

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED

Permit Number: 051543

NOV 3 2005

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

This is to certify that Manning Peter J /Mark Rains has permission to adding Bath to existing Home AT 108 Brighton Ave

080 g002

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is occupied or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. Health Dept. Appeal Board Other

Department Name

Handwritten signature and date 11/3/05

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:

05-1543

**PERMIT ISSUED**

REL:

080 g002

<b>Location of Construction:</b> 108 Brighton Ave	<b>Owner Name:</b> Manning Peter J	<b>Owner Address:</b> 108 Brighton Ave	<b>Phone:</b> NOV 3 2005
<b>Business Name:</b>	<b>Contractor Name:</b> Mark Rainsford	<b>Contractor Address:</b> 11 Pierce Street South Portland	<b>Phone:</b> CITY OF PORTLAND 907-998647
<b>Lessee/Buyer's Name:</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	<b>Zone:</b> R-3

<b>Past Use:</b> Single Family Home	<b>Proposed Use:</b> Single Family Home/ adding Bath to existing Home	<b>Permit Fee:</b> \$516.00	<b>Cost of Work:</b> \$55,000.00	<b>CEO District:</b> 3
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<b>Proposed Project Description:</b> adding Bath to existing Home	<b>FIRE DEPT:</b> <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature: <i>N/A</i>	<b>INSPECTION:</b> Use Group: R-3 Type 5B IRC 2003 Signature: <i>[Signature]</i>
<b>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</b>		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature:		Date:

<b>Permit Taken By:</b> Idobson	<b>Date Applied For:</b> 10/21/2005	<b>Zoning Approval</b>	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: 11/3/05</p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: 11/3/05</p>
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT \_\_\_\_\_ ADDRESS \_\_\_\_\_ DATE \_\_\_\_\_ PHONE \_\_\_\_\_

12-9-05  
checked setbacks OK to  
Per owner

12/7/05 Mark (contractor) came in to office to discuss  
Change in the post location carrying the corner of the  
New roof by the stairs. It interferes w/ the backup  
of vehicles from the garage. Need to move it 18"  
which results in a cantilever of the roof @ corner.  
He will replace rear roof beams w/ 2 LVL's bolted together  
and lagged at corner for tie in - will submit spec  
on Beams. Note the interior LVL spec submitted  
JMK

2706

OK to close ins framing  
plumbing test on OK electric OK  
Mudj

# ELECTRICAL PERMIT

## City of Portland, Me.

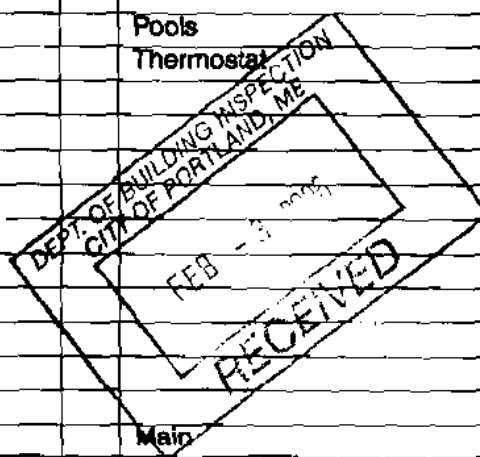


To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 2/3/06  
 Permit # 2006-4099  
 CBL# 8062-

LOCATION: 108 Brighton Ave METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER Peter Manning  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

							TOTAL	EACH FEE	
OUTLETS	<u>18</u>	Receptacles	<u>18</u>	Switches	<del>25</del>	Smoke Detector	.20	<u>6.80</u>	
FIXTURES	<u>19</u>	Incandescent	<del>25</del>	Fluorescent		Strips	.20	<u>2.8</u>	
SERVICES		Overhead		Underground		TTL AMPS <800	15.00		
		Overhead		Underground		>800	25.00		
Temporary Service		Overhead		Underground		TTL AMPS	25.00		
							25.00		
METERS		(number of)					1.00		
MOTORS		(number of)					2.00		
RESID/COM		Electric units					1.00		
HEATING		oil/gas units		Interior		Exterior	5.00		
APPLIANCES	<u>1</u>	Ranges	<del>25</del>	Cook Tops		Wall Ovens	2.00	<u>2.00</u>	
		Insta-Hot		Water heaters		Fans	2.00		
		Dryers		Disposals	<u>1</u>	Dishwasher	2.00	<u>2.00</u>	
		Compactors	<u>1</u>	Spa		Washing Machine	2.00	<u>2.00</u>	
		Others (denote)					2.00		
MISC. (number of)		Air Cond/win					3.00		
		Air Cond/cent				Pools	10.00		
		HVAC		EMS		Thermostat	5.00		
		Signs					10.00		
		Alarms/res					5.00		
		Alarms/com					15.00		
		Heavy Duty(CRKT)					2.00		
		Circus/Carnv					25.00		
		Alterations					5.00		
		Fire Repairs					15.00		
		E Lights					1.00		
		E Generators					20.00		
PANELS		Service		Remote		Main	4.00		
TRANSFORMER		0-25 Kva					5.00		
		25-200 Kva					8.00		
		Over 200 Kva					10.00		
TOTAL AMOUNT DUE									
MINIMUM FEE/COMMERCIAL 45.00							MINIMUM FEE	35.00	<u>35.00</u>



CONTRACTORS NAME Charles Mastroluca MASTER LIC. # 2387  
 ADDRESS 100 Clearwater Dr. #47 LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 781-7560

SIGNATURE OF CONTRACTOR C Mastroluca

*Handwritten initials and number:* CK # 6988



Single 3-1/2" x 9-1/2" VERSA-LAM® 2.0 3100 DF

Floor Beam\FB05

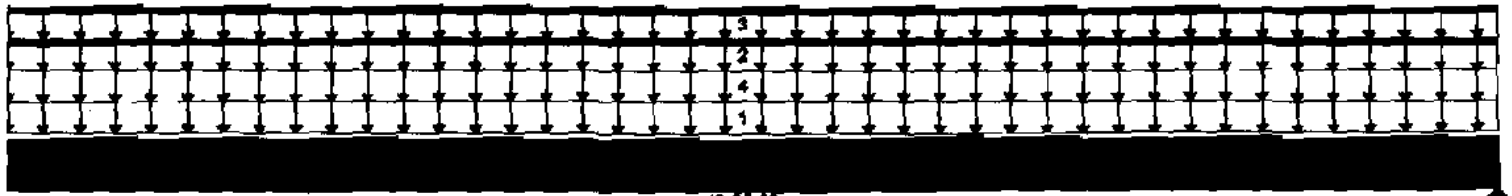
BC CALC® 9.2 Design Report - US  
Build 141

1 span | No cantilevers | 0/12 slope

Monday, November 07, 2005 14:28

Job Name: PETER MANNING  
Address: BRIGHTEN AVE #108  
City, State, Zip: PORTLAND, ME  
Customer:  
Code reports: ESR-1040

File Name: BC CALC Project  
Description: FB05  
Specifier: DAVID-- RUFUS DEERING  
Designer: KIRK CRANDALL  
Company: WOOD STRUCTURES INC  
Misc: HEADER BEAM - Former exterior wall



L 1-3/4"  
624 lbs  
DL 1421 lbs

B1, 1-3/4"  
LL 624 lbs  
DL 1421 lbs

Total of Horizontal Design Spans = 13-00-00

Load Summary Description	Load Type	Ref.	Start	End	Live 100%	Dead 90%	Snow 115%	Wind 133%	Roof Live 125%	Trib.
2ND FLR	Unf. Area	Left	00-00-00	13-00-00	40 psf	20 psf				01-00-00
X-WALL	Unf. Lin.	Left	00-00-00	13-00-00	0 plf	85 plf				n/a
ROOF - GABLE END	Unf. Lin.	Left	00-00-00	13-00-00	0 plf	85 plf				n/a
	Unf. Area	Left	00-00-00	13-00-00	56 psf	20 psf				01-00-00

Controls Summary	Value	% Allowable	Duration	Load Case	Span Location
Max. Moment	6645 ft-lbs	47.6%	100%	1	1 - Internal
Max. Shear	1773 lbs	28.1%	100%	1	1 - Left
Total Load Defl.	L/386 (0.404")	62.2%		1	1
Live Load Defl.	L/1265 (0.123")	28.5%		1	1
Max. Defl.	0.404"	40.4%		1	1
Span / Depth	16.4	n/a			1

Disclosure

Completeness and accuracy of input must be verified by anyone who would rely on output as evidence of suitability for particular application. Output here based on building code-accepted design properties and analysis methods. Installation of BOISE engineered wood products must be in accordance with current Installation Guide and applicable building codes. To obtain Installation Guide or ask questions, please call (800)232-0788 before installation.

Notes

- Design meets Code minimum (L/240) Total load deflection criteria.
- Design meets Code minimum (L/360) Live load deflection criteria.
- Design meets arbitrary (1") Maximum load deflection criteria.
- Minimum bearing length for B0 is 1-1/2".
- Minimum bearing length for B1 is 1-1/2".
- Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 2 intermediate bearing

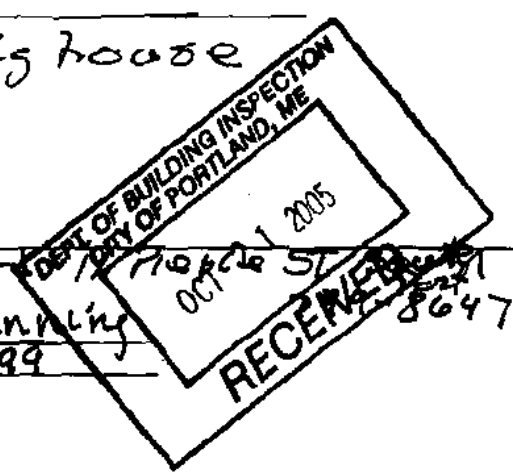
BC CALC®, BC FRAMER®, AJS™, ALLJOIST®, BC RIM BOARD™, BCI®, BOISE GLULAM™, SIMPLE FRAMING SYSTEM®, VERSA-LAM®, VERSA-RIM PLUS®, VERSA-RIM®, VERSA-STRAND™, VERSA-STUD® are trademarks of Boise Wood Products, L.L.C.





# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>108 Brighton Ave</u>		
Total Square Footage of Proposed Structure <u>154</u>	Square Footage of Lot <u>4500</u>	
Tax Assessor's Chart, Block & Lot Chart#    Block#    Lot# <u>80        6        2</u>	Owner: <u>Peter Manning</u> <u>108 Brighton Ave</u>	Telephone: <u>871-1599</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Peter Manning</u> <u>108 Brighton Ave</u> <u>Tel 871-1599</u>	Cost Of Work: \$ <u>55,000.00</u> Fee: \$ <u>516.00</u> C of O Fee: \$
Current Specific use: <u>Residential Home</u>	Proposed Specific use: <u>same</u>	
Project description: <u>Adding Bath to existing house</u> <u>154 sq ft.</u>		
Contractor's name, address & telephone: <u>Mark Ralston</u>		
Who should we contact when the permit is ready: <u>Peter Manning</u>		
Mailing address: _____ Phone: <u>871-1599</u>		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Peter Manning</u>	Date: <u>10-21-05</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Date Applied For:	CBL:
05-1543	10/21/2005	080 G002001

Location of Construction: 108 Brighton Ave	Owner Name: Manning Peter J	Owner Address: 108 Brighton Ave	Phone:
Business Name:	Contractor Name: Mark Rainsford	Contractor Address: 11 Pierce Street South Portland	Phone: (207) 799-8647
Lessee/Buyer's Name:	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ adding Bath to existing Home	Proposed Project Description: adding Bath to existing Home
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 11/03/2005
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Building	Status: Approved with Conditions	Reviewer: Tammy Munson	Approval Date: 11/04/2005
Note:			Ok to Issue: <input checked="" type="checkbox"/>

- 1) The rigid insulation shall be covered per section R314 and the enclosed detail.
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 4) The design load spec sheets for any engineered beam(s) must be submitted to this office.

1/4-inch (6.4 mm) hardboard, 3/8-inch (9.5 mm) gypsum board, or corrosion-resistant steel having a base metal thickness of 0.016 inch (0.406 mm).

◆ See Commentary Figure R314.2.3. This section describes specific methods used to protect foam plastics located within attics and crawl spaces in lieu of the normal thermal barrier specified in Section R314.1.2. These described methods of protection are acceptable where entry is provided to the attic or crawl space only for the service of utilities. The phrase "where entry is made only for service of utilities" restricts these reduced requirements for a thermal barrier to those areas that contain mechanical equipment, electrical wiring, fans, plumbing, etc. that might require service and the areas have no other uses, such as storage. Thus, the reduced provisions provide a barrier whose only purpose is to prevent the direct impingement of flame on the foam plastic.

**R314.2.4 Foam-filled doors.** Foam-filled doors are exempt from the requirements of Section R314.1.

◆ This section exempts any door that encapsulates a foam plastic material from both the surface-burning characteristics as well as the thermal barrier requirements of Section R314.1. These requirements differ from the provisions contained in the *International Building Code*, which address doors in three specific situations. The IRC provisions exempt all foam-filled doors regardless of their location.

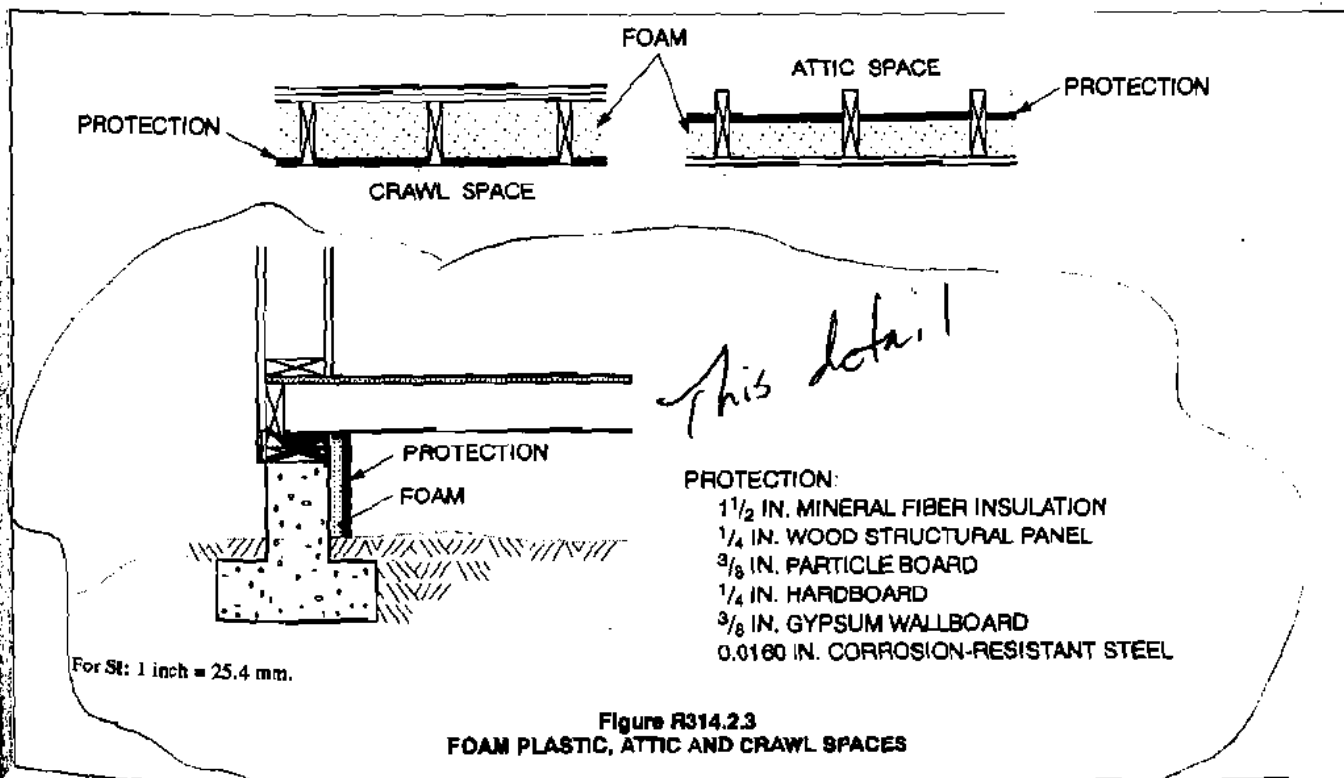
**R314.2.5 Siding backer board.** Foam plastic board of not more than 1/2-inch (12.7 mm) thickness may be used as siding backer board when separated from interior spaces by not less than 2 inches (51 mm) of mineral fiber insulation or 1/2-inch (12.7 mm) gypsum wallboard or installed over existing exterior wall finish in conjunction with re-siding, providing the plastic board does not have a potential heat of more than 2,000 Btu per square foot (22 720 kJ/m<sup>2</sup>) when tested in accordance with NFPA 259.

◆ The code permits up to a 1/2-inch (12.7 mm) thickness of foam plastic to be used as a backer board to insulate exterior walls under exterior siding, provided the insulation has a potential heat of not more than 2,000 Btu per square foot (22 720 kJ/m<sup>2</sup>). The thermal barrier is not required under these circumstances as long as the siding backer board is separated from the interior of the building by not less than 2 inches (51 mm) of mineral-fiber insulation or 1/2-inch (12.7 mm) gypsum wallboard.

The code also permits the siding backer board to be installed without a thermal barrier when the siding is applied as part of a re-siding over existing wall construction. This is reasonable considering the separation provided by the existing construction and the limitations on the potential heat imposed by the code.

**R314.2.6 Interior trim.** Foam plastic trim defined as picture molds, chair rails, baseboards, handrails, ceiling beams, door trim and window trim may be installed, provided:

1. The minimum density is 20 pounds per cubic foot (3.14 kg/m<sup>3</sup>).





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	080 G002001
Location	108 BRIGHTON AVE
Land Use	SINGLE FAMILY
 Owner Address	 MANNING PETER J 108 BRIGHTON AVE PORTLAND ME 04102
 Book/Page	 22243/293
Legal	80-C-2 BRIGHTON AVE 108-110  4500 SF

**Current Assessed Valuation For Fiscal Year 2006**

Land	Building	Total
\$56,730	\$133,110	\$189,840

**Estimated Assessed Valuation For Fiscal Year 2007\***

Land	Building	Total
\$55,100	\$165,400	\$220,500

\* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

**Property Information**

Year Built 1925	Style Old Style	Story Height 2	Sq. Ft. 1632	Total Acres 0.103	
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 7	Attic Unfin	Basement Full

**Outbuildings**

Type GARAGE-WD/CD	Quantity 1	Year Built 1925	Size 12X20	Grade C	Condition A
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**Sales Information**

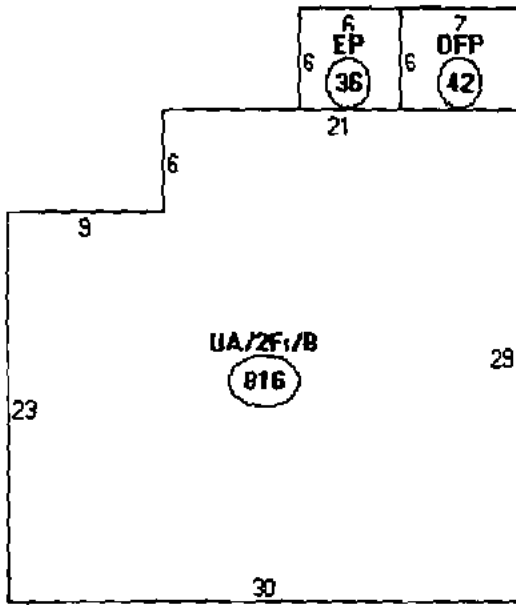
Date	Type	Price	Book/Page
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**Picture and Sketch**

<a href="#">Picture</a>	<a href="#">Sketch</a>	<a href="#">Tax Map</a>
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[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-



Descriptor/Area

A: UA/2F1/B  
816 sqft

B: EP  
36 sqft

C: OFF  
42 sqft

894 SF

4500  
 x .35  
 -----  
 1575 Allowed

1575  
 - 894  
 -----  
 240 Garage  
 -----  
 441 left  
 255 proposed  
 -----  
 186 left

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- |                                     |   |  |
|-------------------------------------|---|--|
| <input checked="" type="checkbox"/> | <u>Footings/Building Location Inspection:</u> | <u>Prior to pouring concrete</u>   |
| <u>N/A</u>                          | <u>Re-Bar Schedule Inspection:</u>            | Prior to pouring concrete  |
| <u>N/A</u>                          | <u>Foundation Inspection:</u>                 | Prior to placing ANY backfill  |
| <input checked="" type="checkbox"/> | <u>Framing/Rough Plumbing/Electrical:</u>     | <u>Prior to any insulating or drywalling</u>   |
| <input checked="" type="checkbox"/> | <u>Final Certificate of Occupancy:</u>        | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

           If any of the inspections do not occur, the project cannot go on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

<u>X Blue Manning</u>	<u>11-3-05</u>
Signature of Applicant/Designee	Date
<u>[Signature]</u>	<u>11/3/05</u>
Signature of Inspections Official	Date
CBL: <u>0806002</u>	Building Permit #: <u>051543</u>



# CITY OF PORTLAND, MAINE

Department of Building Inspections

1021 2005

Person Peter Albin

Address 108 Brighton Ave

Construction \$ \_\_\_\_\_

Plumbing \$ 1600

Electrical (12) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

2002

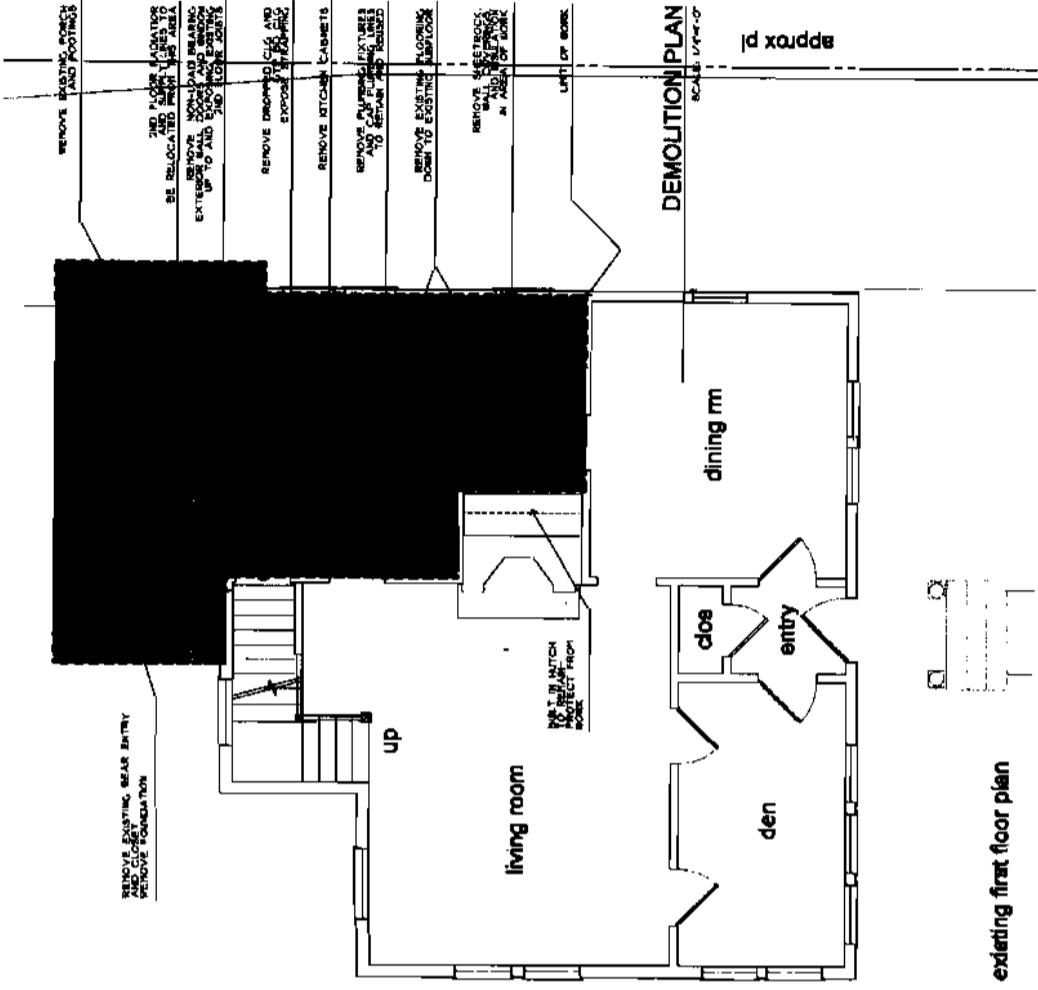
Total Collected \$ 1600

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be issued. PRESERVE THIS RECEIPT. In case permit cannot be issued the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

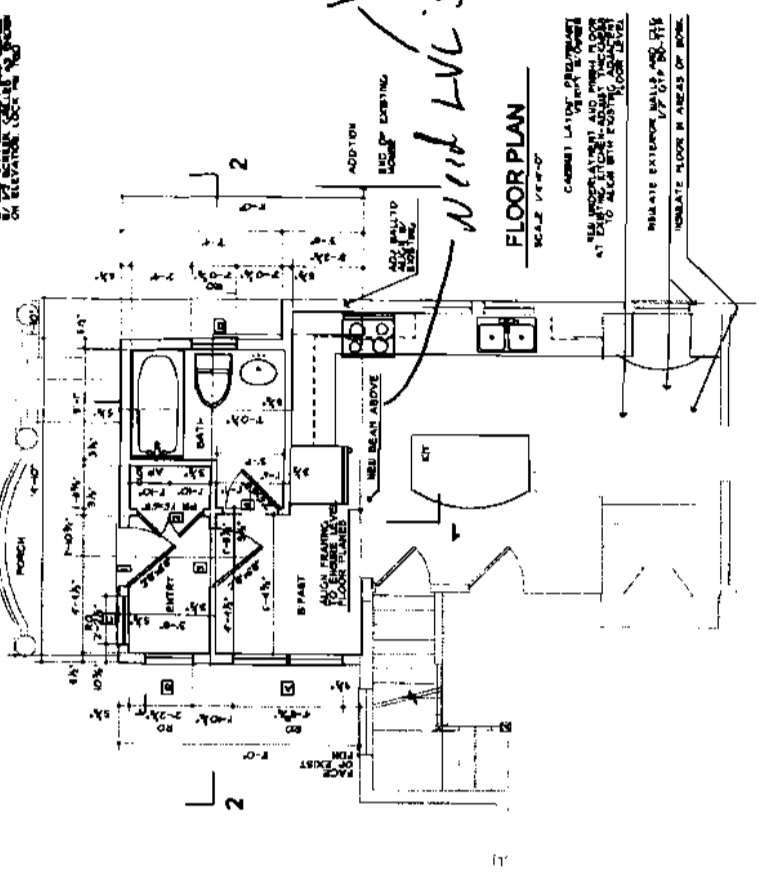
WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

PROJECT NO. 102  
**MANNING RESIDENCE**  
 PORTLAND, MAINE

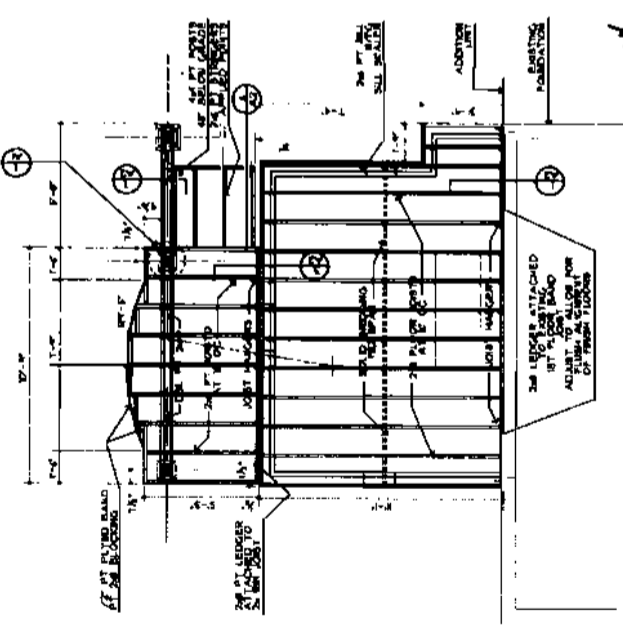
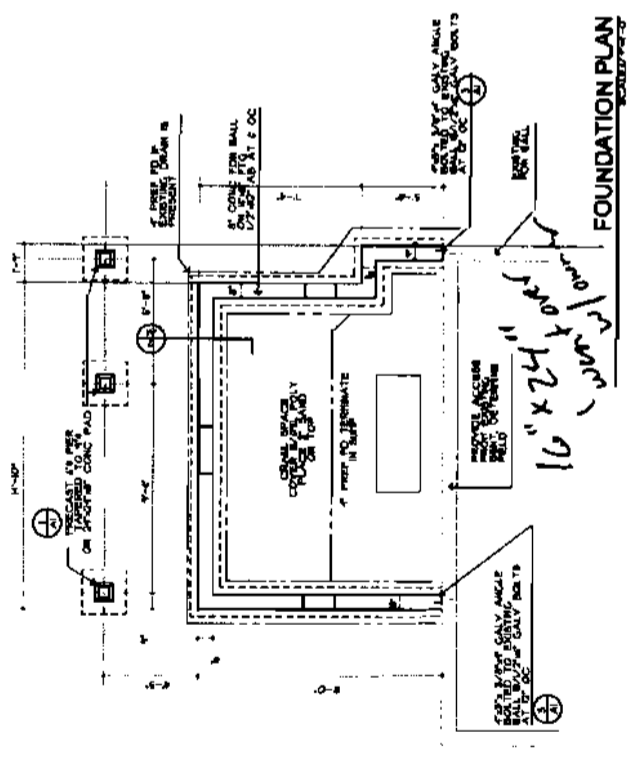


DATE: AUGUST, 2006  
**RENOVATION PLANS**  
 AS NOTED  
 DRAWN BY: SMT  
 PROJECT NUMBER: 0822  
 SHEET NUMBER: **A1**

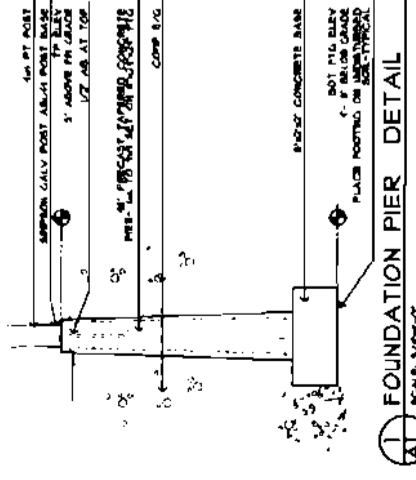
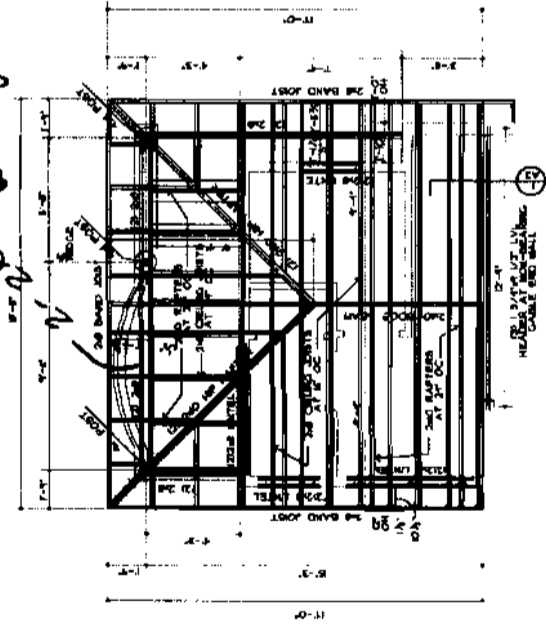
*Work on second floor*



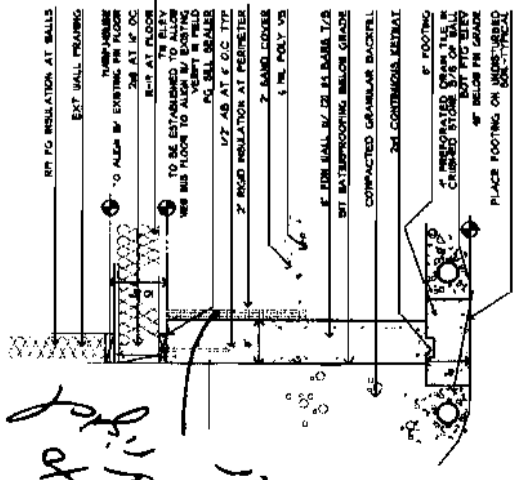
*Need LVL'S*



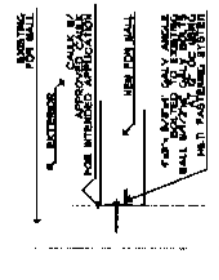
*Work on 1st floor*



1 FOUNDATION PIER DETAIL  
 SCALE: 1/4\"/>

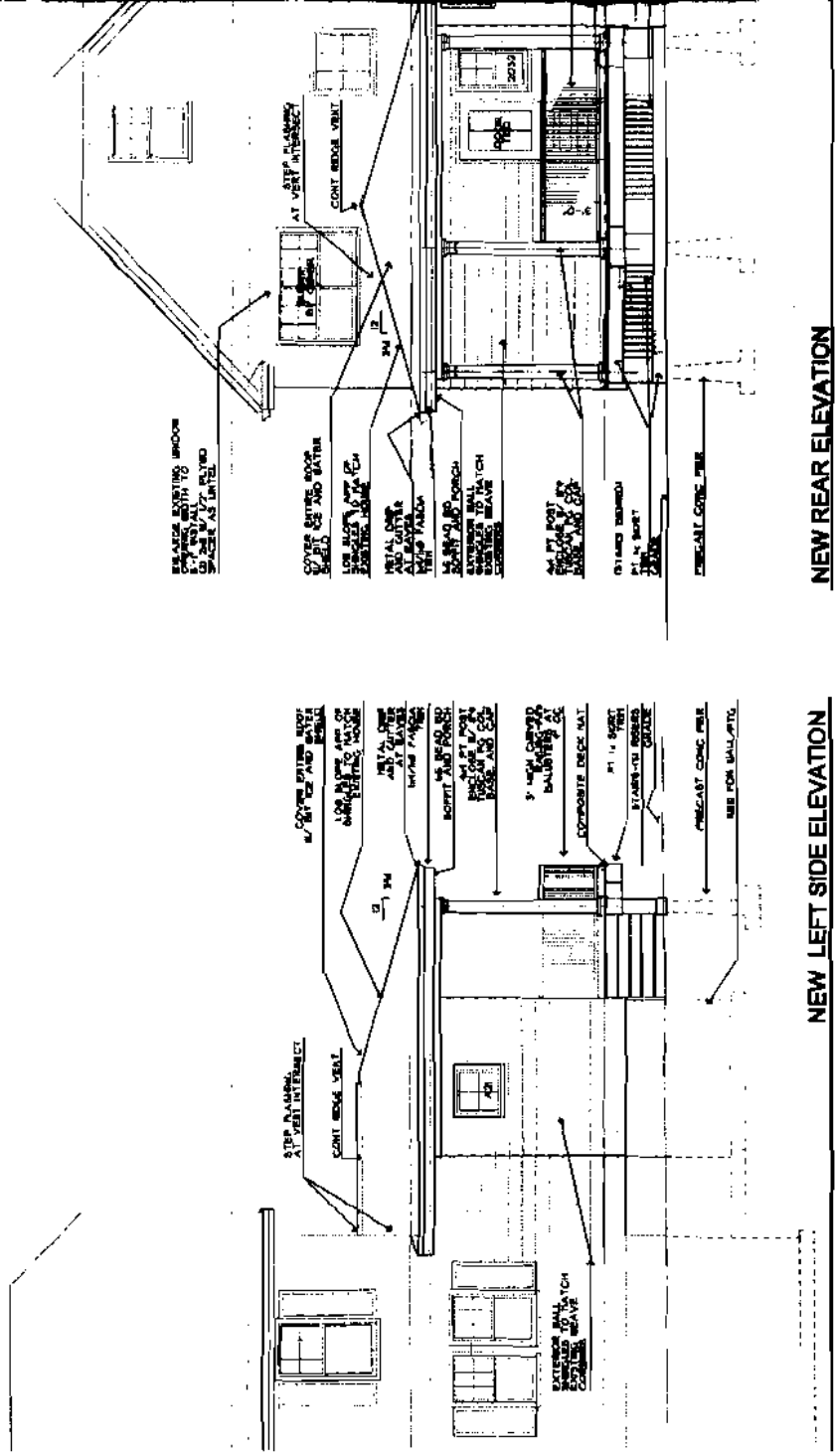


2 FOUNDATION WALL DETAIL  
 SCALE: 1/4\"/>



3 FOUNDATION WALL DETAIL  
 SCALE: 1/4\"/>

*Need corner tie / quarter*

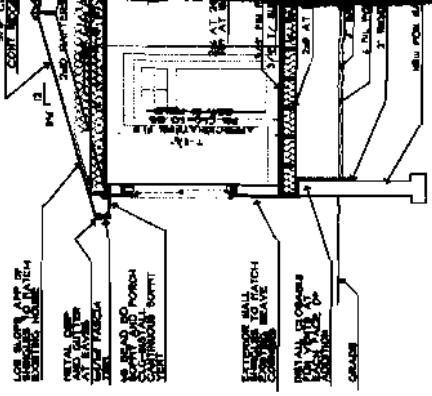


**NEW LEFT SIDE ELEVATION**

SCALE 1/8" = 1'-0"

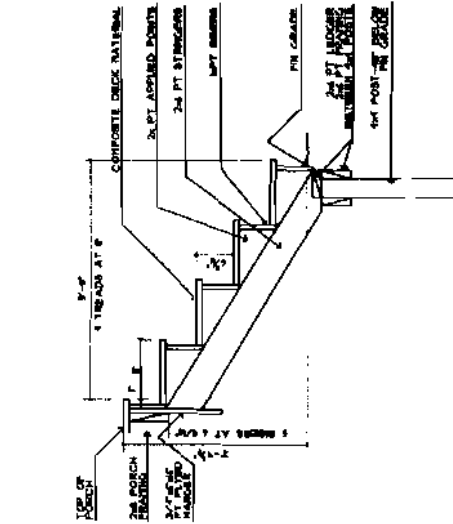
**NEW REAR ELEVATION**

SCALE 1/8" = 1'-0"



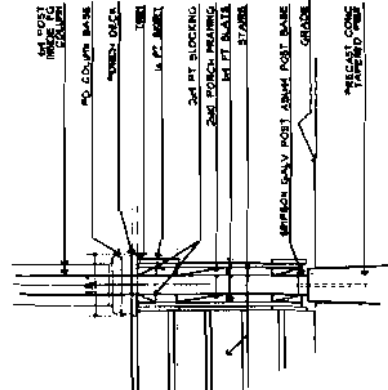
**SECTION 2-2 THROUGH**

SCALE 1/8" = 1'-0"



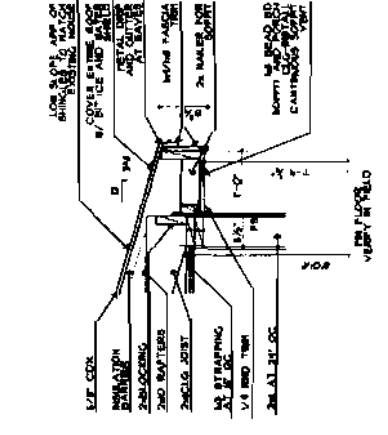
**STAIR DETAIL**

SCALE 3/16" = 1'-0"



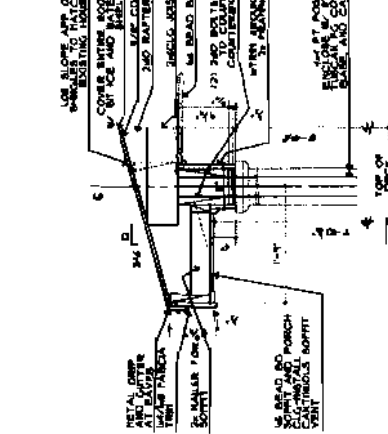
**END COLUMN ENCLOSURE**

SCALE 1/8" = 1'-0"



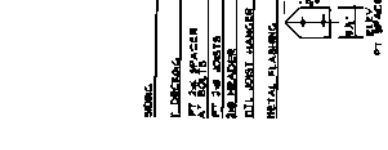
**SOFFIT DETAIL**

SCALE 1/8" = 1'-0"



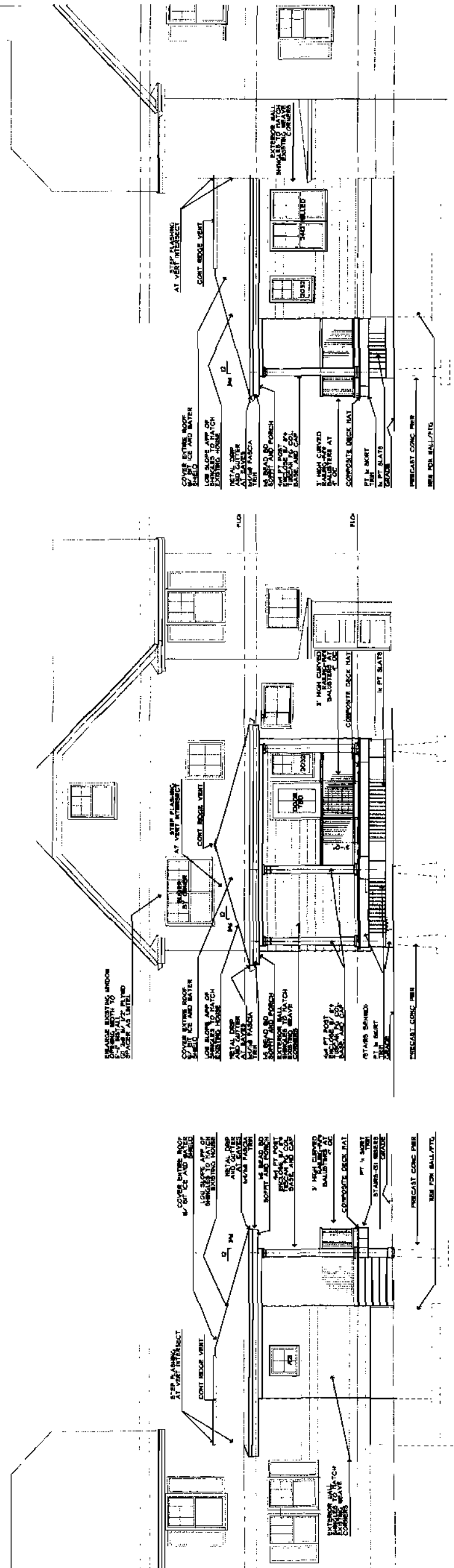
**COLUMN DETAIL AT PORCH**

SCALE 1/8" = 1'-0"



**DETAIL AT WEIR**

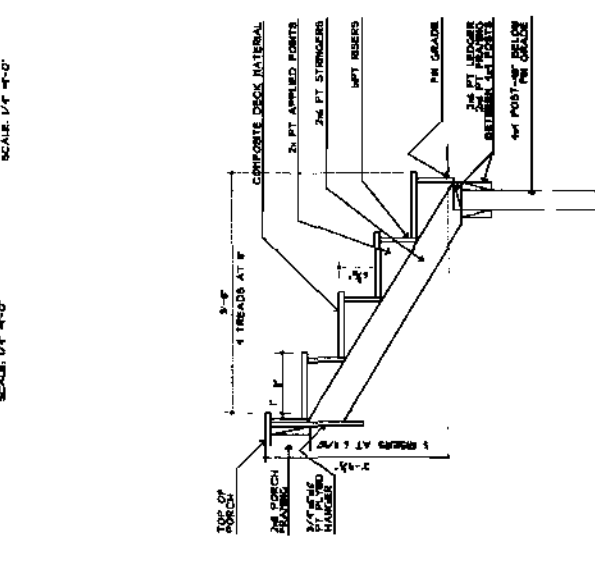
SCALE 1/8" = 1'-0"



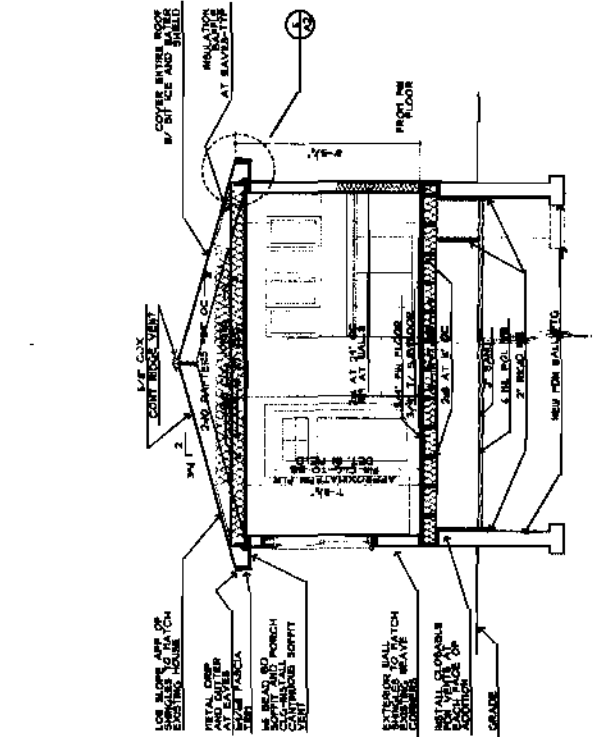
NEW LEFT SIDE ELEVATION  
SCALE 1/4\"/>

NEW REAR ELEVATION  
SCALE 1/4\"/>

NEW RIGHT SIDE ELEVATION  
SCALE 1/4\"/>

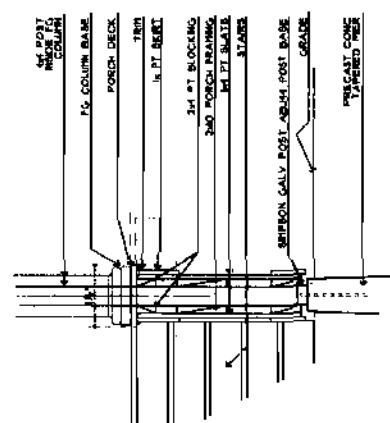


SECTION 1-1 THRU ADDITION  
SCALE 1/4\"/>

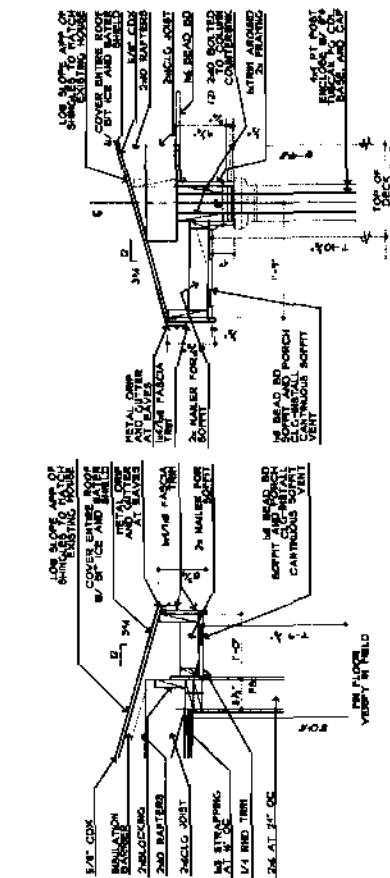


SECTION 2-2 THRU ADDITION  
SCALE 1/4\"/>

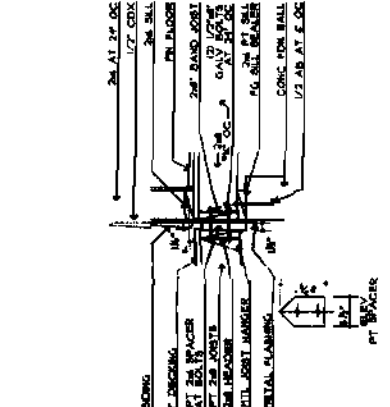
STAIR DETAIL  
SCALE 3/4\"/>



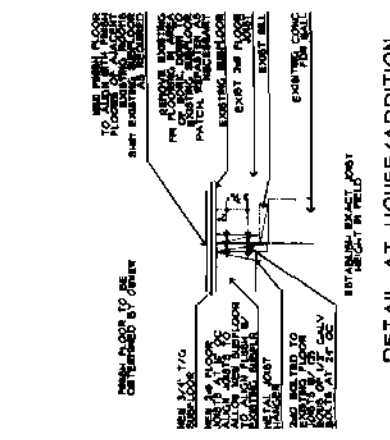
END COLUMN ENCLOSURE



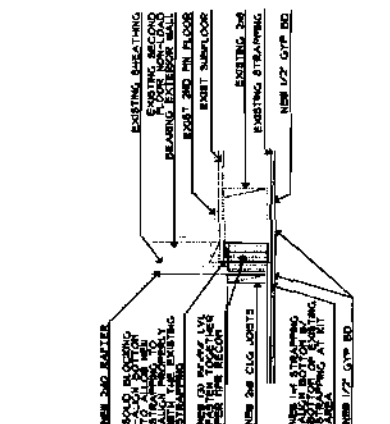
COLUMN DETAIL AT PORCH



DETAIL AT DECK TO HOUSE



DETAIL AT HOUSE/ADDITION FLOOR FRAMING



DETAIL AT HEADER

DTA1 01/2005  
44 Oak Street  
Portland, Maine 04101  
207-774-5491 Fax 774-0848

revision  
DATE  
AUGUST, 2005  
sheet title  
RENOVATION PLANS

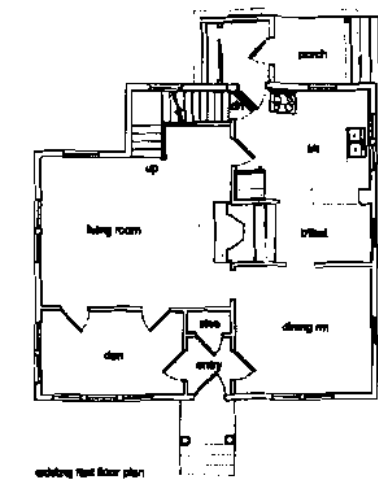
DATE  
AS NOTED  
DRAWN BY  
SMT  
PROJECT NUMBER  
0602  
sheet number

108 Brighton

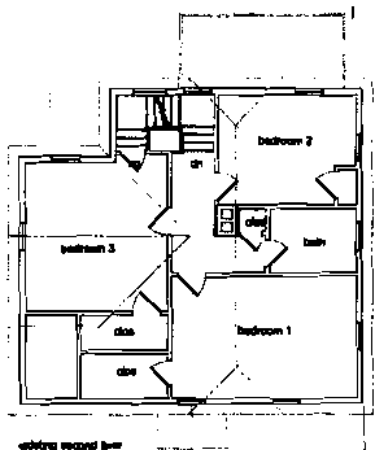
PROJECT TITLE  
**MANNING  
RESIDENCE**  
PORTLAND, MAINE

Peter Manning

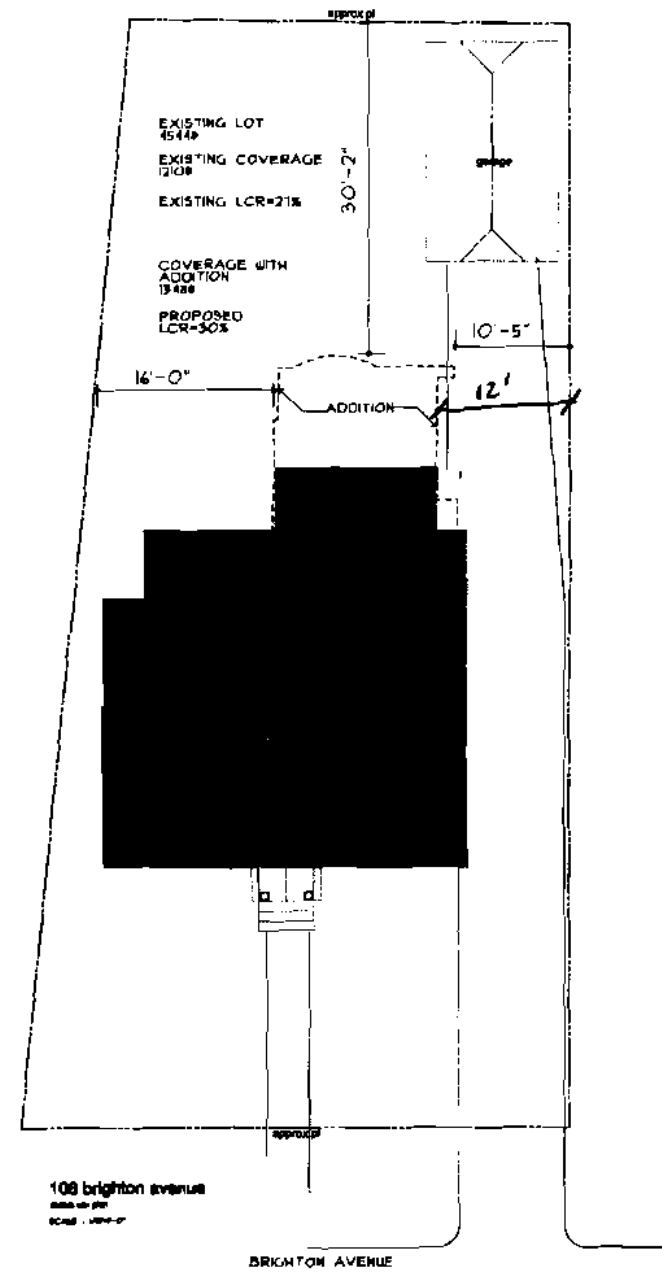
2-3 story - 8'  
1 story - 14'  
2 story - 14'  
OK to reduce  
Rec'd - 25  
let cov - OK



existing first floor plan



existing second floor



108 Brighton Avenue  
SCALE - 1/8"=1'-0"

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME  
NOV 3 2005  
RECEIVED

DTA.J architecture  
44 Hill Street  
Portland, Maine 04107  
207-771-5401 fax 774-0840

revision  
date  
AUGUST, 2005  
sheet title  
EXISTING CONDITIONS

scale  
AS NOTED  
drawn by  
SMT  
project number  
0522

sheet number  
EX.1