

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 100291

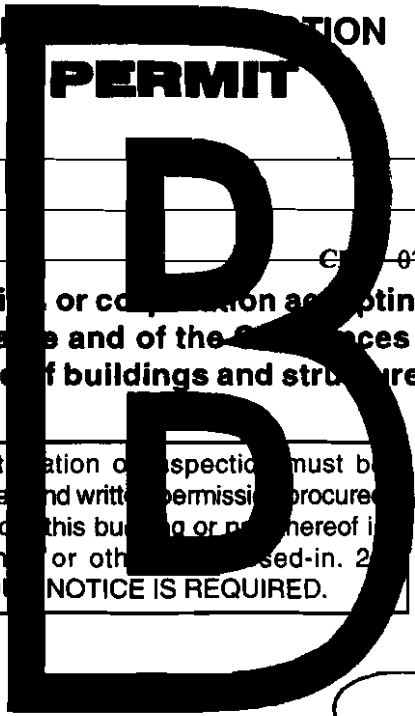
Please Read Application And Notes, If Any, Attached

This is to certify that Moore Darren L/self

has permission to Convert mudroom to 1/2 bath

AT 225 Falmouth St City ID 079-D005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

PERMIT ISSUED

Notification of inspection must be given and written permission procured before this building or part thereof is inhabited or otherwise used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
APR 14 2010

Fire Dept. _____

Health Dept. _____

Appeal Board City of Portland

Other _____
Department Name

[Signature]
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED

OK to scan & close out 9/14/10
[Signature]



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

5. 12 2010

Received from Darren Moore

Location of Work 225 Falmouth

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 45

Building (IL) _____ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CDL: 75-D-5

Check #: _____ Total Collected \$ 45

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: S. J. D.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

PLUMBING APPLICATION

Department of Health and Human Services
Division of Environmental Health

PROPERTY ADDRESS

Town or Plantation	Portland
Street Subdivision Lot #	225 Falmouth St

PROPERTY OWNERS NAME

Last: **MOORE** First: **DARREN**

Applicant Name:

Mailing Address of Owner/Applicant (If Different)

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

[Signature]

10th May 2010

Signature of Owner/Applicant

Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules

Local Plumbing Inspector Signature

Date Approved

2010-8120

PORTLAND
Date Permit Issued: 5/12/10

PERMIT # 11274 TOWN COPY
\$ 1127 Double Fee Charged
L.P.I. # 363

79 D5

PERMIT INFORMATION

This Application is for

- NEW PLUMBING
- RELOCATED PLUMBING

Type of Structure To Be Served:

- SINGLE FAMILY DWELLING
- MODULAR OR MOBILE HOME
- MULTIPLE FAMILY DWELLING
- OTHER - SPECIFY _____

Plumbing To Be Installed By:

- MASTER PLUMBER
- OIL BURNERMAN
- MFG'D. HOUSING DEALER/MECHANIC
- PUBLIC UTILITY EMPLOYEE
- PROPERTY OWNER

LICENSE # _____

Hook-Up & Piping Relocation Maximum of 1 Hook-Up

HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.

OR

HOOK-UP: to an existing subsurface wastewater disposal system.

PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.

OR

TRANSFER FEE
[\$6.00]

Column 2 Type of Fixture	Number	Column 1 Type of Fixture	Number
Hosebib / Sillcock		Bathtub (and Shower)	
Floor Drain		Shower (Separate)	
Urinal		Sink	1
Drinking Fountain		Wash Basin	
Indirect Waste		Water Closet (Toilet)	1
Water Treatment Softener, Filter, etc.		Clothes Washer	
Grease / Oil Separator		Dish Washer	
Roof Drain		Garbage Disposal	
Bidet		Laundry Tub	
Other:		Water Heater	
Fixtures (Subtotal) Column 2		Fixtures (Subtotal) Column 1	2
		Fixtures (Subtotal) Column 2	
		Total Fixtures	2
		Fixture Fee	
		Transfer Fee	
		Hook-Up & Relocation Fee	
		Permit Fee (Total)	

SEE PERMIT FEE SCHEDULE
FOR CALCULATING FEE

RECEIVED
MAY 12 2010
Dept. of Building Inspections
City of Portland, Maine

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0291	Issue Date:	CBL: 079 D005001
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Location of Construction: 225 Falmouth St	Owner Name: Moore Darren L	Owner Address: 225 Falmouth St	Phone: 207-699-6589
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R5

Part Use: Single Family	Proposed Use: Single Family / Convert mudroom to 1/2 bath.	Permit Fee: \$40.00	Cost of Work: \$1,758.00	CEO District: 3
Proposed Project Description: Convert mudroom to 1/2 bath.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>5B</i> <i>IRC 2003</i>	
		Signature:	Signature: <i>[Signature]</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 03/24/2010	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland <i>all work with existing</i></p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision <i>last part</i></p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>Skulcardhar</i></p> <p>Date: <i>3/26/10</i> <i>ABU</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABU</i></p>
	<p>PERMIT ISSUED</p> <p>APR 14 2010</p> <p>City of Portland</p>		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

S-1710

Need planter

~~NO~~ Percent fittings a load

Need Joint hangers

OK to clear at

N/A

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0291	Date Applied For: 03/24/2010	CBL: 079 D005001
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Location of Construction: 225 Falmouth St	Owner Name: Moore Darren L	Owner Address: 225 Falmouth St	Phone: 207-699-6589
Business Name:	Contractor Name: self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family / Convert mudroom to 1/2 bath.	Proposed Project Description: Convert mudroom to 1/2 bath.
---------------------------------------------------------------	---------------------------------------------------------------

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/26/2010

Note: **Ok to Issue:** ✓

- 1) This permit is being issued with the condition that all the work will take place within the existing footprint.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Residential Plan Review **Approval Date:**

Note: **Ok to Issue:** ✓

- 1) 5/8" type X drywall must completely separate the new bathroom from the garage from the slab to the roof rafters.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) There must be a minimum 2"x4" header over the new window.

PERMIT ISSUED

APR 14 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

APR 14 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>225 Falmouth St, Portland</u>		
Total Square Footage of Proposed Structure/Area <u>60</u>	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>079</u> Block# <u>D</u> Lot# <u>005</u>	Applicant *must be owner, Lessee or Buyer* Name <u>Darren Moore</u> Address <u>225 Falmouth St</u> City, State & Zip <u>Portland, ME, 04102</u>	Telephone: <u>207 699 6589</u>
Lessee/DBA (If Applicable) RECEIVED MAR 24 2010 Dept. of Building Inspections City of Portland Maine	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>1758.00</u> C of O Fee: \$ _____ Total Fee: \$ <u>1758</u>
Current legal use (i.e. single family) <u>single family</u> Number of Residential Units <u>1</u>	If vacant, what was the previous use? _____	
Proposed Specific use: _____	Is property part of a subdivision? _____ If yes, please name _____	
Project description: <u>Convert mudroom to 1/2 Bath.</u>		
Contractor's name: _____		
Address: _____		
City, State & Zip _____		Telephone: _____
Who should we contact when the permit is ready: <u>Darren Moore</u> XXmail		Telephone: <u>207 699 6589</u>
Mailing address: <u>225 Falmouth St, Portland, 04102</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: Mar 19th 2010

This is not a permit; you may not commence ANY work until the permit is issued

Item	Quantity	\$ per piece	\$ per lot
1' 9.625 " x 3' .875" window	1	150	150
2x8x12	2	16	32
2x8x8	2	12	24
2x4	30	2	60
2x4x10	3	4	12
2x4 x12	2	8	16
2x4x14	3	12	36
4x4x6	1	12	12
4x6x6	1	12	12
3/4 flooring	2	8	16
Drywall 3/4	14	20	280
Drywall 1/2	4	20	80
shose	6	3	18
Fasteners			10
<i>Other/Labor</i>			<u>1000</u>
	total		1758



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

March 24²⁰¹⁰

Received from James Moore

Location of Work 225 Faberhill St

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 40.00

Building (IL) Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

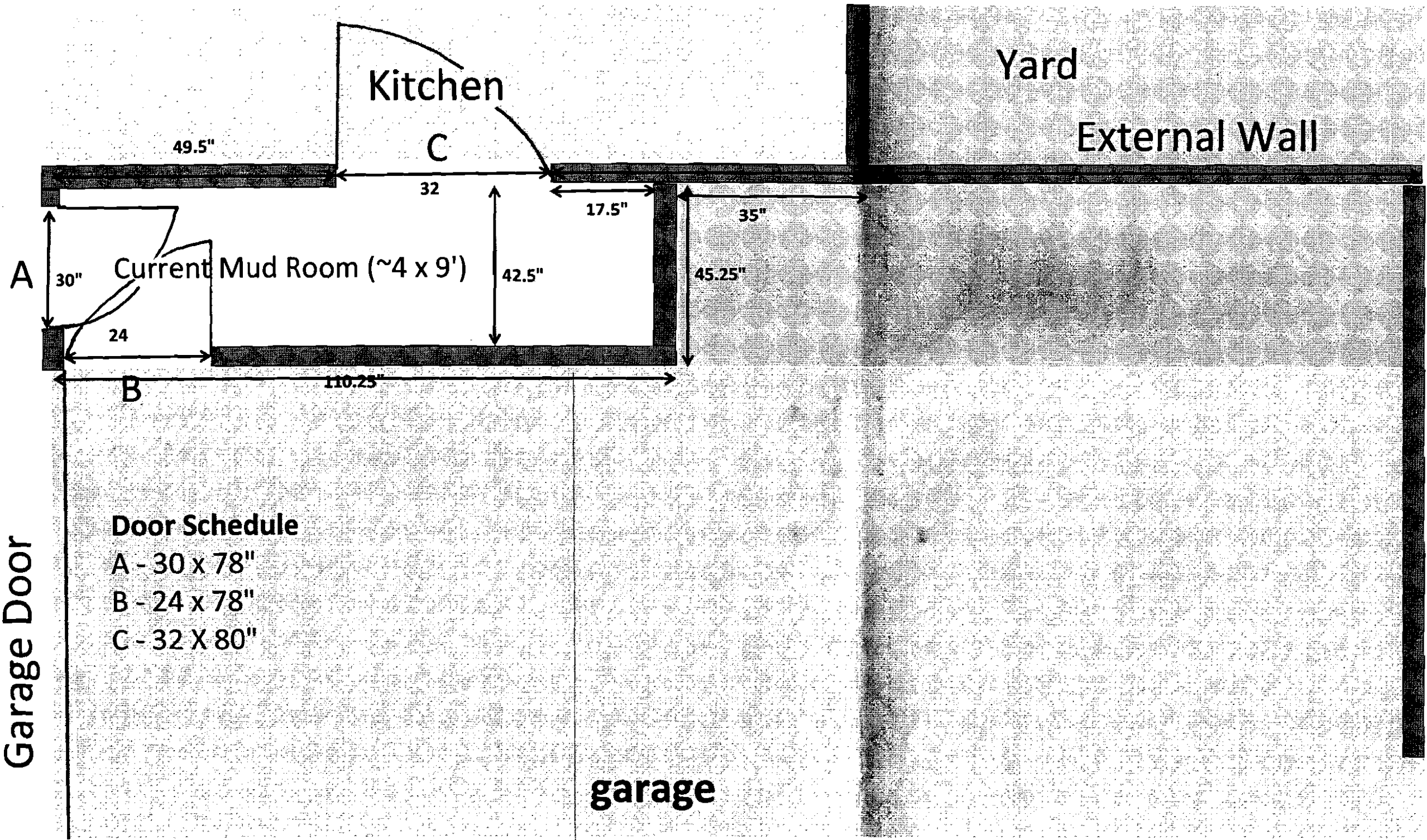
CBL: 079 005

Check #: 1574 Total Collected \$ 40.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: Jayb

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

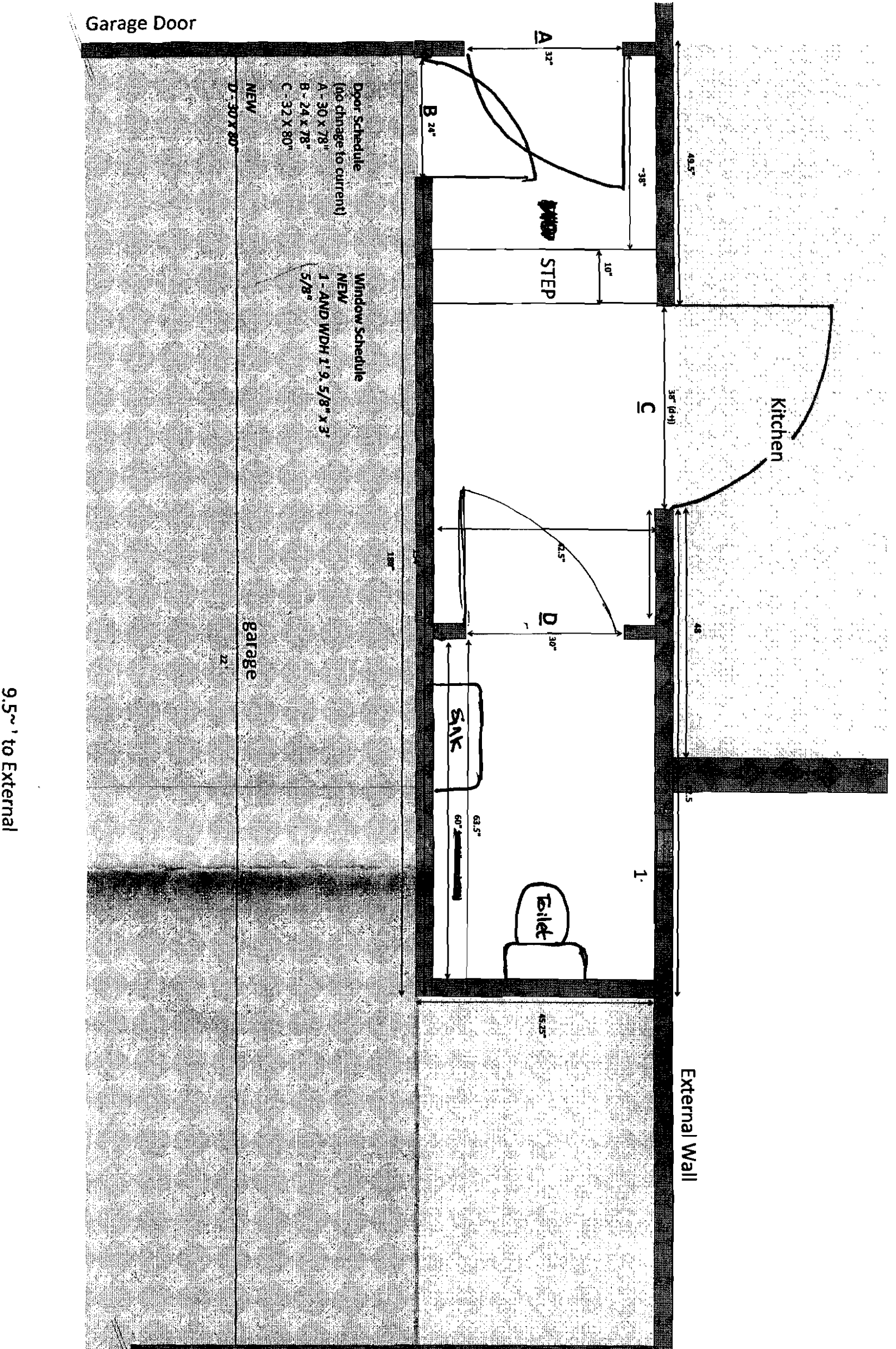


9.5~' to External

Garage Door

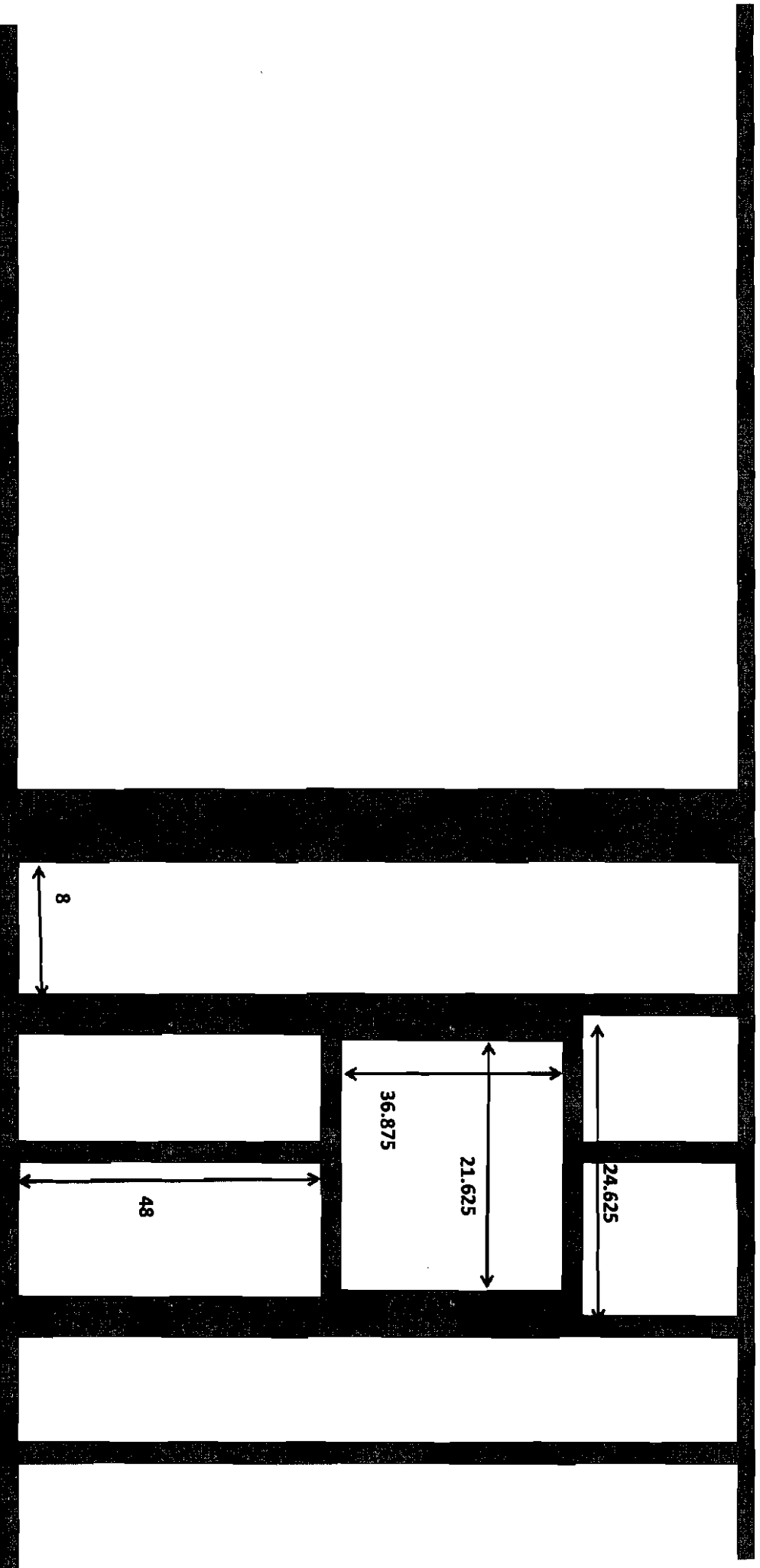
External Wall

TOP PROFILE



9.5' to External

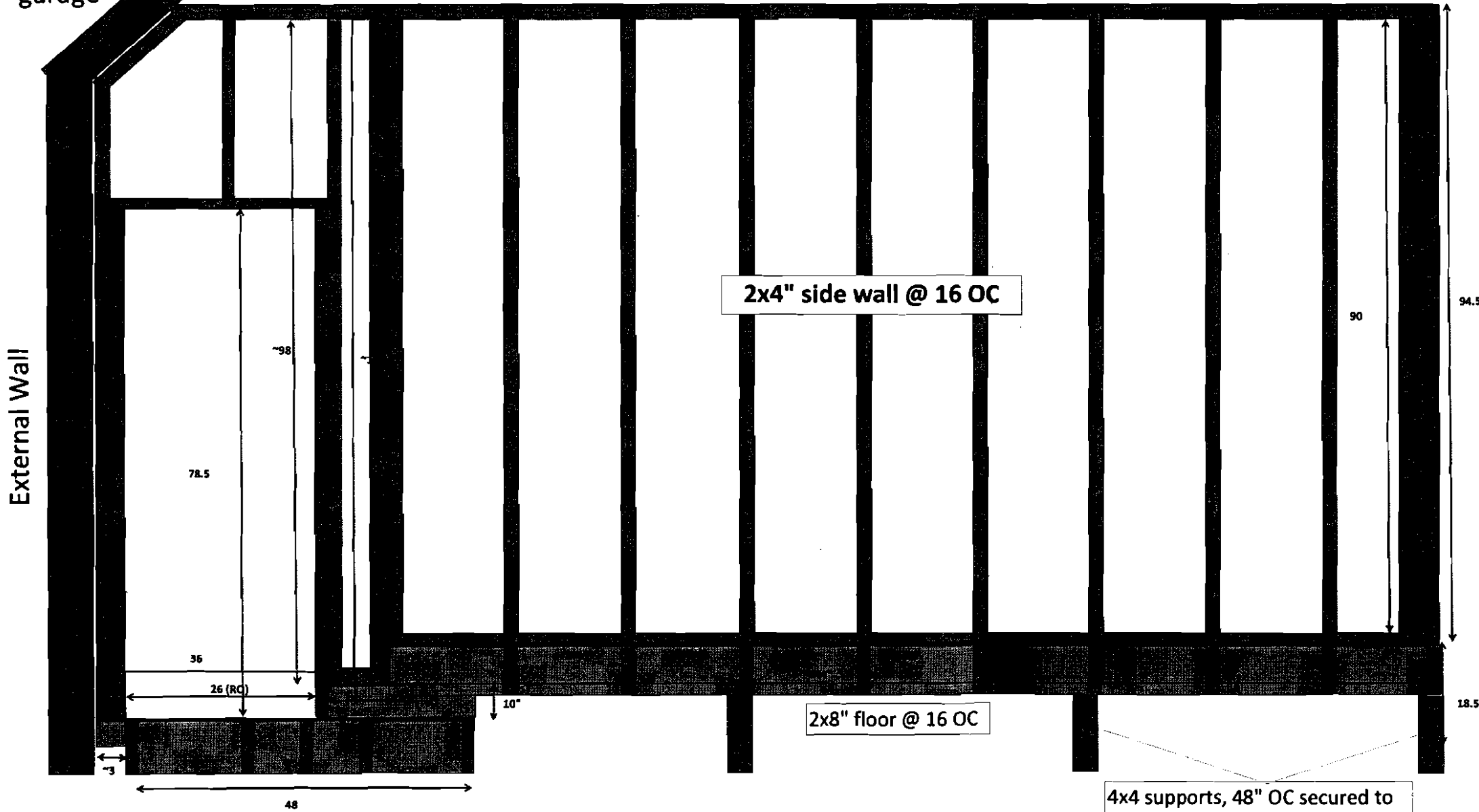
WALL ELEVATION (new window)



SIDE ELEVATION

secured to
rafter of
garage

non connected roof - Garage roog ~8' higher. Ceiling of
structure will be 2x4 16OC



2x4" side wall @ 16 OC

2x8" floor @ 16 OC

4x4 supports, 48" OC secured to
floor with metal shoes and 3"
concrete screws

External Wall

78.5

~98

36

26 (RC)

10"

48

90

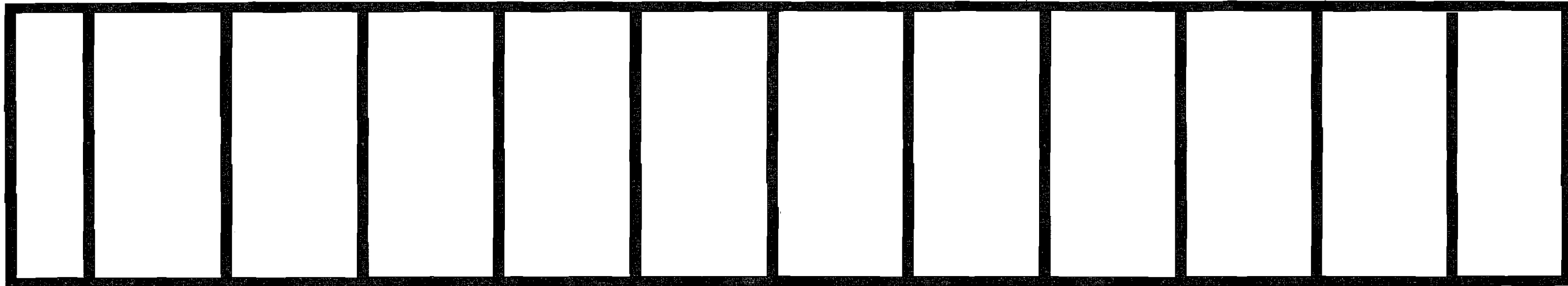
94.5

18.5

Top View

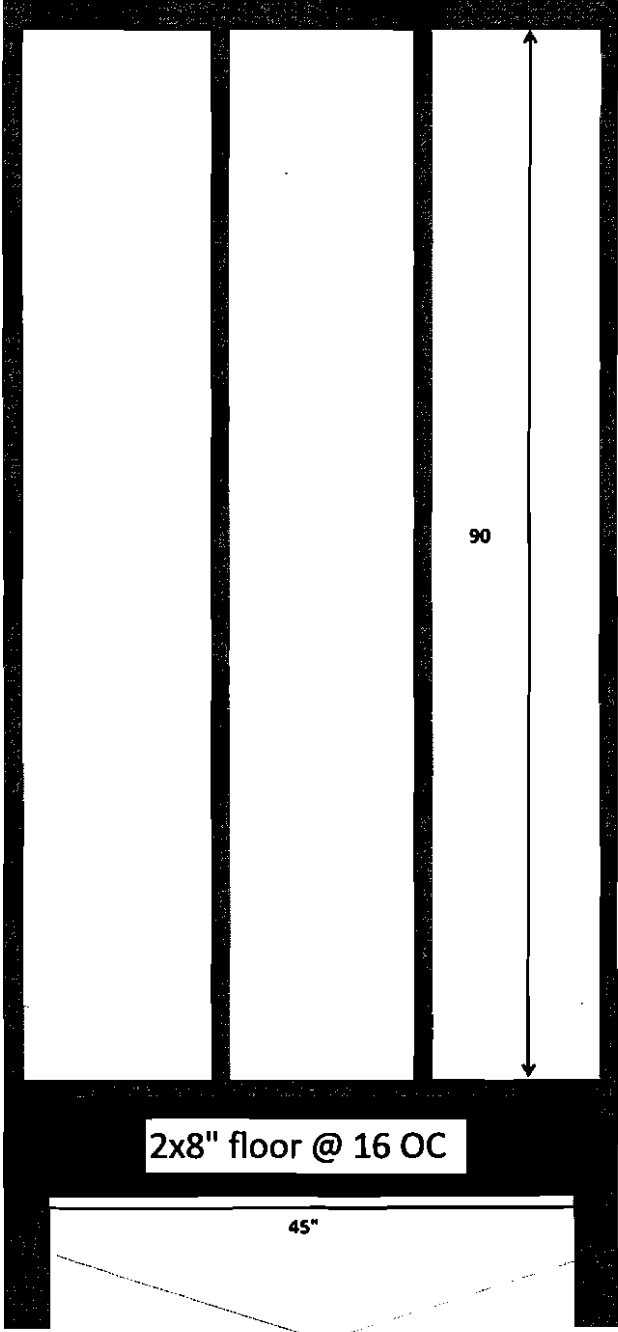
non connected roof - Garage roog ~8' higher. Ceiling of structure will be 2x4 16OC

Secured to existing wall



REAR ELEVATION

2x4" back wall @ 16 OC



Secured to existing wall

90

2x8" floor @ 16 OC

45"

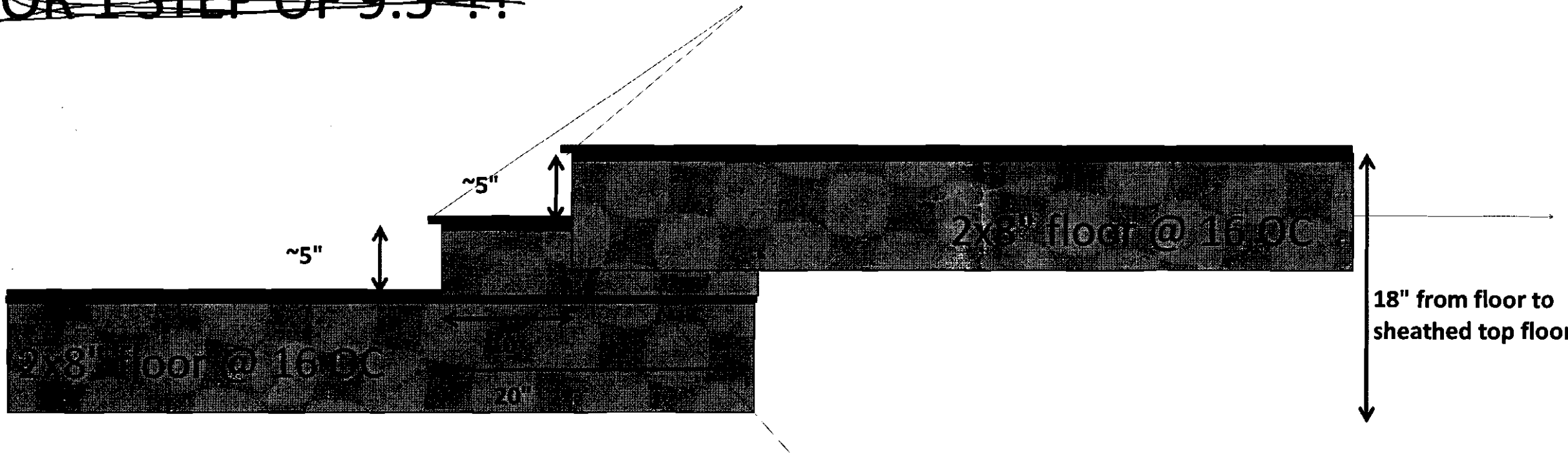
4x4 supports, secured to floor with metal shoes and 3" concrete screws

Step Detail;

~5" riser, 10" depth

~~OR 1 STEP OF 9.5"??~~

1" noising



2x5" step - notched to support and accomadate 2x8 floor