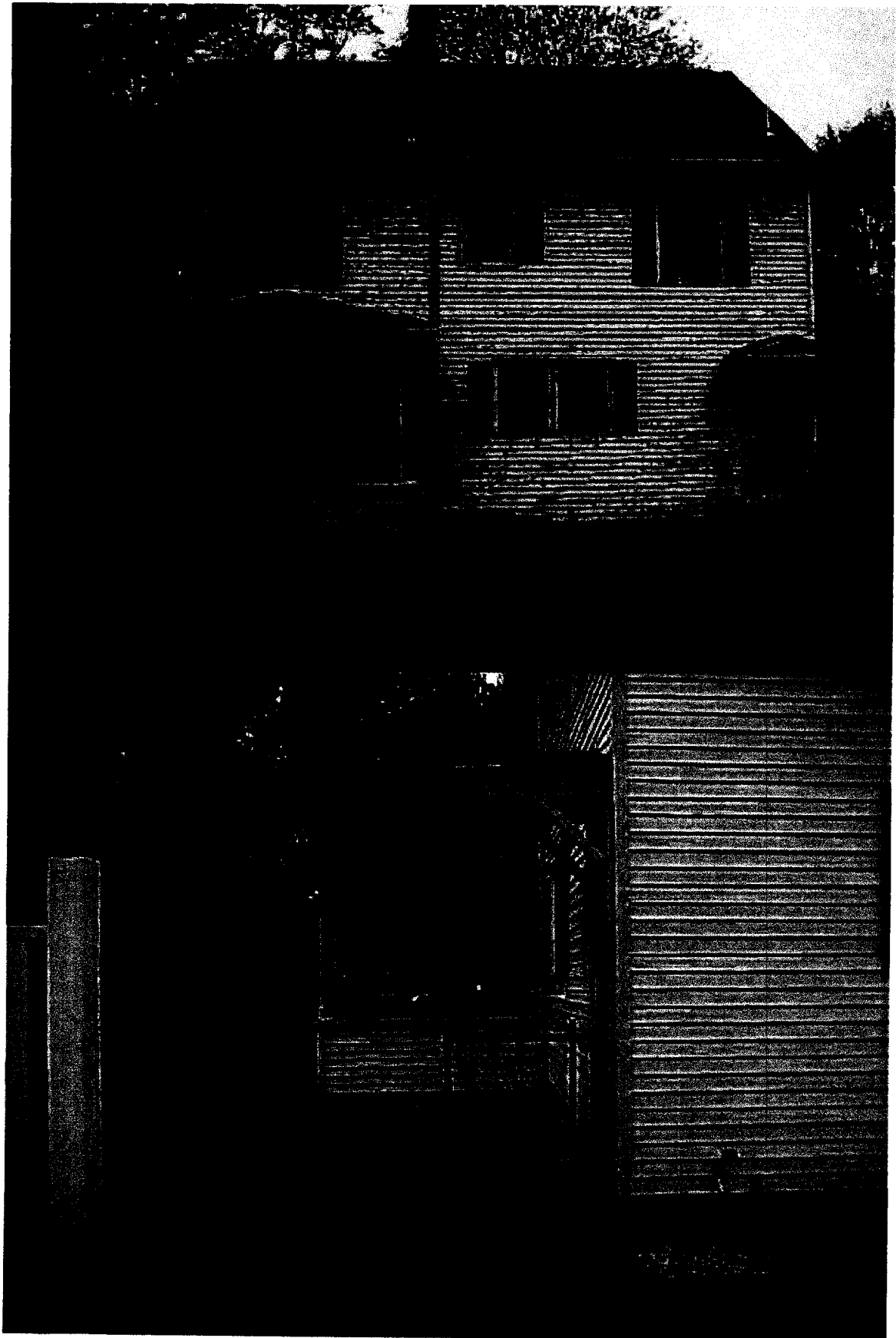
Side View  
East

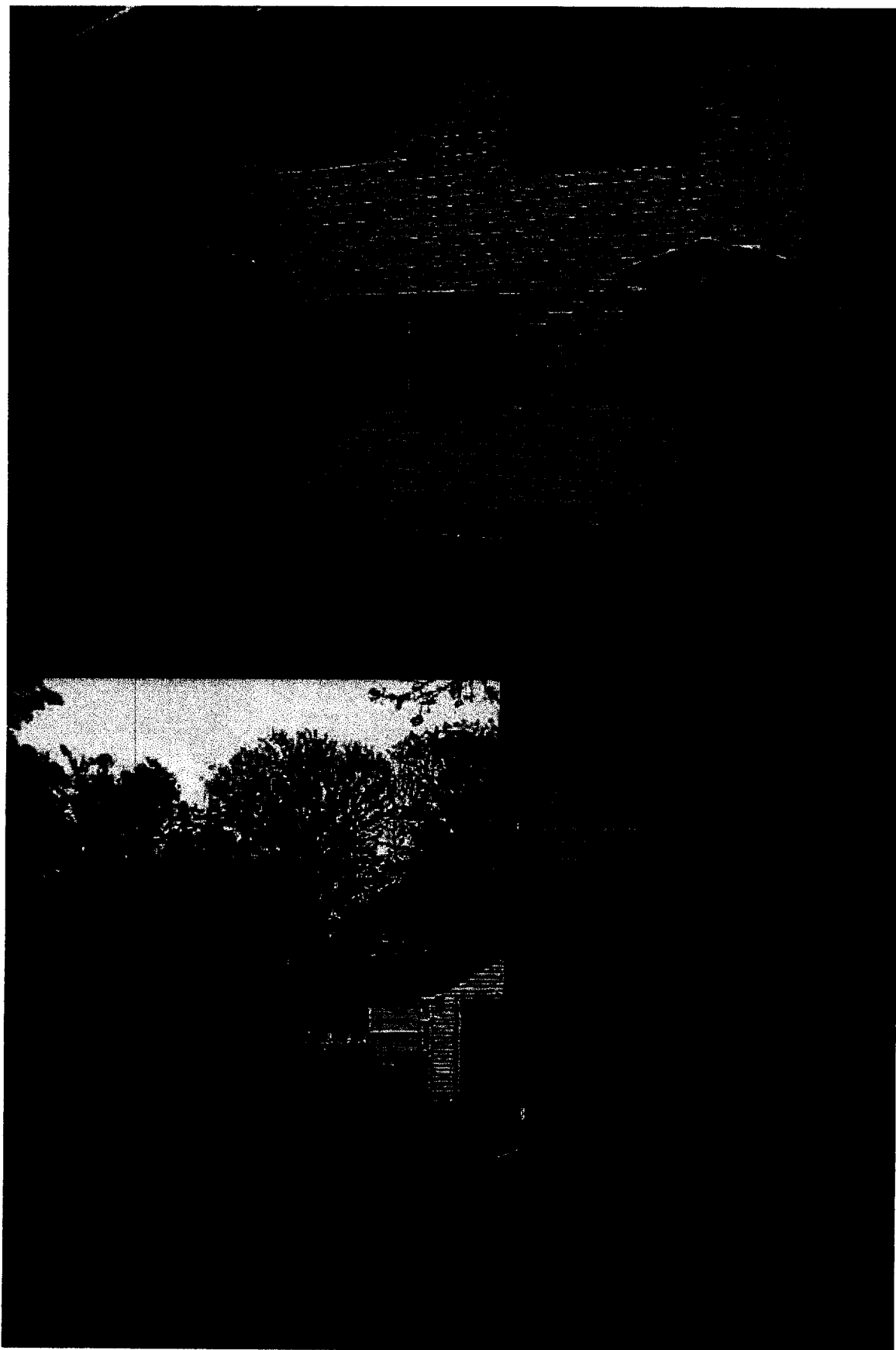
MZ  
5/7/03

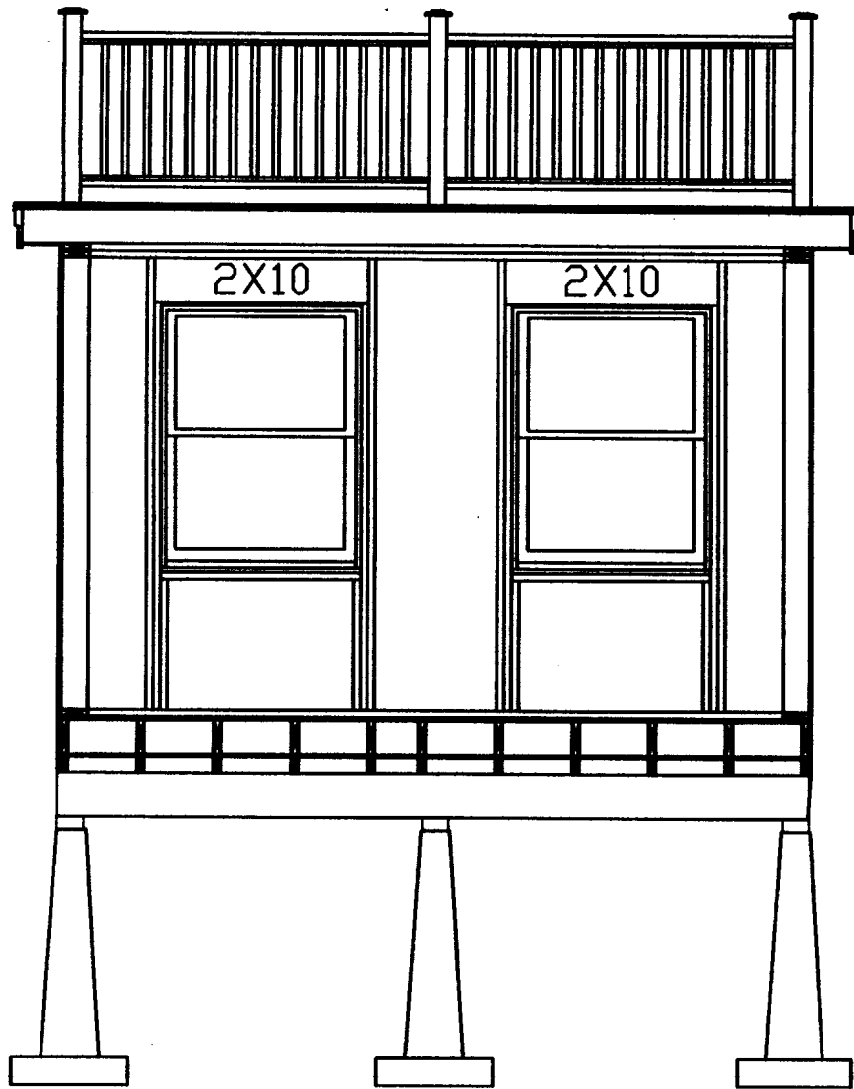


Rear Elev.  
Existing

MS  
5/7/03



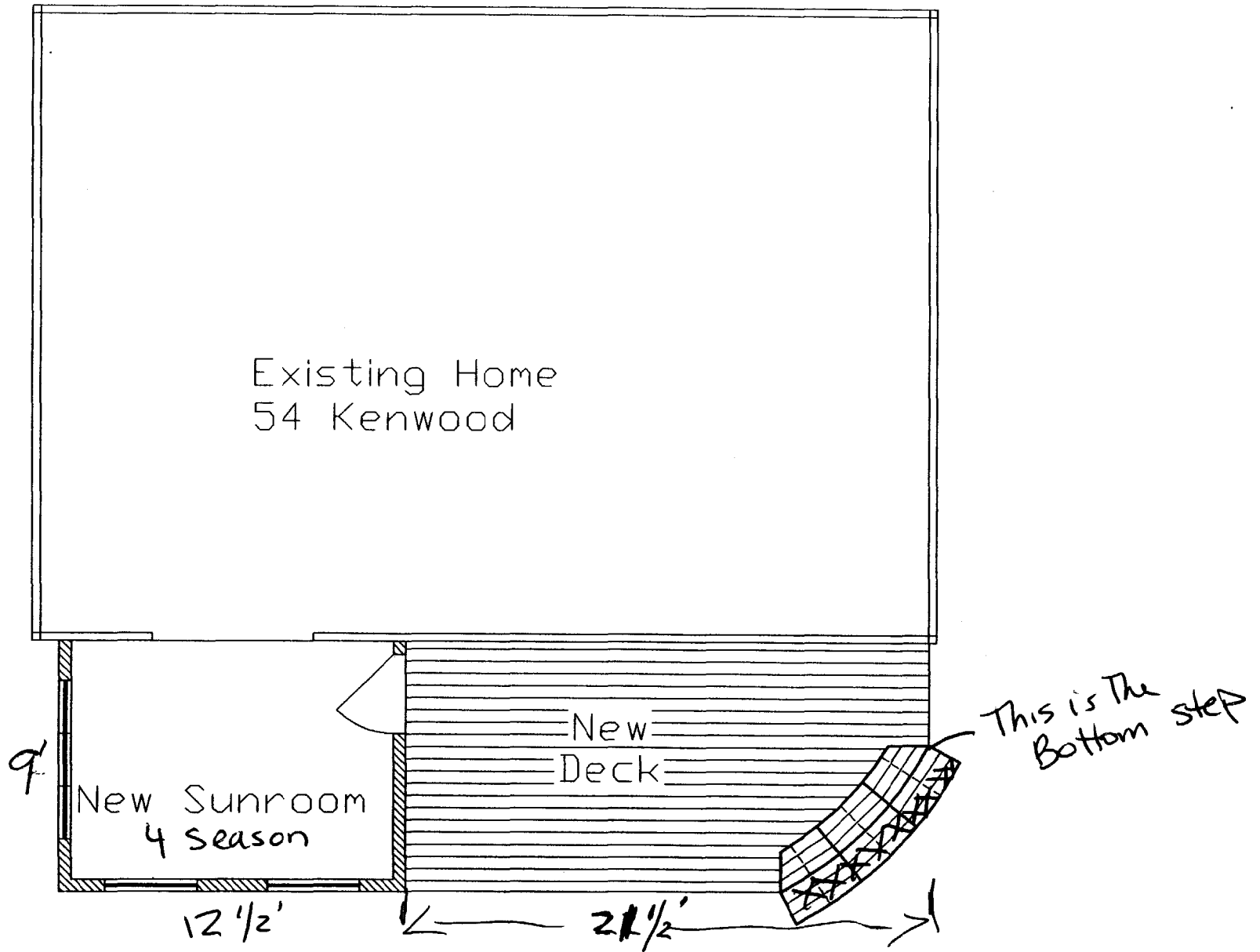




.060 Rubber  
 1/2" Fiberbd.  
 3/4" Advantec  
 Alum Drip Edge  
 1X10 Fascia bd.  
 1X4 Sub Fascia bd.  
 2X8 Ceiling joists, 16" O.C  
 8" Fiberglass Insulation  
 2X6 Plates, Stubs, Cripples  
 2X10 Window & Door Headers  
 R-19 wall Insulation  
 1/2" Advantec sheathing  
 3/4" Advantec Subfloor  
 R-30 floor Insulation  
 2X8 floor joists, 16" O.C  
 1/2" P.T. Ply-Rodent/Insect barrier  
 2X4 P.T. Sub-Joists, 16" O.C  
 6X10 Grade Beam  
 6X6 P.T. Posts  
 Concrete ~~Frost posts~~ Frost wall  
 Concrete ~~footings~~ Footings

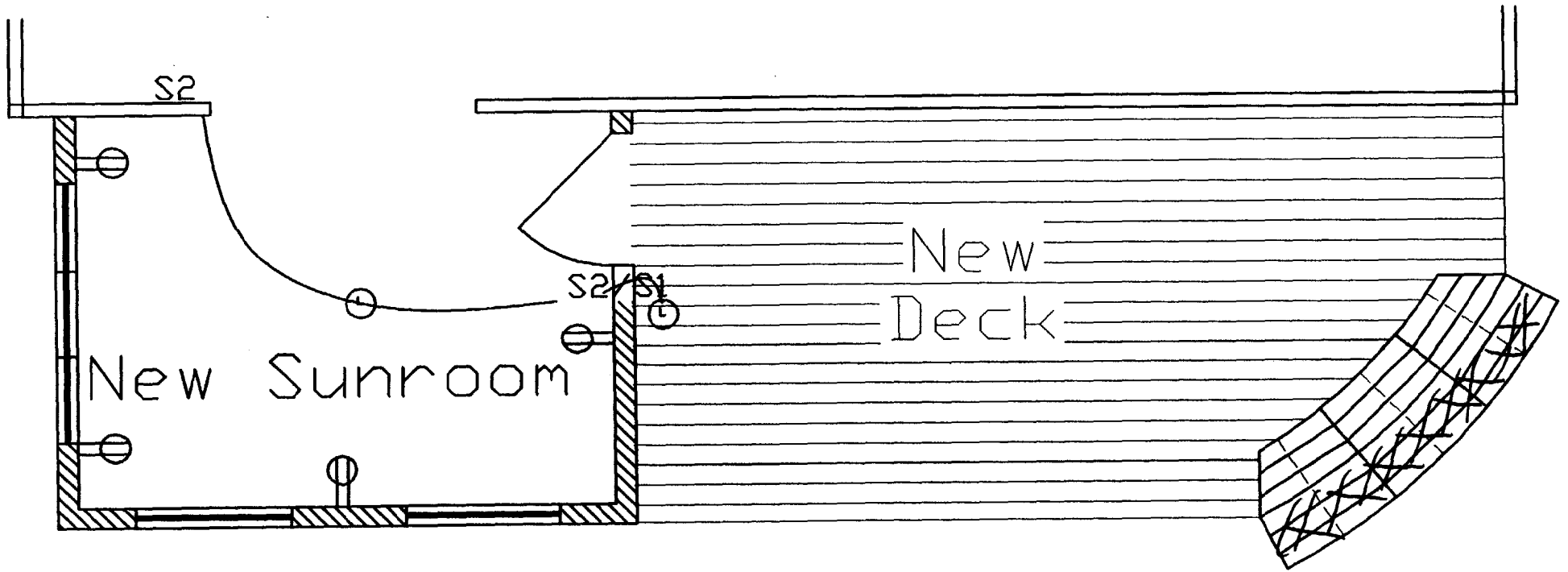
Wall Section  
Griffin Job

MJ  
 5/7/03



1st. Floor Plan  
Proposed

MA  
5/7/03



# Electrical Plan Proposed

*MA*  
5/7/03



Mill Creek Builders

Miles-Tel : 797-7060

Matt-Tel: 781-5949

Pager : 681-0433 Miles

**Estimate for :**  
**Mr. and Mrs. Eric Griffin**  
**54 Kenwood St.**  
**Portland, Me.**

**Sunroom Addition**

**SCOPE OF WORK**

**This Estimate includes a description of material and labor provided for the Sunroom addition at 54 Kenwood St. Portland, Me.**

**Provide labor and materials for:**

**Framing.**

**Frame Addition as per the drawings dated and drawn by Mill Creek Builders on May 7, 2003. Roofing is .060 rubber roof w/ 1/2" underlayment and white aluminum drip edge. Frame new exterior deck as drawn and to include:**

**Pressure treated lumber for framing. "Correct Deck" deck boards or equal. No rails or newels. Deck Stairs to match drawings and deck materials.**

**Exterior Trim**

**Provide and install exterior trim as drawn. Balcony rail not included. Provide and install: one Eagle brand wood door- 3'-0" x6'-8" 1 lite French door w/ screen . (Option: 15 lite MDL-Add \$270.00) Provide and install as new kitchen window : one 6/6 lite, Eagle brand E-3034-2 DH window with insulated glass and fiberglass insect screen. Provide and install 2 DH windows : 8/8 lite, Eagle brand E-3450-1 DH insulated glass and fiberglass insect screen. . Provide and install 1 mulled awning window : 6 lite, Eagle brand E-3026-2, insulated glass and fiberglass insect screens. ,(Option E 2420-31 - Add \$ 178.00)**

*Custom Rail @ min. 36"  
w/ < 4" baluster spacing*

# Mill Creek Builders

Miles-Tel : 797-7060

Matt-Tel: 781-5949

Pager : 681-0433 Miles

## Foundation

**Concrete frost piers and footings as drawn.**

**Option Provide: 8"WX46" tall concrete frost walls on a 10"thick X 24" wide concrete footing instead of using frost piers. No concrete slab, poly vapor barrier on top of fill inside crawl space. Add \$3000.00**

## Excavation

**Remove existing brick steps.**

**Excavate and back fill for new piers.**

**Rough grading of affected areas only. No loam, seed, plantings etc.**

**Provide electrical trench for new cable from house to garage.**

**Owner understands the existing driveway pavement may be disturbed and any new repair or replacement will be paid for by Owner.**

## Masonry - By Owner

## Insulation

**New first flr. walls- 15X6 R19 unfaced w/3mil poly.**

**New 1<sup>st</sup>. flr. ceiling- 15X8 R30 unfaced w/3mil poly.**

**New Sunroom floor - R30 blown-in Fiberglass.**

## Demolition

**Demo is limited to: Existing home portions as needed to accommodate new framing design.**

**Removal of all construction debris associated with Sunroom addition will be paid for by Mill Creek Builders.**

## Bulkhead

**Brick bulkhead foundation remains as is. Any necessary repairs to existing bulkhead walls will be paid for by Owner. A custom waterproof door will be made to fit by Contractor. Deck design will accommodate access to bulkhead door.**

## Drywall

**1/2" drywall will be hung and taped, (3 coats) on all new walls, partitions and ceilings.**

# Mill Creek Builders

Miles-Tel : 797-7060

Matt-Tel: 781-5949

Pager : 681-0433 Miles

## Siding

**Provide and install vinyl Siding on new Sunroom and back wall of existing home. Color to match existing siding.**

## Interior trim

**Provide and install:**

**Casing on all new windows and doors are to closely match existing home.**

**Basebd is 1X6 pine w/ 1 1/8" basecap.**

**Labor and materials for purchase and installation for : Built-ins, medicine cabs, mirrors, counter-tops, custom shelving, etc. will be paid by Owner through Mill Creek T&M Policy.**

## Plumbing

**Any fixtures and plumbing labor to rough-in and set fixtures are paid by Owner through Plumbing Allowance.**

## Painting

**All materials and labor for painting is paid for by Owner through Painting allowance.**

## Finish flooring

**All Finish flooring materials and labor will be paid for by Owner through Finish flooring Allowance.**

## Electrical

**Rough-in and install (1) overhead light in Sunroom switched from 2 locations. (1) Outdoor wall light switched from one location. Outlets to code. If Owner wishes to purchase any light fixtures using Mill Creek Builders Contractor account at the House of Lights in Scarborough, they will be billed Retail cost less a 10% discount . Electrical wire from house to garage will be run by electrician during site work, but will be**

# Mill Creek Builders

Miles-Tel : 797-7060

Matt-Tel: 781-5949

Pager : 681-0433 Miles

**billed to Owner as an "Extra" and the cost is not included in this Estimate.**

## Other

**Demolition debris and construction debris will be removed by and paid for by Contractor for site clean-up.  
There is no landscaping included in this Estimate.**

<b>Total Fixed price</b> _____	<b>\$26,100.00</b>
<b>Total for Allowances</b> _____	<b>\$ 1,750.00</b>
<b>Total Fixed plus Allowances</b> _____	<b>27,850.00</b>

## Allowances

Finish flooring:	1300.00
Heating	300.00
Plumbing labor Allowance	0.00
Electrical Fixtures	150.00
Painting	0.00
<hr/>	
<b>Total Allowances</b> _____	<b>\$1750.00</b>

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection: Prior to pouring concrete
- NA Re-Bar Schedule Inspection: Prior to pouring concrete
- NA Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: ~~There is a \$75.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X [Signature]  
Signature of applicant/designee

5.19.03  
Date

[Signature]  
Signature of Inspections Official

5/19/03  
Date

CBL

80-115

Building Permit #:

03-0519

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT ISSUED

## PERMIT

Permit Number: 030519

MAY 19 2003

Please Read Application And Notes, If Any, Attached

This is to certify that Griffin Eric C & Colleen E J Hill Credit Builders

has permission to Rebuild existing 9 x 12-1/2 s room w/ floor & ceiling, & build 12 x 21-1/2 deck

CITY OF PORTLAND

AT 54 Kenwood St Permit No. 080 H005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on progress before this building or part thereof is leased or occupied. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

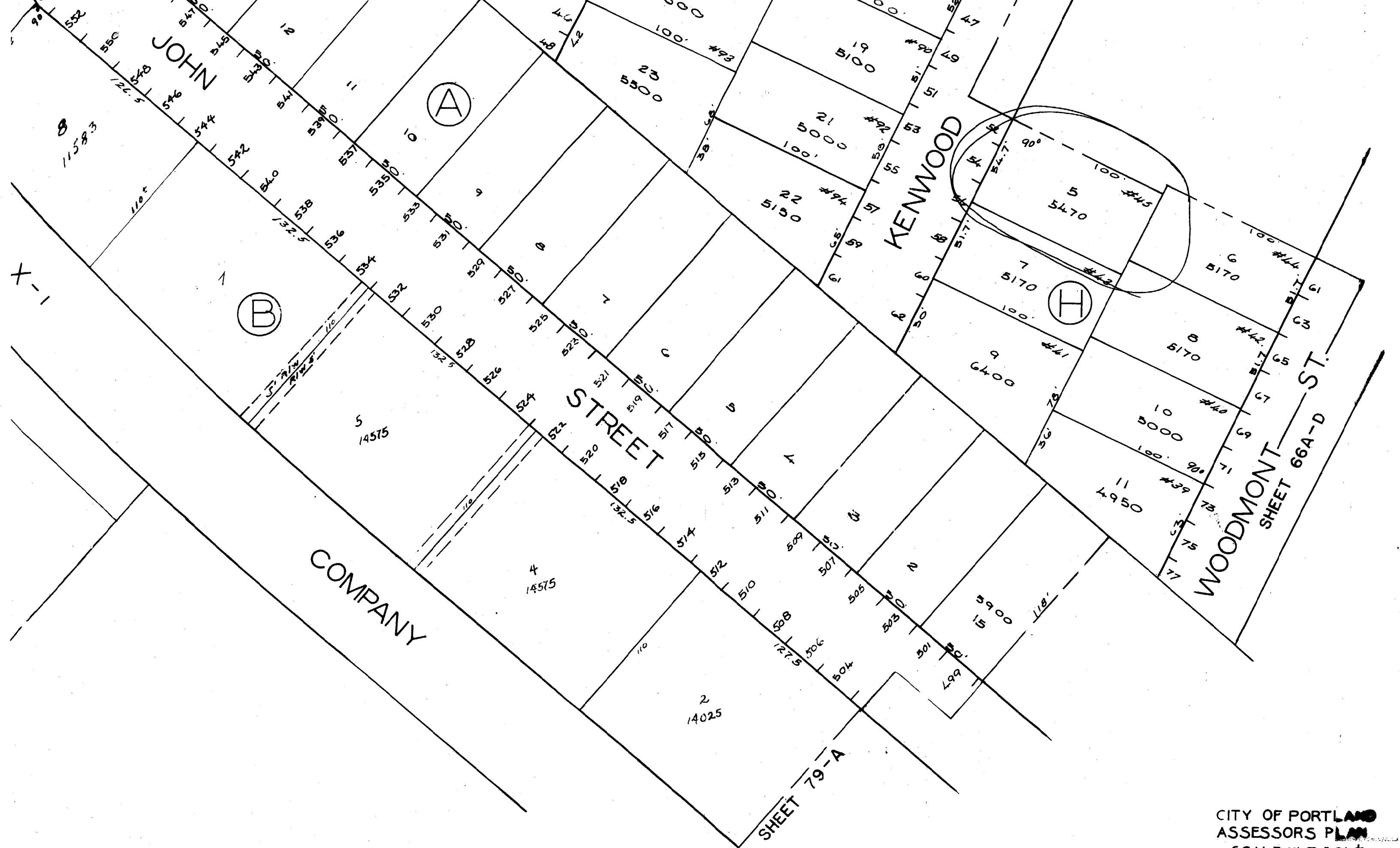
Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

*Jeanie Bouke* 5/19/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



CITY OF PORTLAND  
ASSESSORS PLAN  
SCALE 1" = 50' ±