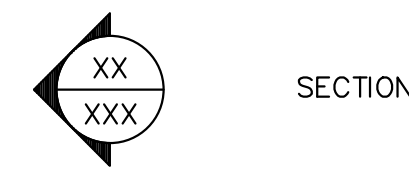
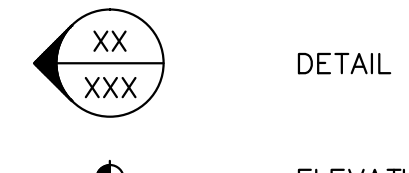


**SYMBOLS LEGEND:**

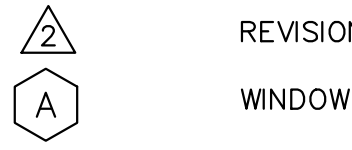


SECTION



DETAIL

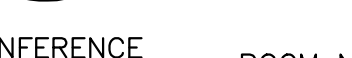
ELEVATION LEVEL



REVISION



WINDOW TYPE



DOOR NUMBER



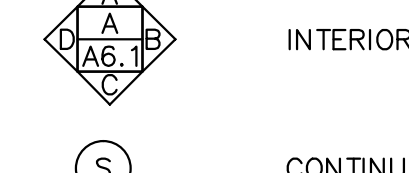
CONFERENCE ROOM



ROOM NAME



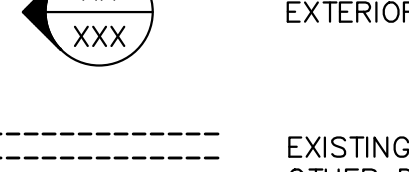
ROOM NUMBER



INTERIOR ELEVATION



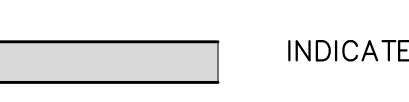
CONTINUOUS BACKER ROD AND SEALANT



EXTERIOR ELEVATION



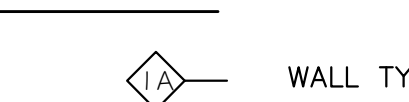
EXISTING WALL TO BE REMOVED. OTHER DASHED ITEMS WITHIN REMOVALS PLANS ARE ALSO TO BE REMOVED.



INDICATES NEW WALL / PARTITION



INDICATES EXISTING WALL - TO REMAIN AT EXISTING BUILDING



WALL TYPE

PROVIDE BLOCKING FOR ALL DOOR STOPS, CABINET ASSEMBLIES AND TOILET ROOM ACCESSORIES AS REQUIRED. TYPICAL ALL WALLS ALL SPACES.

**GENERAL NOTES PERTAINING TO THE CONSTRUCTION AND CONSTRUCTION DOCUMENTATION:**

1. THE CONTRACTOR SHALL REVIEW AND DIRECT ALL SUB-CONTRACTORS TO REVIEW ALL DRAWINGS AND SPECIFICATIONS TO ASCERTAIN THE SCOPE OF WORK FOR EACH TRADE PRIOR TO BID. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH FEDERAL, STATE, CITY AND LOCAL BUILDING CODES AND THEIR REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING PERMITS AND APPROVALS AS REQUIRED BY THE LOCAL JURISDICTIONAL AUTHORITIES FOR THIS JOB.
4. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL MECHANICAL, ELECTRICAL AND TELEPHONE ITEMS (INCLUDING PIPING, DUCTWORK, LIGHTING AND/OR CONDUIT) AND THAT ALL REQUIRED CLEARANCES OR INSTALLATIONS FOR ABOVE EQUIPMENT ARE PROVIDED. COORDINATION SHALL BE PERFORMED PRIOR TO CONSTRUCTION.
5. THE CONTRACTORS FAILURE TO REPORT ANY DISCREPANCIES WITHIN THESE CONSTRUCTION DOCUMENTS TO THE ARCHITECT WILL NOT BE GROUNDS FOR ADDITIONAL COST OR CHANGE ORDERS.
6. IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, ALL SUCH CHANGES OR MODIFICATIONS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO PERFORMING SUCH CHANGES OR MODIFICATIONS.
7. THE CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSAL OF ALL RUBBISH AND DEBRIS FROM THE BUILDING AND THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT.

**ABBREVIATIONS:**

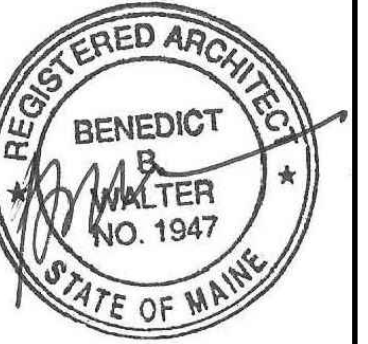
A/C	AIR CONDITIONING
ABV	ABOVE
AC	ACUSTICAL PLASTER
ACT	ACUSTIC CEILING TILE
ADD	ADDENDA, ADDENDUM
ADJ	ADJACENT
AFF	ABOVE FINISHED FLOOR
AP	ACCESS PANEL
BCE	BOTTOM CHORD EXTENSION
BD	BOARD
BLP	BORROWED LIGHT PANEL
BO	BOTTOM OF
BOF	BOTTOM OF FOOTING
BOS	BOTTOM OF STEEL
BS	BOTH SIDES
BSE	BRICK SHELF ELEVATION
C	CHANNEL
CPT	CARPET
CB	CATCH BASIN; CHALKBOARD
CFM	CUBIC FEET PER MINUTE
CJ	CONTROL JOINT; CONSTRUCTION JOINT
CL	CENTERLINE
CMU	CONCRETE MASONRY UNIT
CT	CERAMIC TILE
CUH	CABINET UNIT HEATER
DF	DRINKING FOUNTAIN
DR	DOOR
DW	DISHWASHER
EF	EXHAUST FAN; EACH FACE
EJ	EXPANSION JOINT
EPDM	ETHYLENE PROPYLENE DIENE MONOMER
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EX	EXISTING
EXST	EXISTING
EXT	EXTERIOR
EXTR	EXTERIOR
FB	FLAT BAR
FBO	FURNISHED BY OTHERS
FCO	FLOOR CLEAN-OUT
FD	FLOOR DRAIN
FEC	FIRE EXTINGUISHER
FE	FIRE EXTINGUISHER CABINET
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR, FAR FACE
FIN	FINISH(D)
FIXT	FIXTURE
FL	FLOOR
FO	FRAMED OPENING
FOF	FACE OF FINISH
FS	FAR SIDE
GA	GAGE, GAUGE
GB	GRAB BAR
GC	GENERAL CONTRACTOR
GDT	GYPNUM DROP-IN TILE
G	GLASS
GWB	GYPNUM WALL BOARD
H/C	HANDICAPPED; HOLLOW CORE
HOO	HIGH DENSITY OVERLAY
HM	HOLLOW METAL
HDR	HORIZONTAL
HRRU	HEAT RECOVERY UNIT
H&V	HEATING AND VENTILATING
HVAC	HEATING, VENTILATING, & AIR CONDITIONING
ID	INSIDE DIAMETER
IF	INSIDE FACE
IJ	ISOLATION JOINT
INT	INTERIOR
INTR	INTERIOR
INV	INVERT
JNT	JOINT
L	ANGLE
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
LP	LIGHTING PANEL
MDO	MEDIUM DENSITY OVERLAY
MO	MASONRY OPENING
MR	MOISTURE-RESISTANT
MUA	MAKE-UP AIR
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OF	OUTSIDE FACE; OWNER FURNISHED
OFIC	OWNER FURNISHED AND INSTALLED BY CONTRACTOR
OH	OVERHEAD
OPG	OPENING
OPNG	OPENING
OPP	OPPOSITE
PA	PUBLIC ADDRESS
PAF	POWDER-ACTUATED FASTENER
P	PLATE, PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLF	POUNDS PER LINEAR FOOT
PLYWD	PLYWOOD
PP	PANEL PANEL (OR PUSH-PADDE)
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PTD	PAINTED, PAPER TOWEL DISPENSER
PTN	PARTITION
PVC	POLYVINYL CHLORIDE
R	RISER; RADIUS
RB	RUBBER BASE
REF	REFRIGERATOR
REFRG	REFRIGERATOR
RD	ROOF DRAIN
RM	ROOM
RO	ROUGH OPENING
RP	REMOVABLE PANEL
RR	RUB-RAIL
SC	SOLID CORE
SF	SQUARE FOOT; SUPPLY FAN
SK	SHEAR KEY
SM	SIMILAR
SS	STAINLESS STEEL
ST	STEEL
STL	STEEL
STD	STANDARD
STR	STRUCTURAL
STRUCT	STRUCTURAL
T	TREAD
T&B	TOP AND BOTTOM
TM	TEMPORARY BENCHMARK
TCE	TOP CHORD EXTENSION
TJ	TIE JOIST
TO	TOP OF
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOP	TOP OF PIER
TOS	TOP OF STEEL; TOP OF SLAB
TOW	TOP OF WALL
TPD	TOILET PAPER DISPENSER
TY	TYPICAL
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VF	VERIFY IN FIELD
VP	VISION PANEL
VTR	VENT THROUGH THE ROOF
VVC	VINYL WALL COVERING
W	WITH
WC	WATER CLOSET
WD	WOOD
WF	WIDE FLANGE
WH	WATER HEATER
WIN	WINDOW
WLB	WALLBOARD, TYPICAL GWB
W/O	WITHOUT
WO	WINDOW OPENING
WS	WEB STIFFENER
WWF	WELDED WIRE FABRIC

**DRAWING STATUS LIST**

SHEET REFERENCE		ISSUE DESCRIPTION AND DATE	
DWG NO.	DRAWING NAME	ISSUED FOR 50% HOUSING REVIEW	ISSUED FOR PERMITTING SET
TP 1	TITLE AND SIGNATURE PAGE	9/26/2016	1/13/2017
TP 2	DRAWING INDEX AND WALL PARTITION SCHEDULE		
CIVIL DRAWINGS			
-	ALTA/NSPS LAND TITLE SURVEY		
L-1.10	OVERALL SITEPLAN		
L-1.11	ENLARGED SITEPLAN		
STRUCTURAL DRAWINGS			
ARCHITECTURAL DRAWINGS			
D1.10	BASEMENT AND FIRST FLOOR REMOVALS PLAN		
D1.20	ROOF REMOVALS PLAN		
D3.10	BUILDING ELEVATIONS REMOVALS		
A1.10	BASEMENT AND FIRST FLOOR PLANS		
A1.11	ROOF PLAN		
A2.10	FIRST FLOOR REFLECTED CEILING PLAN		
A3.01	BUILDING ELEVATIONS		
A4.01	ENLARGED KITCHEN PLANS AND KITCHEN INTERIOR ELEVATIONS		
A4.02	ENLARGED BATH PLANS AND BATH INTERIOR ELEVATIONS		
A4.03	INTERIOR DETAILS		
A5.01	BUILDING SECTIONS		
A7.01	EXTERIOR WOOD STAIR PLANS, SECTIONS AND DETAILS		
A7.02	EXTERIOR PRECAST CONCRETE PLAN, SECTION AND DETAILS		
A7.03	EXTERIOR WOOD STAIR PLANS		
A8.01	WINDOW AND DOOR ELEVATIONS AND DETAILS		
A8.02	WINDOW AND DOOR ELEVATIONS AND DETAILS		

**WALL PARTITION SCHEDULE**

PARTITION TYPE	FIRE RATINGS AND ACOUSTICAL RATINGS	GENERAL WALL DESCRIPTION	
		EXTERIOR SIDE	INTERIOR SIDE
1		<p><b>EXISTING EXTERIOR WALL ASSEMBLY (TYP.)</b></p> <p>EXISTING 2X6 WOOD STUDS WALL TO REMAIN                      EXISTING 1/2" PLYWOOD SHEATHING TO REMAIN                      REMOVE EXISTING AIR BARRIER                      REMOVE EXISTING WOOD SIDING BEHIND VINYL SIDING                      REMOVE EXISTING VINYL SIDING                      NEW 1" RIGID INSULATION (R-5) MIN.                      NEW (1) LAYER TYEAK HOME WRAP                      NEW VINYL SHINGLE "CEDAR DISCOVERY" SIDING ON EXTERIOR SIDE                      REFER TO SPEC FOR MORE INFOR.                      EXISTING BATTS INSULATION TO REMAIN                      EXISTING GWB TO REMAIN.                      PATCH AND REPAIR EXISTING GWB TO MATCH AS REQ'D</p>	
2	SIMILAR UL DESIGN NO. GA-WP-3341 1 HOUR	<p><b>EXISTING UNIT COMMON WALL ASSEMBLY (TYP.)</b></p> <p>EXISTING 2X4 WOOD STUDS WALL TO UNDERSIDE OF ROOF FRAMING TO REMAIN                      EXISTING (1) LAYER 1/2" GWB EACH SIDE TO REMAIN                      EXISTING BATTS INSULATION TO REMAIN                      APPLY NEW (1) LAYER 3/8" TYPE "X" GWB OVER EXISTING 1/2" GWB ON EACH SIDE</p>	
3		<p><b>NEW INTERIOR NON-BEARING WALL ASSEMBLY</b></p> <p>2x4 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF ROOF FRAMING                      (1) LAYER 5/8" TYPE "X" GWB EACH SIDE TO UNDERSIDE OF ROOF FRAMING.</p>	
4A		<p><b>NEW INTERIOR NON-BEARING WALL ASSEMBLY AT SHOWER</b></p> <p>2x4 WOOD STUDS @ 16" O.C. TO UNDERSIDE OF ROOF FRAMING                      (1) LAYER 5/8" TYPE "MRX" GWB EACH SIDE TO UNDERSIDE OF ROOF FRAMING.                      (1) LAYER FRP PANEL ON THE SHOWER UNIT SIDE TO UNDERSIDE OF ROOF FRAMING</p>	
4B		<p><b>EXISTING INTERIOR NON-BEARING WALL ASSEMBLY AT SHOWER</b></p> <p>2x4 WOOD STUDS @ 16" O.C. TO REMAIN                      EXISTING (1) LAYER 1/2" GWB ON ONE SIDE TO REMAIN                      NEW (1) LAYER 5/8" TYPE "MRX" GWB ON SHOWER SIDE TO UNDERSIDE OF ROOF FRAMING                      NEW (1) LAYER FRP PANEL ON THE SHOWER UNIT SIDE TO UNDERSIDE OF ROOF FRAMING</p>	
4C		<p><b>EXISTING EXTERIOR AT BATHROOM</b></p> <p>SIMILAR TO WALL TYPE 1 w/ NEW (1) LAYER 5/8" TYPE "X" GWB</p>	



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PROJECT  
**548 SAINT JOHN STREET APARTMENT**

CWS PROJECT NUMBER: 16.019

DRAWING  
**DRAWING INDEX AND WALL PARTITION SCHEDULE**

REVISIONS

DRAWING NUMBER

**TP 2**

SCALE:  
DATE: 1/13/2017