## SYMBOLS LEGEND:



SECTION



DETAIL

**ELEVATION LEVEL** 

A

CONFERENCE

ROOM

100

WINDOW TYPE

REVISION

(100A)

DOOR NUMBER ROOM NAME

ROOM NUMBER



INTERIOR ELEVATION



CONTINUOUS BACKER ROD AND SEALANT

EXTERIOR ELEVATION



-----

-----

EXISTING WALL TO BE REMOVED. OTHER DASHED ITEMS WITHIN

REMOVALS PLANS ARE ALSO TO BE REMOVED. INDICATES NEW WALL / PARTITION

> INDICATES EXISTING WALL - TO REMAIN AT EXISTING BUILDING



PROVIDE BLOCKING FOR ALL DOOR STOPS, CABINET ASSEMBLIES AND TOILET ROOM ACCESSORIES AS REQUIRED. TYPICAL ALL WALLS ALL SPACES.

## GENERAL NOTES PERTAINING TO THE CONSTRUCTION AND CONSTRUCTION DOCUMENTATION:

- 1. THE CONTRACTOR SHALL REVIEW AND DIRECT ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND SPECIFICATIONS TO ASCERTAIN THE SCOPE OF WORK FOR EACH TRADE PRIOR TO BID. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DRAWINGS AND SPECIFICATIONS.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS AS REQUIRED BY THE LOCAL JURISDICTIONAL AUTHORITIES FOR THIS JOB.
- 4. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL AND TELEPHONE ITEMS (INCLUDING PIPING, DUCTWORK, LIGHTING AND/OR CONDUIT) AND, THAT ALL REQUIRED CLEARANCES OR INSTALLATIONS FOR ABOVE EQUIPMENT ARE PROVIDED. COORDINATION SHALL BE PERFORMED PRIOR TO CONSTRUCTION.
- 5. THE CONTRACTORS FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
- 6. IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, ALL SUCH CHANGES OR MODIFICATIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PERFORMING SUCH CHANGES OR MODIFICATIONS.
- 7. THE CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSAL OF ALL RUBBISH AND DEBRIS FROM THE BUILDING AND THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT.

EVIATIONS:	
AIR CONDITIONING ABOVE ACOUSTICAL PLASTER ACOUSTIC CEILING TILE ADDENDA, ADDENDUM ADJACENT ABOVE FINISHED FLOOR ACCESS PANEL	
BOTTOM CHORD EXTENSION BOARD BORROWED LIGHT PANEL BOTTOM OF BOTTOM OF FOOTING BOTTOM OF STEEL BOTH SIDES BRICK SHELF ELEVATION	
CHANNEL CARPET CATCH BASIN; CHALKBOARD CUBIC FEET PER MINUTE CONTROL JOINT; CONSTRUCTION JOINT CENTERLINE CONCRETE MASONRY UNIT CERAMIC TILE CABINET UNIT HEATER	
DRINKING FOUNTAIN DOOR DISHWASHER	
EXHAUST FAN; EACH FACE EXPANSION JOINT ETHYLENE PROPYLENE DIENE MONOMER EACH WAY ELECTRIC WATER COOLER EXISTING EXISTING EXTERIOR EXTERIOR	
FLAT BAR FURNISHED BY OTHERS FLOOR CLEAN—OUT FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISHED FLOOR; FAR FACE FINISH(ED) FIXTURE FLOOR FRAMED OPENING FACE OF FINISH FAR SIDE	
GAGE, GAUGE GRAB BAR GENERAL CONTRACTOR GYPSUM DROP—IN TILE GLASS GYPSUM WALL BOARD	
HANDICAPPED; HOLLOW CORE HIGH DENSITY OVERLAY HOLLOW METAL HORIZONTAL HEAT RECOVERY UNIT HEATING AND VENTILATING HEATING, VENTILATING, & AIR CONDITIONING	
Inside Diameter Inside Face Isolation Joint Interior Interior Interior	
JOINT ANGLE	
Long Leg Horizontal Long Leg Vertical Lighting Panel	
MEDIUM DENSITY OVERLAY MASONRY OPENING MOISTURE-RESISTANT MAKE-UP AIR	
NOT IN CONTRACT NOT TO SCALE	
ON CENTER OUTSIDE FACE; OWNER FURNISHED OWNER FURNISHED AND INSTALLED BY CONTRACTOR OVERHEAD OPENING OPENING OPPOSITE	
PUBLIC ADDRESS POWDER-ACTUATED FASTENER PLATE, PROPERTY LINE PLASTIC LAMINATE PLASTER POUNDS PER LINEAR FOOT PLYWOOD POWER PANEL (OR PUSH-PADDLE) POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PAINTED, PAPER TOWEL DISPENSER PARTITION POLYVINYL CHLORIDE	
RISER; RADIUS RUBBER BASE REFRIGERATOR REFRIGERATOR ROOF DRAIN ROOM ROUGH OPENING REMOVABLE PANEL RUB—RAIL	
SOLID CORE SQUARE FOOT; SUPPLY FAN SHEAR KEY SIMILAR STAINLESS STEEL STEEL STEEL STANDARD STRUCTURAL STRUCTURAL	
TREAD TOP AND BOTTOM TEMPORARY BENCHMARK TOP CHORD EXTENSION TIE JOIST TOP OF TOP OF CONCRETE TOP OF FOOTING TOP OF MASONRY TOP OF PIER	

TOP OF STEEL; TOP OF SLAB

TOILET PAPER DISPENSER

UNLESS NOTED OTHERWISE

VINYL COMPOSITION TILE

VENT THROUGH THE ROOF VINYL WALL COVERING

WALLBOARD, TYPICAL GWB

TOP OF WALL

VAPOR BARRIER

VERIFY IN FIELD VISION PANEL

WATER CLOSET

WATER HEATER

WINDOW OPENING

WEB STIFFENER WELDED WIRE FABRIC

WOOD WIDE FLANGE

WITHOUT

VFRTICAL

WITH

BOF BOS

EPDM EW EWC EX EXIST EXT EXTR

FOF

INTR

OFIC

OH OPG OPNG OPP

PLYWD

PSI PTD PTN PVC

REFRIG

STL STD STR

VERT

W/0

STRUCT

PARTITION TYPE	FIRE RATINGS AND ACOUSTICAL RATINGS	WALL PARTITION SCHEDUI	E	
PARTI	FIRE AND RATIN	GENERAL WALL DESCRIPTION		
$\langle \rangle$		EXISTING EXTERIOR WALL ASSEMBLY (TYP.)  EXISTING 2X6 WOOD STUDS WALL TO REMAIN EXISTING 1/2" PLYWOOD SHEATHING TO REMAIN REMOVE EXISTING AIR BARRIER REMOVE EXISTING WOOD SIDING BEHIND VINYL SIDING REMOVE EXISTING VINYL SIDING NEW 1" RIGID INSULATION (R-5) MIN. NEW (1) LAYER TYVEK HOME WRAP NEW VINYL CLAPBOARD SIDING ON EXTERIOR SIDE — REFER TO SPEC FOR MORE INFORMATION. EXISTING BATTS INSULATION TO REMAIN EXISTING GWB TO REMAIN. PATCH AND REPAIR EXISTING GWB TO MATCH AS REQ'D		INTERIOR SIDE
2	SIMILAR UL DESIGN NO. GA-WP-3341 1 HOUR	EXISTING UNIT COMMON WALL ASSEMBLY (TYP.)  EXISTING 2X4 WOOD STUDS WALL TO UNDERSIDE OF ROOF FRAMING TO REMAIN EXISTING (1) LAYER 1/2" GWB EACH SIDE TO REMAIN EXISTING BATTS INSULATION TO REMAIN APPLY NEW (1) LAYER 3/8" TYPE "X" GWB OVER EXISTING 1/2" GWB ON EACH SIDE  ANY EXISTING 1/2" GWB REMOVED DURING CONSTRUCTION (WIRING, BLOCKING, ETC.) SHALL BE REPLACED AND TAPED PRIOR TO NEW 3/8" GWB LAYER.		INTERIOR SIDE
3		NEW INTERIOR NON-BEARING WALL ASSEMBLY  2x4 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF ROOF FRAMING  (1) LAYER 5/8" TYPE "X" GWB EACH SIDE TO UNDERSIDE OF ROOF FRAMING.	I BI FI	INTERIOR SIDE
4A>		NEW INTERIOR NON-BEARING WALL ASSEMBLY AT SHOWER  2x4 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF ROOF FRAMING  (1) LAYER 5/8" TYPE "MRX" GWB EACH SIDE TO UNDERSIDE OF ROOF FRAMING.  (1) LAYER FRP PANEL ON THE SHOWER UNIT SIDE TO UNDERSIDE OF ROOF FRAMING	1 163 151	INTERIOR SIDE
<b>⟨</b> 4B⟩		EXISTING INTERIOR NON-BEARING WALL ASSEMBLY AT SHOWER  2×4 WOOD STUDS @ 16" O.C. TO REMAIN EXISTING (1) LAYER 1/2" GWB ON ONE SIDE TO REMAIN NEW (1) LAYER 5/8" TYPE "MRX" GWB ON SHOWER SIDE TO UNDERSIDE OF ROOF FRAMING NEW (1) LAYER FRP PANEL ON THE SHOWER UNIT SIDE TO UNDERSIDE OF ROOF FRAMING	I III E	INTERIOR SIDE
40		EXISTING EXTERIOR AT BATHROOM  SIMILAR TO WALL TYPE   W/ NEW (1) LAYER VAPOR BARRIER  (1) LAYER 5/8" TYPE "X" GWB	EXTERIOR WALL NEW TYPE 1 5/8"	
5		INFILL EXTERIOR WALL ASSEMBLY (TYP.)  NEW WOOD STUDS WALL TO MATCH EXISTING NEW 1/2" PLYWOOD SHEATHING TO MATCH EXISTING NEW 1" RIGID INSULATION (R-5) MIN. NEW (1) LAYER TYVEK HOME WRAP NEW VINYL CLAPBOARD SIDING ON EXTERIOR SIDE  - REFER TO SPEC FOR MORE INFORMATION. NEW BATTS INSULATION TO MATCH EXISTING NEW (1) LAYER VAPOR BARRIER NEW (1) LAYER 1/2" GWB INTERIOR SIDE TO MATCH EXISTING		interior Side
1.	MATERIALS F	RE SAFING SYSTEM/MATERIAL AT ALL PENETRATIONS THRU FIRE RATED ASSEMBLIES. COORL FOR APPROPRIATENESS & COMPATIBILITY W/OTHER BLDG. SYSTEMS, TYPE OF SYSTEM PENE	TRATED, & APPLICATION.	
	1.2. <u>PROVIDE</u> 2x	SOLID BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2009 IN	UNIT COMMON WALLS.	

- 1.2. PROVIDE 2x SOLID BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2009 IN UNIT COMMON WALLS. 1.3. PROVIDE 5/8" GWB BEHIND ALL TUB & SHOWER FIXTURES WHERE FIXTURE LANDS AT FIRE RATED WALL ASSEMBLIES & EXTERIOR WALLS ASSEMBLIES. PROVIDE ADDITIONAL LAYER 5/8" GWB TO COVER TUB & SHOWER FLANGE. COORDINATE DOOR THROAT DEPTH
- 2. FIRE DAMPERS: PROVIDE APPROPRIATELY RATED FIRE DAMPERS AT ALL LOCATIONS WHERE MECHANICAL VENTILATION DUCTS PENETRATE RATED ASSEMBLIES.

PARTITION SCHEDULE NOTES

- PROVIDE 2x SOLID BLOCKING AT CEILING LEVEL OR ALTERNATIVE METHOD APPROVED BY IBC 2003
- 2. PROVIDE MOISTURE RESISTANT TYPE "MRX" GWB AT ALL WALL & CEILING SURFACES WITHIN ALL BATHROOMS, UTILITY ROOM & JANITOR'S CLOSETS. PROVIDE TYPE "MRX" GWB BEHIND ALL SINK LOCATIONS, TYPICAL.
- 3. PROVIDE 5/8" GWB BEHIND ALL TUB & SHOWER FIXTURES WHERE FIXTURE LANDS AT FIRE RATED WALL ASSEMBLIES & EXTERIOR WALLS ASSEMBLIES. PROVIDE ADDITIONAL LAYER 5/8" "MRX" GWB TO COVER TUB & SHOWER FLANGE. COORDINATE DOOR THROAT DEPTH
- 4. PROVIDE MIN. 1/2" CLEARANCE BETWEEN CONC. SLAB AND GWB AND SEAL WITH THERMAL OR ACOUSTIC SEALANT.
- 5. PROVIDE SOLID BLOCKING AS INDICATED ON DRAWINGS AND AS REQUIRED BY MANUFACTURER'S EQUIPMENT (KITCHEN CASE WORK, TOILET & BATH ACCESSORIES, CLOSET RODS & SHELVING, H.C. GRAB BARS, DOOR STOPS, ETC.)
- PROVIDE CONTINUOUS CAULK / SEALANT AT ALL PENETRATIONS (I.E. ELECTRICAL BOXES, DUCTS, SPRINKLER HEADS, ETC.) IN WALLS, FLOORS, & CEILINGS. PROVIDE FIRE RATED SEALANT AT FIRE RATED WALL ASSEMBLIES, HILTI OR EQUAL.

			ISSUE	DESCRIPTION AND DATE		
DRAWING STATUS LIST			1/13/2017	3/8/2017		
			ISSUED FOR 90% MAINE HOUSING REVIEW	ISSUED CONTRACT DOCUMENTS		
DWG NO.	SHEET REFERENCE DRAWING NAME	ISSUED FO HOUSING	ISSUED HOUSIN	ISSUED		
TP 1	TITLE AND SIGNATURE PAGE		0			
TP 2	DRAWING INDEX AND WALL PARTITION SCHEDULE	0		0		
	CIVIL DRAWINGS					
-	ALTA/NSPS LAND TITLE SURVEY					
L-1.10 L-1.11	OVERALL SITEPLAN ENLARGED SITEPLAN					
	STRUCTURAL DRAWINGS					
	ARCHITECTURAL DRAWINGS					
D1.10	BASEMENT AND FIRST FLOOR REMOVALS PLAN					
D1.20	ROOF REMOVALS PLAN		<b>Ø</b>	<b>Ø</b>		
D3.10	BUILDING ELEVATIONS REMOVALS					
A1.10	BASEMENT AND FIRST FLOOR PLANS	<b>(2)</b>	0	0		
A1.11	ROOF PLAN					
A2.10	FIRST FLOOR REFLECTED CEILING PLAN					
A3.01	BUILDING ELEVATIONS	0				
A4.01	ENLARGED KITCHEN PLANS AND KITCHEN INTERIOR ELEVATIONS					
A4.02	ENLARGED BATH PLANS AND BATH INTERIOR ELEVATIONS					
A4.03	INTERIOR DETAILS					
A5.01	BUILDING SECTIONS	0				
A7.01	EXTERIOR WOOD STAIR PLANS, SECTIONS AND DETAILS	0				
A7.02	EXTERIOR WOOD STAIR PLANS					
A7.03	FRONT ENTRY - EXTERIOR P.T. WOOD STAIR PLAN, SECTION, AND DETAILS					
A8.01	WINDOW AND DOOR ELEVATIONS AND DETAILS	0	0	0		
A8.02	WINDOW AND DOOR ELEVATIONS AND DETAILS					

CWS ARCHITECTS ARCHITECTURE   INTERIOR DESIGN			
	umberland Avenue Portland M E: 207 774 4441 CWSARC		
J E R	BENEDICT BENEDICT WALTER NO. 1947  WALTER NO. 1947	*	
DESIGN	CWS ARCHITECTS ARCHITECTURE   INTERIOR DESIGN 434 CUMBERLAND AVENUE PORTLAND, MAINE 04101 T: 207-774-4441	F: 207-774-4016 www.cwsarch.com	
OWNER	COMMUNITY HOUSING OF MAINE INC.	ONE CITY CENTER, 4TH FLOOR PORTLAND, MAINE 04101	
PROJECT	548 SAINT JOHN STREET APARTMENT	548 SAINT JOHN STREET PORTLAND, MAINE 04101	
DRAWING	DRAWING INDEX AND WALL PARTITION SCHEDULE	CWS PROJECT NUMBER: 16.019	
S N O	5/02/2017	-	
REVISIO	REVISION OI	5	
	DRAWING NUMBER		
	TP 2		

SCALE:

DATE:

3/08/2017