

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 576 St. John Street		Owner: MHC Realty Corp. Attn: Bob Cloutier		Phone: 871-2139		Permit No: 990680			
Owner Address: 22 Bramhall Street Bldg, ME 04101		Lessee/Buyer's Name:		Phone:		BusinessName:			
Contractor Name: To be determined		Address:		Phone:		Permit Issued: JUN 28 1999			
Past Use: Office		Proposed Use: Same		COST OF WORK: \$ 3,000		PERMIT FEE: \$ 35.00			
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:			
				Signature:		Signature:			
Proposed Project Description: Place a modular office next to the existing building for a period not to exceed one year. <i>(from DA's office)</i>				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/>				Zoning Approval: <i>OK → 6/24/99</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: UB		Date Applied For: June 23, 1999						Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

****Send to Winton Scott Architects
5 Milk Street
Portland, ME 04101 774-4811**

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

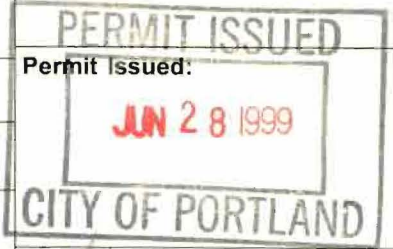
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

June 23, 1999

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector



Zone: **CBL: 080-B-003**

Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: _____

CEO DISTRICT

2

8/15/00 this temp modular office ~~open~~ structure
has been removed. ok making
close permit

C B ✓
80-B-3
permit # 990680

	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): <u>576 St. John St.</u>			
Total Square Footage of Proposed Structure <u>540</u>		Square Footage of Lot <u>18,260</u>	
Tax Assessor's Chart, Block & Lot Number Chart# <u>80</u> Block# <u>B</u> Lot# <u>3</u>		Owner: <u>MMC Realty Corp.</u> <u>Attn: Bob Cloutier</u>	Telephone#: <u>871-2139</u>
Owner's Address: <u>22 Bramhall St.</u> <u>Portland, ME 04102</u>		Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$ 3,000</u> Fee <u>\$ 35.00</u>
Proposed Project Description:(Please be as specific as possible) <u>Place a modular office next to the existing building for a period not to exceed 1 year.</u>			
Contractor's Name, Address & Telephone <u>To Be Determined</u>			Rec'd By <u>MAILED IN</u>
Current Use: <u>Office</u>		Proposed Use: <u>Office</u>	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventililation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- ✓ 1) A Copy of Your Deed or Purchase and Sale Agreement
- ✗ 2) A Copy of your Construction Contract, if available
- ✓ 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

✓ 4) Building Plans

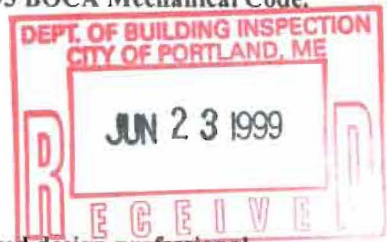
Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



Signature of applicant: <u>Mark Cloutier</u>	Date: <u>6.21.99</u>
--	----------------------

Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Additional Site review and related fees are attached on a separate addendum

X Winter Scott Architects
5 Milk St.
Portland, ME 04101 774-7811



June 21, 1999

Marge Schmuckal
Portland City Hall
389 Congress Street
Portland, ME 04101

Dear Marge,

This letter will serve as notice that the Scotsman Modular Unit intended for 576 St. John Street is leased on a temporary basis of less than one year and we will have it removed by July 1, 2000.

If you have any questions please feel free to contact me at 879-8139.

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert Cloutier", with a long horizontal flourish extending to the right.

Robert Cloutier
Property Manager
Maine Medical Center

H:\USERS\grenik\FORMS&LETTERS\Marge schmuckal letter.doc

W I N T O N S C O T T A R C H I T E C T S

Winton F. Scott, Jr. Principal
Mark M. Wilcox Principal
Stephen W. Westmoreland Associate
Candice T. Fitch Associate

June 22, 1999

Ms. Marge Schmuckal
Department of Code Enforcement
City of Portland
389 Congress Street
Portland, Maine 04101

Re: Practice Partners
 576 Saint John Street

Dear Marge;

Thank you for getting back to me and going over the information which relates to this project. I have attached a completed building permit application, site plan, modular office plan and copy of the deed. Also, I have included a letter from the owner relating to the one-year occupancy for the proposed modular unit and a check for \$35.00 for the permit fee.

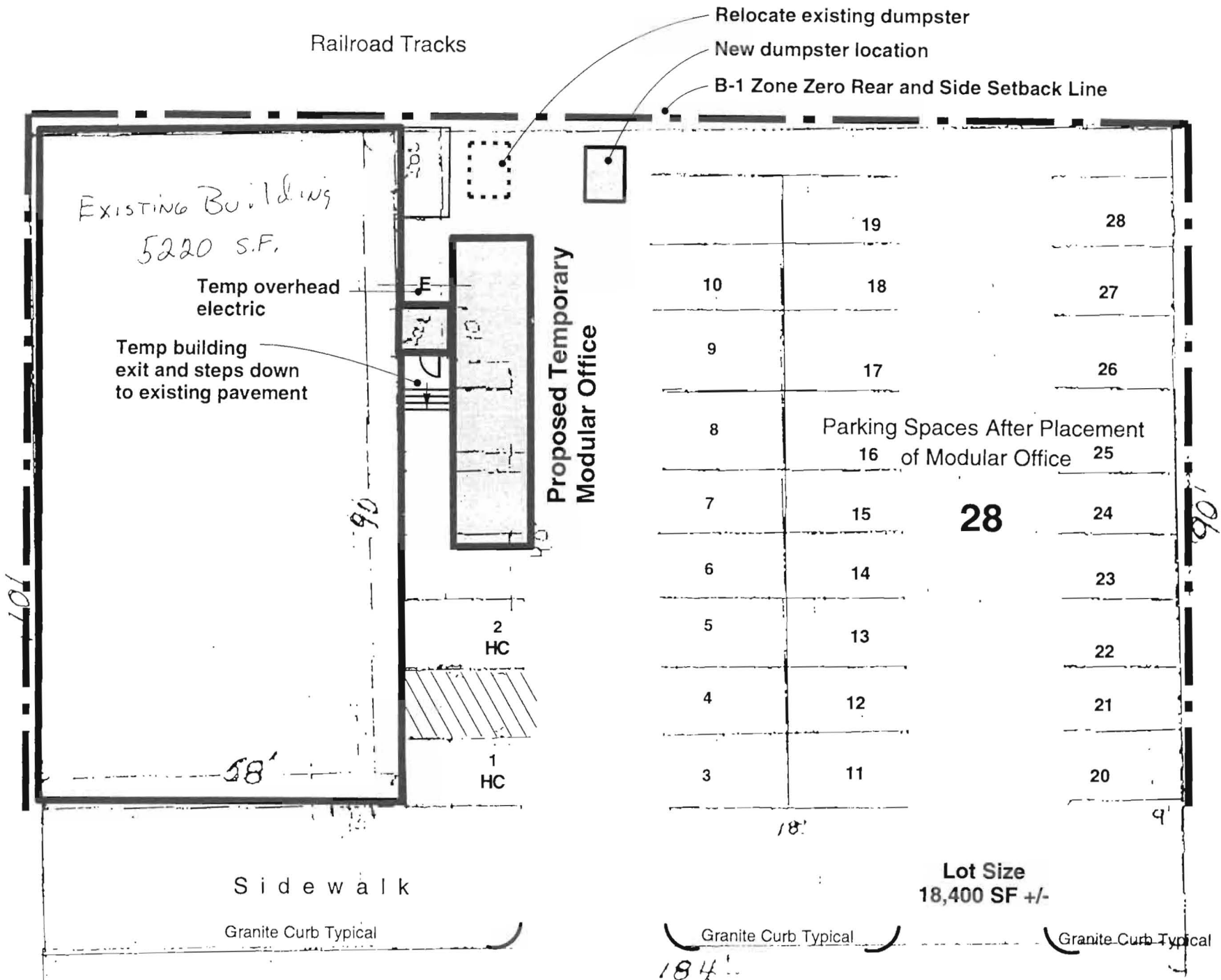
If you need anything else or have any questions, please do not hesitate to call. Thank you for your assistance.

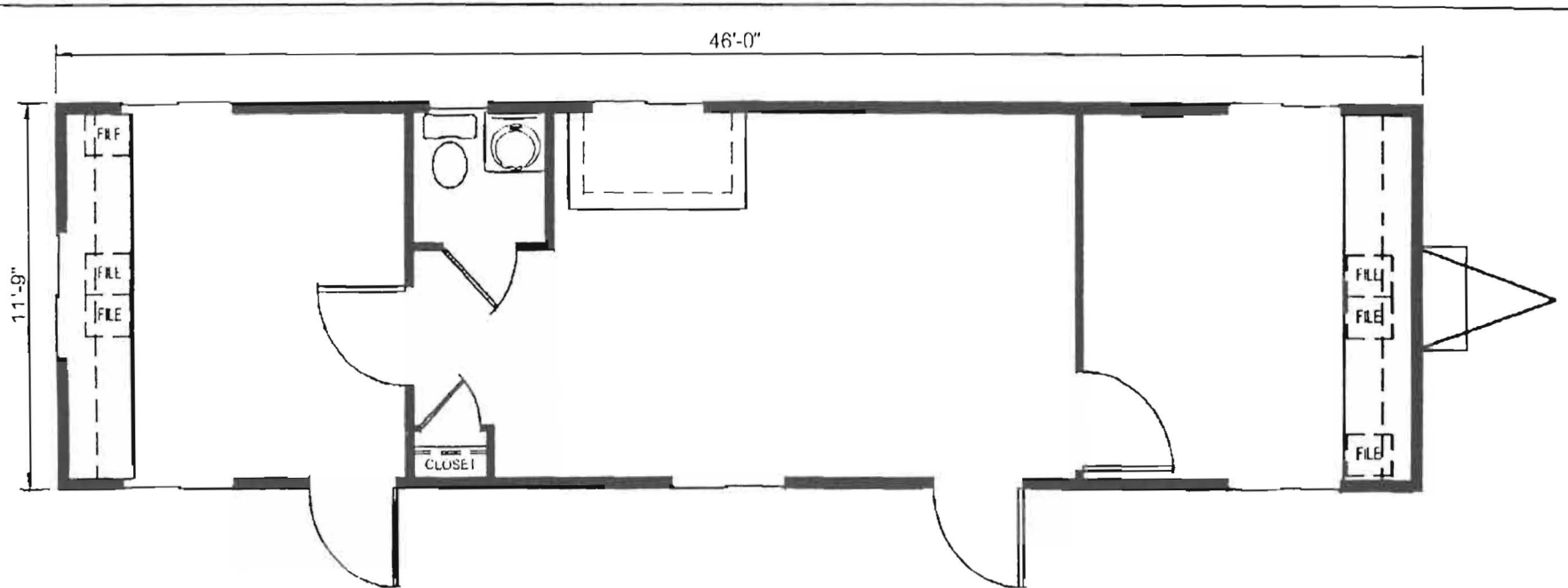
Sincerely,



Mark M. Wilcox, AIA

cc/ Bob Cloutier, Maine Medical Center





Specifications

Size(s)

- 50' Long (including hitch)
- 46' Box size
- 10' or 12' Wide
- 8' Ceiling height

Interior Finish

- Paneled walls
- Vinyl tile floors
- Gypsum ceiling
- Private office(s)
- Wide open shells available

Furniture

- Two built-in desks with file cabinets
- One built-in plan table
- Overhead shelf

Electric

- Fluorescent ceiling lights
- Breaker panel

Windows/Doors

- Horizontal slider windows
- Two vision panel doors with standard locks

Heating and Cooling

- Central HVAC or thru-wall AC

Exterior Finish/Frame

- Aluminum siding
- I-Beam frame
- Standard Drip rail gutters

Additional floor plans available. Floor plans and specifications may vary from those shown, and are subject to in-stock availability.



Mobile Offices • Storage Products
And More

Mobile Office 50x12

WILLIAMS SCOTSMAN, INC.
325 Rodman Road
Auburn, ME 04210
Phone: 207-783-3200
Fax: 207-783-6183
Toll free: 800-782-1500

Know all Men by these Presents,

That I, FREDERICK J. FOLEY, JR. of Cape Elizabeth, in the County of Cumberland and State of Maine

in consideration of One Dollar (\$1.00) and other valuable considerations

paid by THE OSTEOPATHIC HOSPITAL OF MAINE, INC., a Maine corporation with a principal place of business in Portland, County of Cumberland and State of Maine

and whose mailing address is 335 Brighton Avenue, Portland, Maine 04102

the receipt whereof I do hereby acknowledge, do hereby remise, release, bargain, sell and convey and forever quit-claim unto the said THE OSTEOPATHIC HOSPITAL OF MAINE, INC., its successors

~~do~~ and assigns forever,

a certain lot or parcel of land, together with the buildings thereon, situated on the westerly side of St. John Street, in the City of Portland, County of Cumberland and State of Maine, and bounded and described as follows:

Beginning at the southeasterly corner of the premises herein described, at a point now marked by an iron pin in the westerly line of said St. John Street at land now or formerly of St. John Apartments, Inc.; thence the line runs northerly by said St. John Street, one hundred eighty-three and ninety-nine hundredths (183.99) feet to a point now marked by an iron pin at land now or formerly of Socony-Vacuum Oil Company, Incorporated; thence westerly, forming an interior angle of 89° 58' with the line last mentioned, by said land now or formerly of Socony-Vacuum Oil Company, Incorporated, ninety-four and thirty-nine hundredths (94.39) feet to a point now marked by an iron pin at land of Portland Terminal Company; thence southerly, by said land of Portland Terminal Company one hundred (100) feet to a point now marked by an iron pin; thence southerly, still by land of said Portland Terminal Company eighty-three and ninety-nine hundredths (83.99) feet to a point now marked by an iron pin at said land of St. John Apartments, Inc.; thence easterly by said land of St. John Apartments, Inc., one hundred and ninety-nine hundredths (100.99) feet to the point of beginning and forming an interior angle of 90° with the line first above mentioned.

Containing 19,260 square feet, more or less.

The said premises are shown as Lot B on a survey entitled "Plan of Land in Portland, Me. Surveyed for Socony-Vacuum Oil Company, Inc. Scale - 1 inch = 20 feet March 1951 H.I. & E.C. Jordan Civil Engineers New Plan and Survey of Division Line June 1952", the original of which is recorded in the Cumberland County Registry of Deeds in Plan Book 38, Page 41.

Meaning and intending to convey and hereby conveying the premises conveyed to this Grantor by Davis-Greene Co., by deed dated January 10, 1972, recorded in said Registry of Deeds in Book 3208, Page 393.

To have and to hold, the same, together with all the privi-
leges and appurtenances thereunto belonging, to the said

THE OSTEOPATHIC HOSPITAL OF MAINE, INC., its successors

~~xxxx~~ and assigns forever.


And I do covenant with the said grantee, its successors ~~xxxx~~
and assigns, that I will warrant and forever defend the premises
to the said grantee, its successors ~~xxxx~~ and assigns forever,
against the lawful claims and demands of all persons claiming by,
through, or under me.

In Witness Whereof, I, the said Frederick J. Foley, Jr.,
and Margaret T. Foley,
wife of the said

Frederick J. Foley, Jr.,
joining in this deed as Grantor and relinquishing and conveying
all rights by descent and all other rights in the above described
premises, have hereunto set our hands and seals this 26th
day of August in the year of our Lord one thousand nine
hundred and eighty-two.

Signed, Sealed and Delivered
in presence of

Sonald A. Fowley, Jr.
Sonald A. Fowley, Jr.

Frederick J. Foley, Jr.
Margaret T. Foley 

State of Maine, } ss. 26 August 19 82.
Cumberland
Personally appeared the above named Frederick J.

Foley, Jr. and acknowledged the above instru-
ment to be his free act and deed.

AUG 27 1892 Before me, *Sonald A. Fowley, Jr.*
REGISTRY OF DEEDS CUMBERLAND COUNTY, MAINE
Received at 9 H 27 AM. and recorded in
BOOK 5019 PAGE 50 *Edward J. Peniston* Register

Sonald A. Fowley, Jr.
Justice of the Peace
Notary Public
Attorney at Law
MAINE

W I N T O N S C O T T A R C H I T E C T S

Winton F. Scott, Jr Principal
Mark M. Wilcox Principal
Stephen W. Weatherhead Associate
Cordelia T. Pitman Associate

6/3/99

June 2, 1999

Mr. Rick Noland
Department of Planning and Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Re: Practice Partners
 576 Saint John Street

MARGE,
JOE SAID THIS DOES
NOT NEED TO GO THROUGH
PLANNING. AS LONG AS
IT'S LESS THAN A YEAR
HE DOESN'T HAVE A
PROBLEM WITH THIS
RICK


Dear Rick;

Thank you for getting back to me and going over the information which relates to this project. As we discussed, the work involves placing a temporary modular office at the above site for a period of less than one year. The building is used as an office occupancy, while the parking lot is unchanged from its older grocery store or Motor Vehicle Bureau days.

I am including some further drawings etc. which show the proposed use. Since this is only temporary, and time is of the essence to accommodate newly hired employees, may the the modular unit shown be used without the need for Site Plan Review? The modular would have an electrical connection to the existing building and no plumbing connection. It will be used for office space and would be connected to the existing building by means of an enclosed breezeway built on an existing projecting loading dock platform.

If you need anything else or have any questions, please do not hesitate to call. Thank you for your assistance.

Sincerely,

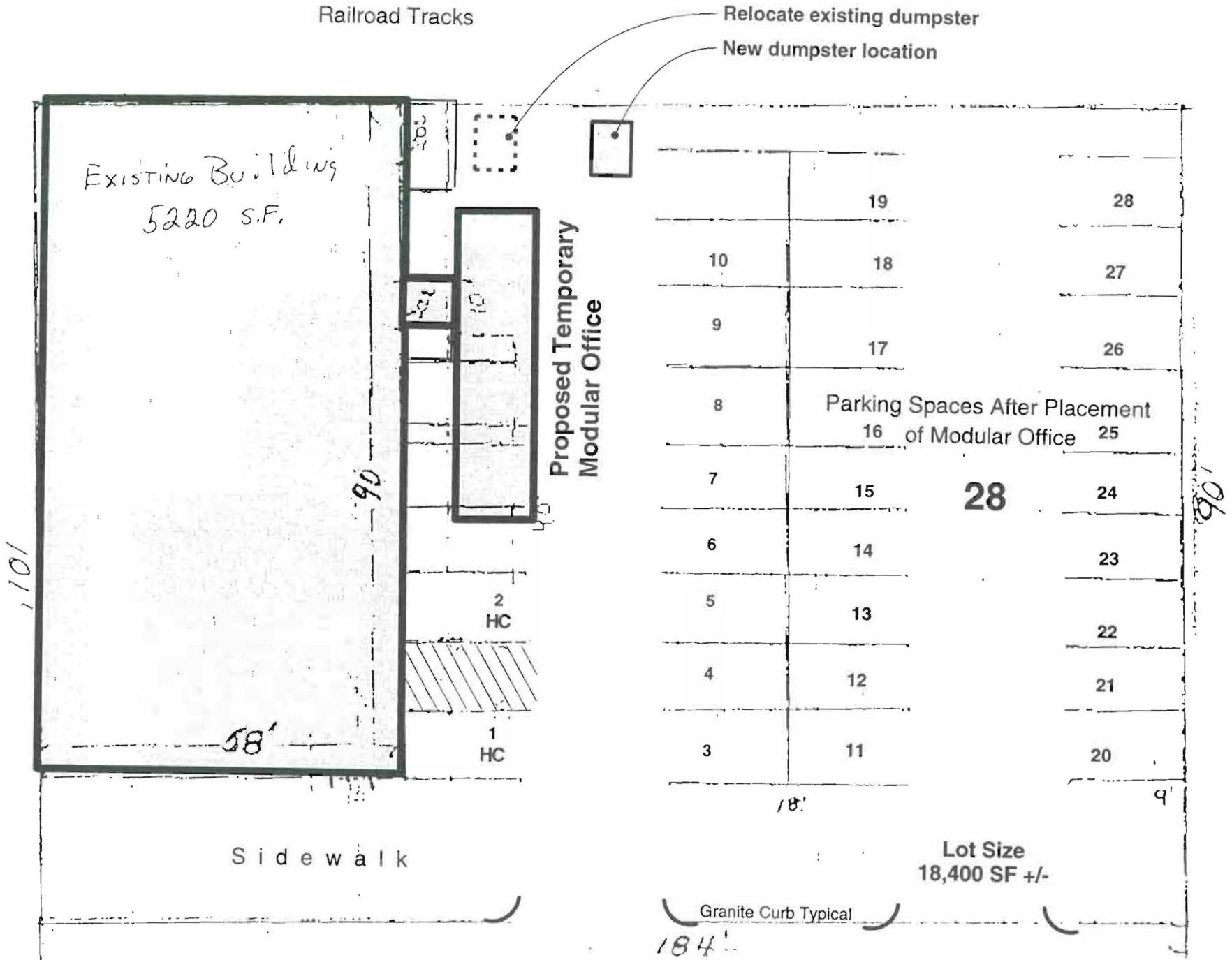


Mark M. Wilcox, AIA

cc/ Joe Gray, Planning
 Marge Schmuckal, Planning
 Bob Cloutier, Maine Medical Center



Existing Building -



Railroad Tracks

Relocate existing dumpster

New dumpster location

EXISTING Building
5220 S.F.

Proposed Temporary
Modular Office

Parking Spaces After Placement
of Modular Office

28

58'

90'

2
HC

1
HC

Sidewalk

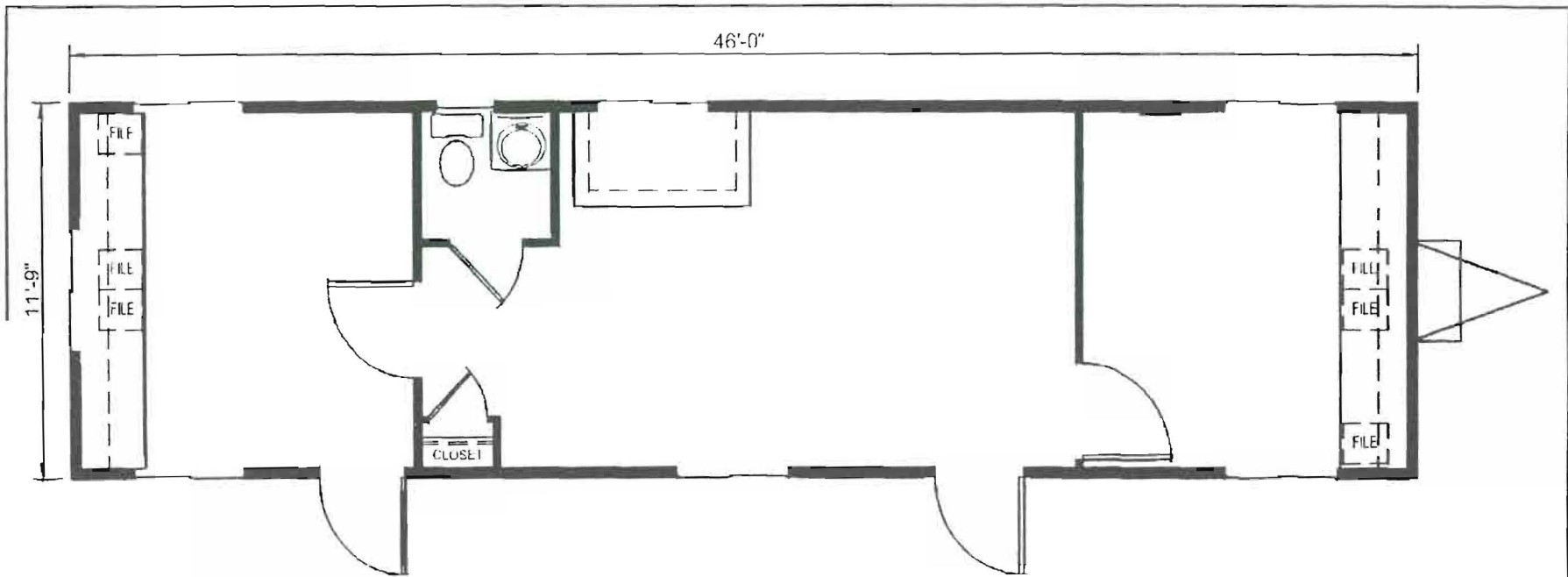
18'

Lot Size
18,400 SF +/-

Granite Curb Typical

184'

90'



Specifications

Size(s)

- 50' Long (including hitch)
- 46' Box size
- 10' or 12' Wide
- 8' Ceiling height

Interior Finish

- Paneled walls
- Vinyl tile floors
- Gypsum ceiling
- Private office(s)
- Wide open shells available

Furniture

- Two built-in desks with file cabinets
- One built-in plan table
- Overhead shelf

Electric

- Fluorescent ceiling lights
- Breaker panel

Windows/Doors

- Horizontal slider windows
- Two vision panel doors with standard locks

Heating and Cooling

- Central HVAC or thru-wall AC

Exterior Finish/Frame

- Aluminum siding
- I-Beam frame
- Standard Drip rail gutters

Additional floor plans available. Floor plans and specifications may vary from those shown, and are subject to in-stock availability.



Mobile Offices • Storage Products
And More

Mobile Office 50x12

WILLIAMS SCOTSMAN, INC.

325 Rodman Road

Auburn, ME 04210

Phone: 207-783-3200

Fax: 207-783-6183

Toll free: 800-782-1500

Know all Men by these Presents.

That I, FREDERICK J. FOLEY, JR. of Cape Elizabeth, in the County of Cumberland and State of Maine

in consideration of One Dollar (\$1.00) and other valuable considerations

paid by THE OSTEOPATHIC HOSPITAL OF MAINE, INC., a Maine corporation with a principal place of business in Portland, County of Cumberland and State of Maine

and whose mailing address is 335 Brighton Avenue, Portland, Maine 04102

the receipt whereof I do hereby acknowledge, do hereby release, release, bargain, sell and convey and forever quit-claim unto the said THE OSTEOPATHIC HOSPITAL OF MAINE, INC., its successors

~~and~~ and assigns forever,

a certain lot or parcel of land, together with the buildings thereon, situated on the westerly side of St. John Street, in the City of Portland, County of Cumberland and State of Maine, and bounded and described as follows:

Beginning at the southeasterly corner of the premises herein described, at a point now marked by an iron pin in the westerly line of said St. John Street at land now or formerly of St. John Apartments, Inc.; thence the line runs northerly by said St. John Street, one hundred eighty-three and ninety-nine hundredths (183.99) feet to a point now marked by an iron pin at land now or formerly of Socony-Vacuum Oil Company, Incorporated; thence westerly, forming an interior angle of 89° 58' with the line last mentioned, by said land now or formerly of Socony-Vacuum Oil Company, Incorporated, ninety-four and thirty-nine hundredths (94.39) feet to a point now marked by an iron pin at land of Portland Terminal Company; thence southerly, by said land of Portland Terminal Company one hundred (100) feet to a point now marked by an iron pin; thence southerly, still by land of said Portland Terminal Company eighty-three and ninety-nine hundredths (83.99) feet to a point now marked by an iron pin at said land of St. John Apartments, Inc.; thence easterly by said land of St. John Apartments, Inc., one hundred and ninety-nine hundredths (100.99) feet to the point of beginning and forming an interior angle of 90° with the line first above mentioned.

Containing 19,260 square feet, more or less.

The said premises are shown as Lot B on a survey entitled "Plan of Land in Portland, Me. Surveyed for Socony-Vacuum Oil Company, Inc. Scale - 1 inch = 20 feet March 1951 H.I. & E.C. Jordan Civil Engineers New Plan and Survey of Division Line June 1952", the original of which is recorded in the Cumberland County Registry of Deeds in Plan Book 38, Page 41.

Meaning and intending to convey and hereby conveying the premises conveyed to this Grantor by Davis-Greene Co., by deed dated January 10, 1972, recorded in said Registry of Deeds in Book 3208, Page 333.

To have and to hold, the same, together with all the privi-
leges and appurtenances thereunto belonging, to the said

THE OSTEOPATHIC HOSPITAL OF MAINE, INC., its successors

~~and assigns~~ and assigns forever.


And I do covenant with the said grantee, its successors ~~and assigns~~
and assigns, that I will warrant and forever defend the premises
to the said grantee, its successors ~~and assigns~~ and assigns forever,
against the lawful claims and demands of all persons claiming by,
through, or under me.

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and Margaret T. Foley,
wife of the said

Frederick J. Foley, Jr.,
joining in this deed as Grantor and relinquishing and conveying
all rights by descent and all other rights in the above described
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Signed, Sealed and Delivered
in presence of

Signed, Sealed and Delivered
Signed, Sealed and Delivered

Signed, Sealed and Delivered
Margaret T. Foley 

State of Maine,
Cumberland

} ss.

26 August 19 82.

Personally appeared the above named Frederick J.

Foley, Jr. and acknowledged the above instru-
ment to be his free act and deed.

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Justice of the Peace
Notary Public
Attorney at Law

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W I N T O N S C O T T A R C H I T E C T S

Winton F. Scott, Jr. *Principal*
Mark M. Wilcox *Principal*
Stephen W. Weatherhead *Associate*
Cordelia T. Pitman *Associate*

June 2, 1999

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Department of Planning and Urban Development
City of Portland
389 Congress Street
Portland, Maine 04101

Re: Practice Partners
 576 Saint John Street

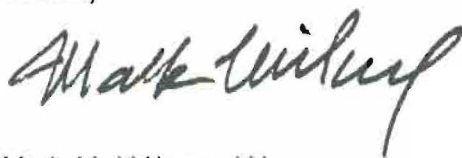
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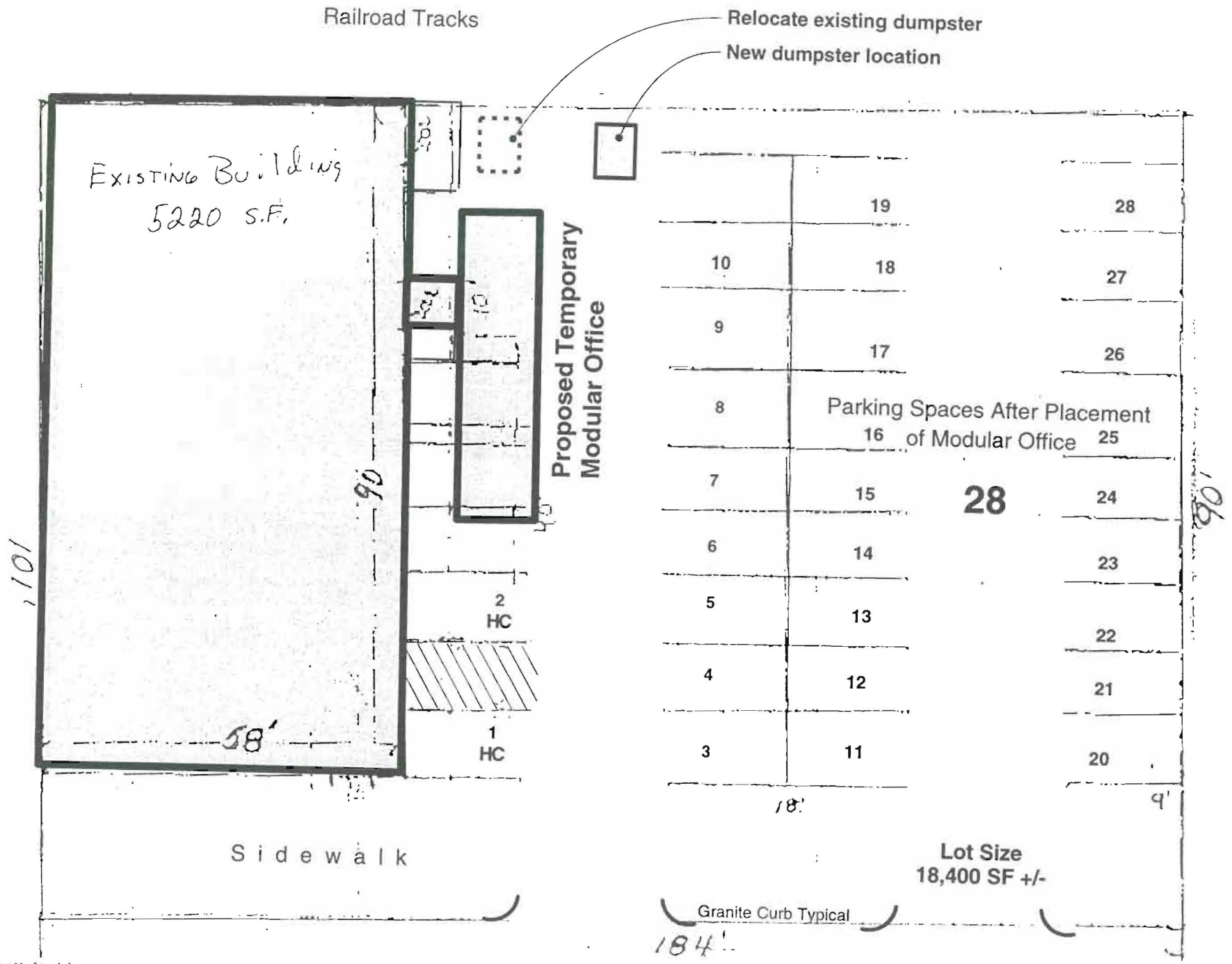


Mark M. Wilcox, AIA

cc/ Joe Gray, Planning
 Marge Schmuckal, Planning
 Bob Cloutier, Maine Medical Center



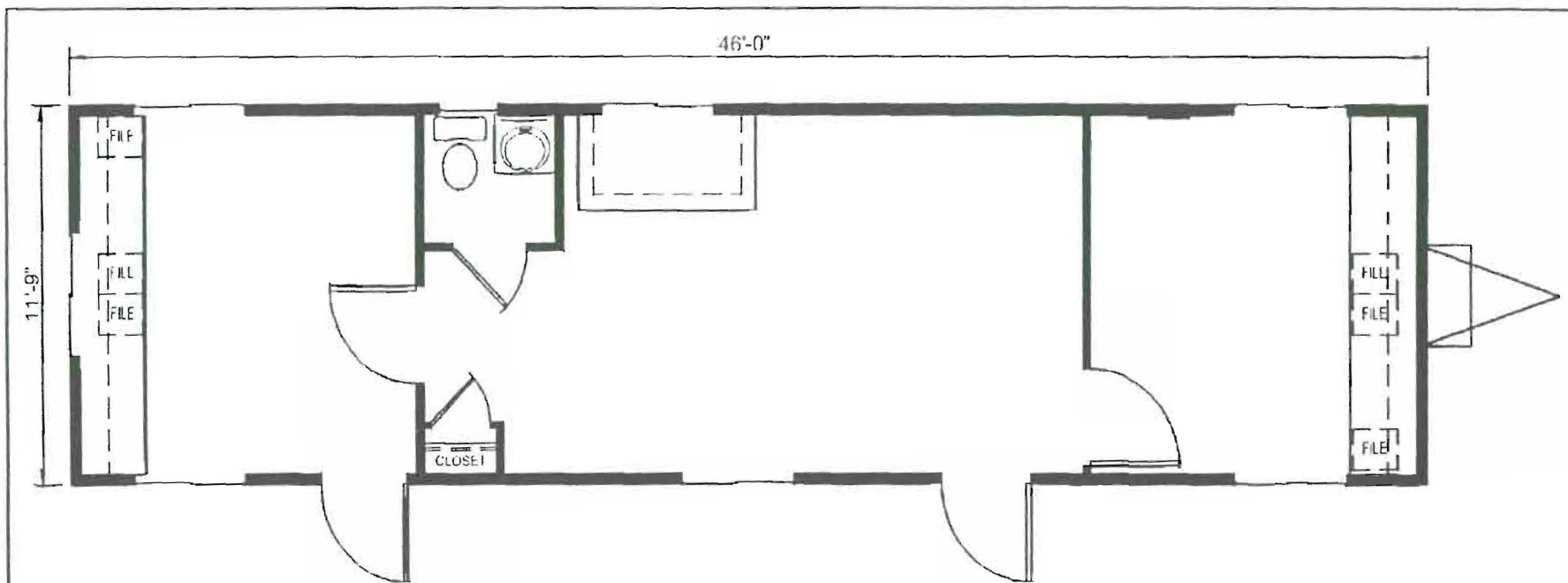
Existing Building



Winton Scott Architects
5 Milk Street
Portland, Maine 04101

Maine Health Family / Practice Partners
576 St. John Street

Site Plan
1" = 20' +/-
June 1, 1999



Specifications

Size(s)

- 50' Long (including hitch)
- 46' Box size
- 10' or 12' Wide
- 8' Ceiling height

Interior Finish

- Paneled walls
- Vinyl tile floors
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- Wide open shells available

Furniture

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Electric

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Mobile Office 50x12

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and whose mailing address is 335 Brighton Avenue, Portland, Maine 04102

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Meaning and intending to convey and hereby conveying the premises conveyed to this Grantor by Davis-Greene Co., by deed dated January 10, 1972, recorded in said Registry of Deeds in Book 3208, Page 393.

To have and to hold, the same, together with all the privi-
leges and appurtenances thereunto belonging, to the said

THE OSTEOPATHIC HOSPITAL OF MAINE, INC., its successors

~~xxxx~~ and assigns forever.


And I do covenant with the said grantees, its successors ~~xxxx~~
and assigns, that I will warrant and forever defend the premises
to the said grantees, its successors ~~xxxx~~ and assigns forever,
against the lawful claims and demands of all persons claiming by,
through, or under me.

In Witness Whereof, I, the said Frederick J. Foley, Jr.,
and Margaret T. Foley,
wife of the said

Frederick J. Foley, Jr.,
joining in this deed as Grantor ~~s~~ and relinquishing and conveying
all rights by descent and all other rights in the above described
premises, have hereunto set our hands and seal ~~s~~ this 26th
day of August in the year of our Lord one thousand nine
hundred and eighty-two.

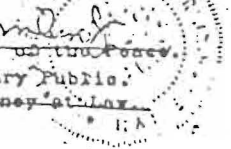
Signed, Sealed and Delivered
in presence of

Donald A. Fossler, Jr.
Donald A. Fossler, Jr.

Frederick J. Foley, Jr.
Margaret T. Foley 

State of Maine, } ss. 26 August 19 82.
Cumberland }
Personally appeared the above named Frederick J.

Foley, Jr. and acknowledged the above instru-
ment to be his free act and deed.

AUG 27 1932 Before me, *Donald A. Fossler, Jr.*
Justice of the Peace.
Notary Public.
Attorney at Law


REGISTRY OF DEEDS CUMBERLAND COUNTY, MAINE
Received at 9 42 AM, and recorded in
BOOK 5019 PAGE 50 *Edward J. Ginstain* Register

BUILDING PERMIT REPORT

DATE: 24 June 99 ADDRESS: 576 St. John St. CBL: 080-B-093
REASON FOR PERMIT: Temp modular office
BUILDING OWNER: MMC Realty Corp.
PERMIT APPLICANT: Winton Scott Arch
USE GROUP B (4) BOCA 1996 CONSTRUCTION TYPE 513

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *11, *13, *27, *34


- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' o.c. between bolts. (Section 2305.17)
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete from freezing. Section 1903.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1996)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2, M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 3e4" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0) - Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1018.6)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.) (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1)hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)
- 19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be

installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required) Section 920.3.2.

- 20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
- 21. The Fire Alarm System shall maintained to NFPA #72 Standard.
- 22. The Sprinkler System shall maintained to NFPA #13 Standard.
- 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1996)
- 24. Section 25-155 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
- 26. Ventilation shall meet the requirements of Chapter 12 Sections 1210.0 of the City's Building Code. (Crawl spaces & attics).
- X 27. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- 28. All requirements must be met before a final Certificate of Occupancy is issued.
- 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (the BOCA National Building Code/1996).
- 30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993). (Chapter M-16)
- 31. Please read and implement the attached Land Use Zoning report requirements.
- 32. Boring, cutting and notching shall be done in accordance with Sections 2305.4.4, 2305.5.1 and 2305.5.3 of the City's Building Code.
- 33. Glass and glazing shall meet the requirements of Chapter 24 of the building code.
- X 34. mobile units shall be installed as per section 420.0 of the bldg. code.
- 35. _____
- 36. _____


 P. Samuel Hoffses, Building Inspector
 cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

**On the basis of plans submitted and conditions placed on these plans any deviations shall require a separate approval.