

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0499	Issue Date: MAY 14 2010	CBL: 078 B002001
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Location of Construction: 67 Douglass St	Owner Name: Mitschele Peter	Owner Address: 240 Woodville Rd <i>City of Portland</i>	Phone: 207-329-1051
Business Name:	Contractor Name: Ed Carignan	Contractor Address: 10 Cummings Road Gorham	Phone: 2078999373
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Building	Zone: R-5

Past Use: Two Family	Proposed Use: Demolition / Demolition of two family structure.	Permit Fee: <i>Fee waived</i>	Cost of Work: \$0.00	CEO District: 3	5,000 ⁺
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<p><i>currently legal 2 family</i></p> <p>Proposed Project Description: Demolition of two family structure.</p>	<p>FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i></p> <p>INSPECTION: Use Group: R-3 Type: SB Dem only</p> <p>Signature: _____</p>
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<p>PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)</p> <p>Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied</p> <p>Signature: _____ Date: _____</p>	<p><i>[Signature]</i></p>
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Permit Taken By: gg	Date Applied For: 05/11/2010	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	<p style="text-align: center;">Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Major <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>ok with conditions</i></p> <p>Date: <i>5/11/10</i></p>	<p style="text-align: center;">Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p style="text-align: center;">Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION PERMIT

Permit Number: 100499
PERMIT ISSUED

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Mitschele Peter /Ed Carignan
has permission to Demolition of two family structure
AT .67 Douglass St CBL 078 B002001

MAY 14 2010

City of Portland

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____

MAY 14 2010

Department Name

City of Portland

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit

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Permit No: 10-0499	Date Applied For: 05/11/2010	CBL: 078 B002001
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Location of Construction: 67 Douglass St	Owner Name: Mitschele Peter	Owner Address: 240 Woodville Rd	Phone: 207-329-1051
Business Name:	Contractor Name: Ed Carignan	Contractor Address: 10 Cummings Road Gorham	Phone: (207) 899-9373
Lessee/Buyer's Name	Phone:	Permit Type: Demolitions - Building	

Proposed Use: Demolition / Demolition of two family structure	Proposed Project Description: Demolition of two family structure
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 05/11/2010

Note: Ok to Issue:

- 1) If the one year period passes without the rebuilding of the structure as provided for above, all legal nonconforming rights shall be extinguished. Any rebuilding shall meet the current Zoning requirements of the underlying zone (currently R-5)
- 2) Your present structure is legally nonconforming as to setbacks and use. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 05/14/2010

Note: Ok to Issue:

- 1) All debris must be removed from the site within 7 days of demolition.
- 2) This permit is approved with the understanding and agreement with the Public Services Department of the City of Portland. Please see letter dated 05/14/2010 from the Director of Public Services.
- 3) This permit authorizes demotion of the structure only. No other construction activities are allowed until a separate approved building permit is issued. The foundation hole shall be filled in and the site shall be graded.

Comments:

5/11/2010-gg; permit waived per Penny Littell and Tammy Munson /gg

PERMIT ISSUED**MAY 14 2010****City of Portland**



Demolition of a Structure Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>67 Douglass Street</u>		
Total Square Footage of Proposed Structure <u>2621</u>	<u>078 2002</u>	Square Footage of Lot: <u>5000</u>
Tax Assessor's Chart, Block & Lot: Chart# <u>78</u> Block# <u>32</u> Lot# <u>6567</u>	Owner: <u>Peter Mitschke</u>	Telephone: <u>207-329-1051</u>
Lessee/Buyer's Name (if Applicable): <u>MAY 11 2010</u>	Applicant name, address & telephone: <u>Peter Mitschke</u> <u>240 Woodville Rd</u> <u>Falmouth, ME 04105</u>	Cost Of Work: \$ _____ Fee: \$ _____
RECEIVED Dept. of Building Inspections City of Portland Maine		
Current legal use: (i.e. garage, warehouse) <u>Two family residential / Vacant</u> If vacant, what was the previous use? <u>Two-family</u> How long has it been vacant? <u>6 years</u>		
Project description: <u>Demolish 2 family structure</u>		
Contractor's name, address & telephone: <u>Ed Carignan</u> <u>10 Cummings</u> <u>Road, Gorham, ME</u> <u>207-899-9373</u>		
Who should we contact when the permit is ready: <u>Peter Mitschke</u>		
Mailing address: <u>240 Woodville Road</u> Telephone: <u>207-329-1051</u> <u>Falmouth, ME 04105</u>		

Please submit all of the information outlined in the Demolition call list. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Peter Mitschke</u>	Date: <u>05/11/10</u>
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This is not a permit; you may not commence ANY work until the permit is issued.







Demolition Call List & Requirements

Site Address: 67 Douglass St

Owner: Peter Mitschke

Structure Type: 2 story wood frame

Contractor: Ed Carignan

Utility Approvals	Number	Contact Name/Date
Central Maine Power	1-800-750-4000	<u>Jennifer Feehan 4/13/10</u>
Northern Utilities	797-8002 ext 6241 <u>x2502</u>	<u>Mark Allen 4/13/10</u>
Portland Water District	761-8310	<u>Heather Fields 4/13/10</u>
Dig Safe	1-888-344-7233	<u>Dispatcher 5/7/10</u>

After calling Dig Safe, you must wait 72 business hours before digging can begin.

DPW/ Traffic Division (L. Cote)	874-8891	<u>Luay Cote 4/14/10</u>
DPW/ Sealed Drain Permit (C. Merritt)	874-8822 <u>8822</u>	
Historic Preservation	874-8726	<u>Deb Andrews 4/14/10</u>
Fire Dispatcher	874-8576	<u>Dispatcher Williams 4/13/10</u>
DEP - Environmental (Augusta)	287-2651	<u>Sandy Moody 4/14/10</u>

287-7751
3901

Additional Requirements

- 1) Written notice to adjoining owners
- 2) A photo of the structure(s) to be demolished
- 3) A plot plan or site plan of the property
- 4) Certification from an asbestos abatement company

All construction and demolition debris generated in Portland must be delivered to Riverside Recycling Facility at 910 Riverside Street. Source separated salvage materials placed in specifically designated containers are exempt from this provision. For more information contact Troy Moon @ 874-8467.

U.S. EPA Region 1 - No Phone call required. Just mail copy of State notification to:

Demo / Reno Clerk
US EPA Region I (SEA)
JFK Federal Building
Boston, MA 02203

I have contacted all of the necessary companies/departments as indicated above and attached all required documentation

Signed: Peter Mitschke

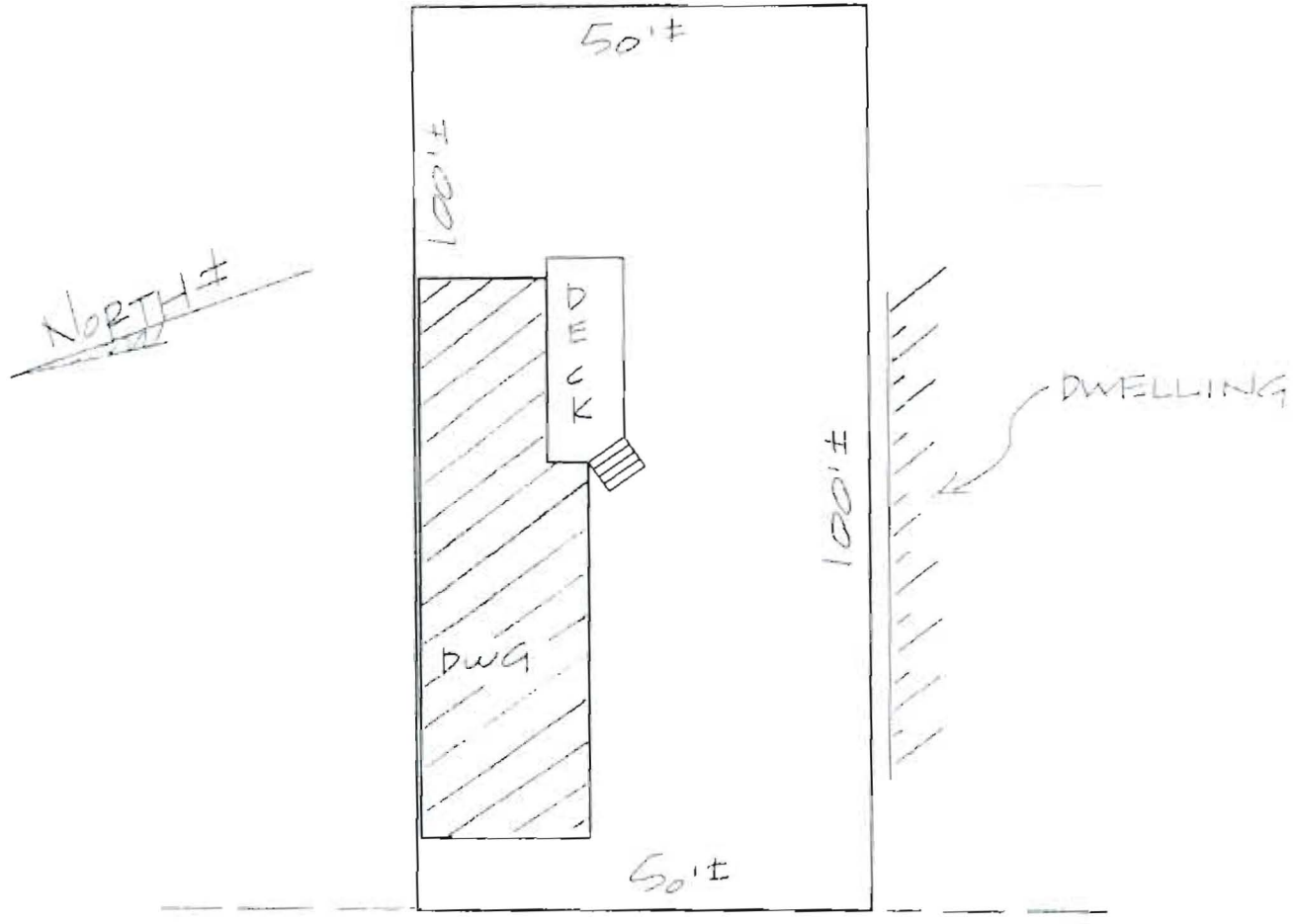
Date: 05/11/10

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW (2) THE PURPOSE OF THIS INSPECTION IS TO RENDER AN OPINION AS FOLLOWS: A) DWELLING AND ACCESSORY STRUCTURE'S COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACKS, AND B) FLOOD ZONE DETERMINATION BY HORIZONTAL SCALING ON BELOW REFERENCED FEMA MAP (3) THIS INSPECTION EXCEPTS OUT ALL TECHNICAL STANDARDS CURRENTLY SET FORTH BY STATE OF MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS (4) THIS INSPECTION IS TO BE USED ONLY BY THE BELOW LISTED LENDER, TITLE ATTORNEY & TITLE INSURER AND SHOULD NOT BE USED BY ANOTHER PARTY FOR BOUNDARY LINE LOCATIONS OR LAND TITLE OPINIONS. (5) A BOUNDARY SURVEY SHOULD BE PERFORMED TO RENDER A PROFESSIONAL OPINION PERTAINING TO BOUNDARY LINE LOCATIONS, EASEMENTS, RIGHTS OF WAY, ENCUMBRANCES, AND/OR ENCROACHMENTS.

ADDRESS 67 DOUGLASS ST INSPECTION DATE 3-12-09
PORTLAND, ME SCALE: 1" = 20'



DOUGLASS STREET To CONGRESS ST →

SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY

APPLICANT: MITSCHELE REQUESTING PARTY: LEETE & LEMIEUX
 OWNER: ESTATE OF PERRY ATTORNEY: JAMES LEMIEUX
 LENDER: _____ FILE No. 20415300

TITLE REFERENCES:
 DEED BOOK 13919 PAGE 2
 PLAN BOOK _____ PAGE _____ LOT: _____
 COUNTY WMB

YOUR FILE # _____

NADEAU & LODGE, INC.
 PROFESSIONAL LAND SURVEYORS
 918 BRIGHTON AVENUE 232 CLARKS WOODS ROAD
 PORTLAND, ME 04102 LYMAN, ME 04002
 (207) 878-7870 (207) 499-2358

MUNICIPAL REFERENCE:
 MAP 70 BLOCK B LOT 2

THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 220261 PANEL 00132 ZONE C DATE 12-8-70

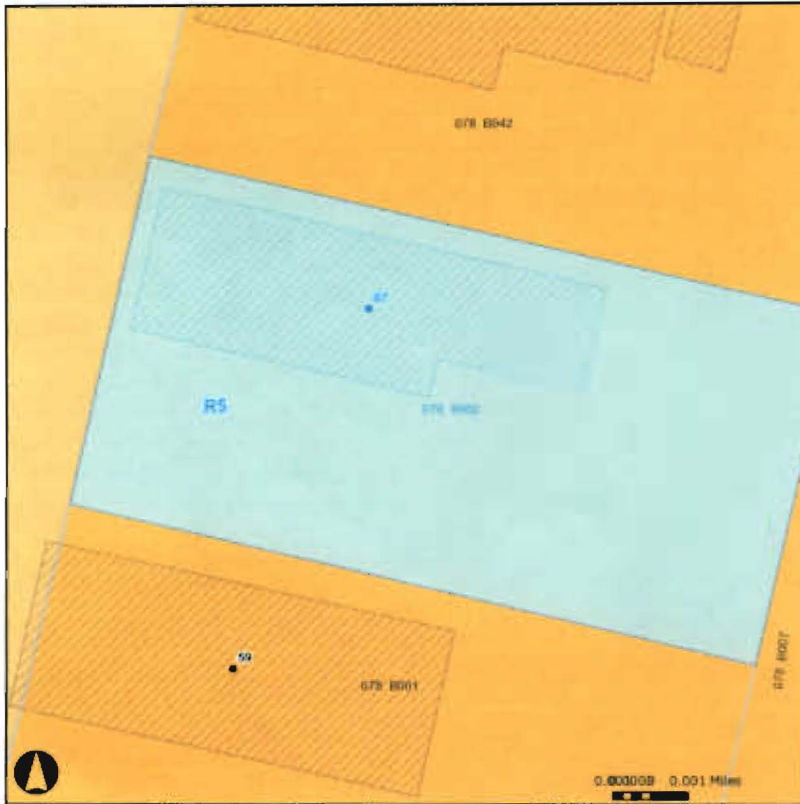
THE DWELLING WAS ~~NOT~~ IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION

COMMENTS:
RECOMMEND BOUNDARY SURVEY

INSP BY JDN

THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING

Map



Parcels	Stream Overlay Zone	Zoning (continued)	Zoning (continued)
Interstate	Stream protection	R2 Residential	C25
Streets	Island Zoning	R3 Residential	C26
Buildings	C43	R4 Residential	C27
Building	I 9	R5 Residential	C28
Out Building	I 15	R6 Residential	C29
Parcels	R1	ROS Recreation Open Space	C30
Traveled Ways	I-LJ	RP Residential Professional	C31
Stream	I-RJ	RP2 Resource Protection	none
Wetland	ROS	WC2* Waterfront	R7c
Swamp	RPZ	WP2* Waterfront	C32
Lake/Pond	Zoning	WSUZ Waterfront	C33
Under Road	A8 Airport Business	C1	C34
Waterbody	EW2	C2	C35
Jetport	C44	C3	C36
Coastal Bluff	C45	C4	B6
H - Highly Unstable	B7	C5	C37
U - Unstable	B3 Neighborhood Business	C6	C38
Overlay Zones	B3b Neighborhood Business	C7	C39
DEOZ	B2 Business Community	C8	C40
FR	B2H Business Community	C9	C41
Helistop Overlay	B3* Downtown Business	C10	C42
R 7	B3c Downtown Business	C11	County Streets
USK	B4 Commercial Business	C12	A13
Shoreland Overlay Zone	B5 Urban Commercial	C13	A23
	B5b Urban Commercial	C14	A31
	I1 Industrial High Impact	C15	ME Towns
	I2 Industrial - Low Impact	C16	Land
	I3 Industrial - Low Impact	C17	Water Body
		C18	Ocean
		C19	
		C20	
		C21	
		C22	