

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

Permit Number: 061602

This is to certify that ROSS-MONROE LLC /Petroleum Engineering INC

has permission to Relocate bathroom & interior renovation

AT 170 BRIGHTON AVE

080 D001001

PERMIT ISSUED  
NOV - 9 2006

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is closed or services closed-in 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. Greg Cuss 11-7-06  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Michael Collins*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1602	Issue Date:	CBL: 080 D001001
-----------------------	-------------	---------------------

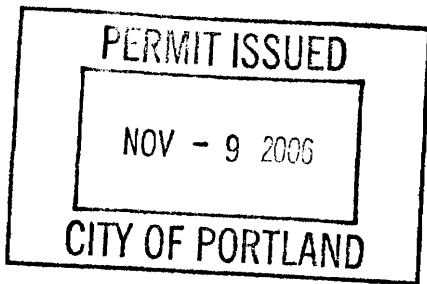
Location of Construction: 170 BRIGHTON AVE	Owner Name: ROSS-MONROE LLC	Owner Address: 200 STAR AVE STE 212	Phone:
Business Name:	Contractor Name: Petroleum Engineering INC	Contractor Address: 12 William Way Bellingham	Phone 5089661600
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-1

Past Use: Commercial	Proposed Use: Commercial Relocate bathroom & interior renovations	Permit Fee: \$260.00	Cost of Work: \$24,000.00	CEO District: 3
Proposed Project Description: Relocate bathroom & interior renovations  <i>7-11 Store &amp; GAS Pumps</i>		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>M1</i> Type: <i>3B</i>  <i>JAC 2003</i>	
		Signature: <i>Greg Carr</i>	Signature: <i>Mark H. [unclear]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature:			Date:	

Permit Taken By: dmartin	Date Applied For: 11/01/2006	<b>Zoning Approval</b>
-----------------------------	---------------------------------	------------------------

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/6/06</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	--	---



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 06-1602	<b>Date Applied For:</b> 10/30/2006	<b>CBL:</b> 080 D001001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 170 BRIGHTON AVE	<b>Owner Name:</b> ROSS-MONROE LLC	<b>Owner Address:</b> 200 STAR AVE STE 212	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Petroleum Engineering INC	<b>Contractor Address:</b> 12 William Way Bellingham	<b>Phone</b> (508) 966-1600
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Commercial	

<b>Proposed Use:</b> Commercial Relocate bathroom & interior renovations	<b>Proposed Project Description:</b> Relocate bathroom & interior renovations
---	--

<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 11/06/2006	<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Michael A. Collins	<b>Approval Date:</b> 11/08/2006	<b>Note:</b>	<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.					
<b>Dept:</b> Fire	<b>Status:</b> Approved	<b>Reviewer:</b> Cptn Greg Cass	<b>Approval Date:</b> 11/07/2006	<b>Note:</b>	<b>Ok to Issue:</b> <input type="checkbox"/>

**PETROLEUM  
 ENGINEERING, INC.**

Troy Comire  
 Project Manager

Specializing in Franchise Building Construction

**Building Permit Application**

real estate or personal property taxes or user charges on any  
 engagements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>170 BRISTOL AVE</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>CFU - D - 551</u>	Owner: <u>ROSS MOUNDE</u> <u>7/ELEVEN</u>	Telephone:
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>NORM DUQUETTE 505049853</u> <u>12 WILLIAMS WAY</u> <u>BELLINGHAM MA</u>	Cost Of Work: \$ <u>24,000.00</u> Fee: \$ <u>260.00</u> C of O Fee: \$ _____
Current Specific use: <u>COMMERCIAL</u> If vacant, what was the previous use? _____ Proposed Specific use: _____		
Project description: <u>RELOCATE R/R + MAKE ADA COMPLIANT.</u>		
Contractor's name, address & telephone: <u>PETROLEUM ENG</u> <u>12 WILLIAMS WAY BELLINGHAM MA.</u> Who should we contact when the permit is ready: <u>TROY COMIRE</u> Mailing address: _____ Phone: <u>OFFICE 1-508-966-1600 CELL 508-208-5205</u> <u>12 WILLIAMS WAY BELLINGHAM MA.</u>		

Please submit all of the information outlined in the Commercial Application Checklist.  
 Failure to do so will result in the automatic denial of your permit.

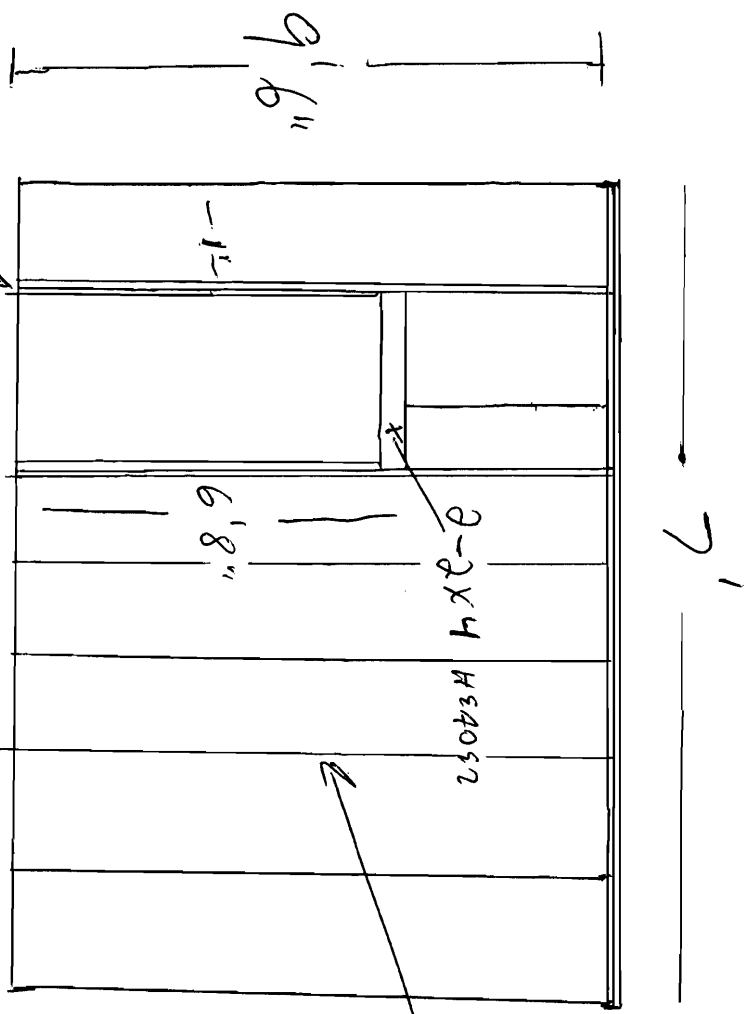
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>10/25/06</u>
--	-----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

SUSPENDED Ceiling 7'11" FLOOR



2x4 STICK STUD

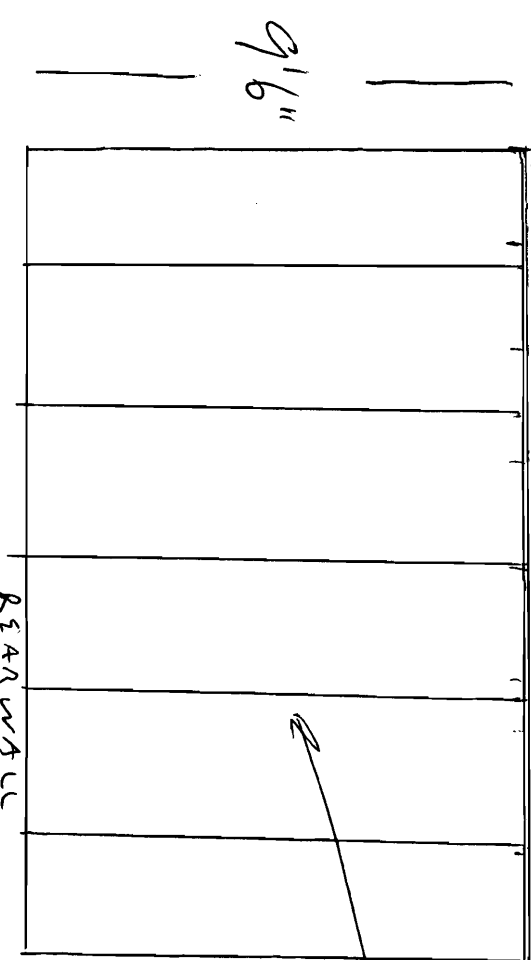
FRONT WALL

2-2x4 plates

2x4 Framing 16" O.C. JOIST  
NON BEAMS

7'

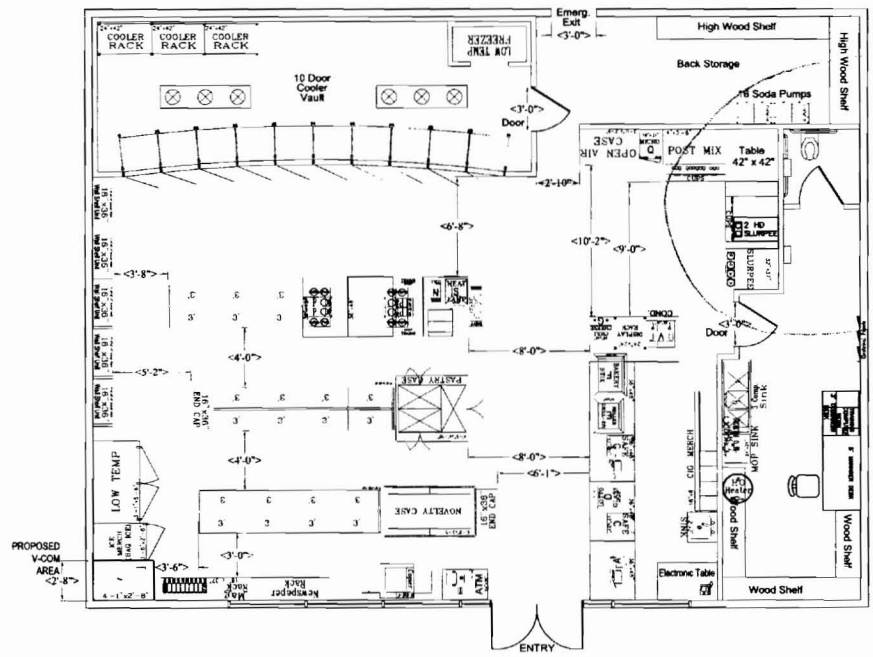
2-2x4 POP PLATES



2x4 Framing  
16" O.C. JOIST  
NON BEAMS

Plan to  
NOT  
SCALE

7-ELBORN  
170 BUCHANAN AVE.  
PORTLAND, ME.



① EXISTING FLOOR PLAN- AQIP PROGRAM- ADA RESTROOM

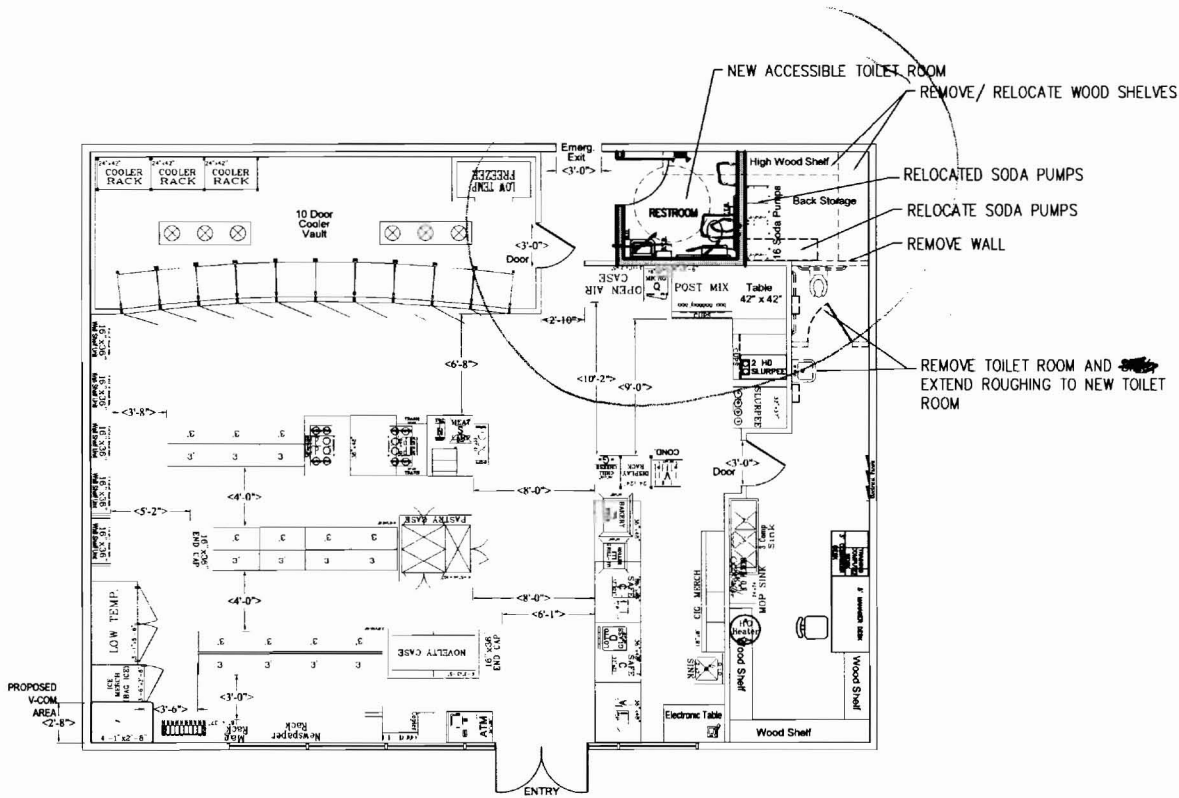


architecture  
& engineering  
& management  
  
pittsfield, ma  
(413) 336 8900  
  
west hartford, ct  
(860) 233 8282  
team@aedm-serv.com

drawing name: store # 32537- 170 brighton ave., portland, me  
project name: restroom renovation  
project no: sel- 2524B- 32537  
issue date: 10/26/06

dwg. ref: store #32537  
building ref:

1/8" = 1'-0"  
dpm  
jni  
SK-EX



**GENERAL NOTES:**

1. CONTRACTORS SHALL NOT SCALE THESE DRAWINGS. IN THE EVENT OF OMISSION OF NECESSARY DIMENSIONS THE CONTRACTORS SHALL NOTIFY THE 7-ELEVEN CONSTRUCTION MANAGER.
2. CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS, AND SITE GRADES PRIOR TO START OF WORK.
3. VERIFY SIZE, LOCATION, AND CHARACTERISTICS, OF ALL WORK AND EQUIPMENT TO BE FURNISHED BY OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER BEFORE ANY CONSTRUCTION PERTAINING TO SAME IS BEGUN.
4. ALL DIMENSIONS ON PLANS UNLESS OTHERWISE NOTED ARE FROM FACE OF GYPSUM BOARD TO FACE OF GYPSUM BOARD AND FROM FACE OF GYPSUM BOARD TO FACE OF EXTERIOR FINISH SURFACE.

**FINISH NOTES:**

1. REPLACE COVE BASE THROUGHOUT.
2. REPLACE WHITE MARLITE FRP WALL COVERING.
3. INTERIOR DEEP CLEAN AND POLISH FLOOR.

**CASEWORK NOTES:**

1. REPAINT ALL COUNTERS TO MATCH.

**CEILING NOTES:**

1. CLEAN GRID & TILES.
2. REPLACE 4X4 RETURN VENT COVERS.
3. CLEAN SUPPLY & RETURNS.
4. REPLACE EMERGENCY LIGHTS WITH WHITE FIXTURES.

**ELECTRICAL NOTES:**

1. RE-LABEL ELECTRICAL PANEL.
2. DOOR ANNOUNCER.
3. INSTALL EMERGENCY LIGHTS IN BACK ROOM & NEW TOILET ROOMS.

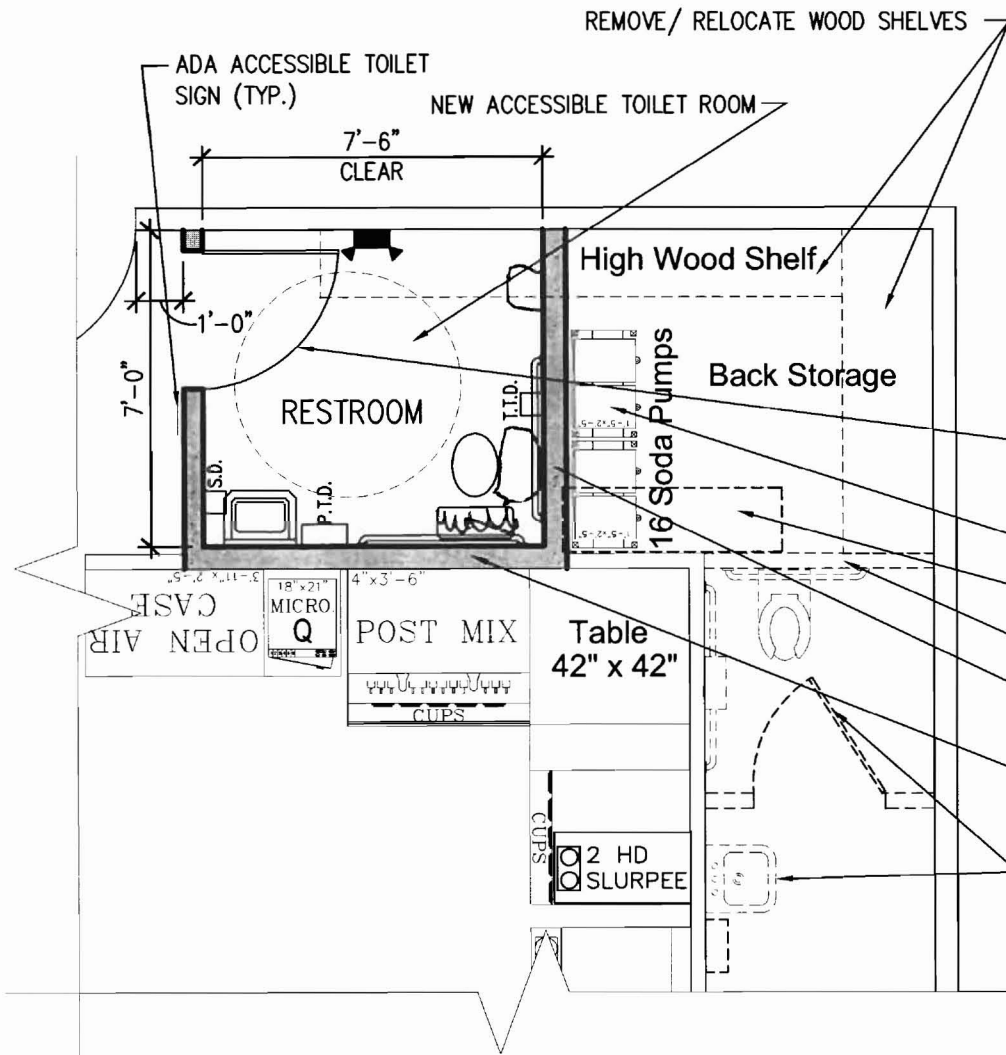
1 PROPOSED FLOOR PLAN- AQIP PROGRAM- ADA RESTROOM 1/8" = 1'-0"



drawing name store # 32537- 170 brighton ave., portland, me  
 project name restroom renovation  
 project # sel- 2524B- 32537  
 issue date 10/26/06

drawing store #32537

scale 1/8" = 1'-0"  
 prepared by dpm  
 checked by jri  
 title SK-PL



**RESTROOM CEILING NOTES:**

1. GYPSUM BOARD CEILING @ 8'-0" AFF, PAINT FINISH.
2. (2) 4' FLUORESCENT STRIP LIGHTS, SYLVANIA # SLS-K4 BALLAST OSRAM QT 2 X 32, & SWITCH.
3. EXHAUST FAN CONNECTED TO EXTERIOR WALL VENT/CAP W/ BACKDRAFT FLAP.
4. DUAL HEAD EMERGENCY LIGHT FIXTURE, LITHONIA 6ELM2

**NOTES:**

1. SEE BATHROOM SPECIFICATIONS SHEET & FIXTURE MOUNTING ELEVATIONS SHEET FOR ADDITIONAL INFORMATION.
2. GWB IN RESTROOM IS TO BE MOISTURE RATED.
3. REFER TO SCHEDULE FOR FINISHES.

- BATHROOM DOOR - SEE DOOR TYPE/BATHROOM SPECIFICATIONS SHEET
- RELOCATED SODA PUMPS
- RELOCATE SODA PUMPS
- REMOVE WALL
- 3 5/8" METAL STUDS AT 16" O.C. W/ 5/8" GYPSUM BOARD BOTH SIDES TO 6" W/ 3" SOUND ATTENUATION BLANKET. BRACE TO DECK @ 3'-0" O.C.
- 5 1/2" METAL STUDS AT 16" O.C. W/ 5/8" GYPSUM BOARD ONE SIDE TO 6" ABOVE CEILING. BRACE TO DECK @ 3'-0" O.C.
- REMOVE TOILET ROOM AND SINK, EXTEND ROUGHING TO NEW TOILET ROOM- NEW FLOOR, WALL, CEILING & FINISHES



100 NORTH STREET  
 SUITE 200  
 PITTSFIELD, MA 01201  
 (413) 432-1111  
 PITTSFIELD, MA  
 (413) 432-6500  
 WEST HARTFORD, CT  
 (860) 233-8282  
 team@edm-serv.com

drawing name: 7- eleven - 170 brighton ave., portland, me

project name: restroom renovation

project no.: sel- 2524-A-32537

issue date: 10/26/06

dwg ref.: store # 32537

bulletin ref.:

scale: 1/4"=1'  
 drawn by: dpm  
 check by: jri  
 sketch by:

**SK-1**



