

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that DAVID P CHESSEY

Located At 50 DOUGLASS ST

Job ID: 2011-08-1952-ALTR

CBL: 078 - - A - 030 - 001 - - - -

has permission to Build an 8' x 10' 2nd story rear deck and stairs to grade, *with door at previous window jamb* provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

[Signature] 9/6/11
Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-08-1952-ALTR	Date Applied: 8/9/2011	CBL: 078 - - A - 030 - 001 - - - - -	
Location of Construction: 50 DOUGLASS ST	Owner Name: DAVID P CHESSEY	Owner Address: 55 EDWARDS ST PORTLAND, ME 04102	Phone:
Business Name:	Contractor Name: Paul Kennedy - Property Solutions, LLC	Contractor Address: 74 Best ST PORTLAND ME 04103	Phone: (207) 632-6098
Lessee/Buyer's Name:	Phone:	Permit Type: Building - addition	Zone: B-1
Past Use: Two family	Proposed Use: Same - two family - build 2 nd story, rear deck (8' x 10') and stairs to grade <i>+ door in previous windows</i> <i>DWB</i>	Cost of Work: 7000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: <i>R-3</i> Type: <i>SB</i> <i>IRC-2009</i> Signature: <i>DWB</i>
Proposed Project Description: Build 2nd level deck & stairs, install door		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
<p>1 This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition</i> <i>8/22/11 ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
 1. Setback/Footing Inspection prior to pouring concrete
 2. Framing Inspection
 3. Final Inspection at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-08-1952-ALTR

Located At: 50 DOUGLASS

CBL: 078 - - A - 030 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
3. This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

1. Application approval based upon information provided by applicant including revisions as dated. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm, HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

PROPERTY SOLUTIONS LLC
74 BEST STREET
PORTLAND, MAINE 04103
207 632.6098

August 9, 2011

Inspections Division
City of Portland, Maine
389 Congress Street Room 315
Portland, Maine 04101
207.874.8693

RE: Building Permit Application for Deck, Stairs and Door

Location: 50 Douglas Street, Portland

To Whom it may Concern:

The attached Building Permit Application is for the construction of an 8 foot wide by 10 foot deep second level deck and stairs on the second level rear of the existing 2-family building, and the installation of a door (replacing an existing window) to allow access to deck and stairs.

The detailed scope of work is as itemized below:

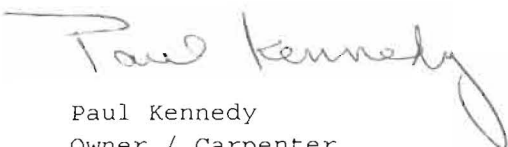
- Construction of an 8 foot wide x 10 foot deep deck attached to the rear of the house on the second level including a set of stairs leading to the ground and a basic baluster guardrail and handrail system. (Final design to be present for review)
- All deck, stair and rail materials are to be pressure treated lumber
- Installation of a 2.6x6.6 insulated 9-light glazed door in the current second level window opening
- All exterior siding and trim modifications required to seal door weather-tight

Please see the attached Design Plans and Site Plan.

Should you have any questions or concerns regarding this application, please do not hesitate to contact me at the above telephone number.

Thank you.

Sincerely,



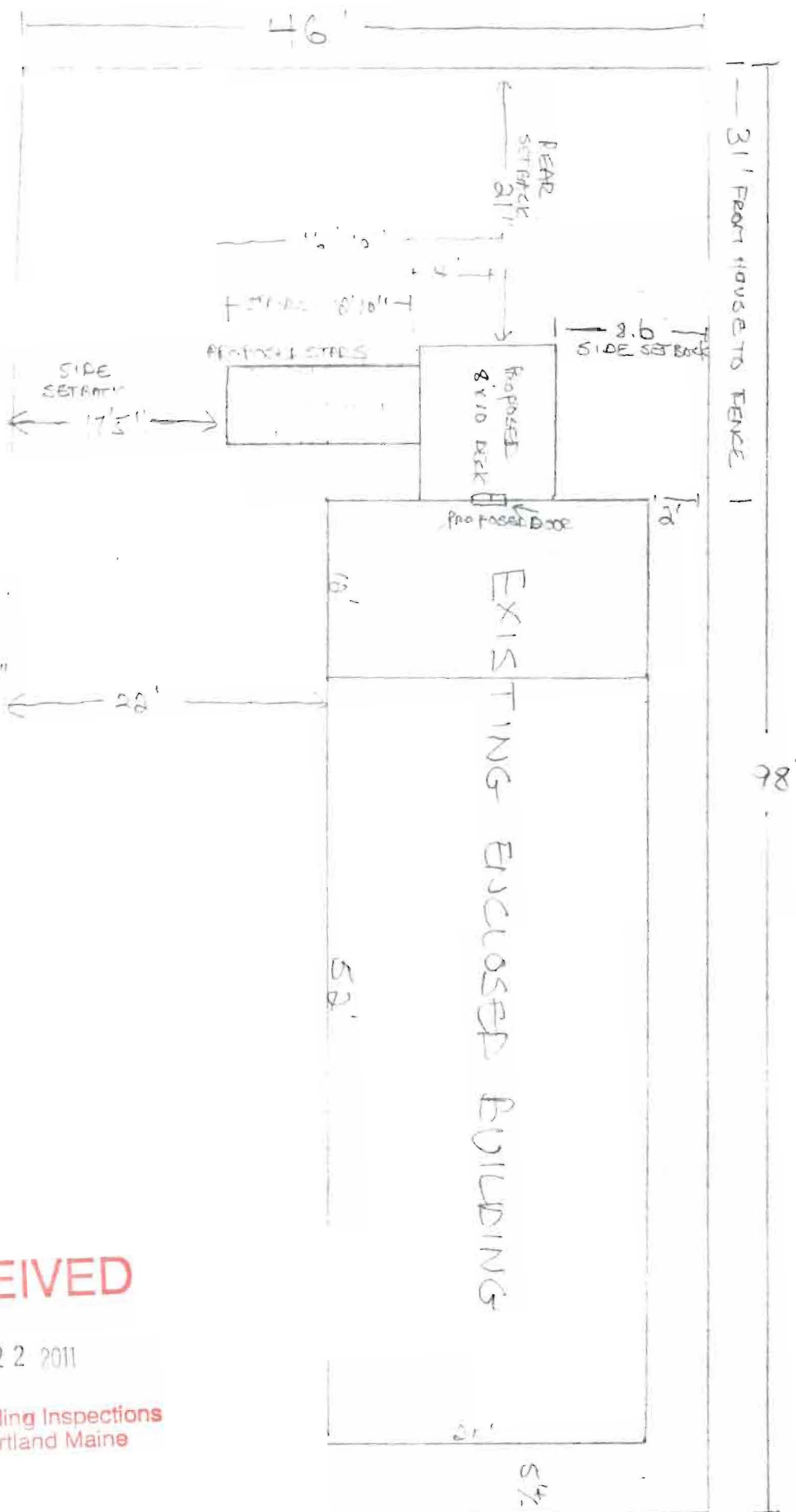
Paul Kennedy
Owner / Carpenter
Property Solutions LLC
207.632.6098

SITE PLAN

50 DOUGLAS ST
PORTLAND, ME

SCALE: 1/4" = 2.5'

NORTH = →



SETBACKS

FROM REAR (WEST) 21'

FROM RIGHT (NORTH) 8'10"

FROM LEFT (SOUTH) 17'5"

TOTAL SIDE SETBACK = 25'9"

RS

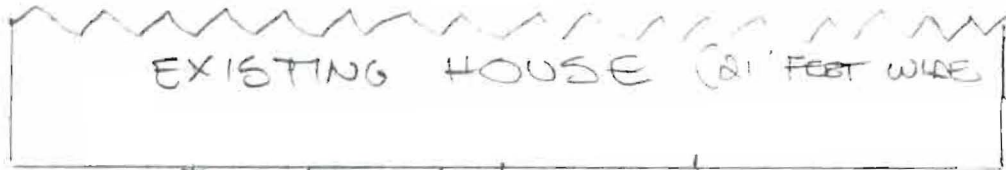
- lotsize = 4109.6
- front - N/A
- rear - 20' min - 21.5' min
- side - 2 story 12' min
 - 8' 5" on right
 - 17' 5" on left
- ok - can go down to 8' if immersion
- other - need 24' (ok)
- has 25'

lot coverage = 40% = 1643.6
 existing 1744
 deck 80 (8x10)
 this 51.33
 1475.33 (ok)

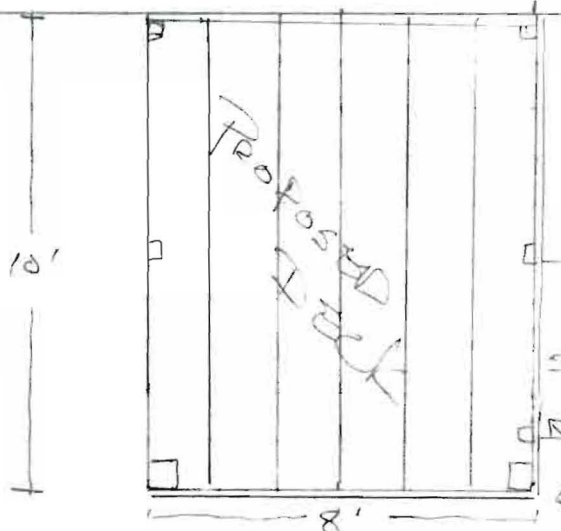
RECEIVED
 AUG 22 2011
 Dept. of Building Inspections
 City of Portland Maine

50 DOUGLAS

FRAMING PLAN



SCALE: 1/4" = 1'

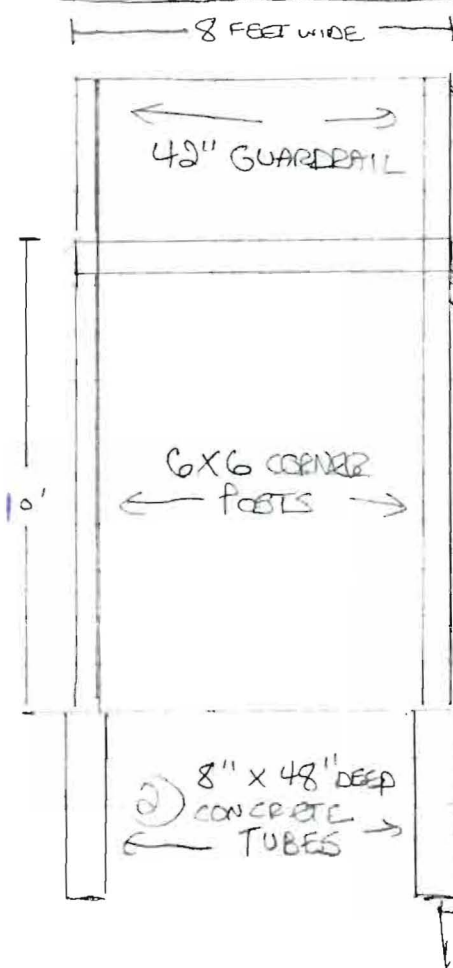


- 2x10 LEDGER LAGGED TO HOUSE RIM
LAGS = 1/2" x 8"
- 2x8 JOISTS 16" OC ON JOIST HANGERS AT LEDGER
- 6x6 POSTS AT OUTSIDE CORNERS
- 4x4 POSTS IN MIDDLE RAILS AND ON STAIRS

STAIR DOWN

DOUBLE 2x8 RIM

- ALL FRAMING, DECKING, STAIR & RAIL MATERIAL TO BE ACQ PRESSURE TREATED LUMBER.



SCALE: 1/4" = 1'

- STAIRS:
- 2x12 STRINGERS
 - 7 1/2" RISE x 10 3/8" RUN
 - TREADS = 48" WIDE
 - 36" LANDING
 - 1 1/4" REINFORCED GUARDRAIL @ 5" OC
 - 15 TREADS @ 48" WIDE 10 1/4" NET
 - 16 RISES @ 7 1/2" NET

GRADE

6" REINFORCED CONCRETE

RECEIVED

AUG 22 2011

50 DOUGLAS ST

REAR ELEVATION

SCALE: 1/4" = 1'

- DECK FINISH = 48" FROM RACK
- STAIR FINISH = 34" FROM TREAD NOSSE
- STAIR TREAD WIDTH = 48"

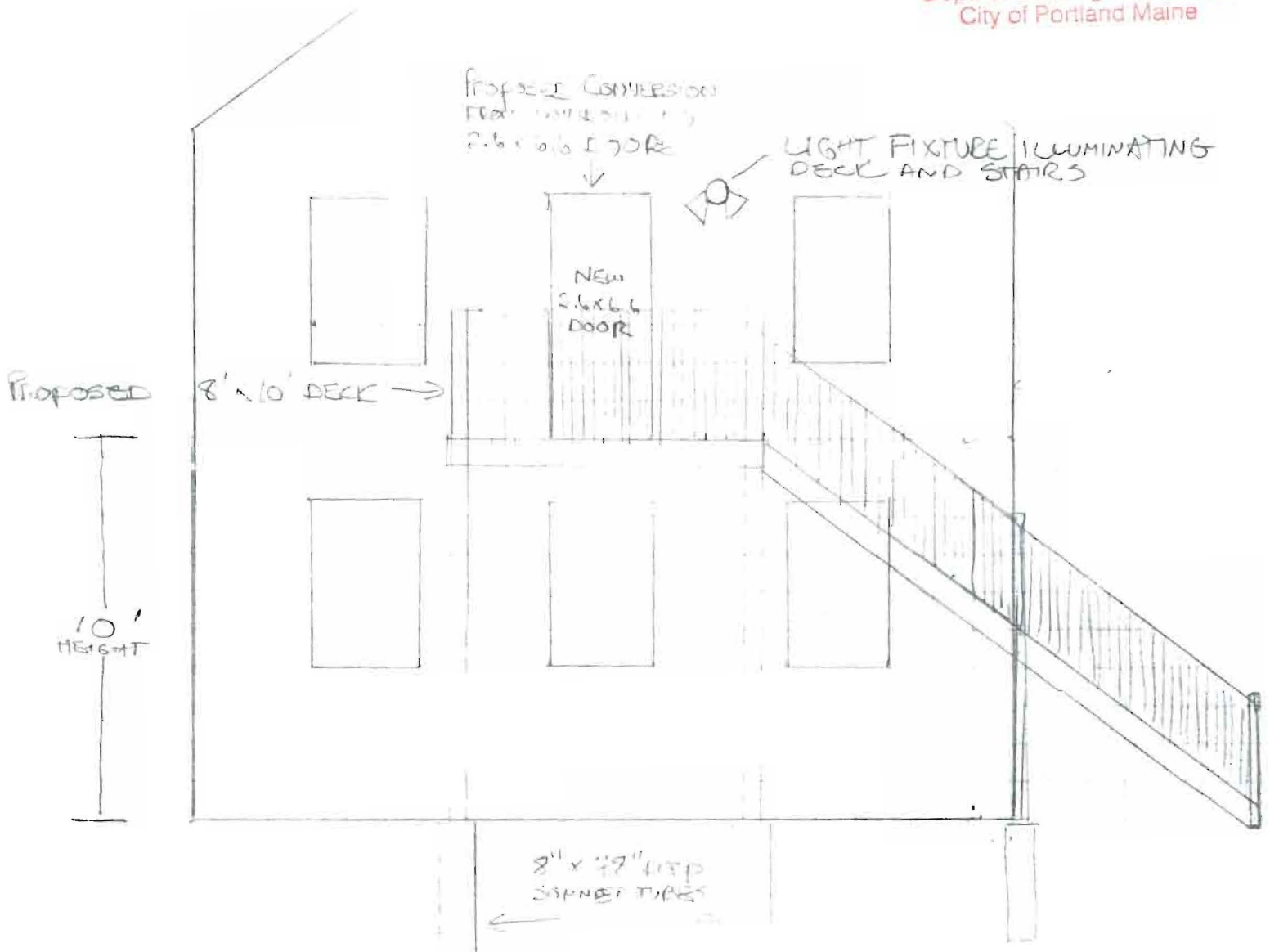
1 1/2" HANDRAIL MOUNTED TO STAIR GUARDRAIL

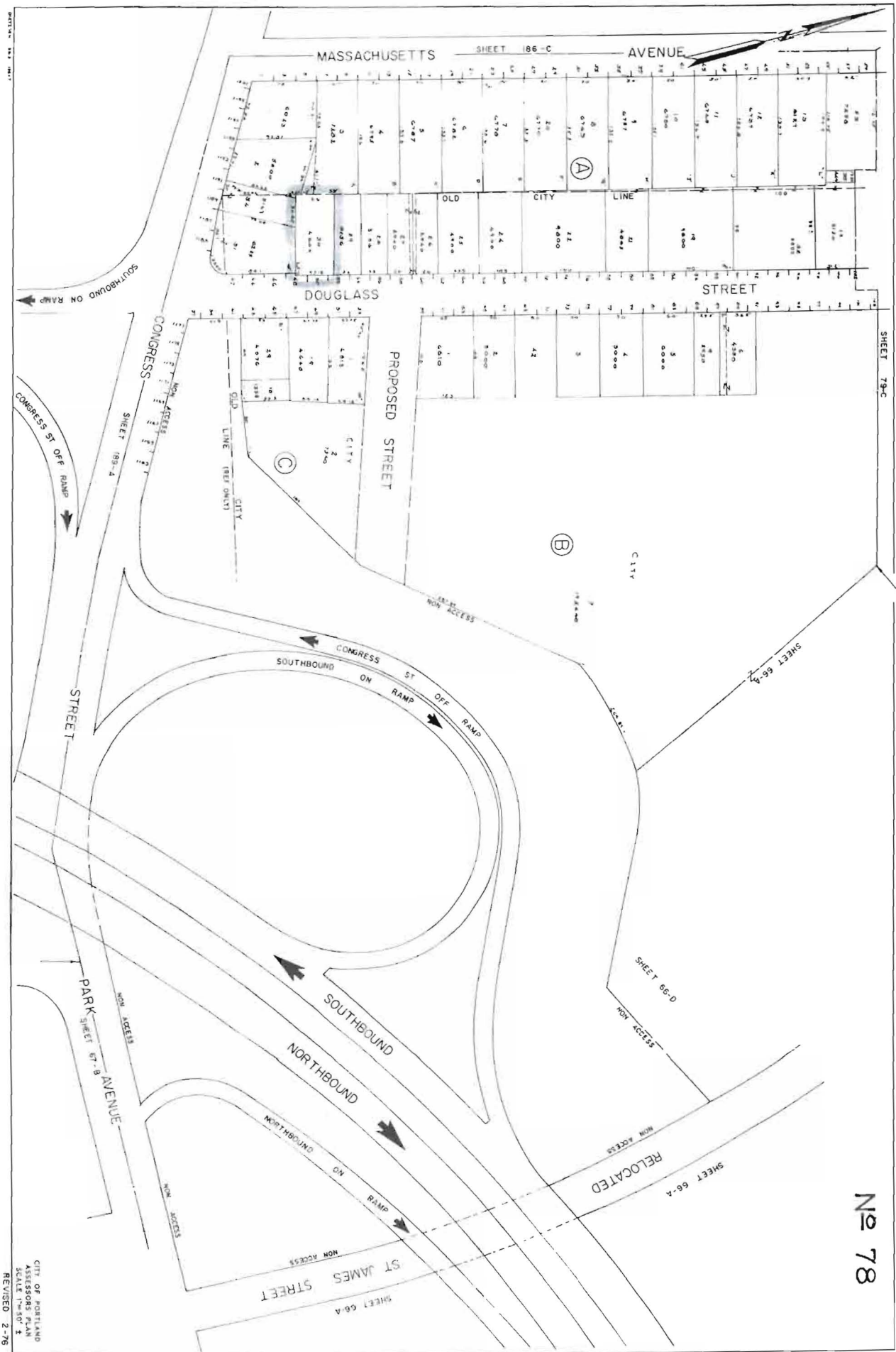
- PROPOSED INSTALL OF 2'0" WIDE X 6'6" TALL DOOR
- REPOSITIONING SUCCEENT ONE LEVEL CENTER WINDOW

RECEIVED

AUG 22 2011

Dept. of Building Inspections
City of Portland Maine





No 78

CITY OF PORTLAND
 ASSESSOR'S PLAN
 SCALE 1"=50'
 REVISED 2-76

MASSACHUSETTS AVENUE

DOUGLASS STREET

PROPOSED STREET

ST JAMES STREET

PARK AVENUE

CONGRESS ST OFF RAMP

CONGRESS ST OFF RAMP

SOUTHBOUND

NORTHBOUND

RELOCATED

(A)

(B)

(C)

SHEET 186-C

SHEET 79-C

SHEET 66-A

SHEET 66-D

SHEET 66-A

SHEET 66-A

SHEET 188-A

SECTION 100 100'

Assessor's Office | 1891 Congress Street | Portland, Maine 04101 | 800-833-8386
 City | Profile | Departments | City Council | Services | Calendar | Contact

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

[browse city services a-z](#)

[browse facts and links a-z](#)

CBL 078 A030001
Land Use Type TWO FAMILY
Property Location 50 DOUGLASS ST
Owner Information CHESSEY DAVID P & JOAN M
 55 EDWARDS ST
 PORTLAND ME 04107
Book and Page
Legal Description 78-A-30
 DOUGLASS ST 48-50
 4609 SF
Acres 0.106

Current Assessed Valuation:

TAX ACCT NO.	11392	OWNER OF RECORD AS OF APRIL 2011
		CHESSEY DAVID P &
		JOAN M
LAND VALUE	\$85,200.00	55 EDWARDS ST
BUILDING VALUE	\$154,400.00	PORTLAND ME 04107
NET TAXABLE - REAL ESTATE	\$239,600.00	
TAX AMOUNT	\$4,379.90	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600, with Internet Explorer

Building Information:

Card 1 of 1

Year Built 1875
Style/Structure Type OLD STYLE
Stories 2
Bedrooms 8
Full Baths 2
Total Rooms 14
Attic UNFTN
Basement FULL
Square Feet 2688

[View Sketch](#)

[View Map](#)

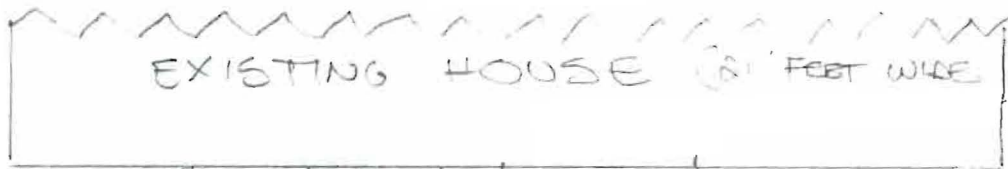
[View Picture](#)



New Search

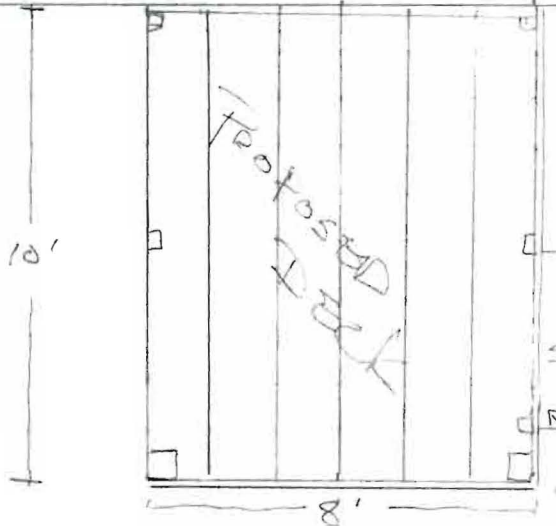
50 DOUGLAS

FRAMING PLAN



SCALE: 1/4" = 1'

- 2x10 LEDGER LAGGED TO HOUSE RIM
LAGS = 1/2" x 8"
- 2x8 JOISTS 16" OC ON JOIST HANGERS AT LEDGER
- 6x6 POSTS AT OUTSIDE CORNERS
- 4x4 POSTS IN MIDDLE RAILS AND ON STAIRS



RECEIVED

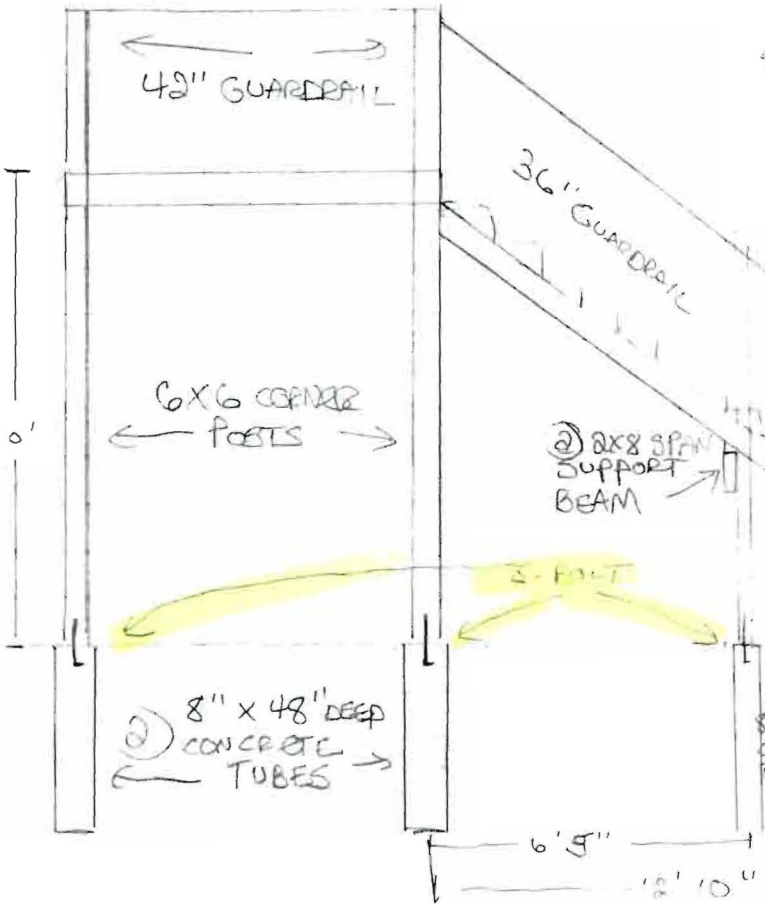
SEP - 6 2011

Dept. of Building Inspections
City of Portland Maine

- ALL FRAMING, DECKING, STAIR & RAIL MATER'LS TO BE ACQ PRESSURE TREATED LUMBER.

8 FEET WIDE

SCALE: 1/4" = 1'



- STAIRS:
- 2x12 STRINGERS
 - 7 1/2" RISE X 10 1/8" RUN
 - TREADS = 48" WIDE
 - 36" LANDING
 - 1 1/2" ADJUSTABLE GUARDRAIL @ 5" OC
 - 15 TREADS @ 48" WIDE 10 1/4" NET
 - 6 RISES @ 7 1/2" NET (CLOSED RISES)

INDEPENDANT CONTINUOUS HANDRAIL ON 1 SIDE

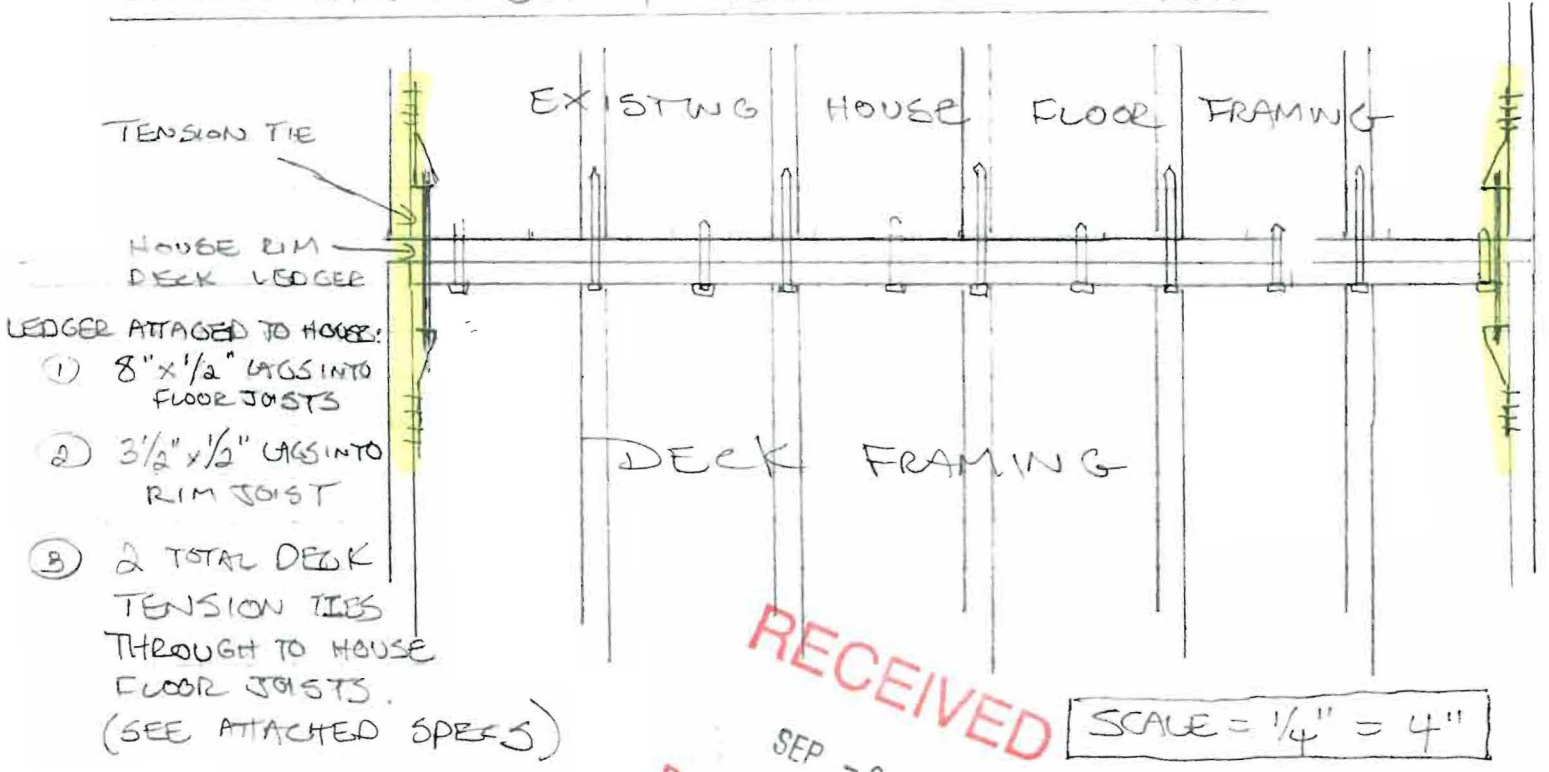
GRADE

6" REINFORCED CONCRETE

Handrail OK gmb

50 DOUGLAS

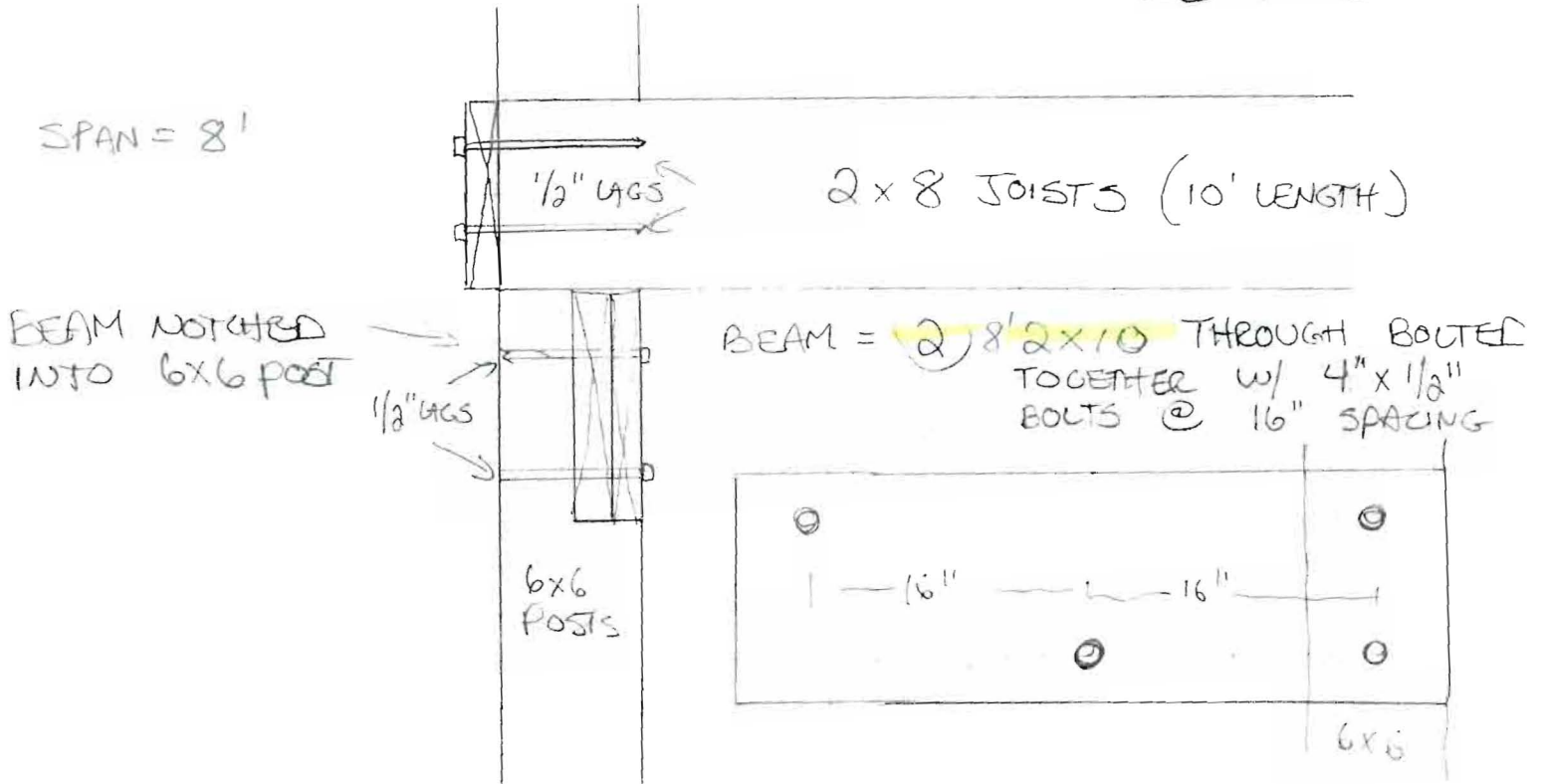
LEDGER ATTACHMENT / LATERAL LOAD DETAIL



Dept. of Building Inspections
City of Portland Maine

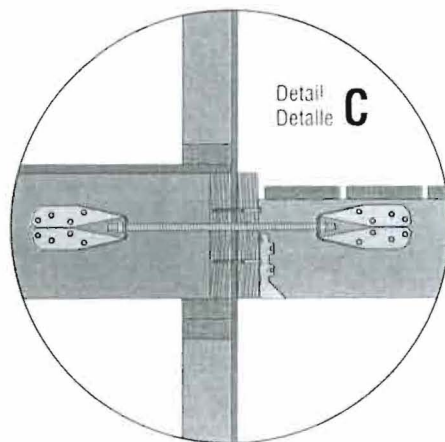
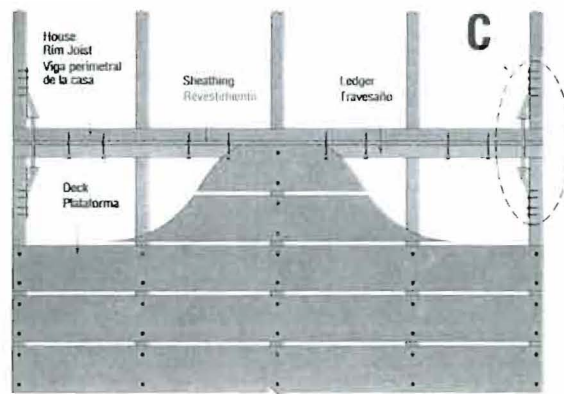
DECK LOAD BEARING AT POSTS DETAIL

SCALE 1/4" = 2"



Install one DTT2Z to the deck framing and another to the floor joists of the structure. The DTT2Z on the deck framing should be installed on the rim (band) joist or first deck joist on either side of the deck (as shown). Use 1/2" diameter all thread rod to connect the two DTT2Z's. The supplied washers must be installed between the nut and seat of the DTT2Z's.

Instale un DTT2Z en el entramado de la plataforma y otro en las viguetas del piso de la estructura. El DTT2Z en el entramado de la plataforma debe instalarse en la viga del borde (banda) o en la primera vigueta de la plataforma en cualquiera de los lados de la misma (como se muestra). Use una varilla roscada de 1/2" de diámetro para conectar los dos DTT2Z. Las arandelas incluidas deben instalarse entre las tuerca y el asiento de los DTT2Z.





CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

8.9.2011

Received from Property Solutions

Location of Work 50 Dryfields

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 90

Building (IL) ___ Plumbing (I5) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 79-1-3

Check #: _____ Total Collected \$ 90

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
Permit Copy