



CITY OF PORTLAND

October 28, 1994

Mr. Philip Kaminsky  
SMRT  
39 Forest Avenue  
P.O. Box 618  
Portland, ME 04104

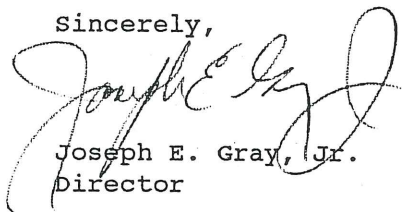
Re: Cumberland County Jail Revisions

Dear Mr. Kaminsky:

This letter is to confirm the revision to the approved site plan of the Cumberland County Jail project located on Ogdensburg Street. The approved revision includes the replacement of fencing in recreation areas with CMU walls and the placement of additional fencing at the top of the recreation areas. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

If you have any questions regarding the revision, please contact the planning staff at 874-8300, extension 8720.

Sincerely,



Joseph E. Gray, Jr.  
Director

cc: Alexander Jaegerman, Chief Planner  
Sarah Hopkins, Senior Planner  
P. Samuel Hoffses, Chief of Building Inspections  
William Bray, Deputy Director of Public Works  
Jeff Tarling, City Arborist  
Paul Niehoff, Materials Engineer  
Natalie Burns, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Mary Gresik, Building Permit Secretary  
Approval Letter File





CITY OF PORTLAND

September 16, 1992

Mr. Arthur P. Thompson, AIA  
Stevens Morton Rose & Thompson, Inc.  
P.O. Box 618  
Portland, ME 04104

RE: Cumberland County Detention Center  
CSO Credits

Dear Mr. Thompson:

This letter is in response to your correspondence to Mr. Robert Ganley, City Manager dated August 25, 1992 regarding combined sewer overflow (CSO) credits for the Cumberland County Detention Center. As you stated in your letter, the net increase in sewage generated by the new facility will be 8,695 gallons per day (gpd). The resulting number of credits required by the facility is 43,475. I am attaching a copy of a memo from Mr. Ganley dated April 22, 1992 which states that credits may be awarded for this project. Therefore, please accept this letter as formally awarding 43,475 CSO credits for the Cumberland County Detention Center Project.

If we can be of further assistance, please let us know.

Sincerely,

  
Joseph E. Gray, Jr.  
Director of Planning and Urban Development

cc: Robert Ganley, City Manager  
Richard Knowland, Senior Planner  
Sarah Greene, Senior Planner  
✓ Melodie Esterberg, Development Review Coordinator  
Bill Boothby, Parks and Public Works  
Bill Goodwin, Parks and Public Works  
Donna M. Gilbert, Parks and Public Works

RECEIVED

APR 23 1992

PARKS/PUBLIC WORKS

CITY OF PORTLAND, MAINE

M E M O R A N D U M

TO: Joe Gray  
FROM: Robert Ganley *RG*  
DATE: April 22, 1992  
SUBJECT: Combined Sewer Overflow Policy

Since we do not yet have a combined sewer overflow policy in effect regarding the issuance of credits for pending projects and since I am not comfortable charging additional funds to these potential developers without the credit policy in place. I would therefore authorize you to grant credits to the PROP House Lights Project and to the Cumberland County Jail Project. Based on the volume of credits we have available it seems to me that these are small projects which won't have too much of an impact on that amount.

I would also indicate that this is not precedent setting and will be subject to change for future projects depending on the policy that the Planning Board arrives at.

In the meantime you can advise these applicants that these credits are being awarded.

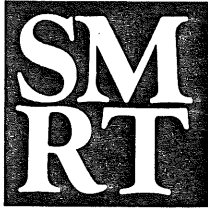
RBG.k  
cc: Mark Green  
George Flaherty

*P/C William S. Brock by Suetta Engineering  
William B. Goodwin Environmental Engineer*

RECEIVED

APR 24 1992

DEPARTMENT OF PUBLIC WORKS



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
39 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207/772-3846 Fax 207/772-1070

RECEIVED

SEP 10 1992

PARKS/PUBLIC WORKS

AUG 27 1992

August 25, 1992

Mr. Robert Ganley  
City Manager  
Portland City Hall  
389 Congress Street  
Portland, ME 04101

Re: Cumberland County Detention Center

Dear Mr. Ganley:

As you know, construction is well underway on the Cumberland County Detention Center. While all permits have been issued, the combined sewer overflow credit status has not been formalized.

It is our understanding from various meetings and conversations with the Public Works Department that the City is prepared to grant the County 100% credits in accordance with the Maine Department of Environmental Protection requirement of a 5 to 1 reduction of surface water/stormwater to sewage and the County's participation in utility upgrading in Congress Street. The net impact in sewage generation from the new facility will be 8,695 gallons per day (gpd).

The Portland Water District indicated that the additional off-site improvements made by the County in Congress Street (C.O. #3,SK69 in the amount of \$27,223) would also be credited against the CSO required for the Cumberland County Jail Facility. In addition the County, at the request of the Portland Public Works Department, made on-site storm water improvements to accommodate possible future diversion of Congress Street stormwater through the jail drainage systems. This work is now completed and tested.

We would like to formalize this matter so that the County may set its final project budget. Please feel free to contact Fran Harrison or myself to discuss this further. Thank you for your consideration of this request.

Sincerely yours,  
Stevens Morton Rose & Thompson, Inc.

*Arthur P. Thompson*  
Arthur P. Thompson, AIA

cc: Joseph Mazziotti, Esq.

89006-17.A1

*Bill Goodwin  
William S Booth by  
Susan M Gilbert*

# CITY OF PORTLAND, MAINE

Dept. of Planning & Urban Development  
City Hall  
389 Congress Street  
Portland, Maine 04101

## FACSIMILE MESSAGE COVER SHEET

Return Fax #  
(207) 874-8716

Date: 10/26 Time: \_\_\_\_\_

To the Attention of: Phil Kaminsky

Company/Entity: SMRT

Message From: Sarah Hopkins

Department: Planning  
Phone #: \_\_\_\_\_

Receiving FAX #: 772-1070

Total # of Pages including cover sheet: 4

Message: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



91021 6363

CUMBERLAND COUNTY JAIL

NOTICE TO BUILDING CONTRACTORS

Sealed Proposals, in envelopes plainly marked, PROPOSAL FOR:

CUMBERLAND COUNTY JAIL  
OGDENSBURG STREET, PORTLAND, MAINE

Addressed to:

Cumberland County Commissioners  
Mr. Gary E. Plummer, Chairman  
Office of the Commissioners  
142 Federal Street  
Portland, Maine 04101-4196

will be opened and read aloud at 2:00 PM on December 17, 1991.

The Owner reserves the right to waive all formalities, and reject any and all Proposals or to accept any Proposal. Proposals shall be submitted in duplicate upon the Form provided by the Architect.

General Contract Proposals must be accompanied by certified or cashier's check for 5% of the Proposal or a satisfactory Bid Bond (AIA A310) in a similar amount.

The selected General Contractor will be required to furnish a 100% Contract Performance Bond and a 100% Contract Payment Bond to cover the execution of the work which shall be in conformity with the Form of Bonds contained in the specifications and for the Contract Amount.

Subcontractors submitting Proposals to General Contractors for work listed on General Contractor's Proposal Form and the Notice to Building Contractors Form, are required to send or deliver a copy of their proposals to the Maine Construction Bid Depository, Whitten Road, Box N, Augusta, Maine, and to be considered valid, must be received in the Bid Depository on or before

3:00 PM on December 5, 1991

in accordance with the Supplementary Instructions to Bidders and the General Conditions and Regulations of the Maine Construction Bid Repository, on the form provided by the Architect.

Subcontract Proposals filed with the Bid Depository must be accompanied by a satisfactory Bid Bond on AIA Bond Form AIA A310 made out to the Owner, for 5% of the Subproposal Amount, and filed separately in the WHITE envelope.

CUMBERLAND COUNTY JAIL

Documents remain the property of the Architect and shall be returned on demand.

2. General Contractors, Filed Subcontractors, non-filed subcontractors and other contractors/suppliers wishing to purchase partial sets or additional full sets may order directly from Am-At-Uer Service on a non-refundable basis.

Sets may be purchased for the cost of printing plus mailing and handling charges. Partial sets are made available only as a courtesy accommodation with the requirement that said company will be responsible to locate a full set of drawings and specifications to review also. All General Contractors, subcontractors, suppliers, etc. will be held totally responsible for the entire content of the full set of drawings and specifications despite the issuance of a partial set to them.

Plans and Specifications may be examined during normal business hours at:

Am-At-Uer Service  
231 Oxford Street  
Portland, Maine 04101  
207-772-7006

Dodge Plan Room  
47 Atlantic Place, South Portland, Maine 04106  
207-774-3488

Dodge Plan Room  
835 Hanover Street, Manchester, New Hampshire 03104  
603-645-6554

Dodge Plan Room  
Prudential Tower, 800 Boylston Street, Suite 320  
Boston, Massachusetts 02199  
617-375-2200

AGC (Associated General Contractors)  
Whitten Road, Augusta, Maine 04330  
207-623-9826

Dunlap Construction Bureau  
31 Court Street, 4th Floor, Auburn, Maine 04210  
207-783-2211

## CUMBERLAND COUNTY JAIL

The Selected Subcontractors, required to file their Subproposals with the Bid Depository, will also be required to furnish the selected General Contractor with a 100% Performance Bond and a 100% Payment Bond, for their portion of the work.

Subcontractors required to file their Subproposals and Bid Bonds with the Bid Depository are as follows:

Masonry - Section 04200  
Roofing - Sections 07530, 07600  
Painting - Section 09900  
Detention Equipment - Sections 11190, 11191, 11192, 11193, 11194, 11195, 11196  
Plumbing, Heating and Ventilating - Sections 15100, 15200, 15300, 15400, 15483 and 15500  
Electrical - Division 16.

Official Forms and Envelopes for all Subproposals may be obtained from the office of the Maine Construction Bid Depository, Whitten Road, P.O. Box N, Augusta, Maine 04330.

Plans and specifications may be obtained on or after November 12, 1991. The procedure for obtaining documents is as follows:

1. All General Contractors and Filed Subcontractors must obtain the first full set of plans and specifications directly from the Architect. A refundable deposit of \$380.00 must be prepaid at the Architect's office prior to plans and specifications being picked up at or mailed/UPS from Am-At-Uer Service. General Contractors and Filed Subcontractors submitting a bonafide bid who return plans and specifications unmarked and in good condition within 14 days of bid opening will receive a full refund of their deposit less handling charges for only the first set taken (\$380 maximum refund less handling charge). Additional full sets or partial sets may be purchased directly from Am-At-Uer Service for the cost of printing plus mailing and handling charges. Only those contractors purchasing full sets through the Architect will be sent addenda.

Contractors who are not General Contractors or Filed Subcontractors but who wish to receive addenda may also purchase full sets through the Architect. The \$380 deposit must be prepaid at the Architect's office prior to picking up or being sent plans and specifications from Am-At-Uer Service. Companies in this group of contractors who return full sets of unmarked plans and specifications within the same period will receive one-half of their deposit less handling charges for only the first set taken (\$190 maximum refund less handling charges).

CUMBERLAND COUNTY JAIL

Direct all inquires and requests for drawings to:  
Bill Gros at SMRT Architects and Engineers  
39 Forest Avenue, P.O. Box 618, Portland, ME 04104

Telephone: (207)772-3846/FAX: (207)772-1070  
Monday through Friday 8:00 a.m. to 5:00 p.m.

END OF NOTICE TO BUILDING CONTRACTORS



**PROPOSAL  
REQUEST**

AIA DOCUMENT G709

OWNER  
ARCHITECT  
CONTRACTOR  
FIELD  
OTHER

Cumberland County  
 PFK, APT, File 89006 4.2a  
 Granger Northern, Inc.  
 Jim Gilman  
 **MELODY ESTERBERG CITY PLANNING**

PROJECT: Cumberland County Jail  
(name, address) 1-3 Ogdensburg Street  
Portland, Maine

PROPOSAL REQUEST NO: **60**

OWNER: Cumberland County

DATE: **4-17-92**

TO: (Contractor)  
 Granger Northern Inc.  
51 Baxter Boulevard  
Portland, Maine 04101

ARCHITECT'S PROJECT NO: 89006

CONTRACT FOR: Construction of New Jail

CONTRACT DATED: March 1, 1992

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description: (Written description of the Work)

1. PROVIDE WORK AS SHOWN ON SK-69 FOR CONGRESS ST. AND OGDENSBURG ST.
2. Delete curb as shown at Hutchins Terminal Curb Cut and "TIP DOWN" PER CITY INSTRUCTIONS.
3. COORDINATE WITH CITY AND PRIVATE UTILITIES.
4. RELOCATE WATER METER PIT AS SHOWN

Attachments: (List attached documents that support description)

SK-69

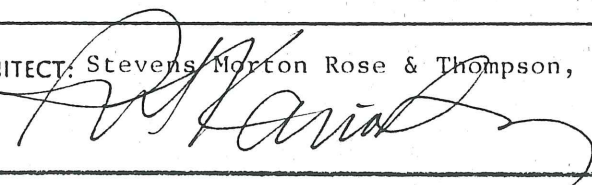
**RECEIVED**

APR 21 1992

PORTLAND PLANNING OFFICE

ARCHITECT: Stevens Morton Rose & Thompson, Inc. Architects- Engineers

BY:



Inspection Services  
Samuel P. Hoffses  
Chief



Melodie Esterberg  
— Planning

Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

June 8, 1992

Granger Northern Inc.  
51 Baxter Blvd.  
Portland, ME 04101

Ogdensburg St. (1-3)

Dear Sir:

Your application to construct County Jail and Pre-Release Center has been reviewed and a permit is herewith issued subject to the following requirements:

**No certificate of occupancy can be issued until all requirements of this letter are met.**

### Site Plan Review Requirements

Inspection Services - Approved - William Giroux  
Fire Dept. - Approved - Lt. Wallace Garroway  
Planning -  
Public Work - Inspection fees shall be bill to Cumberland County following construction.

### Use Group - I-3 Construction Type 1A

#### Jail Building

1. This occupancy shall comply with the requirements of Chapter 14 of the 1991 N.F.P.A. Life Safety Code.
2. Illumination of Means of Egress, Emergency Lighting and Marking of the Means of Egress shall be in accordance with Section 14-2.8, 14-2.4 and 14-2.10.
3. Doors to resident sleeping rooms shall be at least 28" in clear width in accordance with Section 14-2.11.3.
4. All door locking arrangements shall be in accordance with Use Condition IV and Section 14-2.11.
5. All Hazardous Areas shall be protected in accordance with Section 14-3.2.
6. Interior finish shall be in accordance with Section 14-3.3.
7. Kitchen shall be provided with hood/duct system per N.F.P.A. # 96 for all appliances that may produce smoke or grease laden vapors and an appropriate extinguishing system.
8. The provisions of Section 14-2.11 regarding doors, locks, remote controls, manual controls etc. shall be met.
9. Hazardous areas shall be protected in accordance with Section 14-3.2.
10. Detection, alarm and communication systems shall be in accordance with Section 14-3.4 and manufacturers listings.
11. Access codes to fire alarm panel for Fire Dept. use to restore, reset, review historical log, device or zone disconnect and reconnect, silence or test shall be a master box number designated by the Director of Fire Dept Communications.

Fran Harriman - SMRT

PG  
Insd Fee

Sitework - Shaw Bros  
Final CB/Storm Drain Schedule

Storm Drainage Work

Ogdensburg St. Road

after 10 on Fri

Sept/Oct - Stormwater -

Cynthia McCarthy

Constr. → Phil Kaminsky ★

revised pipe  
schedule  
was included  
in contract

pipe upsized  
to take water  
out of Congress  
St.

minor -  
15" stub off  
storm manhole

Executive Department



Robert B. Ganley  
City Manager

CITY OF PORTLAND

March 31, 1992

RECEIVED

APR 1 8 1992

PORTLAND PLANNING OFFICE

County of Cumberland  
142 Federal Street  
Portland, Maine 04101-4196

Attn: Joseph R. Mazziotti  
Commissioner

Re: Cumberland County Detention Center

Dear Mr. Mazziotti:

This is to acknowledge receipt of your letter dated March 12, 1992, concerning the Cumberland County Detention Center Project.

The specific issue you raised concerned a request that the City grant removal credits to the County of Cumberland for this project concerning the reduction of surface water/storm water sewerage on the 5 to 1 ratio which is required by the State of Maine Department of Environmental Protection as a policy. This is to advise that the City's Engineering and Planning staff has not completed their work of developing a formal policy for the City on dealing with this issue. The staff has continued to meet over the months and plans to make its final recommendation to me no later than the end of April. As soon as we have the policy in place, the appropriate member of my staff will be in contact with you.

Sincerely yours,

Robert B. Ganley  
City Manager

RBG/GAF/sjf

pc: Joseph Gray, Director of Planning/Urban Development  
Gary Wood, Corporation Counsel  
George Flaherty, Director of Parks/Public Works  
Mark Green, Assistant City Manager



Executive Department



Robert B. Ganley  
City Manager

CITY OF PORTLAND

March 31, 1992

County of Cumberland  
142 Federal Street  
Portland, Maine 04101-4196

Attn: Joseph R. Mazziotti  
Commissioner

Re: Cumberland County Detention Center

Dear Mr. Mazziotti:

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Sincerely yours,

Robert B. Ganley  
City Manager

RBG/GAF/sjf

pc: Joseph Gray, Director of Planning/Urban Development  
Gary Wood, Corporation Counsel  
George Flaherty, Director of Parks/Public Works  
Mark Green, Assistant City Manager

RICHARD D. HEWES  
CHAIRMAN  
GARY E. PLUMMER  
JOSEPH R. MAZZIOTTI  
ELVIRA S. RIDLON  
COUNTY CLERK  
BRIAN S. MORRISON  
PERSONNEL DIRECTOR

# County of Cumberland



142 FEDERAL STREET  
PORTLAND, ME 04101-1196  
207-871-8380

County Commissioners

RECEIVED

MAR 16 1992

PARKS/PUBLIC WORKS

March 12, 1992

Mr. Robert Ganley  
City Manager  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

Re: Cumberland County Detention Center

Dear Mr. <sup>Bob</sup> Ganley:

In February of this year, the final regulatory permits allowing the construction of the proposed Cumberland County Detention Facility were granted. We anticipate groundbreaking to occur shortly. Still outstanding is the issue of infiltration/inflow.

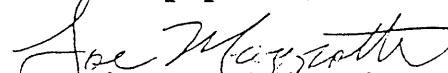
It is our understanding that the City is in the process of developing a combined sewer overflow policy and that it may be some time before formal adoption. This letter is to request that the City grant removal credits to the County of Cumberland for this project. The net impact in sewage generation from the new facility will be 8,695 gallons per day (gpd).

We understand that the City has granted you the authority to make a determination in this particular case. We would appreciate it if you could review this matter at your earliest convenience and notify us of your decision.

Should you have any questions, please feel free to contact Fran Harrison at Stevens Morton Rose & Thompson, Inc. (SMRT) in Portland. SMRT is providing all architectural, engineering and regulatory permitting services for this project.

On behalf of the County Commissioners and its citizenry, I thank you for your consideration of this request.

Sincerely yours,

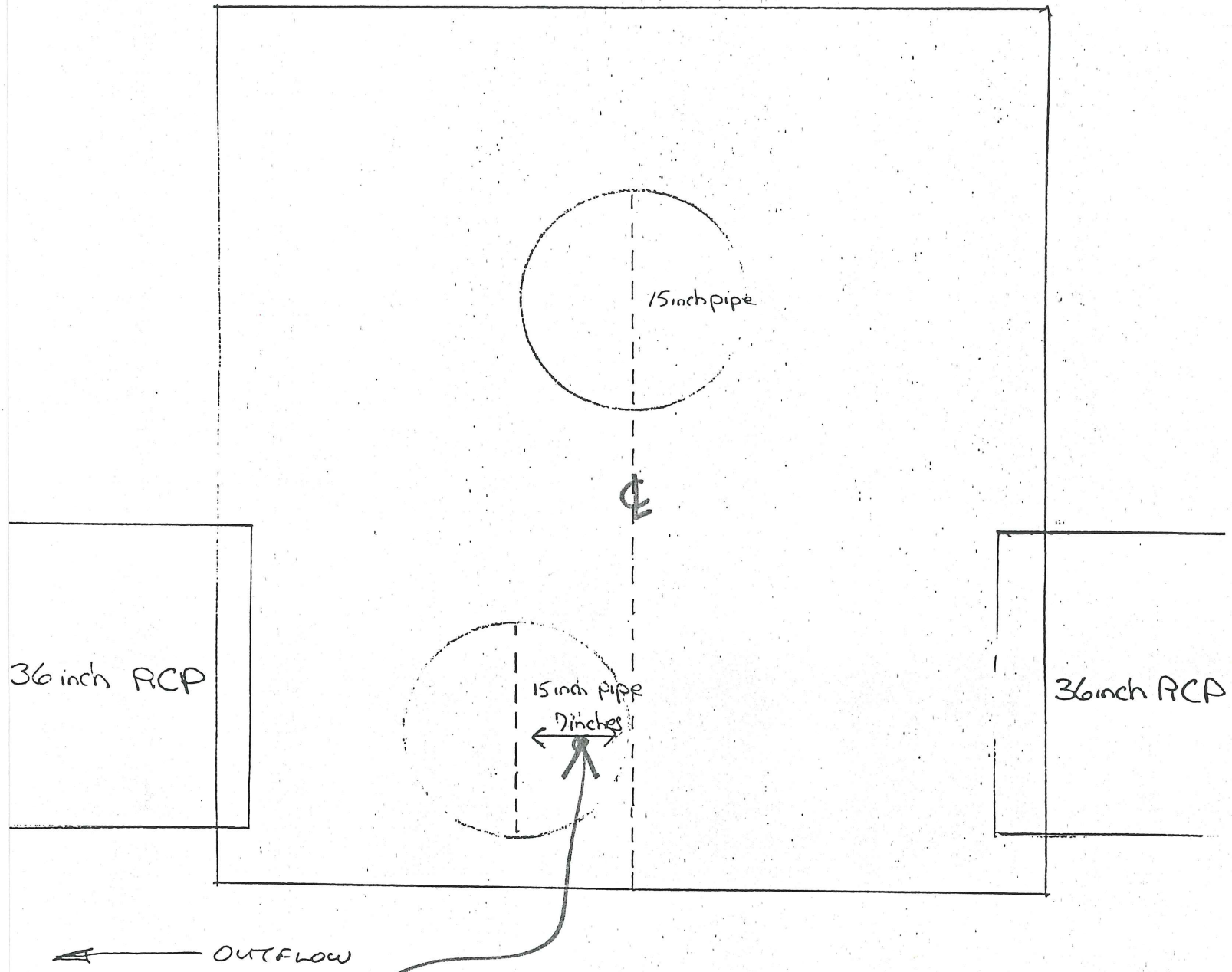
  
Joseph R. Mazziotti  
Commissioner

cc: Mark Green  
Fran Harrison

Copy file Mail CCT 89006 2.3 - File 4.9a, PFK  
Jim Gilman, Melody Esterberg  
City of Portland.

SMH # → Drop Manhole

REUD 5/1/92 uwt



Melody - This is the sketch from the Contractor showing the offset Drop Manhole at FREDERICK FROM SHAN BROS/PHILIP.

3/31/92 3:00

Bill Boothby, Bill Goodwin, Paul Neheft, Melodie

private sewer in old Ogdensburg St.

remain private - ~~with~~ City will not require abutts  
to tie into new sewer

tie in CB across from CB#16 on Congress St

24" line from exist. MH to SMH #5

new MH in combined sewer 3' off & Ogdensburg St.

write memo to Bill Boothby

re: propose sewer locations (sanitary & storm)



3/31/92 1:30 pm

mtg @ site of SMRT, Granger Notken, City

COO Jim Gilman

all com. from's to SMRT Phil Kaminsky  
City Melodi

Granger  
FAX 774-6289

DEP - Change in laws

3/27/92 10:00am

CC Tail outg  
Steve Harris  
Paul Neuhoff  
Phil Kaminsky SMRT  
Melodie Esterberg

---

Cynthia McCarty - PE - Construction

- Structure where existing Storm System meets proposed surcharge exist.
  - radius of curb @ intersection
  - addendums - C
- 

talk to Natalie - Ogdensburg St.  
Vacation of old Ogdensburg St?  
activate prior subdivision?

(Fern St off Warren St)

---

Check if Shaw Bros has been permit.

62274

TEMPORARY EMERGENCY ACCESS EASEMENT  
AGREEMENT

This Agreement made and entered into this 25 day of November, 1991, by and between the STATE OF MAINE through its DEPARTMENT OF TRANSPORTATION, State House Station 16, Augusta, Maine 04333-0016, hereinafter referred to as "DOT"), and CUMBERLAND COUNTY, 142 Federal Street, Portland, Maine 04101-4191 (hereinafter referred to as "COUNTY");

W I T N E S S E T H:

WHEREAS, the County is the owner of a certain tract of land in Portland which is to be developed as a jail facility, the location of which is shown on the Vicinity Plan for the Cumberland County Jail prepared by Stevens, Morton, Rose & Thompson, Architects, dated April 10, 1991, which plan is attached hereto, marked Exhibit A-1 and incorporated herein; and

WHEREAS, DOT is the owner of certain lands acquired by virtue of Federal Aid Project No. I-295-3(24) which lands are shown on a Right of Way Map dated May, 1967, and recorded in Plan Book 112, Page 45, in the Cumberland County Registry of Deeds, and

WHEREAS, the County is desirous of utilizing a portion of said lands owned by DOT as shown on Exhibit A-2 which is attached hereto and incorporated herein, said portion being designated by crosshatch marks and hereinafter referred to as the "Premises", for the purpose of providing an emergency access route to and from the proposed jail facility.

NOW, THEREFORE, for and in consideration of the sum of \$1.00 in hand paid, the receipt and sufficiency of which is hereby acknowledged, and the mutual benefits flowing between the parties, it is understood and agreed as follows:

1. DOT does hereby grant to the County a temporary easement fifty (50) feet in width over and across the Premises, said easement area to begin at the southwesterly end of Frederick Street and extend to the northeasterly bound of lands of the State of Maine and the Maine Central Railroad Company. The easement area shall be entered from Frederick Street and across land of the City of Portland. The layout of this facility is shown on a plan titled Emergency Access Plan, Cumberland County Jail prepared by Stevens, Morton, Rose & Thompson, Architects, on April 10, 1991, which is marked Exhibit A-3, a copy of which is attached hereto and incorporated herein.

2. The sole purpose of this easement shall be to provide emergency access to and from the new jail facility and at no time shall it be used for any other purpose. None of the rights or responsibilities created by this Agreement shall be assignable to any other party.

3. The emergency access road contemplated by this Agreement shall be gated and locked at all times except when in use by the County, said gate to be located at the southwesterly end of Frederick Street.

4. The County does hereby agree that it will, at its sole expense, design and construct an unpaved roadway and all required drainage facilities through and across the area specified in accordance with the Grading and Utility Plan developed by Stevens, Morton, Rose & Thompson, Architects, last revised on May 21, 1991, which plan has been reviewed and approved by DOT, a copy of which can be found on file with the Department of Transportation in the Right of Way Division.

5. The County shall have the obligation to maintain said roadway and drainage structures in good repair and in safe condition throughout the year and shall be solely responsible for plowing snow in the winter and any and all other maintenance and repair work which may be required.

6. The County hereby assumes responsibility for, releases and agrees to indemnify, defend and hold harmless the State from any and all loss, cost, damage or expense incurred by any party, including the State, its agents, servants and employees, for damage to property or property rights of any description, consequential damages, sickness, injury or death of any person, including injury or death of employees or agents of the State which arise out of or are in any way connected with any work or the operation, use, modification, relocation, or existence of this emergency access road, except any loss, damage, cost or expense which may be solely and directly attributable to the willful negligence of the State.

7. County agrees to comply with all local, county, state and federal laws and regulations which may affect this project in any way, and shall and does hereby indemnify and hold the State harmless from any damage resulting from the violation of any such law or regulation.

8. DOT may, at any time and for any reason, terminate this Agreement and, thereafter, all rights of the County and use of the Premises shall cease in accordance with this paragraph. DOT shall require the removal, modification or relocation of the roadway and/or drainage and other related facilities built in accordance with this Agreement. DOT shall notify the County in writing and the County shall have thirty (30) days to cease the

use of the Premises. The County hereby waives all claims for damage and costs arising out of or relating to the termination of this Agreement and/or any modification or relocation which may be required by DOT.

9. If any term or provision of this Agreement or the application thereof of any person or circumstance shall, to any extent, be invalid or enforceable, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected thereby, and each term and provision of this Agreement shall be valid and enforced to the fullest extent permitted by law.

10. This Agreement and the performance thereof shall be governed, interpreted, construed, and regulated by the laws of the State of Maine. Any proceeding for interpretation or enforcement of this Agreement or arising out of performance of this Agreement shall be brought in the courts of the State of Maine or in the U.S. District Court for the State of Maine.


11. This Agreement shall be executed in several counterparts, each of which shall be deemed an original, all of which together shall constitute one and the same Agreement.

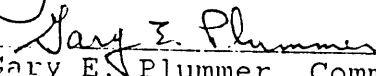
IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and seals on the day any year first above written.

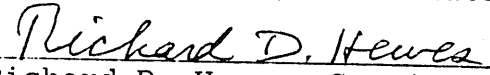
DEPARTMENT OF TRANSPORTATION

BY:   
Dana F. Connors, Commissioner

CUMBERLAND COUNTY

BY:   
Joseph R. Mazzietti, Commissioner

BY:   
Gary E. Plummer, Commissioner

BY:   
Richard D. Hewes, Commissioner

STATE OF MAINE )  
COUNTY OF KENNEBEC )

Personally appeared before me the undersigned, Dana F. Connors, Commissioner of the Department of Transportation for the

State of Maine and acknowledged the foregoing to be his free act and deed in his said capacity and the free act and deed of the State of Maine, this 26th day of November, 1991.

Before Me,

Ira E. Foy  
Notary Public/~~Attorney at Law~~  
My Commission Expires:  
July 30, 1995

STATE OF MAINE )

COUNTY OF KENNEBEC )

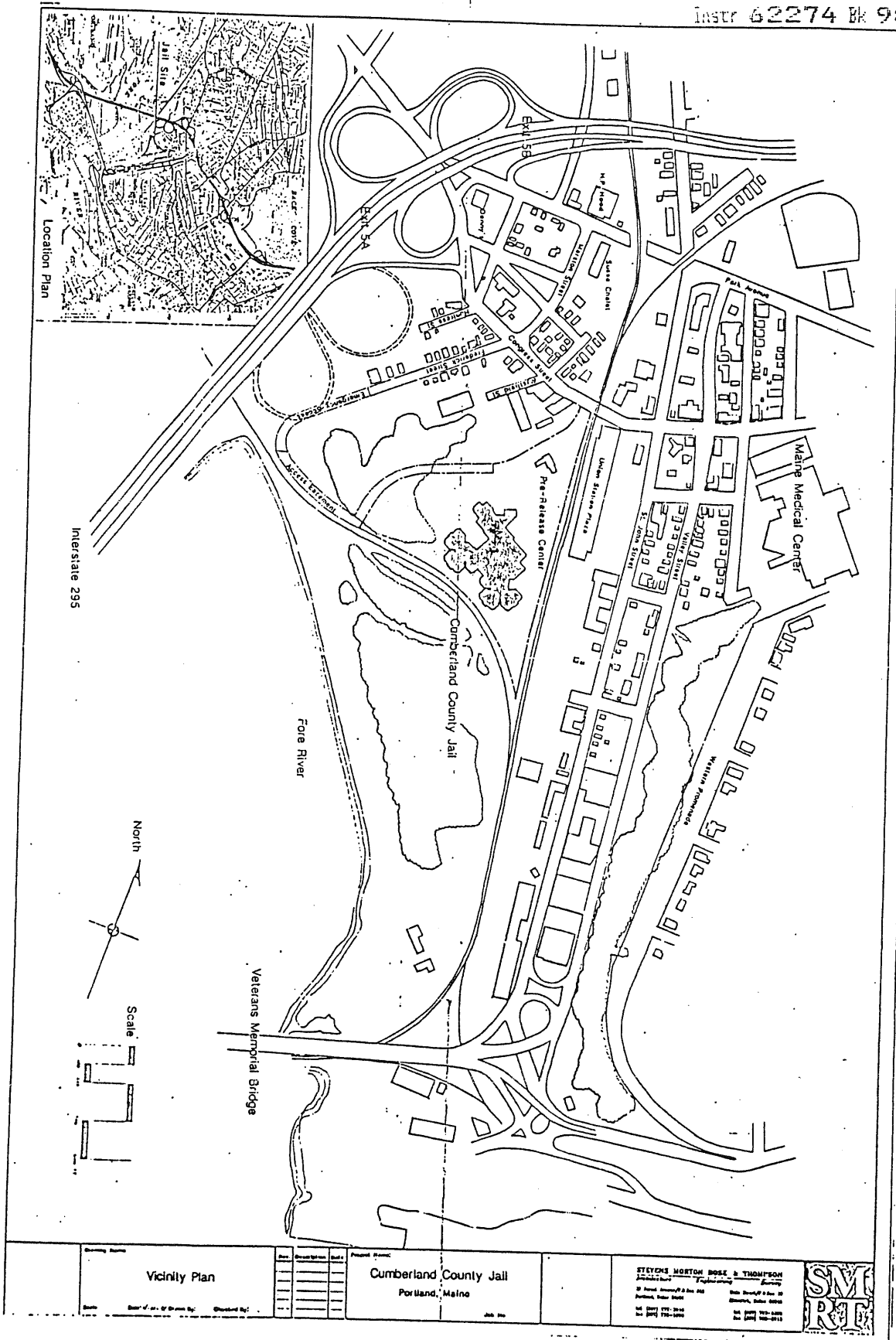
Personally appeared before me the undersigned, Joseph R. Mazziotti, Gary E. Plummer, and Richard D. Hewes, County Commissioners for the County of Cumberland, and acknowledged the foregoing to be their free act and deed in their said capacity and the free act and deed of Cumberland County, this 25 day of November, 1991.

Before Me,

[Signature]  
~~Notary Public/Attorney at Law~~  
~~My Commission Expires~~  
KENNETH M. Cole III

CUMBER. 2/HUGHES

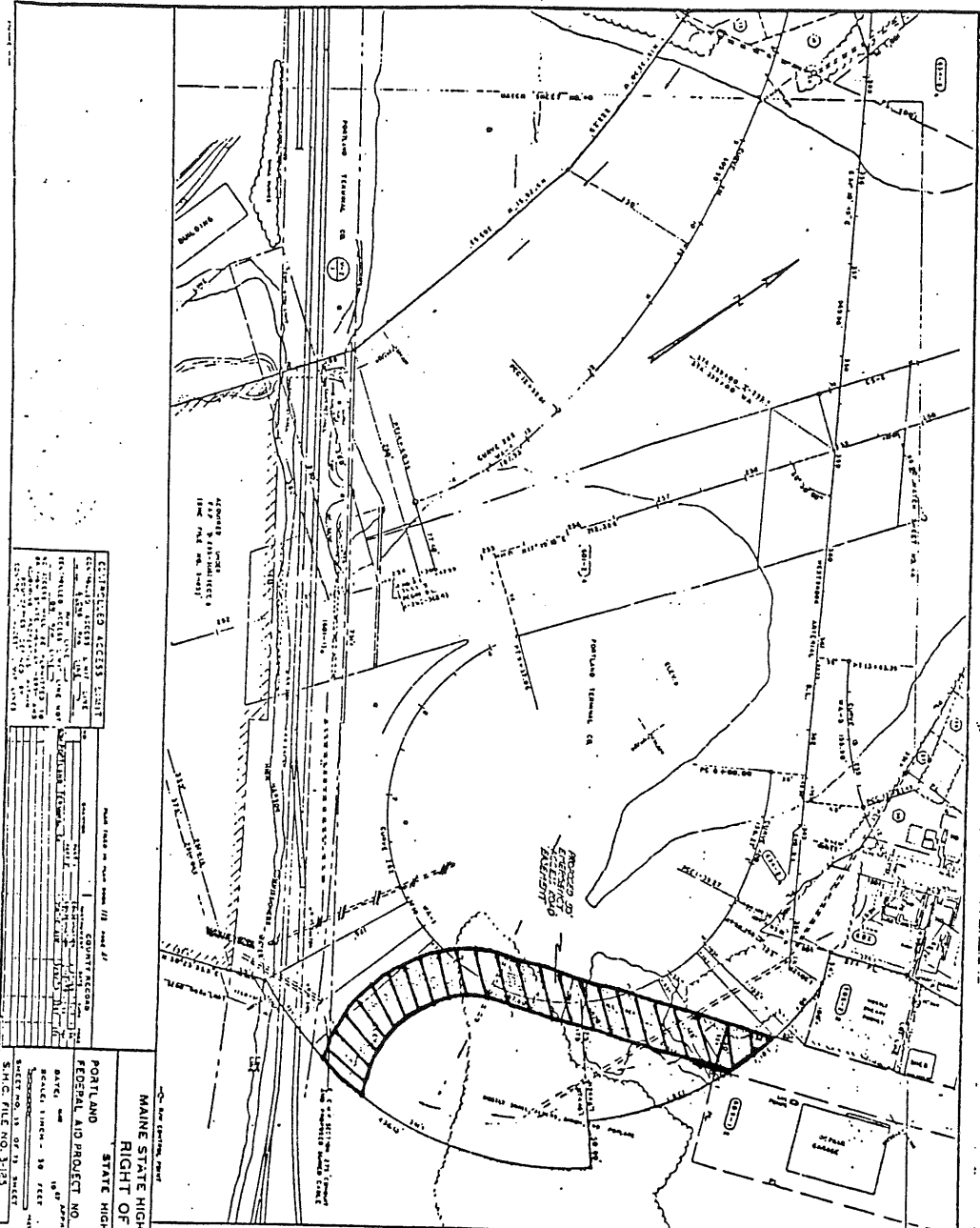




<p><b>Vicinity Plan</b></p> <p>Drawn by: _____</p> <p>Checked by: _____</p>	<p><b>Revisions</b></p> <table border="1"> <tr><th>No.</th><th>Description</th><th>Date</th></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </table>	No.	Description	Date										<p><b>Project Name:</b>  <b>Cumberland County Jail</b>          Portland, Maine</p>	<p><b>STEVEN HORTON ROSE &amp; THOMPSON</b>          Architects Inc.          100 State Street, 2nd Fl., Portland, Maine 04101          Tel: 774-1200 Fax: 774-1201</p>	
No.	Description	Date														

EXHIBIT A-1

NO.	DATE	DESCRIPTION
1	10/1/53	...
2	10/1/53	...
3	10/1/53	...
4	10/1/53	...
5	10/1/53	...

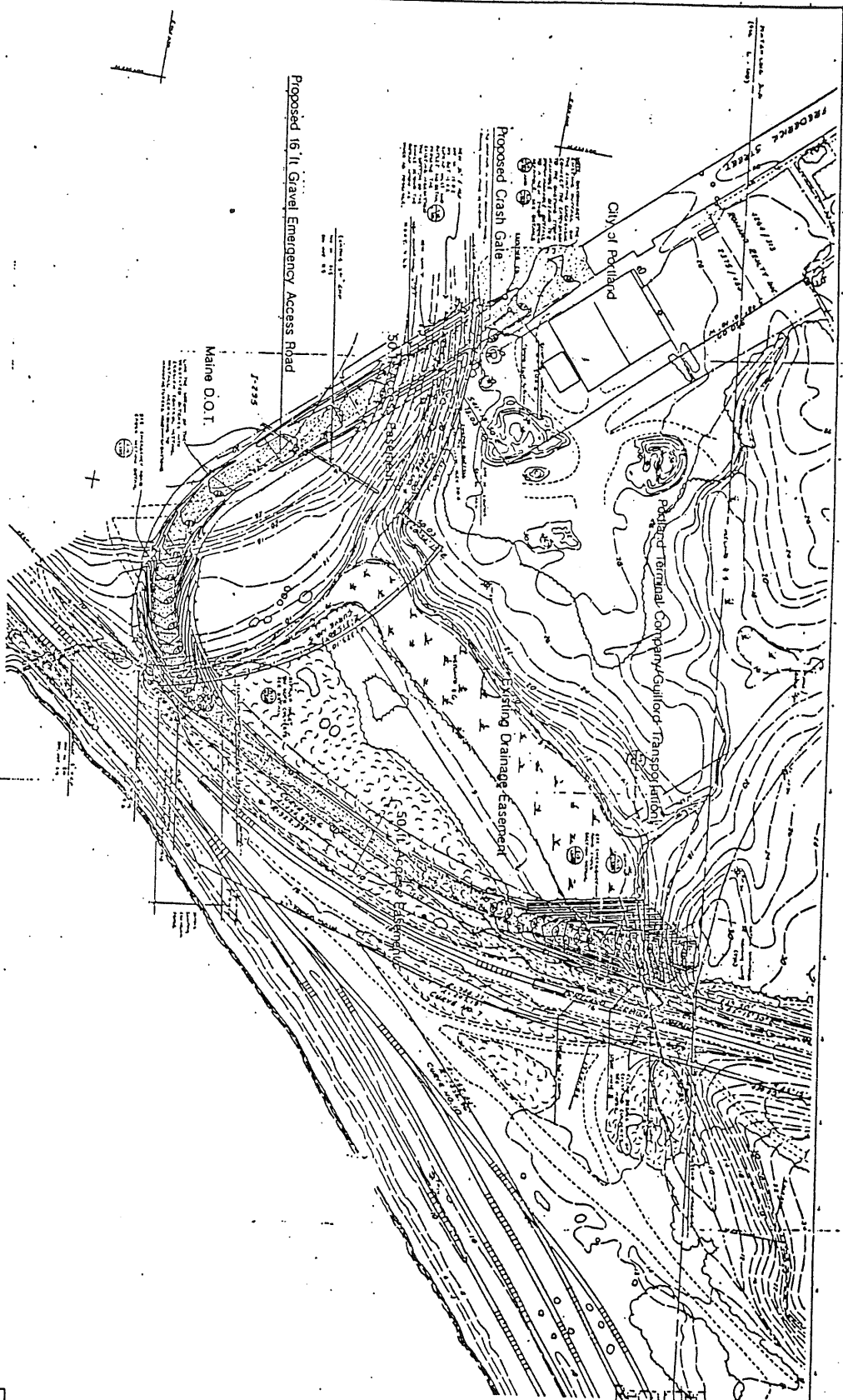


PROJECT NO.	62274
DATE	10/1/53
DESIGNED BY	...
CHECKED BY	...
APPROVED BY	...
SCALE	1" = 40'
DATE OF PREPARED	...
DATE OF FIELD WORK	...
DATE OF SURVEY	...
DATE OF RECORDING	...
DATE OF PLOTTING	...
DATE OF PRINTING	...

**MAINE STATE HIGHWAY COMMISSION**  
**RIGHT OF WAY MAP**  
**STATE HIGHWAY 293**  
**PORTLAND**  
**FEDERAL AID PROJECT NO. 1-233-1121**  
**CUMBERLAND COUNTY**  
 DATE: 10/1/53  
 SCALE: 1" = 40'  
 DRAWN BY: ...  
 CHECKED BY: ...  
 APPROVED BY: ...  
 DATE OF PREPARED: ...  
 DATE OF FIELD WORK: ...  
 DATE OF SURVEY: ...  
 DATE OF RECORDING: ...  
 DATE OF PLOTTING: ...  
 DATE OF PRINTING: ...

NOTES:  
 1. ALL DISTANCES ARE IN FEET.  
 2. ALL ANGLES ARE IN DEGREES.  
 3. ALL CURVES ARE CIRCULAR.  
 4. ALL RIGHT-OF-WAY BOUNDARIES ARE SHOWN WITH HATCHES.  
 5. ALL EXISTING UTILITIES ARE SHOWN WITH DASHED LINES.  
 6. ALL EXISTING DRAINAGE DITCHES ARE SHOWN WITH WAVE LINES.  
 7. ALL EXISTING SIDEWALKS ARE SHOWN WITH DOTTED LINES.  
 8. ALL EXISTING PROPERTY LINES ARE SHOWN WITH SOLID LINES.  
 9. ALL EXISTING BUILDINGS ARE SHOWN WITH OUTLINES.  
 10. ALL EXISTING TREES ARE SHOWN WITH CIRCLES.  
 11. ALL EXISTING STREETS ARE SHOWN WITH DASHED LINES.  
 12. ALL EXISTING ALLEYS ARE SHOWN WITH DOTTED LINES.  
 13. ALL EXISTING DRIVEWAYS ARE SHOWN WITH SOLID LINES.  
 14. ALL EXISTING FENCES ARE SHOWN WITH DASHED LINES.  
 15. ALL EXISTING BARRIERS ARE SHOWN WITH SOLID LINES.  
 16. ALL EXISTING SIGNPOSTS ARE SHOWN WITH CIRCLES.  
 17. ALL EXISTING LIGHTS ARE SHOWN WITH CIRCLES.  
 18. ALL EXISTING SIGNALS ARE SHOWN WITH CIRCLES.  
 19. ALL EXISTING TRAFFIC SIGNALS ARE SHOWN WITH CIRCLES.  
 20. ALL EXISTING STOP SIGNS ARE SHOWN WITH SQUARES.  
 21. ALL EXISTING YIELD SIGNS ARE SHOWN WITH TRIANGLES.  
 22. ALL EXISTING WARNING SIGNS ARE SHOWN WITH TRIANGLES.  
 23. ALL EXISTING INFORMATIONAL SIGNS ARE SHOWN WITH RECTANGLES.  
 24. ALL EXISTING REGULATORY SIGNS ARE SHOWN WITH RECTANGLES.  
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EXHIBIT A-2



**DESIGN AND CONSTRUCTION DESIGN SPECIFICATIONS**

**1. GENERAL NOTES**

- 1.1. The design of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 1.2. The design of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 1.3. The design of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 1.4. The design of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 1.5. The design of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.

**2. MATERIALS**

- 2.1. The materials to be used in the construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 2.2. The materials to be used in the construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 2.3. The materials to be used in the construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
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- 2.5. The materials to be used in the construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.

**3. CONSTRUCTION**


- 3.1. The construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 3.2. The construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 3.3. The construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 3.4. The construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 3.5. The construction of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.

**4. MAINTENANCE**

- 4.1. The maintenance of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 4.2. The maintenance of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
- 4.3. The maintenance of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.
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- 4.5. The maintenance of this project shall be in accordance with the design specifications of the Maine Department of Transportation, dated 1988, and the design specifications of the City of Portland, dated 1988.

Recorded  
 Cumberland County  
 Registry of Deeds  
 12/09/91 03:01:55PM  
 Robert P. Titcomb  
 Register

EXHIBIT A-3

	
Cumberland County Jail Emergency Access Plan	
DATE: 12/09/91 TIME: 03:01:55PM BY: Robert P. Titcomb	L-101



STATE OF MAINE  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
STATE HOUSE STATION 17  
AUGUSTA, MAINE 04333

DEPARTMENT ORDER

IN THE MATTER OF

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Cumberland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-C-C (APPROVAL)

- ) SITE LOCATION OF DEVELOPMENT
- )
- ) CONDITION COMPLIANCE
- ) FINDINGS OF FACT AND ORDER

89006-8  
 PFK  
 Owner  
 Jim Gilman  
 Granger  
 FMH  
 APT, Melody Esterberg  
 City of  
 Portland  
 Planning

Pursuant to the provisions of Title 38 M.R.S.A. Section 481 et seq., the Department of Environmental Protection has considered the application of the CUMBERLAND COUNTY COMMISSIONERS with its supportive data, agency review comments, and other related materials on file and finds the following facts:

1. In Department Order #L-17657-26-A-N, dated February 4, 1992, the Department approved the development of the Cumberland County Jail. The development is located off Congress Street in the City of Portland.
2. Special Condition #4 of the February 4, 1992 Order reads as follows:  

"Prior to the removal of any construction or demolition debris from the project site, the applicants shall submit information about a disposal site for this material to the Bureau of Land Quality Control for the review and approval of the Commissioner."
3. The applicants have submitted a letter from the general contractor for the jail indicating that construction/demolition debris will be disposed of as follows:
  - A. Metals will be taken to Saco Steel in Biddeford, Maine;
  - B. Wood will be taken to Fuel Technologies, Inc. in Lewiston, Maine;
  - C. Paper, plastic, trash and garbage will be taken to Regional Waste Systems in Portland, Maine;
  - D. Masonry, concrete, sheet rock, shingles, and other solid construction debris will be taken to the Riverside Landfill in Portland, Maine or Turnkey Landfill in Rochester, New Hampshire;
  - E. Contaminated/Special/Toxic Wastes will be taken to Consolidated Waste Systems (CWS) in Norridgewock, Maine.
4. All these sites are acceptable disposal sites for the materials as outlined above except for the Riverside Landfill. All the material listed in D will need to be taken to the Turnkey Landfill. Also, CWS accepts only materials which are covered by its licenses. If special wastes are found on-site which CWS will not accept then another disposal site will need to be reviewed and approved by the Bureau of Land Quality Control.

Post-It™ brand fax transmittal memo 7671 # of pages 3

To	From
Co.	Co.
Dept.	Phone #
Fax #	Fax #

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Cumberland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-C-C (APPROVAL)

2 SITE LOCATION OF DEVELOPMENT  
)  
) CONDITION COMPLIANCE  
) FINDINGS OF FACT AND ORDER

BASED on the above findings of fact, the Department concludes that the CUMBERLAND COUNTY COMMISSIONERS have complied with Special Condition #4 of Order #L-17657-26-A-N, dated February 4, 1992.

DONE AND DATED AT AUGUSTA, MAINE, THIS 26<sup>th</sup> DAY OF March, 1992.

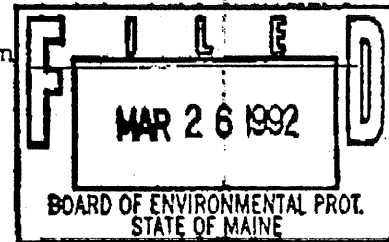
DEPARTMENT OF ENVIRONMENTAL PROTECTION

BY: Dean C. Marriott  
DEAN C. MARRIOTT, COMMISSIONER

PLEASE NOTE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES

Date of initial receipt of application 3-13-92  
Date application accepted for processing 3-18-92

Date filed with Board of Environmental Protection  
LK/BJAILCC



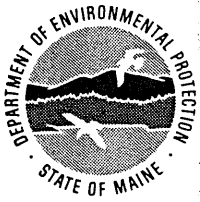
STRICT CONFORMANCE WITH THE STANDARD AND SPECIAL CONDITIONS OF THIS APPROVAL  
IS NECESSARY FOR THE PROJECT TO MEET THE STATUTORY CRITERIA FOR APPROVAL.

1. This approval is dependent upon and limited to the proposals and plans contained in the application and supporting documents submitted and affirmed to by the applicant. Any variation from the plans, proposals and supporting documents is subject to the review and approval of the Board prior to implementation. Further subdivision of proposed lots by the applicant or future owners is specifically prohibited, without prior approval by the Board of Environmental Protection, and the applicant shall include deed restrictions to this effect.
2. The applicant shall secure and comply with all applicable Federal, State and local licenses, permits, authorizations, conditions, agreements, and orders, prior to or during construction and operation as appropriate.
3. The applicant shall submit all reports and information requested by the Board demonstrating that the applicant has complied or will comply with all conditions of this approval. All preconstruction terms and conditions must be met before construction begins.
4. Advertising relating to matters included in this application shall refer to this approval only if it notes that the approval has been granted WITH CONDITIONS, and indicates where copies of those conditions may be obtained.
5. Unless otherwise provided in this approval, the applicant shall not sell, lease, assign or otherwise transfer the development or any portion thereof without prior written approval of the Board where the purpose or consequence of the transfer is to transfer any of the obligations of the developer as incorporated in this approval. Such approval shall be granted only if the applicant or transferee demonstrates to the Municipality that the transferee has the technical capacity and financial ability to comply with conditions of this approval and the proposals and plans contained in the application and supporting documents submitted by the applicant.
6. If the construction or operation of the activity is not begun within two years, this approval shall lapse and the applicant shall reapply to the Board for a new approval. The applicant may not begin construction or operation of the development until a new approval is granted. Reapplications for approval shall state the reasons why the development was not begun within two years from the granting of the initial approval and the reasons why the applicant will be able to begin the activity within two years from the granting of a new approval, if granted. Reapplications for approval may include information submitted in the initial application by reference.
7. If the approved development is not completed within five years from the date of the granting of approval, the Board may reexamine its approval and impose additional terms or conditions or prescribe other necessary corrective action to respond to significant changes in circumstances which may have occurred during the five-year period.
8. A copy of this approval must be included in or attached to all contract bid specifications for the development.
9. Work done by a contractor pursuant to this approval shall not begin before the contractor has been shown by the developer a copy of this approval.

(2/81)

Revised November 1, 1979





STATE OF MAINE  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
STATE HOUSE STATION 17                      AUGUSTA, MAINE 04333  
DEPARTMENT ORDER

RECEIVED

FEB 20 1992

PORTLAND PLANNING OFFICE

IN THE MATTER OF

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

- ) SITE LOCATION OF DEVELOPMENT
- ) NATURAL RESOURCE PROTECTION
- ) WATER QUALITY CERTIFICATION
- ) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of Title 38 M.R.S.A. Sections 481 et seq., 480-A et seq., and Section 401 of the Federal Water Pollution Control Act, the Department of Environmental Protection has considered the application of CUMBERLAND COUNTY COMMISSIONERS with its supportive data, staff summary, agency review comments, and other related materials on file and finds the following facts:

1. PROJECT DESCRIPTION:

A. Summary: The applicants propose to construct a 104,000 square foot jail, a 4,500 square foot pre-release center, and associated staff and visitor parking areas on a 15.8 acre parcel of land all as shown on a set of site plans entitled "Cumberland County Jail," by Stevens Morton Rose & Thompson with the last revision date on most of the sheets being October 25, 1991. The proposed project site is located off Congress Street in the City of Portland.

The applicant is proposing two stream crossings and fill in a freshwater wetlands. All three of these activities require permits under the Natural Resources Protection Act.

B. Current Use of Site: The eastern end of the site is part of an old railroad yard with three sets of railroad tracks, three buildings that are currently being used as warehouses, two concrete pads where two buildings once stood, and a twenty foot wide paved road. The rest of the site is a mixture of hardwood trees and tall grasses.

2. FINANCIAL CAPACITY:

The total cost of the project is estimated to be \$27,900,000. The applicants have submitted a letter from Bernstein, Shur, Sawyer and Nelson dated April 8, 1991, indicating that the proceeds from the sale and issuance of \$25,000,000 worth of bonds were deposited to the account of Cumberland County for the payment of project costs. The U.S. Marshal's Service has committed to funding the remaining \$2,900,000 in return for contracted bed services.

3. TECHNICAL ABILITY:

The applicants have provided resume information for key persons involved with the project. The applicants have also retained the services of Stevens Morton Rose & Thompson, Inc., a professional engineering firm, to assist in the design and engineering of the project.

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

2 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

4. SOLID WASTE:

When completed the proposed project is anticipated to generate 100 cubic yards of general solid waste per year. All general solid wastes from the proposed project will be disposed of at Regional Waste Systems, Inc. (RWS). RWS is currently in substantial compliance with the Solid Waste Management Regulations of the State of Maine.

The proposed project will generate approximately 500 cubic yards of stumps and grubblings. All stumps and grubblings generated will be buried, or burned on-site, in compliance with Chapter 404 of the Solid Waste Management Regulations of the State of Maine. The disposal area will be less than one acre in size and at least 300 feet from any classified body of surface water.

The proposed project will generate approximately 1000-2000 cubic yards of construction and demolition debris. Prior to the removal and/or disposal of any construction, or demolition debris from the project site, the applicants will need to submit information about a disposal site for this material to the Bureau of Land Quality Control for the review and approval of the Commissioner.

The proposed project will generate approximately 2500 cubic yards of special wastes. Prior to the removal and/or disposal of any special wastes from the project site, the applicants will need to submit information about a disposal site for this material to the Bureau of Land Quality Control for the review and approval of the Commissioner.

5. WATER SUPPLY:

When completed the proposed project is anticipated to use 23,376 gallons per day of water. Water will be supplied by the Portland Water District. The applicants have submitted a letter from the district dated April 12, 1991, indicating that they will be capable of servicing this project.

6. TRAFFIC MOVEMENT/ROADWAYS:

The proposed project is accessed via Congress Street and Ogdensburg Street. Congress Street is a paved, three lane road with a 50 foot wide travel surface and no shoulders. Ogdensburg Street will be developed as part of the project. It will be a paved, two lane road with a 40 foot wide travel surface and no shoulders.

The interior site access drive will be paved with a 24 foot wide travel surface and 2 shoulders of three foot width. The drive will be approximately 900 feet long. Two parking lots will be constructed. The staff parking lot will be 53,000 square feet, and the visitor parking lot will be 27,000 square feet. A gravel emergency access road with a 16 foot wide travel surface and three foot shoulders will run between the project site and Frederick Street.

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

3 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

The applicants have submitted a report analyzing traffic to be generated by the proposed project and recommending certain road improvements to accommodate this traffic. This report has been reviewed by the Maine Department of Transportation (MDOT). MDOT commented that no on-site circulation problems were found that would result in adverse traffic operations.

MDOT also commented that the intersection of St. John Street and Park Avenue is within close proximity to the intersection of Congress Street and St. John Street, which is the first major intersection from the proposed project entrance, and it has been previously determined (in previous traffic studies) that these two intersections should operate in an interconnected manner, though they do not at this time. For this reason the intersection of St. John Street and Park Avenue should be considered in any consideration of the intersection of Congress Street and St. John Street. While the Congress Street and St. John Street intersection is projected to operate at an acceptable level of service in the build out year the St. John Street and Park Avenue intersection will be unable to achieve an LOS of D or better in the 1993 build condition.

The applicants have proposed several mitigation measures to address any potential impact the proposed project may have on the intersection of St. John Street and Park Avenue. These measures include:

- a. Donating \$30,000 to the City of Portland for traffic signalization improvements which will improve traffic flow in the entire area.
- b. Reconstructing the Ogdensburg Street and Congress Street intersection which will provide improved definition and guidance to motorists.
- c. Encouraging carpooling and public transportation use through the posting of bus schedules and car pooling opportunities in the employee areas and visitor spaces.
- d. Constructing a sidewalk connecting the jail to the sidewalk on Congress Street.
- e. Having scheduled shift changes which avoid traffic generation during the peak traffic hours on the adjacent road network.
- f. Scheduling visitor hours to avoid the p.m. peak traffic generation hour.
- g. Employees and members of the public have numerous bus stops in close proximity to the jail which are connected to it by sidewalks.

In addition to these measures, the applicants should encourage official traffic exiting the new jail and heading toward public buildings downtown to use Congress Street instead of I-295, thereby avoiding left turns onto St. John Street and Park Avenue. The Department finds that these mitigation measures adequately address any potential impact the proposed project may have on the intersection of St. John Street and Park Avenue.

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

4 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

7. NATURAL DRAINAGE WAYS:

Site topography is characterized by a broad, flat mound which sheds runoff to the north and south where it is collected in various drainage paths and small wetland areas before ultimately discharging

into the Fore River. One small stream which flows along the southerly edge of the property, and a freshwater wetlands will be impacted by the construction of the emergency access road. Another small stream which is off the main project site but crosses the emergency access road easement will also be impacted.

8. STORMWATER RUNOFF:

The applicants have submitted a stormwater management plan for the site based on estimates of the pre-development and post-development runoff flows for the 2, 10, and 25 year storms using the methodology outlined in "Urban Hydrology for Small Watersheds", Technical Release #55, U.S.D.A., Soil Conservation Service.

The stormwater management plan calls for the construction of a bimodal stormwater treatment facility (BSTF), but no detention. The BSTF is designed to prevent oil and sediment from being transported in the post-development runoff which will flow through on-site wetlands before exiting the site into the Fore River mudflats. The final plan has been reviewed by the Cumberland County Soil and Water Conservation District (CCSWCD) which has commented that, based on the information presented, the plan meets the standards set forth by the Department.

9. EROSION AND SEDIMENTATION CONTROL:

The applicants have submitted an Erosion and Sedimentation Control Plan as Exhibit 20 of the application. This plan and plan sheets containing erosion control details have been reviewed by, and revised in response to the comments of, the CCSWCD which has found the revised plans to be in accordance with Departmental standards for erosion and sediment control.

CCSWCD does recommend that some form of third party inspection take place to assure that the erosion control plan is being properly implemented on the site, and that Casco Bay is being protected from project impacts to the maximum extent possible. The site will need to be inspected on a weekly basis, or after each storm event prior to stabilization, and on a monthly basis after stabilization. Prior to construction, the applicants will need to arrange for these inspections to take place, by a party acceptable to the Department, who will report back to the Department on a monthly basis, until all site work is completed and all areas have been permanently stabilized.

Erosion control details will be included on the final construction plans and the erosion control narrative will be included in the project specifications to be provided the construction contractor.

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

5 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

10. SURFACE WATER QUALITY:

The proposed project is not within the watershed of a lake or great pond. All discharges from the project site will be treated prior to flowing into the wetlands and the Fore River as outlined in Finding 8. This treatment and the proposed buffer strips outlined in Finding 12 should prevent any adverse impacts on surface water quality.

11. GROUNDWATER QUALITY:

The project site is not located over a sand and gravel aquifer or a fractured bedrock aquifer. The project does not propose any withdrawal from, or discharge to, any groundwater.

12. BUFFER STRIPS:

A 25 foot wide buffer strip will be maintained outward from the edge of the embankment above the stream. This buffer will be undisturbed except for the area which will be crossed by the emergency access road. No formal buffer has been proposed for the freshwater wetlands since it is in an area that will remain undisturbed except for a small amount of fill at one end that is necessary to construct the emergency access road. Other proposed visual buffers are outlined in Exhibit 26.

13. HISTORIC SITES AND UNUSUAL NATURAL AREAS:

The project site has been reviewed by the Maine Historic Preservation Commission which has found that the proposed project will have no effect upon any structure or site of historic, architectural, or archaeological significance as defined by the National Historic Preservation Act of 1966.

There is no record of any known rare or unusual features on the property. This is based on a review of the Maine Natural Heritage Program data base, and a canvas of the site by biologists from Woodlot Alternatives.

14. SCENIC CHARACTER:

No unreasonable adverse impacts on scenic character are anticipated.

15. WILDLIFE AND FISHERIES:

The proposed project has been reviewed by the Maine Department of Inland Fisheries and Wildlife (IF&W). In its comments IF&W stated that a check of the wildlife resource map for Portland revealed no essential or significant habitats associated with this site. No fisheries concerns were identified.

16. SOILS:

The applicants have submitted a preliminary geotechnical investigation of the project site which indicates that the soils on the site present no limitations to the proposed project which cannot be overcome through standard engineering practices.

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

6 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

17. WASTEWATER DISPOSAL:

When completed the proposed project is anticipated to generate 23,376 gallons per day (gpd) to Portland's wastewater treatment facility. Since the new jail will replace an old jail, the actual increase in

sewage will be 8,695 gpd. This project has been reviewed by the Bureau of Water Quality Control which has indicated that the Portland wastewater treatment facility has the capacity to treat these flows and is operating in substantial compliance with the water quality laws of the State of Maine provided either 43,475 gpd of infiltration/inflow (I/I) is removed from Portland's collection system, or removal credits are obtained from Portland.

Since Portland is in the process of developing a combined stormwater overflow package which will affect this project, the applicants have been unable to obtain a firm agreement with Portland for removing the I/I, or obtaining credits. Prior to occupancy of the jail, either 43,475 gpd of I/I will need to be removed from Portland's collection system, or removal credits obtained from Portland.

18. OPEN SPACE:

The City of Portland does not have a comprehensive plan which contains open space requirements.

19. FLOODING:

The proposed project, except for the emergency access road, is not located within the 100 year floodway of any river or stream and is not anticipated to cause or increase flooding or cause an unreasonable flood hazard to any structure.

20. MAINTENANCE OF COMMON FACILITIES:

The applicants will be responsible for the maintenance of all facilities including the road and stormwater management system.

21. NOISE:

No significant sources of noise have been identified.

BASED on the above findings of fact, the Department makes the following conclusions pursuant to 38 M.R.S.A. Section 480-A et seq. and Section 401 of the Federal Water Pollution Control Act:

A. The proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational or navigational uses.

B. The proposed activity will not cause unreasonable erosion of soil or sediment and will not inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment provided the erosion control plan is properly implemented.



CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

7 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

- C. The proposed activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, aquatic habitat, travel corridors, freshwater, estuarine or marine fisheries or other aquatic life provided the stormwater management plan and the erosion control plan are properly implemented.
- D. The proposed activity will not unreasonably interfere with the natural flow of any surface or subsurface waters.
- E. The proposed activity will not violate any state water quality law, including those governing the classifications of the State's waters.
- F. The proposed activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties.
- G. The activity is not on an outstanding river segment as noted in Title 38 M.R.S.A. Section 480-P.

BASED on the above findings of fact, the Department makes the following conclusions pursuant to 38 M.R.S.A. Section 481 et seq.:

- A. The applicant has provided adequate evidence of financial capacity and technical ability to develop the project in a manner consistent with state environmental standards.
- B. The applicant has made adequate provision for traffic movement of all types into, out of or within the development area. Any traffic increase attributable to the proposed development will not result in unreasonable congestion or unsafe conditions on a road in the vicinity of the proposed development provided mitigation measures are implemented as proposed.
- C. The applicant has made adequate provision for fitting the development harmoniously into the existing natural environment and the development will not adversely affect existing uses, scenic character, air quality, water quality or other natural resources in Portland or in neighboring municipalities provided the erosion control plan is properly implemented.
- D. The proposed development will be built on soil types which are suitable to the nature of the undertaking and will not cause unreasonable erosion of soil or sediment nor inhibit the natural transfer of soil.
- E. The proposed development will not pose an unreasonable risk that a discharge to a significant groundwater aquifer will occur.
- F. The applicant has made adequate provision of utilities, including water supplies, sewerage facilities and solid waste disposal, roadways and open space required for the development and the development will not have an unreasonable adverse effect on the existing or proposed utilities, roadways and open space in Portland or the area served by those services or open space provided acceptable disposal sites are found for construction debris, demolition debris, and special wastes, and I/I removal is completed prior to occupancy of the jail.

CUMBERLAND COUNTY COMMISSIONERS  
Portland, Maine  
CUMBERLAND COUNTY JAIL  
L-17657-26-A-N (APPROVAL)

8 SITE LOCATION OF DEVELOPMENT  
) NATURAL RESOURCE PROTECTION  
) WATER QUALITY CERTIFICATION  
) FINDINGS OF FACT AND ORDER

G. The activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties nor create an unreasonable flood hazard to any structure.

THEREFORE, the Department APPROVES the application of the CUMBERLAND COUNTY COMMISSIONERS to construct a jail in Portland, Maine, in accordance with the following conditions:

1. The Standard Conditions of Approval, a copy of which is attached.
2. In addition to any specific erosion control measures described in Finding 9 of this order, the Cumberland County Commissioners shall take all necessary actions to ensure that their activities or those of their agents do not result in noticeable erosion of soils, or fugitive dust emissions on the site during the construction and operation of the project covered by this approval.
3. Prior to construction, the applicants shall arrange for site inspections as outlined in Finding 9 to assure that the erosion control plan is being properly implemented. The site inspector shall be approved by the Department and report to the Department at the beginning of each month, until all site work is completed and all areas have been permanently stabilized.
4. Prior to the removal of any construction or demolition debris from the project site, the applicants shall submit information about a disposal site for this material to the Bureau of Land Quality Control for the review and approval of the Commissioner.
5. Prior to the removal and/or disposal of any special wastes from the project site, the applicants shall submit information about a disposal site for this material to the Bureau of Land Quality Control for the review and approval of the Commissioner.
6. The applicants shall implement all the mitigation measures to reduce traffic impacts which are outlined in Finding 6
7. Prior to occupancy of the jail, information detailing how 43,475 gpd of I/I will either be removed from the City of Portland's sewer collection system, or removal credits obtained from the City of Portland, shall be submitted to the Bureau of Land Quality Control for the review and approval of the Commissioner.

DONE AND DATED AT AUGUSTA, MAINE, THIS 4 DAY OF February, 1992.

DEPARTMENT OF ENVIRONMENTAL PROTECTION

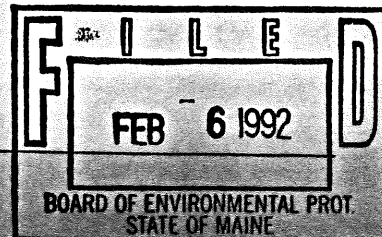
BY: Deborah Pichard  
DEAN C. MARRIOTT, COMMISSIONER

PLEASE NOTE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES

Date Of Initial Receipt of Application 5-3-91

Date Of Application Acceptance 5-14-91

Date filed with Board of Environmental Protection  
LK/BCCJAIL





ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
29 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207-772-3846 Fax 207-772-1070

copy file Mail - 89006-25 file 2.2

RECEIVED

APR 07 1992

PORTLAND PLANNING OFFICE

Melody Estenberg  
(City of Portland Planning Office)

owner  
FH  
PFK  
GRANVER NORTHERN  
JIM GILMAN

April 2, 1992

Linda Kokemuller  
Project Analyst  
Department of Environmental Protection  
312 Canco Road  
Portland, Maine 04103

Job No. 89006-25 4.5 D.E.P. #L - 17657-26-B-C

Dear Ms. Kokemuller:

This letter is to summarize the findings of our inspection on April 1, 1992 of erosion control measures at the new Cumberland County Jail site.

Generally the erosion control measures have been implemented according to the approved plans but the following measures need to be implemented as soon as possible:

1. The silt fence around the outfall channel of the new 48" storm drain has fallen in some areas and needs to be resur-rected so that it functions properly.
2. The inlet to the two 36" concrete culverts under the emergency access road is only partially completed. The rest of the channel and side slopes that have been excavated to bare earth need to be lined with geotextile and riprap.
3. There is an existing 18" corrugated metal pipe under the existing road on the southern tip of the site. Construction activity above this culvert is silting the water draining through this culvert. This needs to have silt fence put across the channel with staked haybales behind it below the culvert.

**BID DOCUMENT FOR IMMEDIATE ATTENTION**

ADDENDUM NO. 4

TO

CONTRACT DRAWINGS AND SPECIFICATIONS

FOR THE CONSTRUCTION OF THE

CUMBERLAND COUNTY JAIL

PORTLAND, MAINE

DECEMBER 6, 1991

NOTICE TO BIDDERS

The specifications and drawings are amended herein.

Bidders are required to acknowledge receipt of this addendum on the proposal form in the provided space on Page 5; filled sub-bidders are required to acknowledge receipt of this addendum on the proposal form in the space provided on page 2B-1; or by separate letter or telegram prior to opening of bids. Failure to acknowledge all addenda may cause the bid to be considered non-responsive to the invitation, which would require rejection of the bid.

The bidding documents for solicitation of bids for construction of the above project are hereby changed as follows:

PERTAINING TO THE SPECIFICATIONS

ADDENDUM NO. 2

Addendum No. 2, Page 17 of 29 thru Page 21 of 29, under reference to Page 16900-18;

Delete in its entirety the following: "Insert 2.06 OPERATIONAL INTERCOM SYSTEM, Para A, B, C, D, E, F, G."

Page 14 of 29;

Section 16721, Page 16721, Para 2.04.I;

Delete: "The Master Box shall be Simplex model # 2095-9011 Energy Master Box."

Insert in its place: "The Master Box shall be a 6 zone Master Box type DEL 6B in a 2095-9011 enclosure by Simplex."

END OF ADDENDUM NO. 4



**CITY OF PORTLAND**  
Planning and Urban Development Department

**MEMORANDUM**

**TO:** Kathy Lowe, Code Enforcement Officer

**FROM:** Craig R. Carrigan, Development Review Coordinator

**DATE:** December 16, 1993

**SUBJECT:** Cumberland County Jail

I have reviewed the aforementioned site and have no objection to issuance of a Certificate of Occupancy with the following conditions:

1. That as-built drawings be provided on Ogdensburg Street and proper documentation for street acceptance be provided (i.e. deeds.) Completion of these items shall occur within 90 days.
2. That the required catchbasin be installed in Ogdensburg Street. Completion of this item shall occur within 120 days, weather permitting.



RECEIVED

Copy file Mail. 89006-8 2.2

APR 10 1992

PORTLAND CITY PLANNING OFFICE



STEVENS MORTON ROSE & THOMPSON  
Architecture Engineering Survey

39 Forest Avenue / P.O. Box 618  
Portland, Maine 04104

tel 207/772.3846  
fax 207/772.1070

Main Street / P.O. Box 10  
Limerick, Maine 04048

tel 207/793.8202  
fax 207/793.2713

file 2.2  
OWNER  
JIM GILMAN  
GRANGER  
MELODY ESTERBERG  
(CITY PLANNING)

Date: 4/7/92 9:30, OVERCAST, 50° PROJ # 89006.25-4.5  
Meeting Report (Memo) Telephone Conversation:

Client:

Project: CC3 SITE INSPECTION REPORT

Between:

Subject: PURPOSE OF THIS SITE VISIT WAS TO CHECK THE CONDITION OF THE RECENTLY UNEARTHED STORM MH NEAR THE PROPOSED STORM MH #9 AND CHECK THE EROSION CONTROL

① THE EXISTING STORM MH FOUND NEAR THE PROPOSED STORM MH #9 IS OF MH BLOCK CONSTRUCTION. IT HAS AN 18" CAST IRON PIPE INLET AND AN 18" CAST IRON PIPE OUTLET WITH AN INVERT ELEVATION OF 19.81. THE MANHOLE, RIM & COVER WERE ALL IN GOOD SOUND CONDITION. JIM GILMAN WAS DIRECTED TO INCORPORATE THIS SMH INTO OUR DRAINAGE SYSTEM BY ELIMINATING SMH #9. SHAW BROS WILL ADJUST THE SLOPE OF THE PIPE FROM THIS UNEARTHED STORM MH TO THE PROPOSED STORM MH #14, MAINTAINING THE PREVIOUSLY PROPOSED GRADES BETWEEN SMH #14 TO SMH #11

② JIM GILMAN WAS DIRECTED TO HAVE SHAW BROS. STRAIGHTEN UP THE SILT FENCE THAT IS AROUND THE 48" DIA. STORMWATER OUTFALL PIPE.

THE SILT FENCE W/ HAY BALES, REQUESTED ON 4/01/92, HAS BEEN INSTALLED ACROSS THE ACROSS THE CHANNEL BELOW THE 18" CMP CULVERT ON THE SOUTHERN TIP OF THE SITE.

Copies To:  
CAM  
FILE

THE ENTIRE AREA THAT DISTURBED IN SEARCH OF THE EXISTING 18" STORM DRAIN CONNECTION W/ SMH 2 AND FOR THE NEW STORM INSTALLATION BETWEEN SMH 2 AND THE OUTFALL SHOULD BE LOAMED SEEDED AND MULCHED





ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
39 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207/772-3846 Fax 207/772-1070

4/27/93 Meeting With City on CSO & Ogdensburg Street

RE: Paul Niehoff Request to Pave Congress Street Regrade

Present: Joe Gray, Bill Bray, Melody Esterberg, Natalie Burne,  
Peter Wiley, Philip Kaminsky

Distribution: All Present, File 89006-7 2.2, Owner, APT, FH

1. Putting a final approval on CSO work is issue. Bringing this area of work to a close-out. Schedule and delay costs are issues also.
2. Joint at the track must butt to track. Grind 6'0" out at the track (by 1-1/2" deep). Take out old pavement up to the track. Paul Niehoff to determine width of this strip.
3. As a matter "of right" city can work at the track. Notify the City at the time of beginning (Bill Bray).
4. Notify Guildford when work is to start so that City Work (paving) will be done at the track. Tim Cobb at So. Portland Rigby Yard.
5. Submit design to Paul Niehoff.  
  
1-1/2" thick asphalt overlay is all that is required to Portland City specs.
6. Curbing Island is okay as shown as long as it does not go beyond the Street R.O.W. line.  
====
7. SMRT to begin Survey & design and coordinate with Portland Public Works.

Ogdensburg Street Dedication

Peter Wiley  
SMRT

8. As Built of Ogdensburg Street.
  - a. Deeds
  - b. Waiver & Indemnification
  - c. Letter from P. Wiley.
  - d. Defect Guarantee
  - e. Accepted only as built
  - f. Turn around easement for city plows.
  - g. Maintain fire access road.

- 1) City will push snow beyond end of New Ogdensburg Street.

Peter Wiley

9. Will the Railroad (Guilford) bring any issues back on street acceptance? Not known.
  - a. The New Ogdensburg Street ends where it is shown, as far as county is concerned, at this time.



**CITY OF PORTLAND, MAINE**  
**SITE PLAN REVIEW**  
**Processing Form**

County of Cumberland - ME

Date 1/22-91

Applicant 142 Federal St; Ptld, ME 04101

Ogdensburg St -  
Address of Proposed Site

Mailing Address jail & pre-release center

Assessor's Chart 95 + 76  
Site Identifier(s) from Assessors Maps

Proposed Use of Site jail

I-2  
Zoning of Proposed Site

Acreage of Site / Ground Floor Coverage 15.8 acres / 104,000 sq ft

Site Location Review (DEP) Required: ( ) Yes ( ) No  
& 4500 sq ft pre-release ctr

Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area \_\_\_\_\_

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: Theo Holtwijk - 772-3846 (SMRT)

Date Dept. Review Due: - contact person -

Major Site Plan Review

**PUBLIC WORKS DEPARTMENT REVIEW**

(Date Received) \_\_\_\_\_

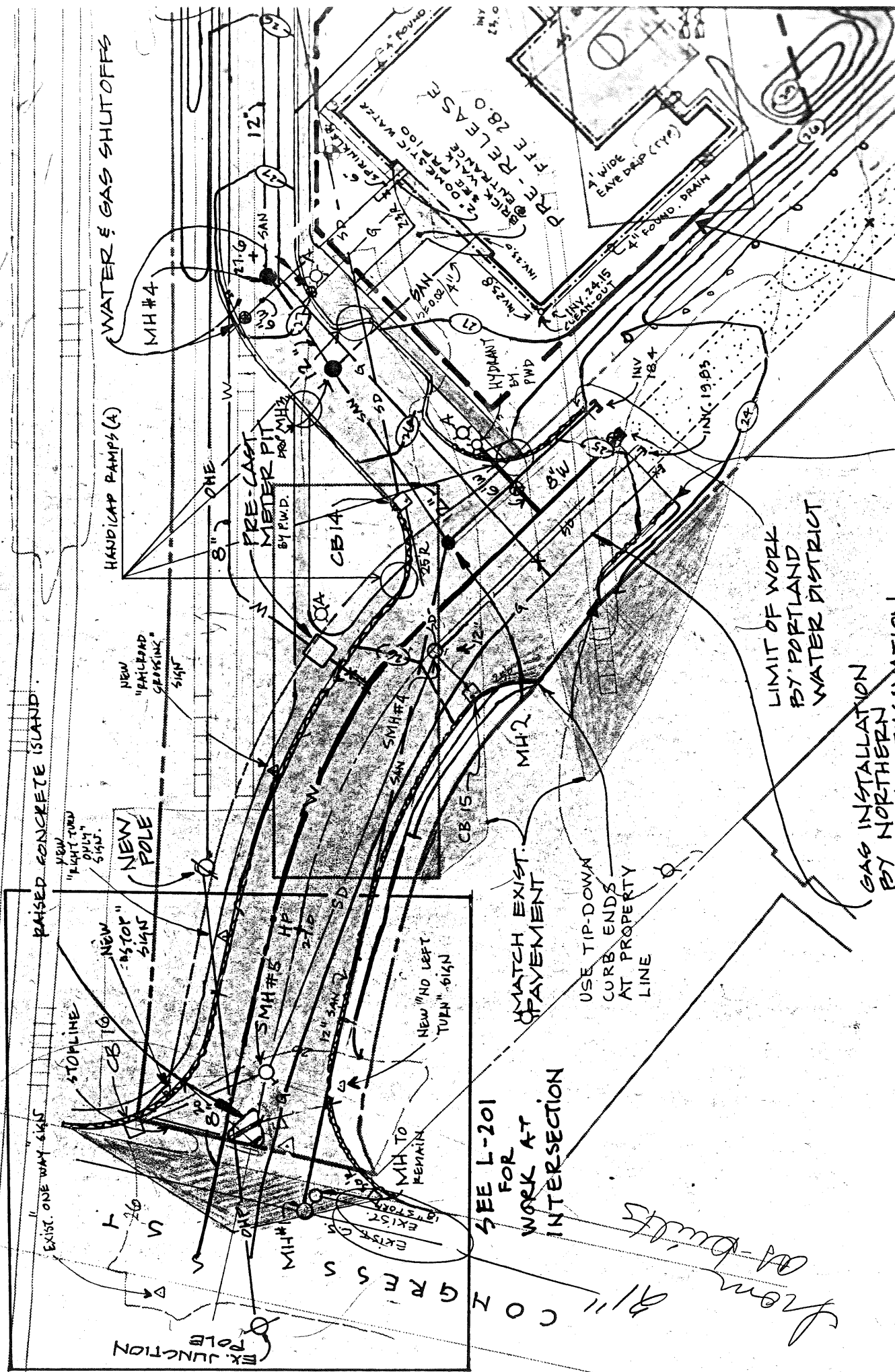
	TRAFFIC CIRCULATION	ACCESS	CURB CUTS	ROAD WIDTH	PARKING	SIGNALIZATION	TURNING MOVEMENTS	LIGHTING	CONFLICT WITH CITY CONSTRUCTION PROJECT	DRAINAGE	SOIL TYPES	SEWERS	CURBING	SIDEWALKS	OTHER	
APPROVED																CONDITIONS SPECIFIED BELOW
APPROVED CONDITIONALLY																
DISAPPROVED															REASONS SPECIFIED BELOW	

REASONS: - Inspection will start on bill to Cumberland County following construction.

(Attach Separate Sheet if Necessary)

\_\_\_\_\_  
SIGNATURE OF REVIEWING STAFF/DATE

1 2 3 4 5



*from A111 CONCRETE*

EX. JUNCTION

EXIST. "NO LEFT TURN" SIGN

NEW "NO LEFT TURN" SIGN

USE TIP-DOWN CURB ENDS AT PROPERTY LINE

MATCH EXIST. PAVEMENT

LIMIT OF WORK BY PORTLAND WATER DISTRICT

GAS INSTALLATION BY NORTHERN EVAPORATION

RAISED CONCRETE ISLAND

WATER & GAS SHUTOFFS

HANDICAP RAMPS (A)

PRE-CAST METER PIT

NEW "STOP" SIGN

NEW "POLE"

NEW "RIGHT-TURN ONLY" SIGN

NEW "HEAD CROSSING" SIGN

EXIST. ONE WAY SIGN

STOPLINE

NEW "NO LEFT TURN" SIGN

SEE L-201 FOR WORK AT INTERSECTION

USE TIP-DOWN CURB ENDS AT PROPERTY LINE

MATCH EXIST. PAVEMENT

LIMIT OF WORK BY PORTLAND WATER DISTRICT

GAS INSTALLATION BY NORTHERN EVAPORATION

RAISED CONCRETE ISLAND

WATER & GAS SHUTOFFS

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EXIST. ONE WAY SIGN

STOPLINE

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SEE L-201 FOR WORK AT INTERSECTION

USE TIP-DOWN CURB ENDS AT PROPERTY LINE

MATCH EXIST. PAVEMENT

LIMIT OF WORK BY PORTLAND WATER DISTRICT

GAS INSTALLATION BY NORTHERN EVAPORATION



CITY OF PORTLAND  
MEMORANDUM

**TO:** Bill Boothby, Director of Engineering

**FROM:** Melodie Esterberg, Development Review Coordinator *Melodie A. Esterberg*

**DATE:** April 1, 1992

**RE:** Cumberland County Jail

Just to follow up on our meeting yesterday regarding the sanitary and storm sewers within the proposed relocation of Ogdensburg Street. Since the street is intended to be accepted by the City following construction, the utilities should be located as required per the City of Portland Technical and Design Standards and Guidelines. In particular, the sanitary and storm sewers should be located 3' off the centerline of the street.

We also discussed the possibility of tying in the existing catch basins and manhole in the intersection of Congress and Ogdensburg Streets. The 24" pipe between the existing manhole and SMH#5 should be plugged at the MH until the storm drain in Ogdensburg Street is extended. Apparently the additional flow from these structures is relatively small so that the effect to the new storm system will be minimal. Tying these structures into Ogdensburg Street now will eliminate opening up a new street upon further development of Ogdensburg Street. This will also eliminate a small amount of stormwater from the combined sewer in Congress Street which can be used as credits against the additional sanitary flow from the jail.

I have attached a sketch of approximately how the sewers should be located in Ogdensburg Street and also the structures to be tied into the storm sewer.

cc: Alexander Jaegerman, Chief Planner  
Sarah Greene, Senior Planner  
Bill Goodwin, Environmental Engineer  
Paul Niehoff, Materials Engineer  
Philip Kaminsky, SMRT  
P.O. Box 618  
Portland, ME 04104

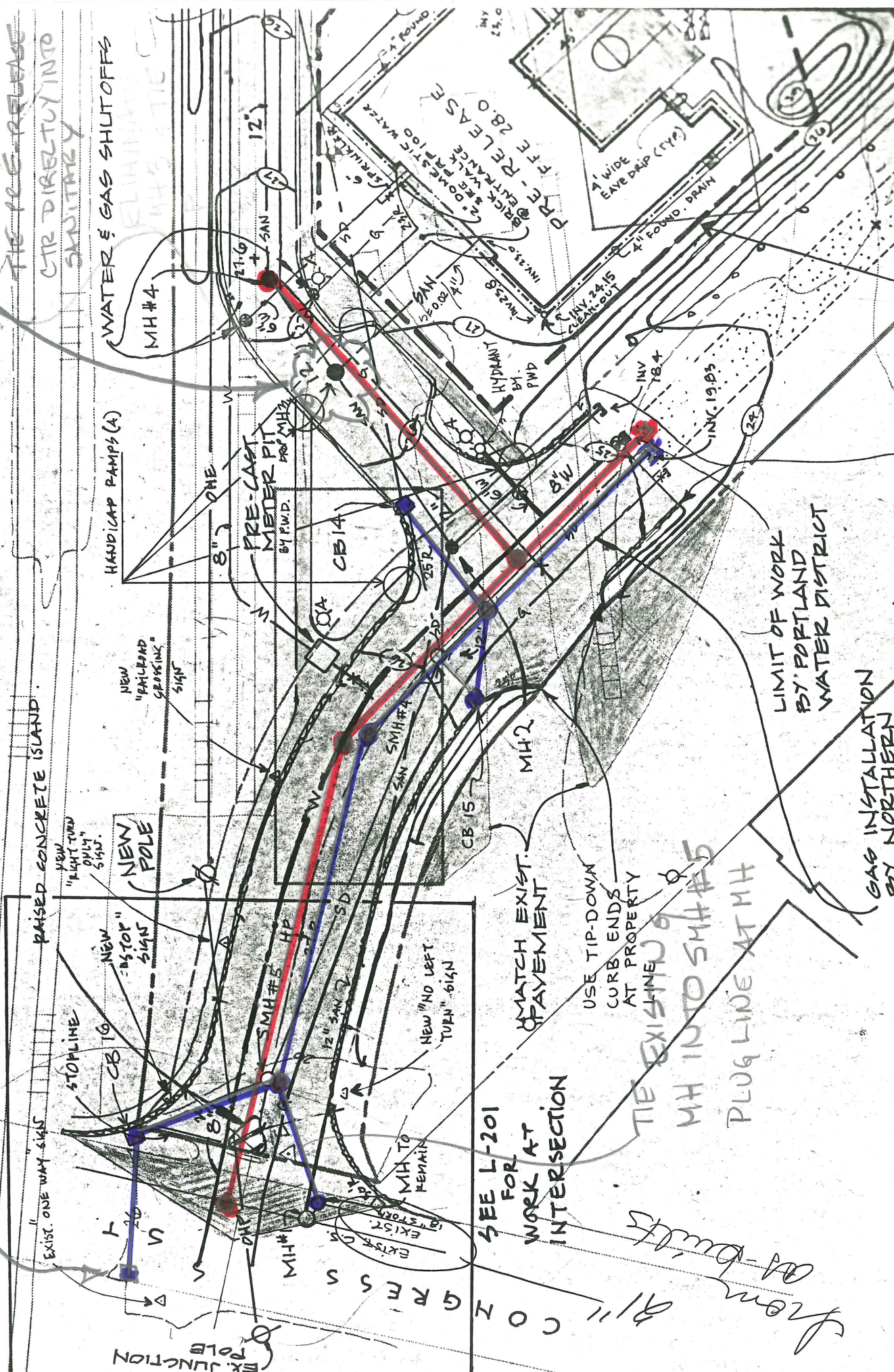


OGDENSBURG ST  
 1" = 40'  
 4/1/92

ELIMINATE MH3 &  
 THE 12" RELEASE  
 CTR DIRECTLY INTO  
 SANITARY

WATER & GAS SHUTOFFS

TIE EXISTING CB INTO CB16



SANITARY SEWER  
 STORM DRAIN

RAISED CONCRETE ISLAND

NEW "STOP" SIGN  
 NEW "RIGHT TURN ONLY" SIGN  
 NEW POLE

SEE L-201 FOR WORK AT INTERSECTION

TIE EXISTING MH INTO SMH#5  
 PLUG LINE AT MH

LIMIT OF WORK BY PORTLAND WATER DISTRICT

GAS INSTALLATION BY NORTHERN

1 2 3 4 5 6

EX. JUNCTION

EXIST. 12" SAN. SD

FROM OGDENSBURG ST

from Ogdenburg St



CUMBERLAND COUNTY JAIL

910216363

BN

ADDENDUM NO. 5

TO

CONTRACT DRAWINGS AND SPECIFICATIONS

FOR THE CONSTRUCTION OF THE

CUMBERLAND COUNTY JAIL

PORTLAND, MAINE

DECEMBER 12, 1991

NOTICE TO BIDDERS

The specifications and drawings are amended herein.

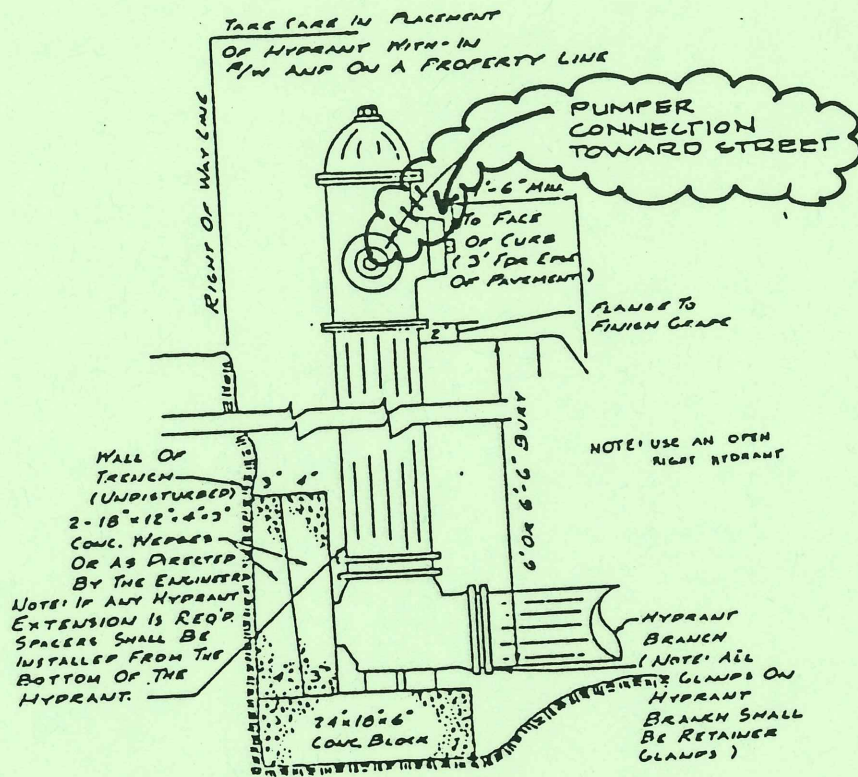
Bidders are required to acknowledge receipt of this addendum on the proposal form in the provided space on Page 5; Filed sub-bidders are required to acknowledge receipt of this addendum on the proposal form in the space provided on page 2B-1; or by separate letter or telegram prior to opening of bids. Failure to acknowledge all addenda may cause the bid to be considered not responsive to the invitation, which would require rejection of the bid.

The bidding documents for solicitation of bids for construction of the above project are hereby changed as follows:

PERTAINING TO GENERAL ITEMS

1. Paving depths for basketball and recreation yards shall be 1-1/2" total.
2. The site contractor shall be responsible to restripe any areas at the Congress Street intersection and the site that are disturbed. The contractor shall submit a proposed restriping plan to the City of Portland Public Works Department for approval prior to installation.
3. A precast meter pit shall be acceptable provided it meets all specified criteria.
4. Sprayed-on Fireproofing "Constructus" name is now part of the "Righter Corporation" telephone (617) - 938-8811 for information.
5. Site Utilities: The site contractor shall include the stated amount of \$9,141.00 as part of the bid. See letter from





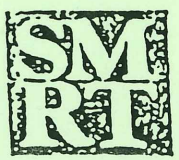
# Hydrant Detail

F 15  
L-301

NOT TO SCALE

PROJECT No.:  
89006

ADD-41



STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

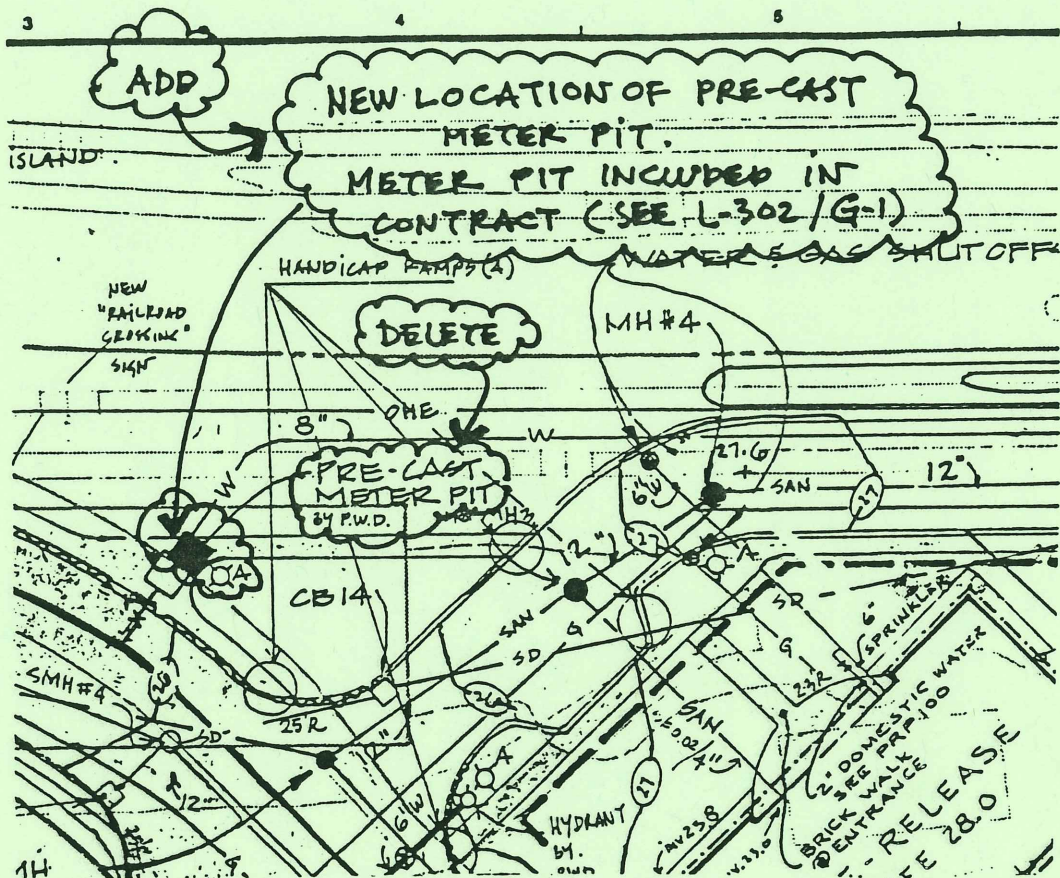
CUMBERLAND COUNTY JAIL

PROJECT:

ADDENDUM No. 2  
HYDRANT CLARIFICATION - DRAWING L-301

SHEET 1 of 1  
DATE: 12.2.91





REVISE note to read: "Pre-cast meter pit SHALL BE INCLUDED in contract (and not by P.W.D.). Work included in the contract shall be up to the Ogdensburg Street right-of-way line. See also L-302, G-1."

NOTE: The new location of pre-cast water meter pit shall be entirely on County property, and not in the Ogdensburg Street right-of-way.

PROJECT No.:  
89.006

ADD-42



STEVENS MORTON ROSE & THOMPSON  
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

CUMBERLAND COUNTY JAIL

PROJECT:

ADDENDUM No. 2

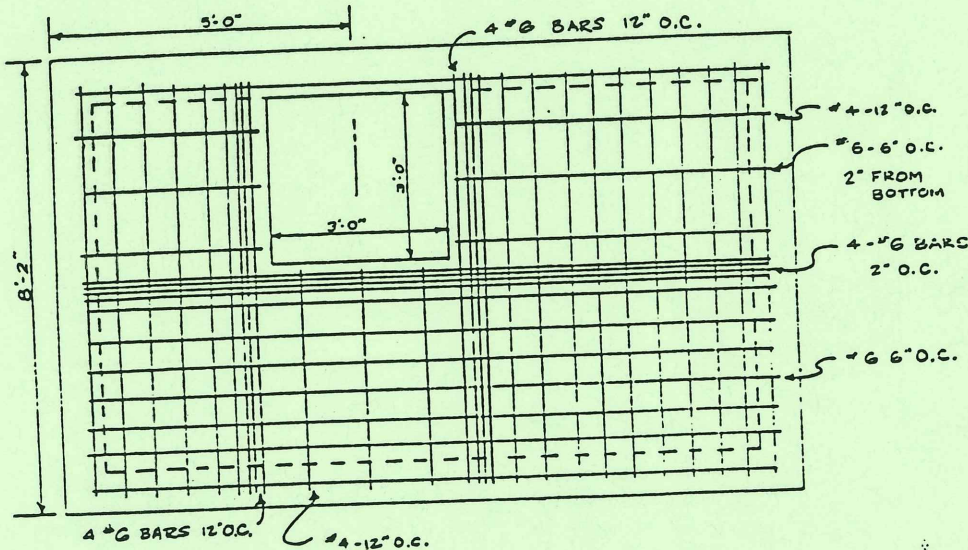
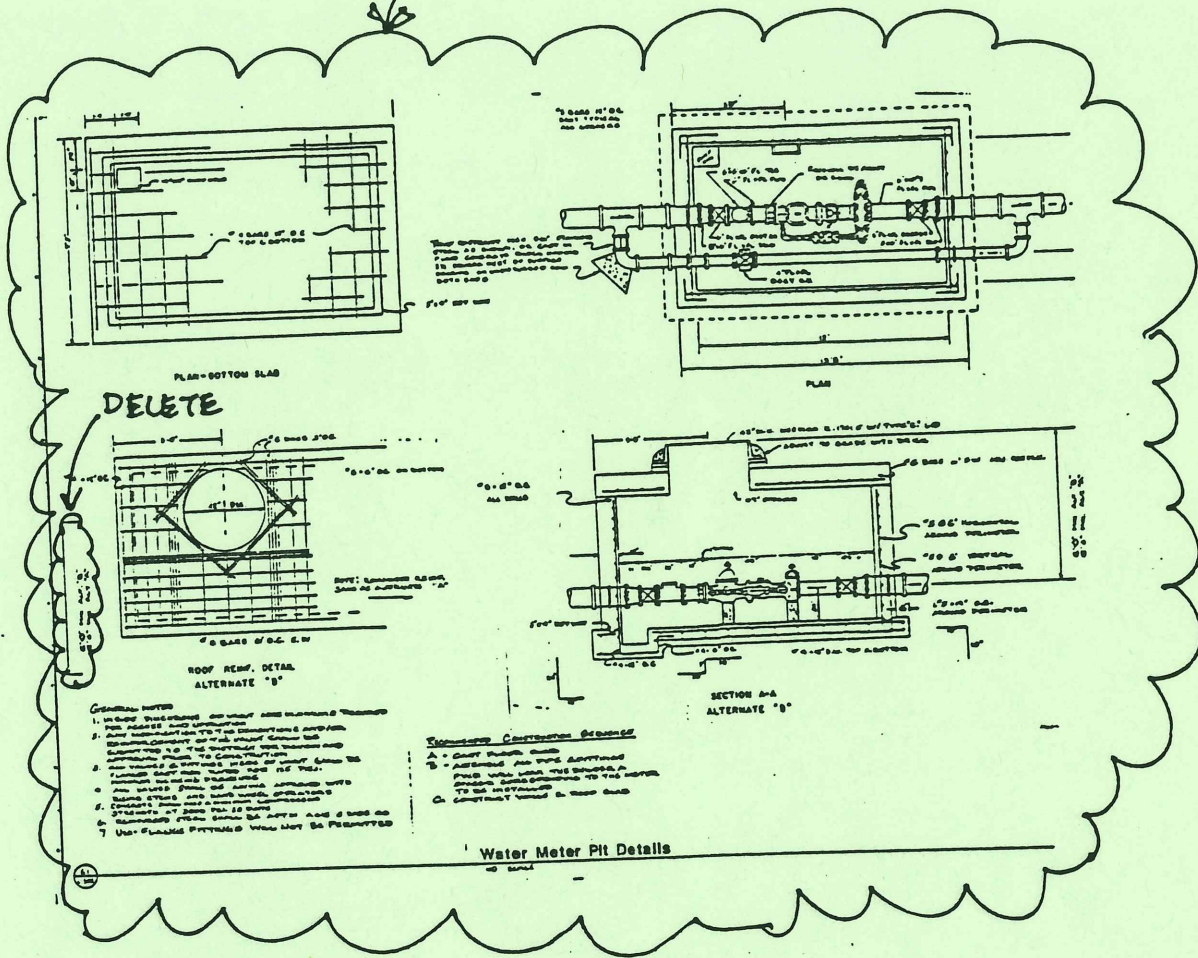
METER PIT - DRAWING 1 - 100

SHEET 1 of 2

DATE: 12-2-91



INCLUDED IN CONTRACT



ROOF REIN. PLAN  
ALTERNATE "A"

**INSERT:** General Notes #4 (at H-1): "Valves shall open right, per F.W.D. standards."  
**DELETE:** Dimensions shown at J-1, K-1 and L-1 (6'-0" min. Alt. "B", 6'-6" min. Alt "A").  
**INSERT:** Alternate "A" as shown below. Use for reinforcing details only.

PROJECT No.:  
89006

ADD-43

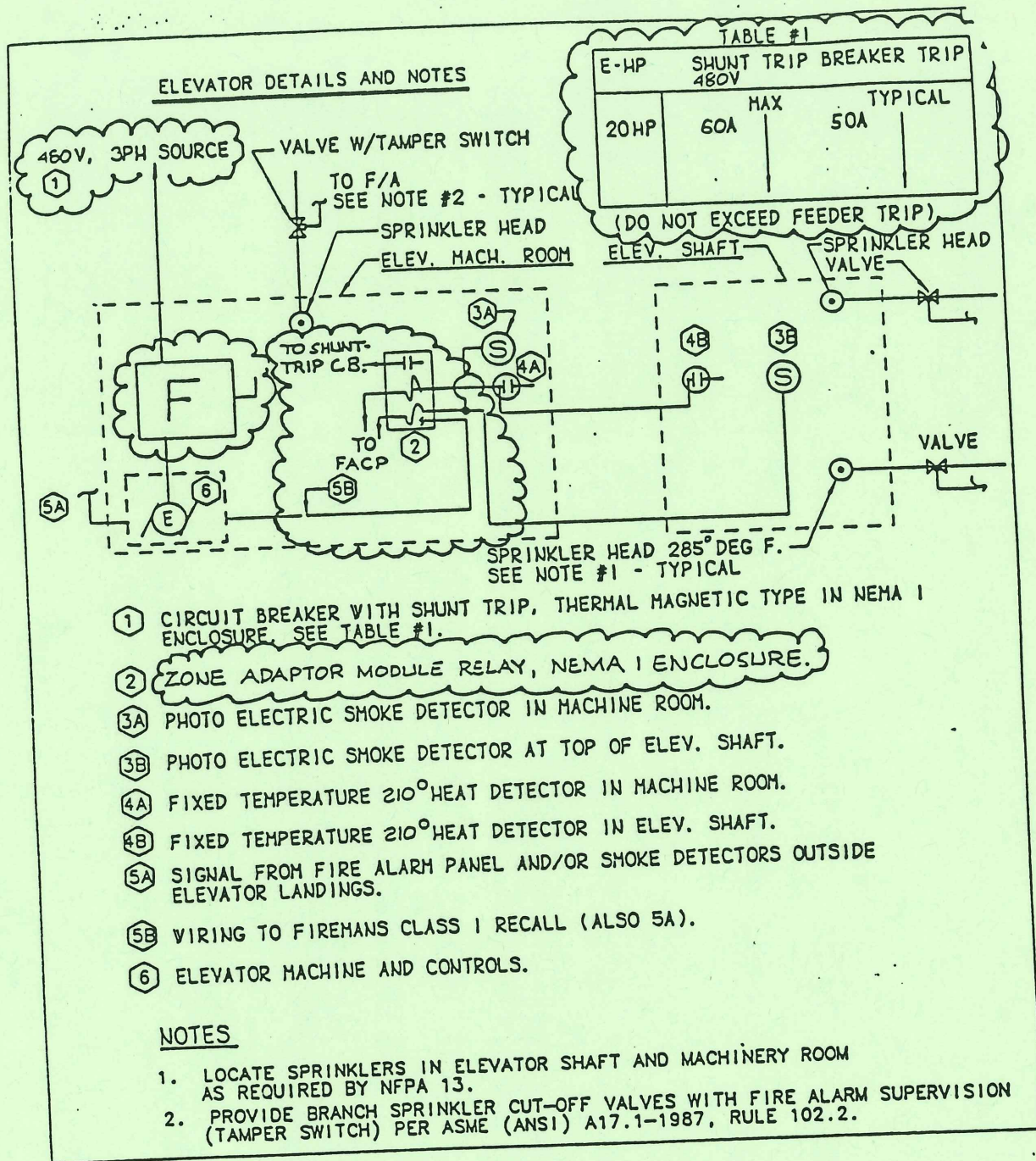


STEVENS MORTON ROSE & THOMPSON  
 ARCHITECTURE ENGINEERING SURVEY  
 P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
 P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202  
 CUMBERLAND COUNTY JAIL

PROJECT: ADDENDUM No. 2

SHEET 2 of 2  
DATE: 12-7-91





## ELEVATOR EMERGENCY POWER-OFF CONTROL DETAIL

PROJECT No.:  
89006



STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

CUMBERLAND COUNTY JAIL

ADD-44

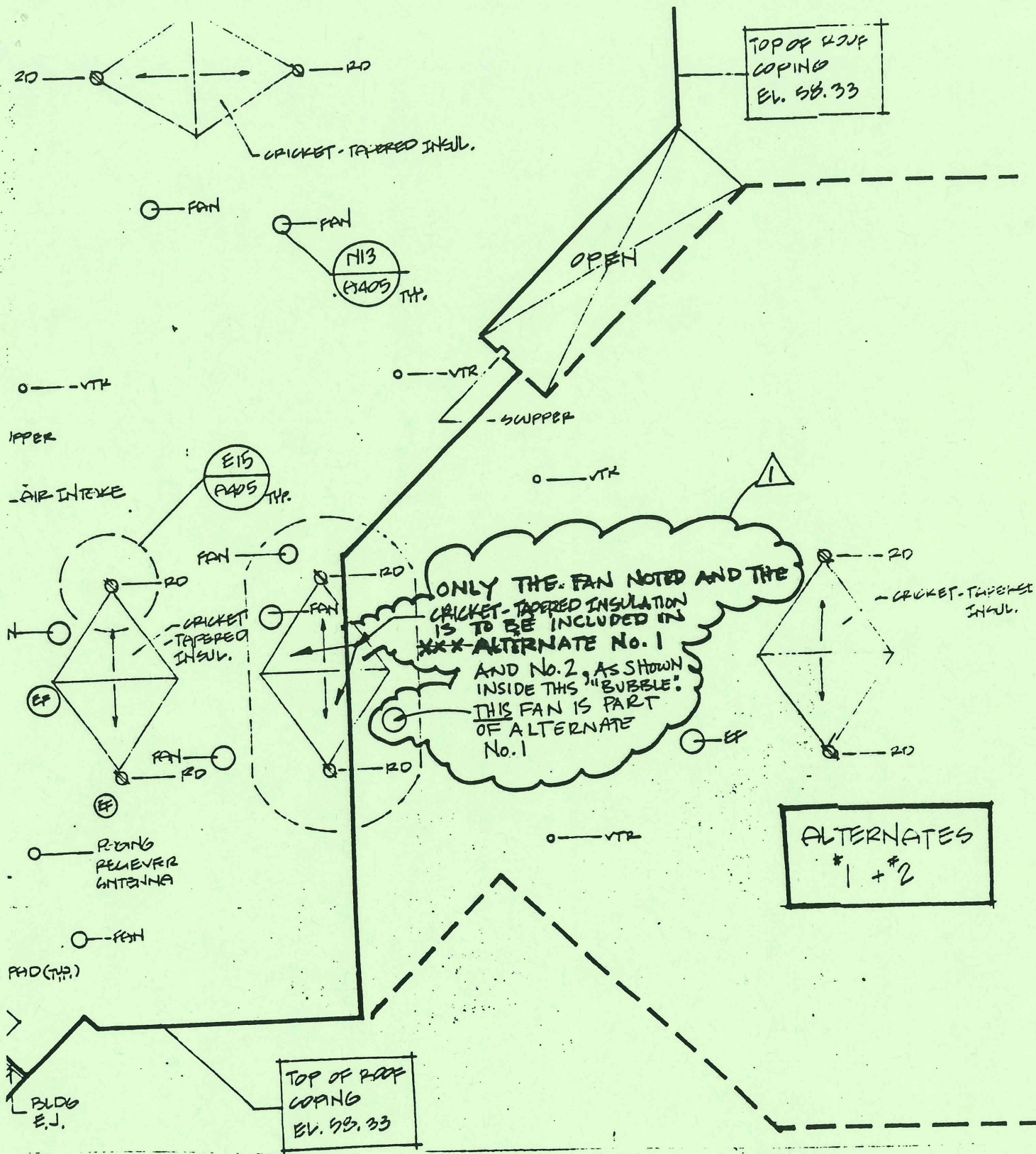
PROJECT:  
REVISED

ADDENDUM No. 2

ELECTRICAL ELEVATOR DETAIL - E-400

SHEET 1 of 1  
DATE: 12.2.91





PROJECT No.:  
89006

ADD-45



STEVENS MORTON ROSE & THOMPSON

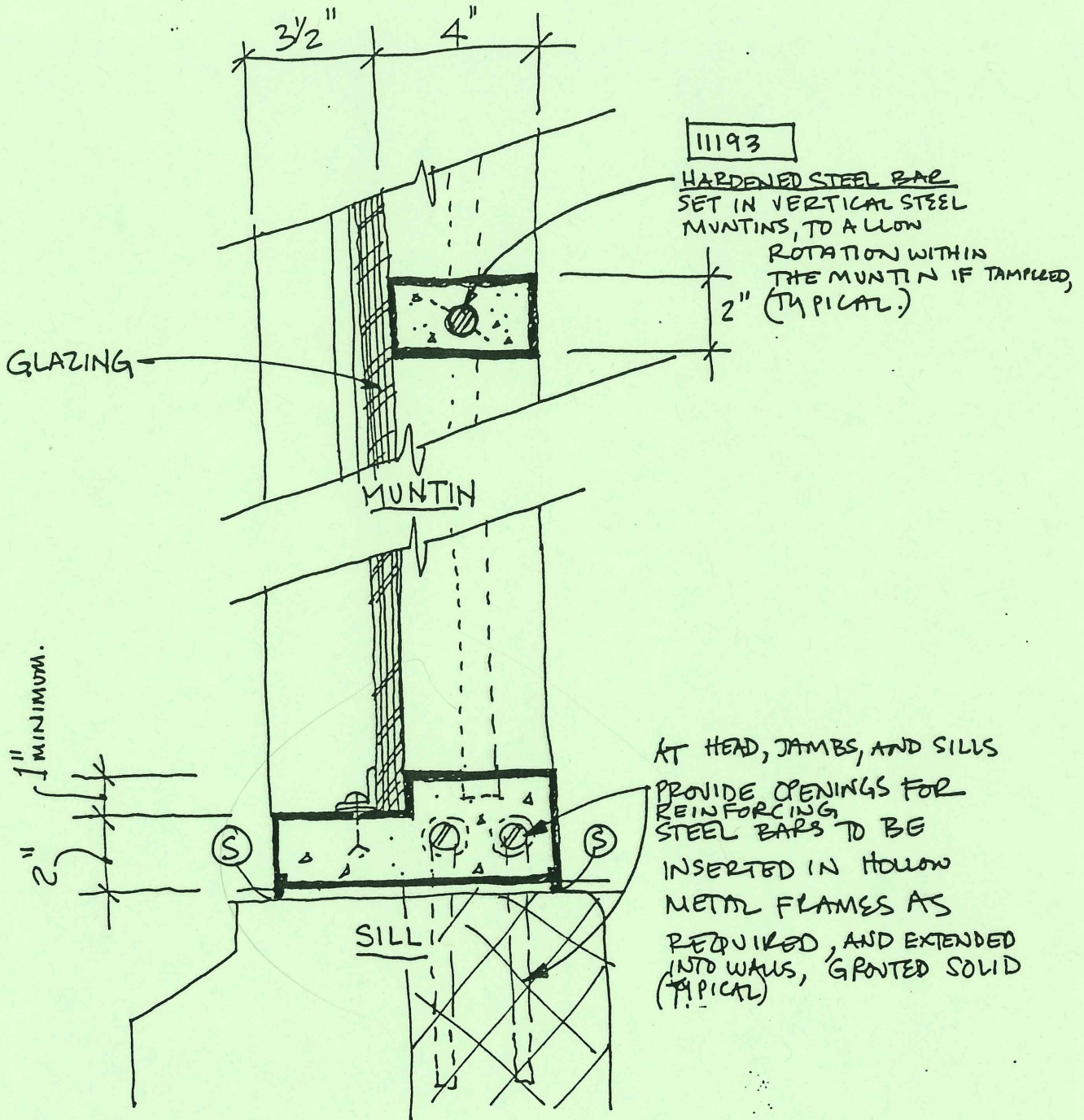
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
 P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202  
 CUMBERLAND COUNTY JAIL

PROJECT:

ADDENDUM No. 2  
 GENERAL CONTRACTOR'S PLAN AND SPECIFICATIONS

SHEET 1 of 1



CLARIFICATION  
DRAWING AIS, EIS, JIS/A403  
DETENTION WINDOWS (EXTERIOR.)

PROJECT No.:  
89006



STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

CUMBERLAND COUNTY JAIL

PROJECT: ADDENDUM No. 2  
DETENTION EXTERIOR WINDOWS

ADD-46

SHEET 1 of 1  
DATE: 12.2.91



Company	Mail St. 1	Mail City	Mail Zip	Phone	Bid as	Type
Fries Correctional Equip	1411 Commerce Park	Tipp City	OH 45371	513-667-2471	FSC	Det Equip
Johnson Fireproof Door Co	415 Skokie Highway	Lake Bluff	IL 60044	708-295-3800	FSC	Det Equip
Adtec Inc.	8799 Crown Hill Bl	San Antonio	TX 78209	512-829-7951	FSC	Detention
Chief Industries	P.O. Box 2078	Grand Island	NE 68802	308-382-8820	FSC	Detention
Goupel-Dewars Inc.	1919 N. Meridian	Indianapolis	IN 46202	317-924-9192	FSC	Detention
HCI Craftsman	P.O. Box 2532	S. Portland	ME 04106	207-775-3191	FSC	Detention
H. Malcolm MacGregor	635 Danbury Road	Ridgefield	CT 06877	203-438-0282	FSC	Detention
Normant Industries	3224 Mobil Highway	Montgomery	AL 36108	205-286-4293	FSC	Detention
Ryan Iron Works	1830 Broadway	Raynham	MA 02767	508-822-8001	FSC	Detention
Sesco Inc.	60 Walnut Street	Boston	MA 02122	617-825-6401	FSC	Detention
Southern Steel	4634 S. Presa	San Antonio	TX 78223	512-533-1231	FSC	Detention
Stewart-Decatur Security	P.O. Box 18700	Erlanger	KY 41018	606-371-6000	FSC	Detention
Truss Built	3570 Lexington N.	St. Paul	MN 55126	612-482-1030	FSC	Detention
B.H. Hilliken	203 Anderson St.	Portland	ME 04101	207-879-1877	FSC	Electrical
Boulos Electric	28 Foden Road	S. Portland	ME 04106	207-772-3706	FSC	Electrical
Consolidated Electrical	86 Horse Street	Worwood	MA 02062	617-769-7110	FSC	Electrical
Elco Electric	311 Perry Road	Bangor	ME 04402	207-942-4659	FSC	Electrical
Favreau Electric	37 Jordan Avenue	Brunswick	ME 04011	207-725-2005	FSC	Electrical
Ferguson Electric Co.	P.O. Box 430	Plainville	CT 06062	203-747-4566	FSC	Electrical
Griffin Electric Inc.	116 Hopping Brook	Holliston	MA 01746	508-429-8830	FSC	Electrical
Maris Equipment Co.	110 Summit Drive	Exton	PA 19341	215-524-7000	FSC	Electrical
Hilliken Brothers	474 Riverside Ind.	Portland	ME 04103	207-797-8375	FSC	Electrical
Ostrow Electric Inc.	9 Mason Street	Worcester	MA 01609	508-754-2641	FSC	Electrical
Richardson Electrical Co.	P.O. Box 9170	Waltham	MA 02154	617-894-4403	FSC	Electrical
Signet Electronic	350 Copeland St.	Quincy	MA 01269	617-471-9614	FSC	Electrical
The 3-E Company	P.O. Box 557	Lisbon	ME 04250	207-846-5956	FSC	Electrical
Boston Boiler Works	Box 19 Noyes St.	Richford	VT 05476	802-848-7757	FSC	HVAC
Denron Plumbing/HVAC Inc.	605 Front Street	Manchester	NH 03102	603-627-4186	FSC	HVAC
Gibbs-McAllister Inc.	P.O. Box 687	Randolph	MA 02368	617-821-4700	FSC	HVAC
New England Tech Air	299 Presumpscot St	Portland	ME 04103	207-879-0473	FSC	HVAC
Northern Peabody Inc.	P.O. Box 569	Manchester	NH 03105	603-669-3601	FSC	HVAC
Peregrine Mechanical	60 Taylor Drive	E. Providence	RI 02916	401-434-1265	FSC	HVAC
VT Heating & Ventilating	21 Hercules Drive	Colchester	VT 05446	802-655-8805	FSC	HVAC
Capital Fire Protection	P.O. Box 7839	Loudon	NH 03301	603-783-4713	FSC	HVAC/Plumb
Lappin Brothers Inc.	P.O. Box 278	Halden	MA 02148	617-321-3380	FSC	HVAC/Plumb
New England Insulation Co	155 Will Drive	Canton	MA 02021	617-828-6600	FSC	HVAC/Plumb
P.H. Mechanical Corp.	82 Saganore Street	North Quincy	MA 02171	617-770-9770	FSC	HVAC/Plumb
Harmon Contract Inc.	16 Upton Drive	Wilmington	MA 01887	508-658-0740	FSC	Mason/Glaz
ACF Construction Inc.	P.O. Box 650	Gray	ME 04039	207-657-3312	FSC	Masonry
Custom Masonry Inc.	843 Dixon Road	Sabattus	ME 04280	207-375-4538	FSC	Masonry
D'Agostino Assoc. Inc.	46 Farwell Street	Newton	MA 02160	617-965-3025	FSC	Masonry
George DiMatteo Inc.	P.O. Box 2187	S. Portland	ME 04106	207-799-3307	FSC	Masonry
Lanquet LA Const.	P.O. Box 478	Belgrade Lakes	ME 04918	207-495-2548	FSC	Masonry
Maine Masonry	P.O. Box 1382	Bangor	ME 04402	207-942-2404	FSC	Masonry
Manganaro Corp ME	P.O. Box 364	Halden	MA 02148	617-322-7929	FSC	Masonry
New England Masonry Corp	571 Hammoth Road	Pelham	NH 03076	603-880-0405	FSC	Masonry
Robert Masonry Co.	P.O. Box 68	Gorham	ME 04038	207-839-5501	FSC	Masonry
Eastern Mechanical Inc.	P.O. Box 518	Biddeford	ME 04005	207-282-7387	FSC	Mechanical
Holden Co.	P.O. Box 2009	Portland	ME 04104	207-797-5700	FSC	Mechanical
Maine Energy Inc.	1625 Hammond St.	Bangor	ME 04401	207-848-3301	FSC	Mechanical
Ranor Inc.	P.O. Box 88	Jay	ME 04239	207-897-5731	FSC	Mechanical



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Company	Mail St. 1	Mail City	Mail Zip	Phone	Bid as	Type
Riverside Mechanical Inc.	125 Presumpscot St	Portland	ME 04103	207-874-1992	FSC	Mechanical
The Blake Co.	P.O. Box 831	Portland	ME 04104	207-772-4553	FSC	Mechanical
The Carvel Company	P.O. Box 1377	Portland	ME 04104	207-772-7444	FSC	Mechanical
Ter Industries Inc.	P.O. Box 4067	Albany	NY 12204	518-465-3426	FSC	Mechanical
Warren Mechanical	P.O. Box 149	Westbrook	ME 04098	207-856-6756	FSC	Mechanical
Ahern Painting Co.	368 Main Street	Melrose	MA 02176	617-665-5600	FSC	Painting
F.A. Gray Inc.	30-32 Daniel St.	Portsmouth	NH 03801	603-436-1070	FSC	Painting
John W. Egan Co.	P.O. Box 215	Newtonville	MA 02160	617-244-6390	FSC	Painting
Soep Painting Corp.	P.O. Box 158	Halden	MA 02148	617-322-7800	FSC	Painting
Theodore Logan & Son	P.O. Box 1629	Portland	ME 04104	207-774-6321	FSC	Painting
A & H Roofing/Sheet Metal	P.O. Box 1029	Middleton	MA 01949	508-777-7102	FSC	Roofing
Desjardins Roofing Co. Inc	133 Epping Road	Exeter	NH 03833	603-772-5172	FSC	Roofing
Dow Roofing	P.O. Box U	Augusta	ME 04332	207-622-7183	FSC	Roofing
Hahnel Brothers Inc.	P.O. Box 1160	Lewiston	ME 04243	207-784-6477	FSC	Roofing
Hartford Roofing Co.	P.O. Box 396	Bellingham	MA 02019	508-966-0297	FSC	Roofing
Industrial Roofing Corp.	P.O. Box 1912	Lewiston	ME 04241	800-448-7663	FSC	Roofing
Maine Roofing Service	4 Mount Pleasant	Waterville	ME 04901	207-873-6353	FSC	Roofing
Multi-State Roofing Inc.	158 Franklin St.	Winchendon	MA 01475	508-297-3660	FSC	Roofing
Titan Roofing Inc.	P.O. Box 127	Jamaica Plain	MA 02130	617-522-0300	FSC	Roofing
Automatic Sprinkler Corp	P.O. Box 2416	S. Portland	ME 04106	207-767-2166	FSC	Sprinkler
Beaver Builders	1 Wells Avenue	Newton Center	MA 02159	617-965-9600	GC	
C.H. Cimino Inc.	3 Warren Avenue	Westbrook	ME 04092	207-854-8876	GC	
Charles Construction Co.	P.O. Box 188	N. Andover	MA 01845	508-686-9526	GC	
Cianbro Corp	P.O. Box 1000	Pittsfield	ME 04967	207-487-3311	GC	
Granger Northern	51 Baxter Blvd.	Portland	ME 04101	207-774-3500	GC	
H. E. Sargent Inc.	101 Bennoch Road	Stillwater	ME 04489		GC	
H. J. Stabile & Son	22 Cotton Road	Nashua	NH 03061	603-889-0318	GC	
Harvey Construction Co.	10 Harvey Road	Bedford	NH 03110	603-668-3100	GC	
Jackson Const. Co. Inc.	280 Bridge Street	Dedham	MA 02026	617-329-4010	GC	
Merganser Inc.	15 Columbia Drive	Amhurst	NH 03031	603-889-8594	GC	
P.J. Stella Construction	50 Main Street	Wakefield	MA 01880	617-245-8844	GC	
Penta Corporation	P.O. Box 390	Houltonboro	NH 03254		GC	
Pizzagalli Construction	P.O. Box 2009	S. Burlington	VT 05403	802-658-4100	GC	
Reed & Reed Inc.	P.O. Box 370	Woolwich	ME 04579	207-443-9747	GC	
Sciaba Construction Corp	P.O. Box 191	Readville	MA 02137	617-364-6150	GC	
Suffolk Construction Co.	65 Allerton Street	Boston	MA 02119	617-445-3500	GC	
The Sheridan Corp.	P.O. Box 359	Fairfield	ME 04937	207-453-9311	GC	
Turner Construction	855 Boylston St.	Boston	MA 02116	617-247-5525	GC	
W.N. Russell Co.	34-60 Albertson Av	Westmont	NJ 08108	609-858-1057	SC	Cast stone
Assoc. Concrete Coatings	476 Valley Street	Manchester	NH 03103	603-669-2780	SC	Caulking
CECO Concrete Const.	400 Chapel Road	South Windsor	CT 06074	203-282-0444	SC	Concrete
Caps Concrete Corp	1146 South Street	Wrentham	MA 02093	508-695-4990	SC	Concrete
Hutch Concrete Contract	P.O. Box 517	Montpelier	VT 05602	802-229-9161	SC	Concrete
Johnson Controls	95 Darling Avenue	S. Portland	ME 04106	207-773-4771	SC	Controls
Landis & Gyr Powers	366 US Route One	Falmouth	ME 04105	207-781-2969	SC	Controls
Maine Controls	400 Presumpscot St	Portland	ME 04103	207-774-0220	SC	Controls
Allen-Bradley	500 Elm Grove Rd	Elm Grove	WI 53122	414-796-3771	SC	Det Elect
Folger Adam Co.	16300 W. 103rd St	Lemont	IL 60439	708-759-3900	SC	Det Equip
DSL Corp.	80006 Haute Court	Springfield	VA 22150	703-451-4300	SC	Div 3 Sup
G.P. Thermofoam	1201 Candia Road	Manchester	NH 03103	603-668-8109	SC	Drywall
Rolands Drywall	RFD #1, Box 2832	Sabattus	ME 04280	207-375-4410	SC	Drywall
Zimba Company	P.O. Box 336	Fairfield	ME 04937	207-453-7991	SC	Drywall

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Company	Mail St. 1	Mail City	Mail Zip	Phone	Bid as	Type
Simplex Time Recorder	P.O. Box 1221	Scarborough	ME 04070	207-883-8698	SC	Electrical
Thorn Automated Systems	244 Second Avenue	Waltham	MA 02154	617-890-8009	SC	Electronic
Midway Excavators	Rte. 84 Exeter Rd	S. Hampton	NH 03827	603-394-7664	SC	Excavation
Shaw Brothers	P.O. Box 69	Gorham	ME 04038	207-839-2552	SC	Excavation
White Brothers Inc.	95 Warren Avenue	Westbrook	ME 04092	207-854-9173	SC	Excavation
Jacob Licht Company	765 Westminster S	Providence	RI 02903	401-331-9555	SC	Food Serv
May Engineering	51 Washington Ave	Cranston	RI 02920	401-942-4221	SC	Food Serv
Rykoff Sexton	348 US Route One	Falmouth	ME 04105	207-781-3920	SC	Food Serv
Glass Systems of New Eng.	P.O. Box 2327	Scarborough	ME 04074	207-883-4675	SC	Glass
Commercial Glass	P.O. Box 968	Scarborough	ME 04070	207-883-8941	SC	Glass/Glaz
Demers Glass Co.	P.O. Box 1562	Lewiston	ME 04240	800-244-5403	SC	Glass/Glaz
New England Glazing	45 Roosevelt Hwy.	Colchester	VT 05446	802-655-1350	SC	Glazing
Northeastern Insulation	P.O. Box 291	Pittsfield	ME 04967	207-487-3091	SC	Insulation
Boudreau & Sons	One Avon Street	Reading	MA 01867	617-944-7070	SC	Intercom
Circle Floors	20 Thomas Drive	Westbrook	ME 04092	207-775-0753	SC	Interiors
Atlantis Enterprises Inc	P.O. Box 1370	Saco	ME	207-284-7394	SC	Kitchen
A.J. Cameron Sod Farm	Route 11	Farmington	NH 03835	603-755-3534	SC	Landscape
Country Gardens Inc.	236 Camden Street	Rockland	ME 04841	207-594-5020	SC	Landscape
Sciaba Construction Corp	P.O. Box 191	Readville	MA 02137	617-364-6150	SC	Mason Prod
Portland Air Conditioning	P.O. Box 10300	Portland	ME 04104	207-871-1800	SC	Mech Supp
American Woodcraft	26 Gately Street	S. Portland	ME 04106	207-767-3351	SC	Millwork
Iaccarino & Son	200 Shrewsbury St.	Boylston	MA 01505	508-869-2136	SC	Millwork
Tilcon Maine Inc.	P.O. Box 1560	Portland	ME 04104	207-797-7386	SC	Paving
H. B. Fleming Inc.	89 Pleasant Ave.	S. Portland	ME 04106	207-799-8514	SC	Piles
J.H. Pokorny	1502 Providence Hw	Worwood	MA 02062	617-762-2661	SC	Plumbing
DSI	360-11002 Rte. 101	Bedford	NH 03102	603-472-7050	SC	Post Tens
Northern Steel Corp.	P.O. Box 10091	Portland	ME 04104	207-773-9893	SC	Post Tens
Haley's Metal Shop	P.O. Box 565	Biddeford	ME 04005	207-284-8571	SC	Sheet Met
Rodgers & Assoc.	P.O. Box 370	Brunswick	ME 04011	207-729-0921	SC	Sheet Met
H. J. Stabile & Son	22 Cotton Road	Mashua	NH 03061	603-889-0318	SC	Site
Harois Brothers Inc.	P.O. Box 1747 St C	Worcester	MA 01607	508-791-8134	SC	Site
R.J. Grondin & Sons	11 Bartlett Road	Gorham	ME 04038	207-854-1147	SC	Site
East Coast Steel	Route 31	Greenfield	NH 03047	603-547-3316	SC	Steel
Superior Design Fabricat.	P.O. Box 1058	Westbrook	ME 04092	207-856-0061	SC	Steel
MacFarland Steel Corp	84 Old Orchard Rd.	Saco	ME 04072	207-283-1376	SC	Steel Fab
Barker Steel Company	Box 2517	S. Portland	ME 04106	207-883-3444	SC	Steel Supp
Mcquier and Jones	P.O. Box 2649	S. Portland	ME 04106	207-799-8555	SC	Steel Supp
Fletcher Granite Co	Groton Road	W. Chelmsford	MA 01863	508-251-4031	SC	Stone Sup
Monadnock Fabricators	Route 202	Rindge	NH 03461	603-899-3304	SC	Struc Fab

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Northern Utilities inserted after page 02600-14.

6. The GWB ceilings in the Prerelease Center Alternate No. 4 do not require plywood underlayer.
7. Clarification:

SECTION 02800 - FENCING

At outdoor recreation yards the contractor shall provide complete perimeter PVC coated pipe supports at the top, bottom and sides, and at intermediate vertical locations to align exactly with the sloped structural tubes shown at the 1/3 points on the elevations. Pipe supports shall be 1 inch above the grade beam with the mesh extending to the grade beam; security bolted to the inside face of the horizontal tube which supports the basketball backstop; and anchored into the concrete walls on the sides with security fasteners with a maximum 1" clearance between the tube and the wall.

PERTAINING TO THE SPECIFICATIONS

SECTION 02360 - FOUNDATION PILES

Clarification:

1. H Piles HP12x53 may be substituted for the specified 10 inch diameter pipe piles subject to the conditions as stated in Addendum No. 2, Page 3, Section 02360, Items 1A through 1F.

SECTION 02500 - PAVING AND CURBING

Page 02500-3, Para 3.02.A.1;

Insert:

"a). Prime and tack coat products shall conform to the State of Maine MDOT Section 702.12".

Page 02500-4, Para 3.02.D.1.b;

Delete the words: "... provide compaction to at least 97%.."

Insert in their place: "... provide compaction to at least 95%..".

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SECTION 02800 - SITE IMPROVEMENTS

Page 02800-3, Para 2.02.B.1.3.a;

Change "color (black)" to read "color (black or green)".

Page 02800-4, Para 2.03.B.1.a.;

Change reference to "Fabric: No. 9 gauge..." to read "Fabric No. 12 gauge...".

Para 2.03.B.1.a.1).;

Change reference to "Metal: No. 9 ga. with breaking load of 1,290 lbs...." to read "Metal: No. 12 ga. or .105 inches with breaking load of 750 lbs.".

Para 2.03.B.1.a.2).;

Change "color (black)" to read "color (black or green)".

Para 2.03.B.1.a.3).;

Delete words "...Class 1 extruded PVC..."

Insert in their place "... bonded PVC..."

Delete words "... (Class II ASTM 392)...".

Page 02800-7, Para 2.06.D;

Delete words: "rolling overhead track gate...".

Insert in their place: "horizontal sliding gate leaves (2 opposed), with concrete pad mounted actuators for slide rails,....".

"INSERT: SECTION 07110 - SHEET MEMBRANE WATERPROOFING"

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General and Supplementary Conditions and Division 1 Specification Sections, apply to this Section.



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1.02 SUMMARY

- A. This section includes sheet membrane waterproofing systems.
- B. Type of sheet waterproofing specified in this section:  
Rubberized asphalt sheet waterproofing.

1.03 SYSTEM PERFORMANCE

- A. General: Provide sheet waterproofing products that have been produced and installed to establish and maintain watertight continuous seals.

1.04 SUBMITTALS

- A. General: Submit the following in accordance with Conditions of contract and Division 1 Specifications Sections.
  - 1. Product data and general recommendations from waterproofing materials manufacturer for types of waterproofing required.
  - 2. Samples of sheet membrane waterproofing and auxiliary materials as requested by Architect.

1.05 QUALITY ASSURANCE

- A. Manufacturer: Obtain primary waterproofing material from a single manufacturer. Provide secondary materials only as recommended by manufacturer of primary materials.

1.06 PROJECT CONDITIONS

- A. Substrate: Proceed with work after substrate construction, openings, and penetrating work have been completed.
- B. Weather: Proceed with waterproofing and associated work only when existing and forecasted weather conditions will permit work to be performed in accordance with manufacturer's recommendations and warranty requirements.

1.07 WARRANTY

- A. Special Project Warranty: Submit a written warranty,

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executed by manufacturer, agreeing to repair or replace sheet membrane waterproofing that fails in materials or workmanship within the specified warranty period. This Warranty shall be in addition to and not a limitation of other rights the Owner may have against the Contractor under the Contract Documents.

- B. Warranty period is 5 years after date of substantial completion.

2.01 RUBBERIZED ASPHALT SHEET WATERPROOFING

- A. Self-adhering membrane of rubberized asphalt integrally bonded to polyethylene sheeting, formed into uniform flexible sheets of not less than 56 mils thick, complying with the following:

1. Tensile strength: 250 psi min; ASTM D 412.
2. Ultimate Elongation: 300 percent min; ASTM D412.
3. Pliability Temperature: minus 25 deg F (minus 32 deg C); ASTM D 146.
4. Hydrostatic Head Resistance: 150 feet min.
5. Water Absorption: Not more than 0.5 percent weight gain after 48 hours of immersion at 70 deg F. (21 deg C); ASTM D 570.

- B. Products: Subject to compliance with requirements, provide one of the following:

Bituthene; W.R. Grace & co.  
Duramem 700-SM; Pecora Corporation  
MEL-ROL; W.R. Meadows, Inc.  
Miradri; Mirafi, Inc.  
Polyguard 650; Plyguard Products, Inc.

2.02 AUXILIARY MATERIALS

- A. Adhesives and Joint Tape: Provide types of adhesive compound and tapes recommended by waterproofing sheet manufacturer for bonding to substrate (if required), for waterproof sealing of seams in membrane, and for waterproof sealing of joints between membrane and flashings, adjoining surfaces, and projections through membrane.
- B. Primers: Provide type of concrete primer recommended by manufacturer of sheet waterproofing material for appli-



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cations required.

- C. Flashing Materials: Except as otherwise indicated, provide types of flexible sheet material for flashing as recommended by waterproofing sheet manufacturer.
- D. Protection Board: Provide type of protection board recommended by waterproofing sheet manufacturer. Include adhesives recommended by manufacturer.

### PART 3 - EXECUTION

#### 3.01 PREPARATION

- A. General: Comply with manufacturer's instructions for surface preparation.
- B. On vertical foundation walls chip off projections where necessary for proper placement and adhesion of waterproofing sheet.
- C. Apply primer to concrete and masonry surfaces at rate recommended by manufacturer of primary waterproofing materials. Prime only area that will be covered by WP membrane in same working day; reprime areas not covered by WP membrane within 24 hours.

#### 3.02 INSTALLATION

- A. Comply with manufacturer's instructions for handling and installation of sheet waterproofing materials.
- B. Coordinate installation of waterproofing materials and associated work to provide complete system complying with combined recommendations of manufacturers and installers involved in work. Schedule installation to minimize period of exposure of sheet waterproofing materials.
  - 1. Seal to projections through membrane and seal seams. Bond to vertical surfaces and also, where shown or recommended by manufacturer, bond to horizontal surfaces.
- C. Top Edge Seal: For vertical and sloped wall membrane, finish in reglet (where provided); otherwise finish under flashing or under masonry in joint. Caulk exposed edges with mastic or sealant.
- D. Expansion Joints: Install joint filler as recommended by manufacturer, with protruding rounded surface.

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Apply continuous 8-inch-wide strip of membrane on joint, followed by membrane application.

3.03 CLEANING

- A. After completion, remove any masking materials and stains from exposed surfaces caused by waterproofing installation.

3.04 PROTECTION

- A. Provide for protection of completed membrane during installation of other materials or processes over membrane and throughout remainder of construction period. Do not allow traffic of any type on unprotected membrane.

END OF SECTION 07110."

SECTION 08800 - GLASS AND GLAZING

Page 08800-11, Para 2.09;

Change "Secure-Tem.." to read "Secure-Tem Plus Poly...".

SECTION 09250 - GYPSUM DRYWALL

Page 09250-11, Para 3.04.F.2;

Change carrying channels (main runners): from "1-1/2 inch" to "2 inch".

Page 09250-12, Para 3.05.E;

Change: "16 inches on center" to "24 inches on center unless otherwise noted or required at corners, intersections or special conditions."

SECTION 09705 - SEAMLESS RESINOUS FLOORING

Page 09705-2, Para 2.01.A.1.a);

Delete paragraph "a. (SRF-2) - "Elastatex-100"..." in its entirety including items 1), 2), 3), 4), 5).

Insert in its place:

"a. (SRF-1) - Neo-Tex 261 flooring with 4" high cove base;



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Dex-O-Tex/Crossfield Products Corp.

- 1). Physical properties: Provide flooring system in which the physical properties of topping including aggregate, when tested in accordance with standards or procedures referenced below, are as follows:
  - a). Compressive Strength: ASTM C-109 (2" x 2") cubes  
5,450 p.s.i. (384 kg./c.m.2).
  - b). Resistance to Heavy Rolling Load: Crossfield Products Corp. Test Standard #1-39T (2" wide cast iron wheel with 500 lb. [227 kg.] load, 500 strokes; test run both on dry sample and sample immediately after immersion in water for 24 hours).  
Dry - .002" indentation (.051mm)  
Wet - .005" indentation (.127mm)
  - c). Surface Hardness: ASTM D-2240-68 (Durometer)  
Scale "D" 80.
  - d). Indentation Characteristics: (Steadily applied load) MIL-D-3134, Para. 4.7.4.2.1 (2000 lbs. on 1" steel ram imposed for 30 minutes).  
1.04%.
  - e). Indentation Characteristics: (Impacted load) MIL-D-3134, Para. 4.7.3. (2 lb. [.908 kg.] steel ball dropped from 8 foot [2.4m] height).  
0.034" indentation (0.8636 mm)  
No cracking or loosening
  - f). Adhesion: MIL-D-3134, Para. 4.7.14 (Shear from steel plate after 96 hours).  
301 p.s.i.  
(21.21 kg./c.m.2)
  - g). Tensile Strength: ASTM C-190  
889 p.s.i.  
(62.63 kg./c.m.2)
  - h). Flammability: NFPA 101-88 Life Safety Code  
Class I Interior Floor Finish  
NFPA-253-84: Radiant flux 45 watt/c.m.2  
NFPA Test Method 258-89  
Thermal Exposure: Flaming 110.7

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- i) Resistance to Elevated Temperatures:  
MIL-D-3134, Para. 4.7.5.1  
No flow or slip
  - j) Texture: Finish to be selected by Architect,  
depending on room location.
  - k) Abrasion Resistance: ASTM C-501 (H-22 wheel)  
30.4 Wear Index
  - l) Coefficient of Thermal Expansion: ASTM C-531  
 $2.82 \times 10^{-6}$
  - m) Flexural Strength: ASTM C-790  
2498 p.s.i.  
(175.97 kg/cm<sup>2</sup>)
  - n) Water Absorption: MIL-D-3134, Para. 4.7.8  
2.81%
  - o) Electrical Conductivity: Di-electric
- b. Colors to be selected by the Architect from the manufacturer's standard colors; or matched to any Benjamin Moore Professional color.
- c. (SRF-1) must be installed by manufacturer approved qualified Dex-O-Tex contractor.
2. The architect shall have the option of substituting in any locations desired, neoprene N-38 paste for the acrylic paste to provide a more resilient floor.
3. INSTALLATION:
- a). Prepare surfaces by removal of laitence, grease, foreign matter.
  - b). Apply Dex-O-Tex waterproof membrane, if specified.
  - c). Apply bonding coat by trowel or brush.
  - d). Trowel apply 9/64" minimum, body coat.
  - e). Apply two grout coats to fill in and smooth off body coat.
  - f). Power sand to remove trowel marks.
  - g). Roller apply two coats of saturating final finish dressing in texture as selected.

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SECTION 11400 - FOOD SERVICE AND LAUNDRY EQUIPMENT

Page 11400-13, Item No. 22:

Change "Shelf # 456 s.s." to "Shelf No. 1056 s.s.".

Page 11400-21, Item No. 52:

Change "s.s. front shelf work surface removable", to "s.s. or hardwood butcher block front shelf work surface removable".

Page 11400-24, Item No. 73:

Insert "or provide a No. BU-8 by 'Midwest Folding Products Corporation' (Telephone 603-895-3331) rolling folding table with bench seat; include additional cost options: Architects choice of plastic laminate color from Wilsonart, Nevermar, or Formica. Paint frame in standard white enameled finish."

PERTAINING TO THE DRAWINGS

DRAWING A-404

Detail A5/A404, Section; Precast Coping, Type 2:

Change dimension of top thickness from "3-1/2"" to "4-1/2"".

Change dimension of bottom thickness from "4-1/2"" to "5"".

DRAWING A304

Elevation A1/A304;

Change the words "operable louver PTD" to read "operable overhead door PTD, at door".

DRAWING A502

Sections P1/A502, N1/A502:

Provide the same flooring material on the treads as on the access floor or raised floors adjacent.



CUMBERLAND COUNTY JAIL

DRAWING F101

Change grade beam designated "B20" to "B20-1".

Change grade beam designated "B101" to B10-1".

DRAWING F201

Add the following:

Mark: GD115-2  
Type: 2  
Top Bars: 2 #8 continuous  
No bars non-continuous  
Bottom Bars: 6 #8 continuous  
No bars non-continuous  
#3 Stirrups: #4 @ 4"  
Remarks: Provide 4 #5 HSR

Add the following:

Mark: D13-2  
Type: 3  
Top Bars: 2 #6 continuous  
No bars non-continuous  
Bottom Bars: 4 #6 continuous  
No bars non-continuous  
#3 Stirrups: 5 @ 10"

DRAWING F202

Add the following grade beam:

Mark: B28-1  
Type: 18  
Top Bars: 2 #8 continuous  
No bars non-continuous  
Bottom Bars: 6 #8 continuous  
No bars non-continuous  
#3 stirrups: At 9" o.c.  
Remarks: Use closed stirrups

Add the following:

Mark: A20  
Type: 20  
Top Bars: 2 #5 continuous  
No bars non-continuous  
Bottom Bars: 3 #5 continuous  
No bars non-continuous



CUMBERLAND COUNTY JAIL

#3 Stirrups: 6 @ 6"

DRAWINGS S100 AND S101

On Sheets S100 and S101, ADD the following note:

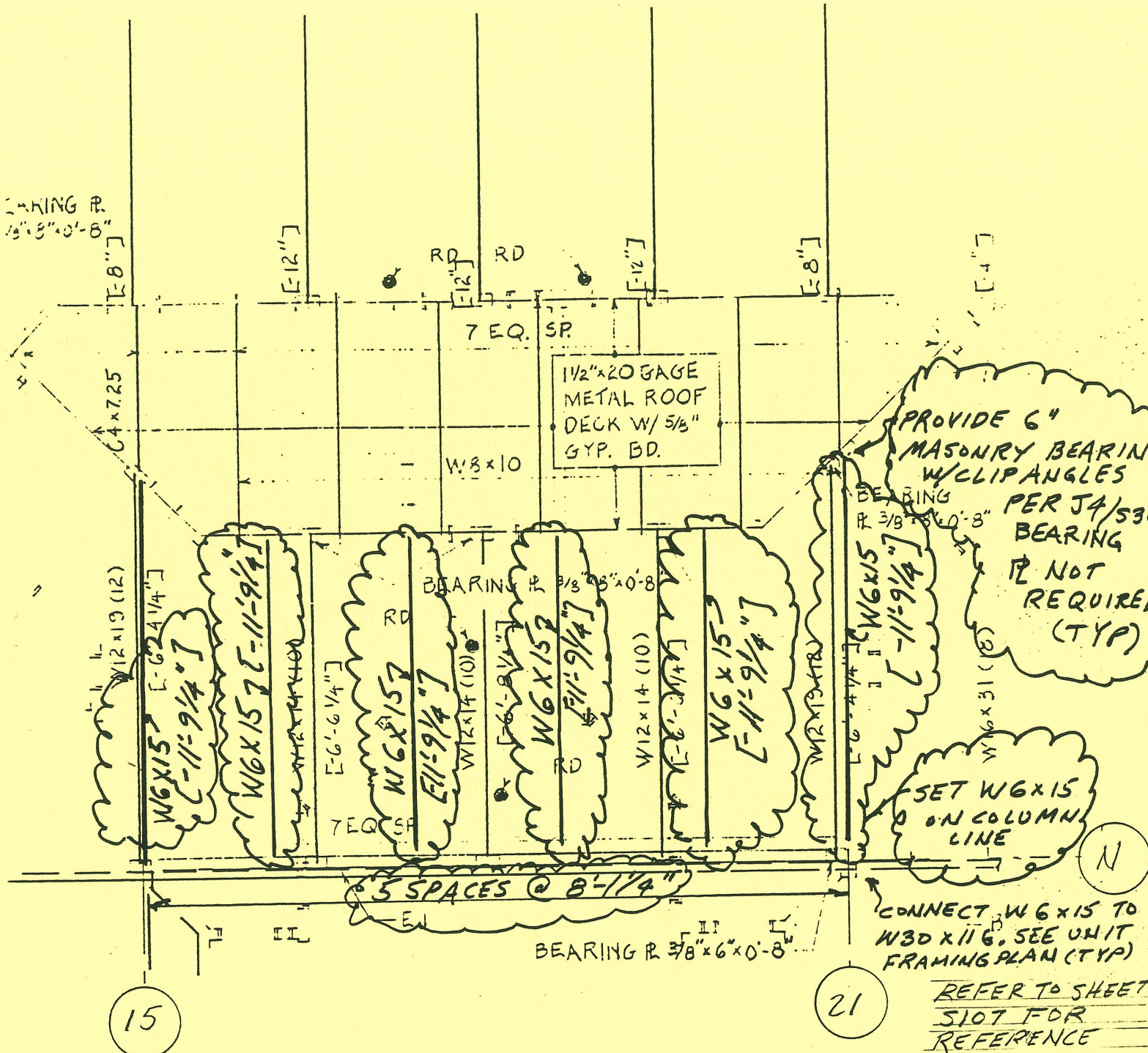
"See Section K9/S303 for typical profile of primary post-tensioning strands at cantilevered balcony."

PERTAINING TO ADDENDUM SKETCHES (ADD- )

- ADD - 50 W6X15 MEMBERS SHOWN UNITE - Dwg S107
- ADD - 51 UNIT F SECTION NUMBER CORRECTED - Dwg S109
- ADD - 52 UNIT F SECTION NUMBER CORRECTED - Dwg S109
- ADD - 53 BEARING DETAIL AT LINE N W30X116 - Dwg S109
- ADD - 54 TYPICAL FENCING

END OF ADDENDUM NO. 5

BEARING R.  
3'-8" x 0'-8"



PROVIDE 6" MASONRY BEARING W/CLIP ANGLES PER JA/5301 BEARING NOT REQUIRED (TYP)

SET W6x15 ON COLUMN LINE

CONNECT W6x15 TO W30x116. SEE UNIT FRAMING PLAN (TYP)

REFER TO SHEET S107 FOR REFERENCE ELEVATION.

PARTIAL ROOF FRAMING  
PLAN UNIT E

PROJECT No.:  
89006

ADD-50-



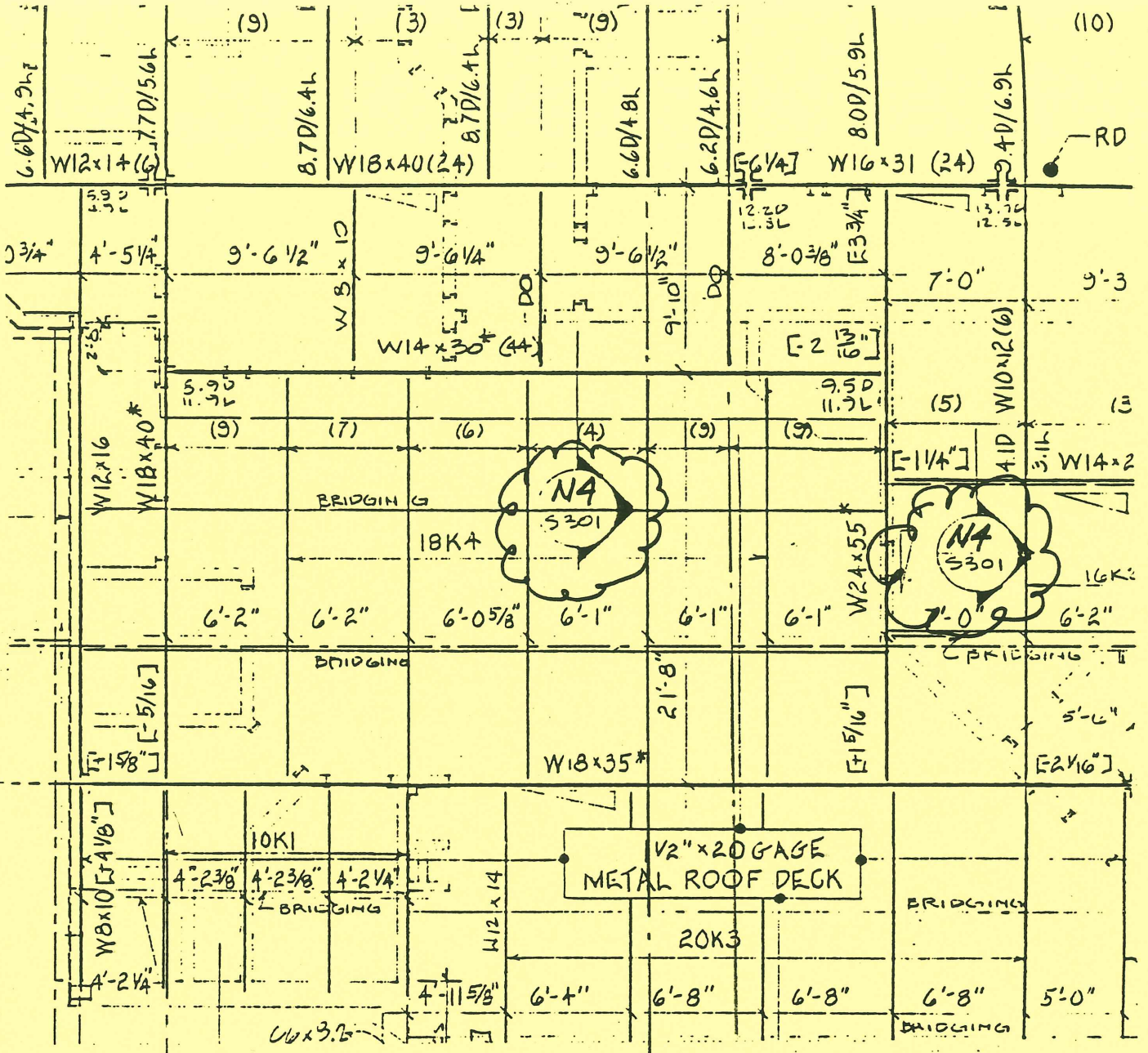
STEVENS MORTON ROSE & THOMPSON  
ARCHITECTURE ENGINEERING SURVEY  
P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202



N<sub>1</sub>

R<sub>1</sub>

S



REFERENCE: SHEET S109

# PARTIAL ROOF FRAMING PLAN UNIT F

PROJECT No.:  
89006



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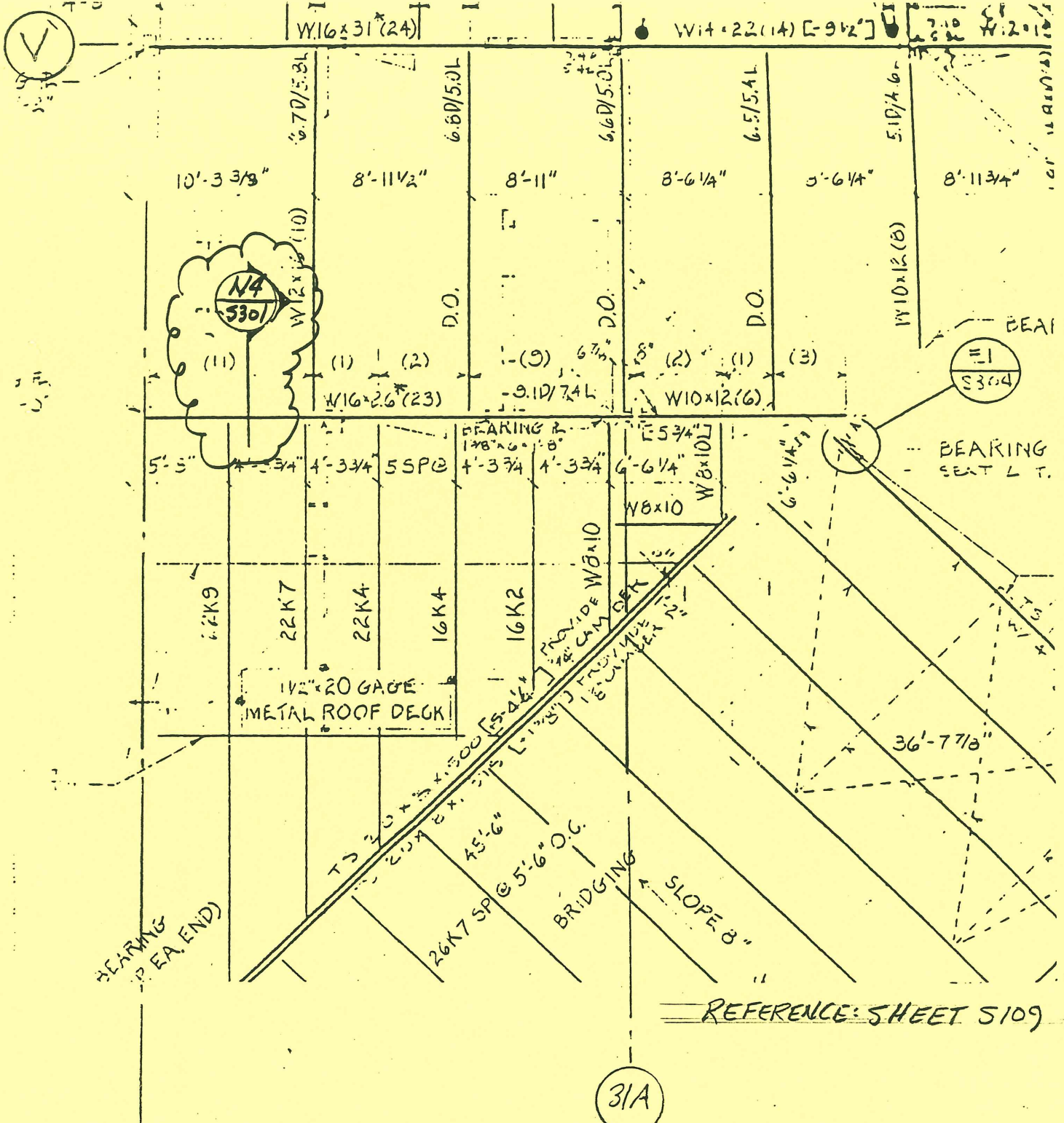
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

**ADD-51-**

PROJECT: CUMBERLAND COUNTY JAIL ADDENDUM #5 SHEET 1 of 1  
UNIT F SECTION NUMBER CORRECTED DATE: 12/11/91





29

PARTIAL ROOF FRAMING PLAN UNIT F

PROJECT No.:  
89006

ADD-52-



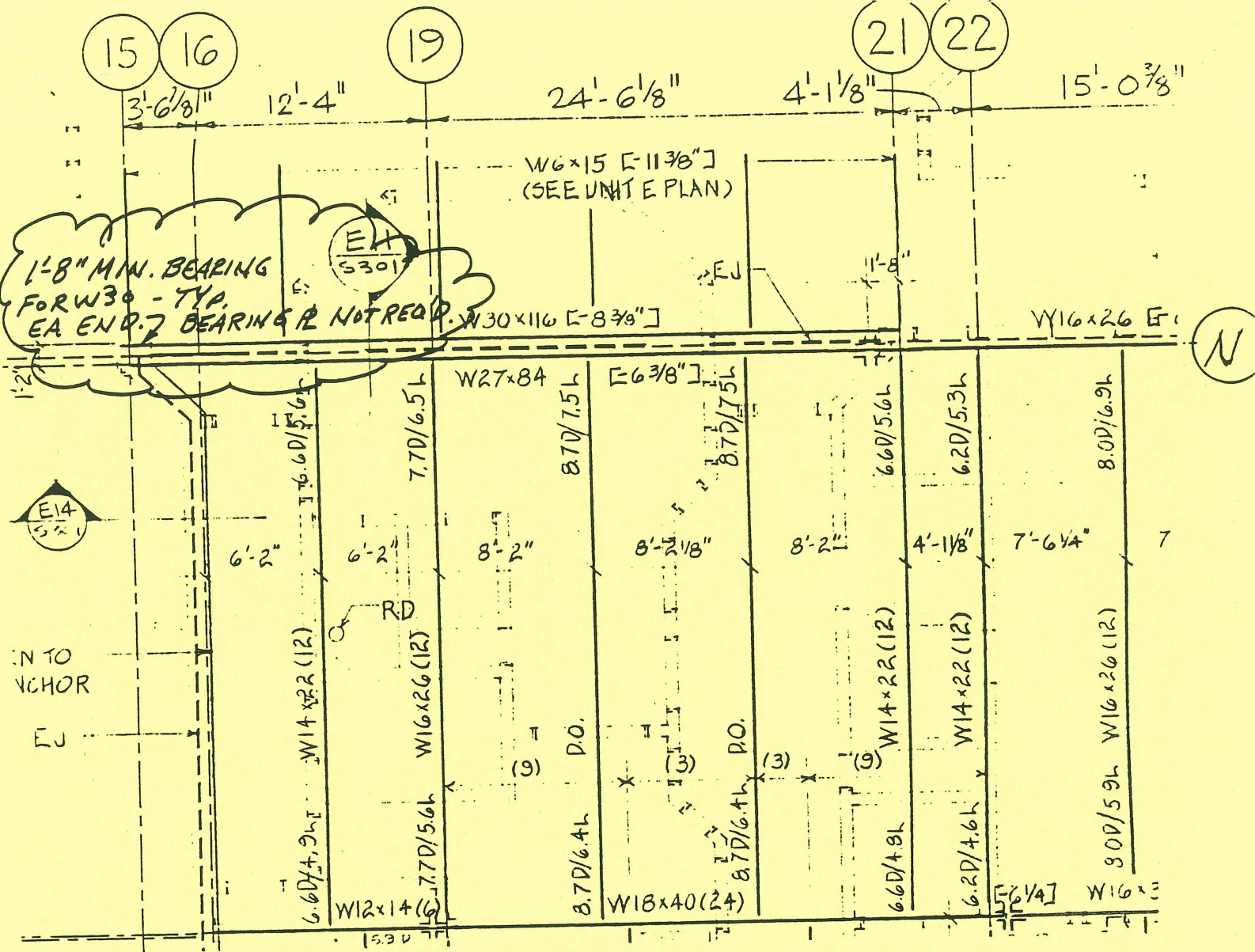
STEVENS MORTON ROSE & THOMPSON  
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

PROJECT: CUMBERLAND COUNTY JAIL ADDENDUM #5  
UNIT F SECTION NUMBER CORRECTED

SHEET 1 of 1  
DATE: 12/11/91





PARTIAL ROOF FRAMING PLAN UNIT F

REFERENCE: SHEET S109

PROJECT No.:  
89006



STEVENS MORTON ROSE & THOMPSON

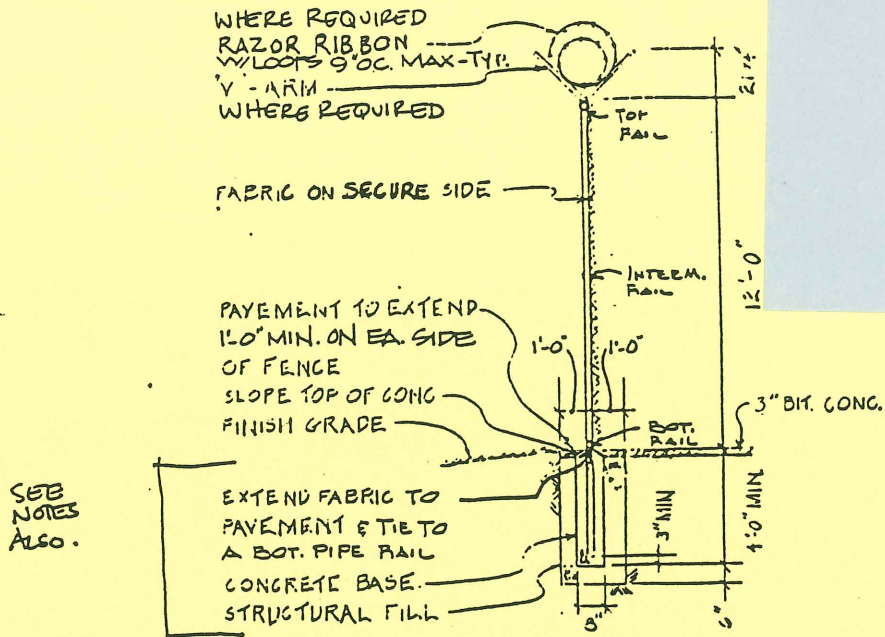
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

ADD-53-

PROJECT: CUMBERLAND COUNTY JAIL ADDENDUM #5  
BEARING DETAIL AT LINE N W30x116

SHEET L of L  
DATE: 12/11/91



## TYPICAL FENCE

N.T.S.

### NOTES:

1. BOTTOM RAIL SHALL BE A MAXIMUM OF 3 INCHES ABOVE FINISHED CONCRETE OR BITUMENOUS SURFACE TYPICAL.
2. WHERE PVC COVERED POSTS ARE SECURED TO PAINTED STEEL SUB SUPPORTS AT RECREATION YARDS, STEEL VERTICAL PIPE SHALL ALIGN WITH STEEL VERTICAL SUPPORTS; (TYPICAL) ALSO FOR HORIZONTALS AND "POOF" FENCE.
3. NO ADDITIONAL BITUMENOUS PAVING 1'-0" WIDE IS REQUIRED AT RECREATION YARDS AT HOUSING UNITS AT THE GRADE BEAMS. APPLY FENCE TO INSIDE OF STEEL FRAMING. PROVIDE CONTINUOUS EDGE SUPPORT AT BASKETBALL BACKSTOP FOR FABRIC.

PROJECT No.:  
89006



STEVENS MORTON ROSE & THOMPSON  
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202  
CUMBERLAND COUNTY JAIL  
APPENDUM NO. 5

PROJECT:

TYPICAL FENCING

ADD-54

SHEET 1 of 1  
DATE: 12.2.91





9/02/6363

BN \*

CUMBERLAND COUNTY JAIL

ADDENDUM NO. 2

TO

CONTRACT DRAWINGS AND SPECIFICATIONS

FOR THE CONSTRUCTION OF THE

CUMBERLAND COUNTY JAIL

PORTLAND, MAINE

DECEMBER 2, 1991

NOTICE TO BIDDERS

The specifications and drawings are amended herein.

Bidders are required to acknowledge receipt of this addendum on the proposal form in the provided space on Page 5; Filed sub-bidders are required to acknowledge receipt of this addendum on the proposal form in the space provided on page 2B-1; or by separate letter or telegram prior to opening of bids. Failure to acknowledge all addenda may cause the bid to be considered not responsive to the invitation, which would require rejection of the bid.

The bidding documents for solicitation of bids for construction of the above project are hereby changed as follows:

PERTAINING TO THE SPECIFICATIONS

PART I - FRONT END: NOTICE TO BIDDERS:

Note that space for the acknowledgement of receipt of Addenda by Bidders is provided on Page 5 of the Proposal Form for General Contractors - Addendum No. 1.

PART 1 - FRONT END - NOTICE TO BUILDING CONTRACTORS

Page OA-1 CHANGE OF DATE - FILED SUBCONTRACTOR PROPOSALS:

"..Subcontractors submitting proposals to General Contractors for work listed on General Contractors Proposal Form and the Notice to Building Contractors Form, are required to send or deliver a copy of their proposals to the Maine Construction Bid Depositor, Whitten Road, Augusta, Maine 04333, and to be considered valid, must be received in the Bid Depository on or before 3:00 PM on December 10, 1991..."



CUMBERLAND COUNTY JAIL

PART I - SUPPLEMENTARY INSTRUCTIONS TO BIDDERS

Page OB-1, Para 4.5.2.1

DELETE words "3:00 PM on December 5, 1991"

INSERT in its place: "3:00 PM on December 10, 1991."

PART I - SUPPLEMENTARY GENERAL CONDITIONS

Page SGC-3; after paragraph 3.7.4,

INSERT

"3.7.5 The Contractor shall reimburse to the owner any portions of the building permit fees which the Owner may pay prior to the Contractor paying for and obtaining the building permits as required. It is the Owner's intent to have at a minimum, a permit for demolition and foundations prior to December 31 1991. The building plans have been reviewed and approved by the City of Portland Code Enforcement Department."

Page SGC-4 Article 8 - TIME, Para 8.2.4:

Typographical error: The words "... wage and house..." should read "... wage and hour..."

SECTION 01035 - MODIFICATION PROCEDURES

Page 01035 -1, Para 1.03;

DELETE The word "MINOR"; paragraph heading shall read:  
"1.03 Changes in the Work"

Page 01035-1, Para 1.03 Changes in the Work:

Insert for each paragraph A through D:

"Attach subcontractor billings or invoices for the change, prepared on the subcontractors letterhead".

Page 01035-3, Para 1.04 ALLOWANCES

Insert for each paragraph A and B:

CUMBERLAND COUNTY JAIL

"Attach Subcontractor billings or invoices for the change, prepared on the subcontractor's letterhead."

Page 01035-4, Para 1.05.B Construction Change Directive

INSERT

"3. Attach subcontractor billing or invoices, for the change, prepared on subcontractors letterhead."

Page 02200-8 para 2.01.L.

DELETE in its entirety.

INSERT in its place:

"L. Re-use of excavated existing soils:

- a. These materials may be re-used as fill beneath the jail building, as general fill, or as fill beneath paved areas provided it is at least 4' below finished grades.
- b. These materials may be used as in "a.", above, to subgrade provided it is free of deleterious materials and approved by the Architect prior to placement.
- c. The materials shall not be used as fill beneath the Pre-Release Center Alternate No. 4.
- d. For designated areas - see above para a., b., and c."

SECTION 02360 - FOUNDATION PILES

Pertaining to the Specifications and the Drawings:

1. H-piles size HP12x53 may be substituted for the specified 16"Ø steel pipe piles subject to the following conditions:
  - A. Steel grade is A36.
  - B. Pile tips shall be hard-bite point HP 77750 from Associated Pile and Fitting Corp., or an approved equal.
  - C. Splicers shall be Champion Splicer HP30000 from Associated Pile and Fitting Corp. or an approved equal.



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- D. Refusal for H-Piles shall be taken as 10 blows for 1" penetration with a hammer energy of 20,000 - 30,000 ft. - lbs.
  - E. For bidding purposes, the contractor shall assume that all piles will attain refusal at: (elevation -85.00).
  - F. The Contractor should note that the last portion of the pile driving will be in dense sand. It is anticipated that the penetration per blow will be small. However the actual length and penetration may vary.
2. Timber piles may be substituted for the auger-cast piles specified, subject to the following conditions:
- A. Timber piles shall be 12"Ø nominal with dimensions in compliance with ASTM D25.
  - B. Timber piles shall be preservative treated in accordance with AWWA Standard C1 as supplemented by Standard C3 and C18.
  - C. Timber piles shall be driven to attain a minimum length of 15 feet.
  - D. Timber species shall be Douglas Fir, Southern Pine, Red Oak or Red Pine.
3. On the Proposal Form For General Contractors - Addendum No. 1

Page 4 of 6 para D.10, "Steel H-piles in place" Unit Prices;

DELETE the words "Steel H..."

INSERT after the word "Type" on the first line below; the words: "Steel piles-HP 12x53".

INSERT after the word "Type" on the second line below; the words: "Timber piles 12 inch Ø".

- a. Fill in the unit prices for each of the above on the lines provided.

SECTION 02500 PAVING & CURBING;

Page 02500-3 para 2.01.C.2;

DELETE the words "...match the thickness of brick pavers."

CUMBERLAND COUNTY JAIL

INSERT in their place "...be 3 inches thick."

SECTION 03301 - POST-TENSIONING SYSTEMS

Page 03301-3, Para 1.05.C

DELETE in its entirety.

INSERT in its place:

"Supplier Qualifications: Supplier shall have been in the business of supplying post-tensioning systems for at least 3 years.

All post-tensioning components shall be supplied by a plant approved by the Post-Tensioning Institute."

Page 03301-3 para 1.05D;

DELETE the words: "...at least 4 projects..."

INSERT in its place: "...at least 2 projects..."

Page 03301-5, para 2.03 SHEATHING:

DELETE in the first sentence the words:

"... shall be made of a material..."

INSERT in its place:

"... shall be made of extruded plastic..."

SECTION 04200 - UNIT MASONRY

Page 04200-1 para 1.02 SUMMARY;

INSERT "E. Purchase and Installation of cavity wall extruded polystyrene insulation and loose fill insulation."

Para 1.03;

INSERT "F. DIVISION 7 SECTION - BUILDING INSULATION, for extruded polystyrene cavity wall insulation loose fill insulation, furnished and installed in this 04200 Section."



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INSERT "G. Division 3 Section - Architectural Pre-Cast Concrete - Plant Cast, for precast sills which must be coordinated with masonry work.

Page 04200-2 para 1.04 E;

INSERT "The frames with ties, anchors and accessories are specified and supplied under Division 11. The frames shall be set and braced by the General Contractor;

The frames shall be installed in the masonry under Section 04200.

Coordinate all Division 16 and Division 15 items which are to be installed in the masonry."

Para 1.04F.

"The Frames with ties, anchors and accessories are specified and supplied under Division 11.

The Frames shall be set and braced by the General Contractor;

The Frames shall be installed in the masonry under Section 04200."

Page 04200-5 Para 1.06A; SUBMITTALS;

INSERT "13. Cavity wall insulation, 12"x12" sample with manufacturers literature enclosed.

- a. Provide in actual thickness and material to be supplied.
- b. If not a listed named manufacturer, submit proof from the manufacturer that they have submitted and are currently listed with the Maine Department of Environmental Protection as having set-up an acceptable schedule for elimination of CFC from their product.

14. Submittal of loose fill insulation manufacturers literature."

Page 04200-7 Para 1.07

INSERT "M. Engage an experienced installer who has completed unit masonry similar in material, design and extent

CUMBERLAND COUNTY JAIL

to that indicted for the project that has resulted in construction with a record of successful in-service performance.

1. Provide the following as part of the Filed Subbid Proposal for Section 04200 UNIT MASONRY:
  - a. Provide three (3) similar project type and scope references. Include the names, addresses and telephone numbers of the owners, the General Contractor, the primary unit masonry suppliers. Provide the project masonry cost, the name and the location of the projects.
  - b. Provide the installer's company address for their usual place of business and the hours during which the owner's representative may inspect the operation.
  - c. Provide the name(s) of the installer's job superintendent for this project".

Page 04200-24, Paragraph A;

DELETE The word "Install..."

INSERT in its place the words: "Provide and Install..."

Page 04200-32 para 3.10.c;

INSERT "Alternatively masonry wall intersections with a T-configuration may be connected by means of rigid anchors, 24" long with ends bent to a z-shape. These rigid anchors shall be embedded in grouted masonry and shall be spaced vertically at 16" inches on center."

GENERAL CLARIFICATIONS

Section A1/S202 is intended to apply to masonry partitions, not utilized as shear walls nor bearing walls, which extend to the underside of the roof deck. Welds are to be used to attach to 1-1/2" metal roof deck and 3" composite metal form deck.

The shear wall designations indicated on sheet F100 apply to the full length and height of the wall. Intersecting walls are not included unless specifically noted.



CUMBERLAND COUNTY JAIL

INSERT in its place: "Cavity wall insulation, and loose fill insulation is specified in this section, but is furnished and installed in Section 04200. Cavity wall insulation shall be 3 inches thick, R-16.8 minimum (aged R-value at 25 deg. F.)"

Page 07210-3 para 2.01.A.1

DELETE the name "DiversiFoam Products", until such time that they come into full compliance with the specifications including paragraph 2.02A.2."

Page 07210-4 para. 2.02.B.2;

DELETE the words "...developed values of 75 and 450..."

INSERT in their place "...developed values of 25 and 200...."

SECTION 08800 - GLASS AND GLAZING:

Page 08800-8 para 2.05.B.1, pyrolytic-coated glass;

DELETE the words... "Opaque Standard Glass..."

INSERT in their place "... opaque tinted and opaque tinted reflective glass. Submit green, blue, rose, silver, bronze, grey, and gold for selection and approval by Architect.

INSERT "2. Provide color samples as requested by the architect for tinted glass and for tinted reflective glass in locations indicated. Submit green, blue, rose, silver, bronze, grey and gold for selection and approval by the Architect.

SECTION 09900 - PAINTING

Page 09900-12, Para 3.08.D

DELETE in its entirety.

INSERT in its place:

"D. Gypsum drywall:

1. within the SECURITY PERIMETER, to receive painted finish:



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At shear walls vertical masonry reinforcement shall extend for the full height as specified in the shear wall schedule. Dowels connecting the second floor ceiling slab to the wall shall be as shown on Sections J8/S301 and J11/S301.

The concrete edge beam shown in Section N15/S303 applies as a typical beam at the perimeter of post-tensioned second floor slabs except where otherwise detailed. Note that this includes the perimeter of the stairwell where applicable.

Detail A10/S202 - note bond beam elevation must be adjusted to allow (2) 4" starter courses at floor slabs as required in Section 04200.

Drawing S104 at Pod B1, line G: 4" diameter pipe stubs are specified. It is intended that those same pipe stubs be utilized at line D at Pod B1 and at all other pods for Units B and C, sheets S104, S105, and S102.

SECTION 04405 - DIMENSION STONE

Page 04405-6, Para 1.06.D;

INSERT

- "1. Provide the following as part of the submittals:
  - a. Provide three (3) similar project type and scope references. Include the names, addresses and telephone numbers of the owners, the General Contractor, the primary stone suppliers. Provide the project dimension stone cost, the name and the location of the projects.
  - b. Provide the installer's company address for their usual place of business and the hours during which the owner's representative may inspect the operation.
  - c. Provide the name(s) of the installer's job superintendent for this project."

SECTION 07210 - BUILDING INSULATION;

Page 07210-1 Para 1.02 A.3;

DELETE in its entirety.

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Primer: Apply Tnemec 51-792 PVA Sealer at 2-3 mils dry.

Topcoats: Apply Tnemec 1113/114 Tufcoat at 3-5 mils DFT per coat.

2. outside of the SECURITY PERIMETER only, to receive painted finish; (In general, the administration area. See plans and notes for definition).

Primer: Interior latex base primer coat (FS-TT-P-650). Moore's latex Quick-Dry Prime Seal ( or approved equal by listed manufacturers).

Second and third coats: Odorless Interior Satin Alkyd Enamel (FS-TT-E-509). Moore's Satin Impervo Enamel (or approved equal by listed manufacturers).

3. within the security perimeter, to receive 'EPPT' (epoxy paint) finish; shall use the SPECIAL COATINGS from one of the manufacturers listed in paragraph 2.01.A. Install per manufacturer's recommended application for primer and two top coats.
4. outside the security perimeter, to receive 'EPPT' (epoxy paint) finish; shall use a water based epoxy coating from one of the manufacturers listed in paragraph 2.01.A or B. Install per manufacturers recommended application for primer and two top coats.
5. For the purpose of this paint specification only, all drywall in the Prerelease Center, Alternate No. 4, shall be considered outside of the security perimeter for the purpose of this paragraph.

SECTION 11191 - DETENTION HOLLOW METAL

Page 11191-19 para 3.02 FRAME INSTALLATION.

DELETE the words "...to install all door, window and borrowed lite..."

INSERT in their place the words "... to set and brace all frames scheduled in masonry or concrete, and to install all frames in non-masonry walls. Frames shall include door, window and borrowed lite frames. Installation shall be as follows:"



CUMBERLAND COUNTY JAIL

SECTION 11193 - DETENTION WINDOWS

Page 11193-5, Para 3.02 WINDOW INSTALLATION

DELETE the words "...to install all windows..."

INSERT in their place the words: "... to set and brace all windows scheduled in masonry or concrete, and to install all windows in non-masonry walls."

SECTION 11196 - MISCELLANEOUS DETENTION EQUIPMENT

Page 11196-2 para 2.01B.1

DELETE the word "...STORZ connection valve..."

INSERT in their place "...2-1/2 inch National Standard threads with a separate reducer included to allow reduction to 1-1/2" Iron Pipe Standard Threads".

INSERT "Coordinate lock location with interior equipment layout."

Page 11196-2 para 2.01.B.2;

DELETE the word "...STORZ..."

INSERT in its place the word "...specified..."

SECTION 15400 - PLUMBING

Pages 15400-11 thru 15400-25 para 2.17.B plumbing fixtures.

For these fixture numbers listed:

P-28, P-29, P-30, P-34, PR-8

DELETE "Chicago #1041 chrome plated 1/2" angle supplies with 1/2" risers, vandal proof stops and #1004-004 cast flange with set screw."

INSERT in its place:

"McQuire #H170LK chrome plated cast brass angle supplies, 1/2" nominal copper sweat, loose key vandal proof stops and cast escutcheon with set screw."



CUMBERLAND COUNTY JAIL

For these fixture numbers listed:

P-15, P-16, P-17, P-18, PR-3, PR-4

DELETE "Chicago #1032 chrome plated angle supplies with 3/8" flexible risers, 1/2" nominal copper sweat vandal proof stops, 5" extension tubes and cast escutcheons"

INSERT in its place:

"McQuire #H170 LK chrome plated cast brass angle supplies, 1/2" nominal copper sweat, loose key vandal proof stops and cast escutcheon with set screw."

SECTION 15500. HVAC;

Page 15500-59, para 2.33F;

INSERT "Acoustically-lined supply air ductwork does not require external insulation."

Page 15500-59, para. 2.33F.2;

DELETE "Supply air and return air duct insulation thickness shall be 1-1/2 inches."

INSERT "Supply air duct insulation shall be 1-1/2" thick."

SECTION 15600 - FIRE PROTECTION

Page 15600-1 para 1.01.A RELATED DOCUMENTS

INSERT "1. Refer to Section 01030 ALTERNATES for work which may affect pricing of this section."

SECTION 16010 - BASIC ELECTRICAL REQUIREMENTS

Page 16010-1 para 1.03.H

INSERT "Contractor shall include in his bid any excess service cost by utilities for underground service entrance in lieu of overhead service."

CUMBERLAND COUNTY JAIL

SECTION 16110 - RACEWAYS

Page 16110-6 para 3.03.B

INSERT "Plastic coated rigid steel conduit shall be used in all concrete slabs. Non-plastic coated rigid steel conduit may be used in CMU walls within the secure perimeter. All other installation shall be as specified."

SECTION 16721 - FIRE ALARM SYSTEMS

Page 16721-3 para 1.07B

INSERT: the word "Graphic" after "Zone Identification On"

Page 16721-4 Para 1.08;

INSERT: "F. A pre-recorded digitized voice message capability is to be provided for automatic transmission to building occupants during alarm conditions. The automatic message player shall not rely on a tape or other mechanical means of transmitting the evacuation message. A custom evacuation message shall be provided under this Contract. The message player must be capable to transmitting a custom message of up to five (5) minutes long. A self-contained speaker will provide testing of the message(s) without disturbing the occupants of the facility.

G. Detection Operation

1. Smoke sensors shall be smoke density measuring devices having no self-contained alarm set point (fixed threshold). The alarm decision for each sensor shall be determined by the control panel. The control panel shall determine the condition of each sensor by comparing the sensor value to the stored value.
2. The control panel shall maintain a moving average of the sensor's smoke chamber value to automatically compensate (move the threshold) for dust and dirty conditions that could affect detection operations. The system shall automatically maintain a constant smoke obscuration sensitivity for each sensor (via the floating threshold) by compensating for environmental factors. The smoke obscuration sensitivity shall be adjustable to within 0.3% of either limit of the UL window (0.5% to 4.0%) to compensate for any environment.



CUMBERLAND COUNTY JAIL

3. The system shall automatically indicate when an individual sensor needs cleaning. When a sensor's average value reaches a predetermined value, a "DIRTY SENSOR" trouble condition shall be audibly and visually indicated at the control panel for the individual sensor. Additionally the LED on the sensor base shall glow steady giving a visible indication at the sensor location. If a "DIRTY Sensor" is left unattended, and its average value increases to a second predetermined value, and "EXCESSIVELY DIRTY SENSOR" trouble condition shall be indicated that the control panel for the individual sensor. To prevent false alarms, these "DIRTY" conditions shall in no way decrease the amount of smoke obscuration necessary for system activation.

Page 16721-11 para 2.04 F.

DELETE: 2nd sentence, re: existing wiring.

Page 16721-24 para 2.04

INSERT: "H. Audio/Visual units shall provide a common enclosure for the fire alarm audible and visual alarm devices. The housing shall be designed to accommodate speakers. The unit shall be complete with a tamper resistant, Pyramidal shaped lexan lens with "Fire" lettering visible from a 180 degree field of view. The front panel or bezel which is constructed of UL listed Noryl, may be inverted so that the lens is below the audible device. Integral Xenon strobe shall provide 8000 peak candle power and be adjustable from 1 to 3 flashes per second. Xenon strobe shall provide 4 wire connection to insure properly supervised in/out system connection. Unit shall be complete with all mounting hardware including backbox. Audio/visual unit shall be UL listed for its intended purposes. 4903-9101/2902-9732

I. Master Box

The Master Box shall be a Simplex Model #2095-9011 Local Energy Master Box. The Master Box shall be a flush mounted cottage shell with a plain door. The Master Box shall comply to the requirements of the City of Portland Fire Department."

Page 16721 para 2.05 C

CHANGE the work "Black" to "Red". (Handset.)



CUMBERLAND COUNTY JAIL

SECTION 16800 - ADMINISTRATIVE INTERCOM

Page 16800-1, Para 1.1:

"C. It is the intent of this section to provide the door intercom devices to the Door Control Contractor who will provide all necessary wiring, amplifiers controls, etc. required for proper control of all passage doors scheduled to the Central Control Console as outlined in Section 16900."

SECTION 16900 - DOOR CONTROL

Page 16900-6 para 2.01A.

DELETE locks in panels

Page 16900-7 para D.1

DELETE ".020 thick lexan"

INSERT "minimum .010 thick"

DELETE the last sentence in para. 1

INSERT in its place: "All LED indicators shall have variable intensity so as visible from any viewing angle when the operator is seated in a normal working position and in an ambient light level of 55 ft. candles."

Page 16900-7 para 2.01.F

DELETE "180 degree viewing angle"

Page 16900-8 para G. 3

CCTV cameras shall also have LED indications

Page 16900-8 para G. 4

CHANGE "orange" to "yellow"

Page 16900-9 para G. 7

After "emergency"; INSERT "or battery"

CUMBERLAND COUNTY JAIL

Page 16900-10 para 2.02 B.1.

DELETE the words "stainless steel stud"

Page 16900-14

INSERT 203.D.2 All I/O devices shall be equipped with system self diagnostic capabilities. The controlling processor shall, on a time interval not to exceed three seconds, poll all input/output devices for a diagnostic test. Each input/output device shall respond to the processor to indicate either clear or trouble. The condition of all I/O devices shall be indicated on the graphic control panel upon the depression of the test switch. Please refer to section describing the system processor.

INSERT 203.G. DEVICE SUPERVISION: The processor shall, on a regular time interval not to exceed three seconds, perform a diagnostic test of all I/O field devices. This diagnostic test shall be a software test requiring all I/O devices to report back to the processor. This test will accomplish the following:

- (a) A trouble indicator shall be provided on the faceplate to indicate if any I/O device associated with that faceplate has malfunctioned.
- (b) A test switch shall be provided on the faceplate. Depressing the test switch shall cause all indications on the panel to extinguish and light the indicators associated with the devices which are malfunctioning. The display shall show the operator graphically all devices which are inoperable.
- (c) The diagnostics program shall be sufficient to detect a break at any point in the data loop wiring.

The diagnostic test shall not in any way interfere with the normal operation of the control panel. If a fault is detected, the control panel shall not shut down, but rather all remaining devices shall remain functional. Any fault occurring in any device shall be detected within on more than three seconds of the time of the occurrence.

Page 16900-17 para 2.05 "A1."

DELETE "ground fault detector"



CUMBERLAND COUNTY JAIL

DELETE "the words "card cage"

INSERT "processor"

Page 16900-18 para 2.05 A. 3.

DELETE "ground fault"

DELETE "940"

INSERT 2.06 OPERATIONAL INTERCOM SYSTEM

A. Acceptable Manufacturers:

Except as otherwise specified, herein, or in the General Conditions, the equipment and materials of this Section shall be products of the following manufacturer, subject to compliance with specification requirements and provided each manufacturer meets all requirements of the Quality Assurance Section of this specification.

B. Acceptable Manufacturer:

Montgomery Technology, Inc., Greenville, Alabama

C. Logic and Control Unit.

The programmable controller utilized for intercom control shall be of identical make as the controller utilized for the locking control system. The intercom system shall be controlled by a controller which is dedicated to the intercom system. The intercom system controller shall communicate with the locking system controller by serial communication.

1. Type and Function of Circuit Boards: The control system shall be a microprocessor based system utilizing multiplex data transfer of all data rather than individual conductor transfer. All data transferred to the faceplate or the relay control system shall be accomplished via multiplex data transfer. All system components shall be the standard product of one manufacturer. The control system including multiplex data cards, process cards, relay cards, intercom cards, power supply, etc., shall have no more than seven total types of circuit boards.

2. Device Supervision: The processor shall, on a regular time interval not to exceed three seconds, perform a diagnostic test of all I/O field de-



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vices. This diagnostic test shall be a software test requiring all I/O devices to report back to the processor. This test will accomplish the following:

- (a) A trouble indicator shall be provided on the faceplate to indicate if any I/O device associated with that faceplate has malfunctioned.
- (b) A test switch shall be provided on the faceplate. Depressing the test switch shall cause all indications on the panel to extinguish and light the indicators associated with the devices which are malfunctioning. The display shall show the operator graphically all devices which are inoperable.
- (c) The diagnostics program shall be sufficient to detect a break at any point in the data loop wiring.

The diagnostic test shall not in any way interfere with the normal operation of the control panel. If a fault is detected, the control panel shall not shut down, but rather all remaining devices shall remain functional. Any fault occurring in any device shall be detected within no more than three seconds of the time of the occurrence.

- 3. Logic Control: The processor card shall contain all programs necessary to control the system. The program shall be non-erasable. The processor shall communicate with all other devices via multiplex data transfer. All system boards shall be capable of operation from supply voltage of seven to thirty-six volts DC.
- 4. Logic Controller: All microprocessor-based equipment supplied shall be certified by the manufacturer to meet or exceed the following environmental operating specifications.

Ambient Temperature - Operational 0 to 60 C.

Storage 40 to +80 C.

Ambient Humidity - 50 to 95%, RH non-condensing

Noise - passed the following tests:

NEMA ICS2-230 (Showering Arch)

ANSI C37.90a, IEEE 472 (Surge Withstand Capability)



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5. Multiplex Encoder/Decoders: The remote multiplex encoder/decoders shall be powered via the data loop wiring and will require no additional power for operation. The multiplex circuit boards shall decode and output data received from the micro-processor card and shall encode local data to the multiplex data loop. The encoder/decoders shall be interchangeable between all systems, such as locking, lighting and intercom control systems.

All I/O devices shall be equipped with system self diagnostic capabilities. The controlling processor shall, on a time interval not to exceed three seconds, pole all input/output devices for a diagnostic test. Each input/output device shall respond to the processor to indicate either clear or trouble. The condition of all I/O devices shall be indicated on the graphic control panel upon the depression of the test switch. Please refer to the section describing the system processor.

6. The system shall be capable of FM multiplexing the audio signal along with the control system data. The multiplexed audio signal shall be capable of being transmitted in the same conduit system as all other control wiring I.E. (locking, lighting, and etc.). This multiplexing shall be accomplished utilizing a single station module which shall contain all of the diagnostic features described above.
7. Construction: The electronic control circuit components shall be mounted on a printed circuit board of glass/epoxy construction. The card shall be connected with gold plated connectors. These cards shall be capable of quick removal and replacement without the desoldering of wires. The boards shall be construction utilizing plated through hole technology with a solder mask on both the solder and the component's side. A component silk screen of high contrast color shall be used on the component side with all components numbered and labeled visibly. All circuit boards shall be capable of maintaining operations with a supply voltage from seven volts DC to thirty-six volts DC. Logic control circuits shall utilize CMOS integrated circuit technology with silicon bipolar transistor isolation. All components are to be direct soldered into circuit boards. All flux is to be cleaned from solder joints sufficiently to allow for no detectable corrosion after three



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years of service. Provide as many circuit boards as required for the number of annunciating and control functions specified, herein, plus two (2) spare circuit boards of each type to be turned over to the Owner.

8. Lightning Protection: All control systems will be protected with several levels of lightning protection. Protection will be provided for the AC power connections. All transmission lines, terminations, all external control devices, such as gates, monitors, etc. A floating ground system for all control systems will be utilized. All connections to any grounded system will be through an optically isolated coupler. All relays shall be minimum 7,500V isolation and optically coupled. Lightning protection will be a standard product of the system and shall be the standard product of one manufacturer. Protection levels shall protect the system against 95% of all lightning strikes within 1/4 of a mile. Lightning strike levels shall be 100KV strike. The protection shall, in case of failure, control the mode of failures.

First protection level shall be a fuse protected system. Secondly, the power supplies will then be sacrificed and thirdly, a shunt on the DC side of the power supply shall clamp all power to the electronics. Only in the most severe strike shall any electronics actually be damaged.

- D. The system shall be multilink to allow one conversation per master station to occur simultaneously. The system shall allow all staff stations directly connected to a master to communicate with that master. The control master shall display the staff stations on the digital readout in the order in which they are received. Staff stations shall always appear on the multi-digital readout and shall graphically appear on the panel. The system shall have an answer switch to allow automatically answering the calls in order. or the calls can be selected manually in any order. A scroll switch shall allow master stations to direct dial each other. The system shall be capable of assigning architectural room numbers to any staff of master station. The number shall be a 1 to 4 digit number consisting of any combination of the numbers 0 thru 9 and/or letters A thru F.
- E. In the master control room, the master station shall be located as shown on drawings flush mount-



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DRAWING L-100 P-3

REVISE note to read: "Pre-cast meter pit SHALL BE INCLUDED in contract (and not by P.W.D.). Work included in the contract shall be up to the Ogdensburg Street right-of-way line. See also L-302, G-1."

NOTE: The new location of pre-cast water meter pit shall be entirely on County property, and not in the Ogdensburg Street right-of-way. This is shown on sketch ADD-42.

DRAWING L-301;

Detail F15/L-301;

NOTE: The pumper connection shall be to the street (the arrow is drawn incorrectly). See ADD-41 sketch.

INSERT "Thread type and size shall be coordinated with the Portland City Fire Department."

DRAWING L-302

Detail G1/L-302

REVISE The water meter pit, previously excluded, SHALL BE INCLUDED in the contract. See Sketch ADD-43.

INSERT Roof reinf. plan (Alternate 'A')

See Sketch ADD-43.

DRAWING A-110 UNIT E EXERCISE/PROGRAMS FIRST FLOOR PLAN

Room E2110 commissary-window;

DELETE Window reference "B"

INSERT in its place: "J"

DRAWING A-126 ROOF PLAN

Refer to Sketch ADD-45 for clarification and revision of ALTERNATE No. 1 and No. 2 items.

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ed in graphic control panel. The master station shall provide a hexadecimal keypad, talk/listen switch, an automatic answer button, scroll button, a systems busy tone, a call waiting annunciator and a multi-digital readout. The hexadecimal keypad, which is an integral part of the graphic panel, shall provide for dialing all individual staff and master stations. The multi-digital readout shall display the station number with which a link has been established through use of the hexadecimal keypad. A speaker and headset w/outlet shall be mounted on the graphic control panel faceplate. A microphone with a push to talk switch will be mounted on or near the control panel turret as determined at time of mock-up.

- F. The master station in the master control room shall also have capabilities of remote redundant locking control via use of the hexadecimal keypad by dialing in the door number and pressing the unlock switch. Any door within the facility, assigned to master control, may be unlocked from master control.
- G. The satellite master stations shall be located as shown on the drawings flush mounted in the graphic control panels. The master station shall provide a selector switch in-line with each staff station or speaker intercom to establish communication link. Also, provide a talk/listen switch and volume control switches. Provide a speaker and microphone and a head set which shall be constructed and mounted as described above. The system shall be capable of assigning architectural room numbers to any staff of master station.

PERTAINING TO THE DRAWINGS

Drawing L-001. 0-8

Revise note to read: "Railroad tracks, switching equipment and bumpers to be removed by others. Railroad ties and stone bedding material to be removed by the jail contract site contractor."

Drawing L-100

Note that the manhole located between M.H. #1 and M.H. #3 currently indicated as "M.H." shall be called "M.H. #2".



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DRAWING A-200, ROOMS A0113, A0114, A1230;

Ceiling Material:

DELETE "ACT-3"

INSERT in its place: "ACT-2"

DRAWING A-203, ROOMS D1135, D1136, D1138, D1139, D1140, D1142;

Ceiling Material:

DELETE "ACT-3"

INSERT in its place "ACT-2"

DRAWING A-203, ROOM D3115 KITCHEN

Ceiling Material:

DELETE "ACT 2"

INSERT in its place "ACT-3"

DRAWING A204, ROOMS F1101, F0105;

Ceiling Material:

DELETE "ACT-1" "ACT-3"

INSERT in their place: "GWB/PT"

DRAWING A-204, ROOMS F0103, F0108, F2107, F2109

Ceiling Material:

DELETE "ACT-3"

INSERT in its place: "ACT-2"



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DRAWING A-204, ROOM F2114;

Ceiling Material:

DELETE "ACT-2"

INSERT in its place: "ACT-3"

DRAWING A-208 DOOR SCHEDULE

Door C2104;

DELETE frame reference: "H"

INSERT in its place frame reference "A"

Door C2142;

Delete frame reference: "S"

Insert in its place frame reference: "H"

DRAWING A-209 DOOR SCHEDULE

Door D3105

DELETE ELV. reference "D"

INSERT in its place ELV. reference "R"

Door D2101

INSERT Glazing Type: "5"

Door D3107

INSERT Glazing Type: "9A"

Door F1111

INSERT Glazing Type: "12C"

CUMBERLAND COUNTY JAIL

Door F2109

INSERT Glazing Type: "1"

DRAWING A-212. GLAZING TYPES

No. 8 Maximum Security Exterior;

DELETE "3/8 inch Lexguard..."

INSERT in its place: "1/2 inch Lexguard..."

DRAWING A-213 WINDOW GLAZING SCHEDULE

Room A1103;

INSERT window/glass type: "C/50\*"

DRAWING A-400

Detail A8/A400;

PROVIDE vertical weep at each end of the GRANITE BAND ("Cumberland County Jail"), 4" nominal, high by the joint thickness.

DRAWING A-403. DETAILS A15. E15. J15/A403

Clarification: Hardened tool steel bars as specified in Section 11193 are to be provided in Vertical 2" x 4" muntins of exterior detention windows.

Steel reinforcing bar is to be provided in sills, jambs and heads, extended into masonry walls as shown, grouted solid.

See also Sketch ADD-46.

DRAWING A-704. ROOM E0106 (ELEVATOR MACHINE ROOM)

Ceiling shall be "GWB".

DRAWING A-706. ROOM E1105

Ceiling shall be 2x2 grid.

CUMBERLAND COUNTY JAIL

DRAWING A-708, ROOM F1127;

Ceiling shall be linear type in North/South direction.

FOUNDATION DRAWINGS IN GENERAL:

"In all cases the designation (ie: PC-1, PC-2, PC-3, etc) shall be taken as a reference to the details on Drawings F-301 and F-302. The pile layout and pile cap details shall be made from these details."

DRAWING F-106:

19'-7 13/16" south of line N and 26'-7 5/16" west of line 13, the pile cap has no designation. This should be noted as "PC 2".

DRAWING F-108:

At column U-24, the pile cap has no designation. This should be noted as "PC 2".

DRAWING F-301:

Detail M-15, Pile Cap #1 (PC1):

The single pile should be noted as "16  $\emptyset$  pipe pile".

Detail E-18, Typical Joint detail:

" The top of the sealant shall be struck flush with the top of the concrete (typical)."

Detail H-9, Perimeter Grade Beam:

DELETE reference to "grade".

INSERT in its place: "Refer to site plans for exterior grades."

Detail H-9, Perimeter Grade Beam:

The vertical dimension "6 inches" indicates the required distance for the vapor barrier to turn down before termination.



CUMBERLAND COUNTY JAIL

DRAWING S-201:

Detail K15 Concrete Column Type 1;

INSERT the following note:

"Where the face of column projects beyond the face of a masonry wall and/or where the column is freestanding, chamfer the projecting corners 3/4". Where the face of concrete is recessed (embedded within) a concrete masonry partition or flush with the face of the concrete masonry partition, form those corners square."

DRAWING E-208:

Fixture Schedule

Fixture schedule G, G1, and I are listed as Note 3 with scheduled manufacturer. These fixtures, per this addendum, shall be listed with Note 2; Lumax, Keene, or Lithonia. Fixtures K, K1, K2, L & L1 list under Note 2.

ADMINISTRATIVE INTERIOR

- DWG. E-304 ROOM C0109 shall be a master station wall mounted
- DWG. E-304 ROOM C0101 shall be a 2 button wall mtd. sub-station
- DWG. E-304 ROOM C0102 shall be a dish mtd. master w/handset
- DWG. E-304 ROOM C0106 shall be a 2 button wall mtd. sub-station
- DWG. E-304 ROOM F2146 shall include a duress station
- DWG. E-304 ROOM D1103 shall be only one double mounted master station
- DWG. E-304 ROOM B2103 shall be wall mtd. station w/handset
- DWG. E-304 ROOM B0102 include duress station on unit diagram
- DWG. E-304 ROOM B3144 include duress station on unit diagram
- DWG. E-304 ROOM B1144 include duress station on unit diagram
- DWG. E-304 ROOM C0109 shall include a duress station
- DWG. E-302 UNIT C3 provide CRM at work station
- DWG. E-304 Note No. 2 is intended to be a #6293-1 (1) Button (Mushroom Type)
- DWG. E-304 ROOM F0103 shall be a CRM w/2 direct dial modules
- DWG. E-306 System #2 exchange shall be 320/22 as specified
- DWG. E-306 Provide paging zones for each building Division i.e.: A, B, C, D, E & F include necessary amplifiers, conduit wall, circuit, etc.

DRAWING E400 ELEVATOR EMERGENCY POWER-OFF CONTROL DETAIL

See revised control detail (ADD-44)

CUMBERLAND COUNTY JAIL

ADD-36 Revision 1 Masonry Types (2 of 3)  
ADD-37 Revision 1 Masonry Types (3 of 3)  
ADD-38 Folded print - 30" x 42" Masonry Clarification  
ADD-39 Folded print - 30" x 42" Masonry Clarification  
ADD-40 L-201 Clarification/Revision 1 Paving  
ADD-41 L-301 Hydrant Clarification (1 of 1)  
ADD-42 Meter Pit Revision (1 of 2)  
ADD-43 Meter Pit Details (2 of 2)  
ADD-44 Electrical Elevator Detail - E-400  
ADD-45 Revision/clarification Roof Plan A-126  
ADD-46 Detention Exterior Windows

PERTAINING TO GENERAL ADDENDUM ITEMS

1. Clarification: Alternate No. 2 is the total completion of the shell and interior.
2. Cabinets and Counters Shown on drawings:
  - a. If an item has an inverted triangle code and a casework number, it shall be carried in Section 12346 - WOOD MANUFACTURED CASEWORK AND FIXTURES.
  - b. If it has no casework number, then it is carried under SECTION 06400 - ARCHITECTURAL INTERIOR WOODWORK.

END OF ADDENDUM 2



CUMBERLAND COUNTY JAIL

INSERT

"NOTE: Elevator shut-off sequence shall be as follows:

- a) Smoke detector at elevator shaft, machine room, or lobby will go into alarm and signal zone module relay that in turn activates elevator Phase I recall and designated audible/visible device(s) at fire alarm graphic annunciator panel.
- b) Phase I recall, upon arrival of the elevator to the designated or alternate floor, shall signal the fire alarm control panel of said arrival. The fire alarm control panel will in turn signal the shunt trip mechanism of the elevator circuit breaker located at MDP-C.
- c) Heat detectors at elevator shaft or machine room shall most likely go into alarm secondary to smoke detectors. The sequence of a) and b) above shall also apply."

DRAWING E-110

General Note to the Drawings and Detail N5/E-110.

The intent of the drawings and specifications is to include an automatic transfer switch, provided under Division 16 Section 16621, by the manufacturer of the Standby Continuous Power Equipment. The transfer switch shall be enclosed within an enclosure integral to the building main switchboard, as detailed, and provided by the switchboard manufacturer."

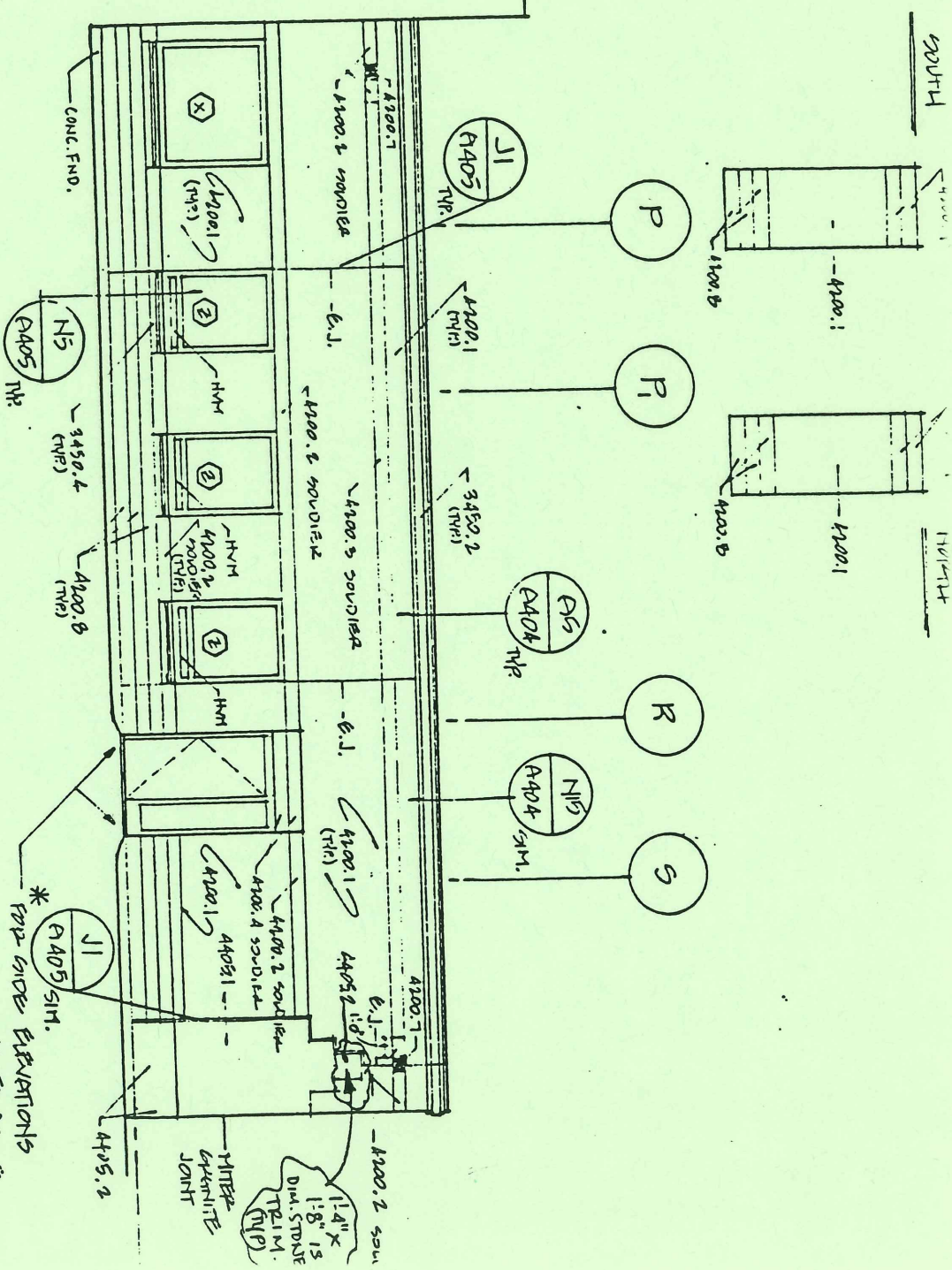
PERTAINING TO ADDENDUM SKETCHES (ADD -)

- ADD-29 Clarification of "Dimension Stone Trim" (1 of 6)
- ADD-30 Clarification of "Dimension Stone Trim" (2 of 6)
- ADD-31 Clarification of "Dimension Stone Trim" (3 of 6)
- ADD-32 Clarification of "Dimension Stone Trim" (4 of 6)
- ADD-33 Clarification of "Dimension Stone Trim" (5 of 6)  
Revision 1 change thermal to rough this location
- ADD-34 Clarification of "Dimension Stone Trim" (6 of 6)  
Revision 1 change thermal to rough this location
- ADD-35 Revision 1 Masonry Types (1 of 3)



N5/A300  
 1/8" = 1'-0"

BUILDING ELEVATION



STEVENSON MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
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CUMBERLAND COUNTY TAIL

PROJECT:

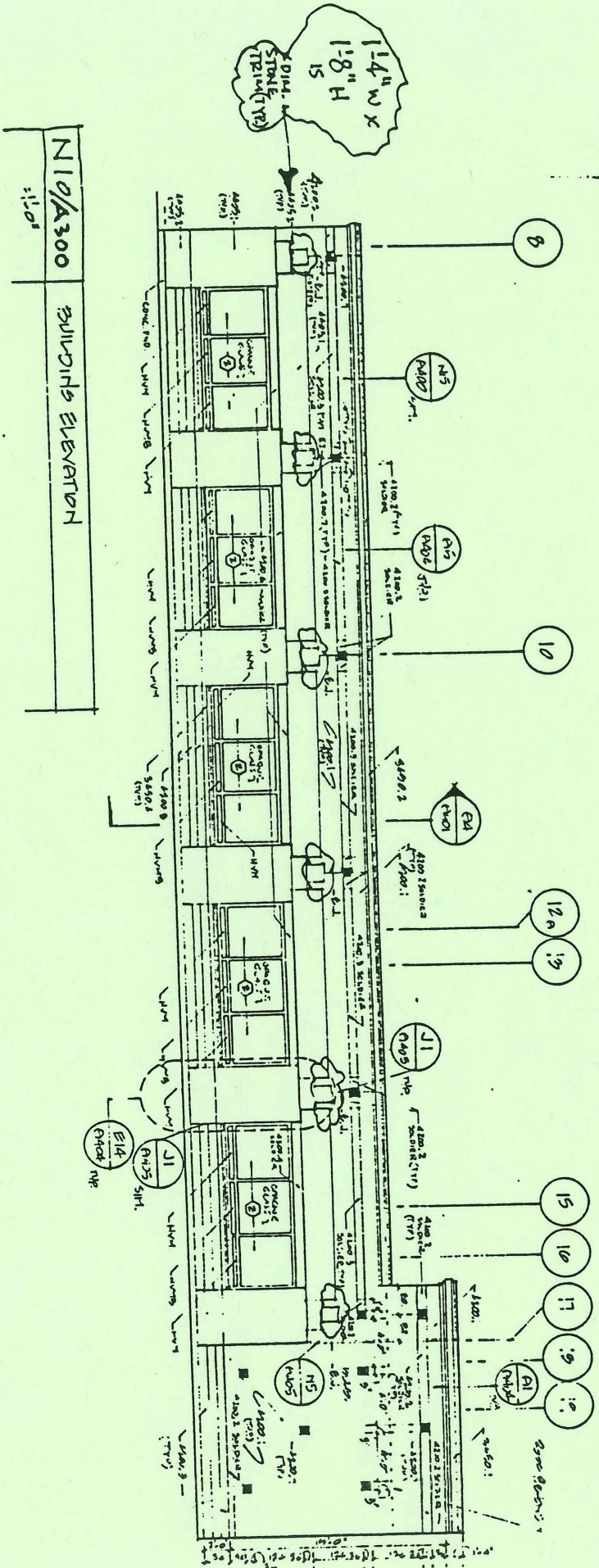
APPENDUM No. 2 "DIMENSION STONE TRIM"

PROJECT No.:  
 89006  
 ADD-29

SHEET 1 of 6  
 DATE: 12.2.91







PROJECT:

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 CUMBERLAND COUNTY JAIL  
 ADDENDUM No. 2 - "CLARIFICATION OF DIMENSIONAL STONE TRIM"

PROJECT No.: 89006  
 ADD-36

SHEET 2 of 6  
 DATE: 12.2.91



PROJECT:

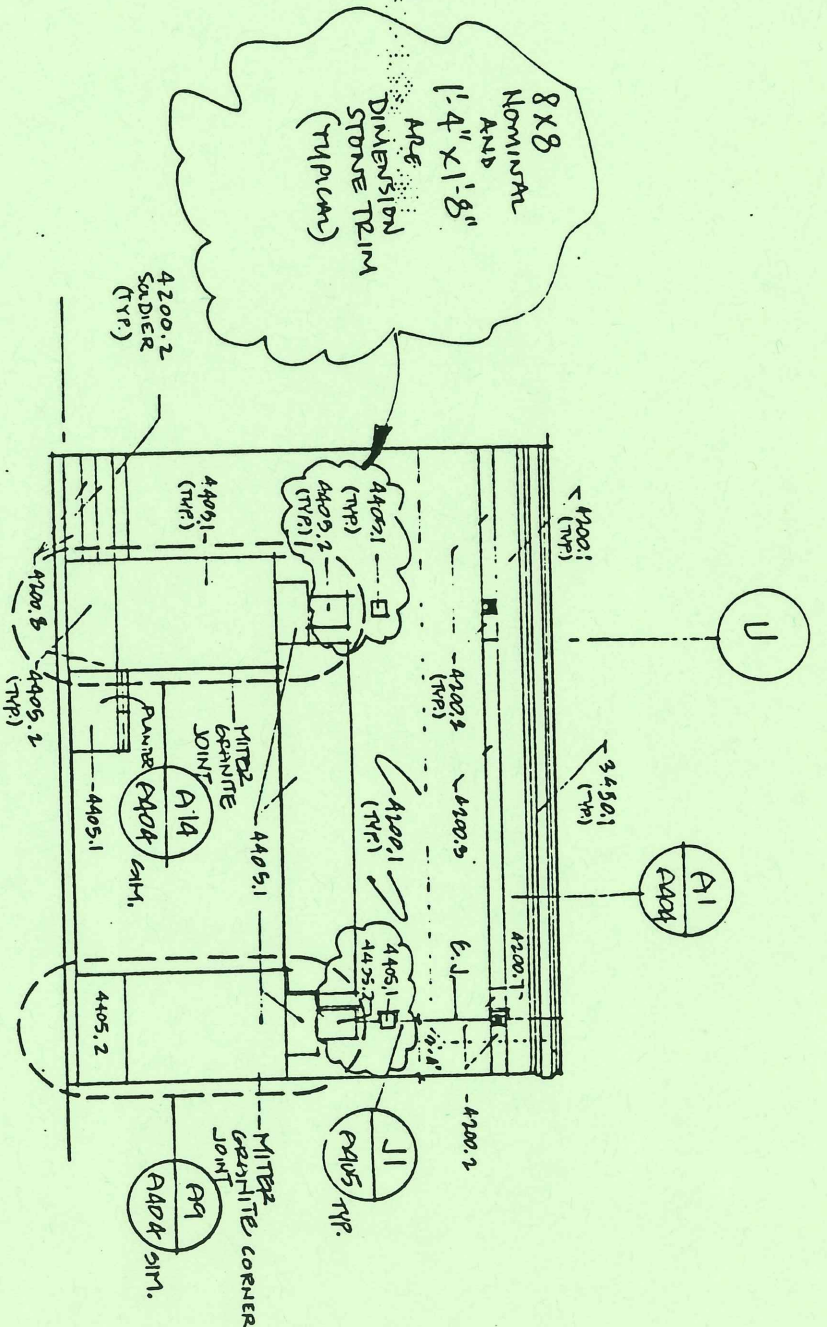
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 APPENDUM No. 2

SHEET 3 of 6  
 DATE: 12.2.91

J1/A300	BUILDING ELEVATION
1/8" = 1'-0"	

PROJECT No.:  
 89006

ADD-31



8x8  
 NOMINAL  
 AND  
 1-4" X 1-8"  
 DIMENSION  
 STONE TRIM  
 (TYPICAL)

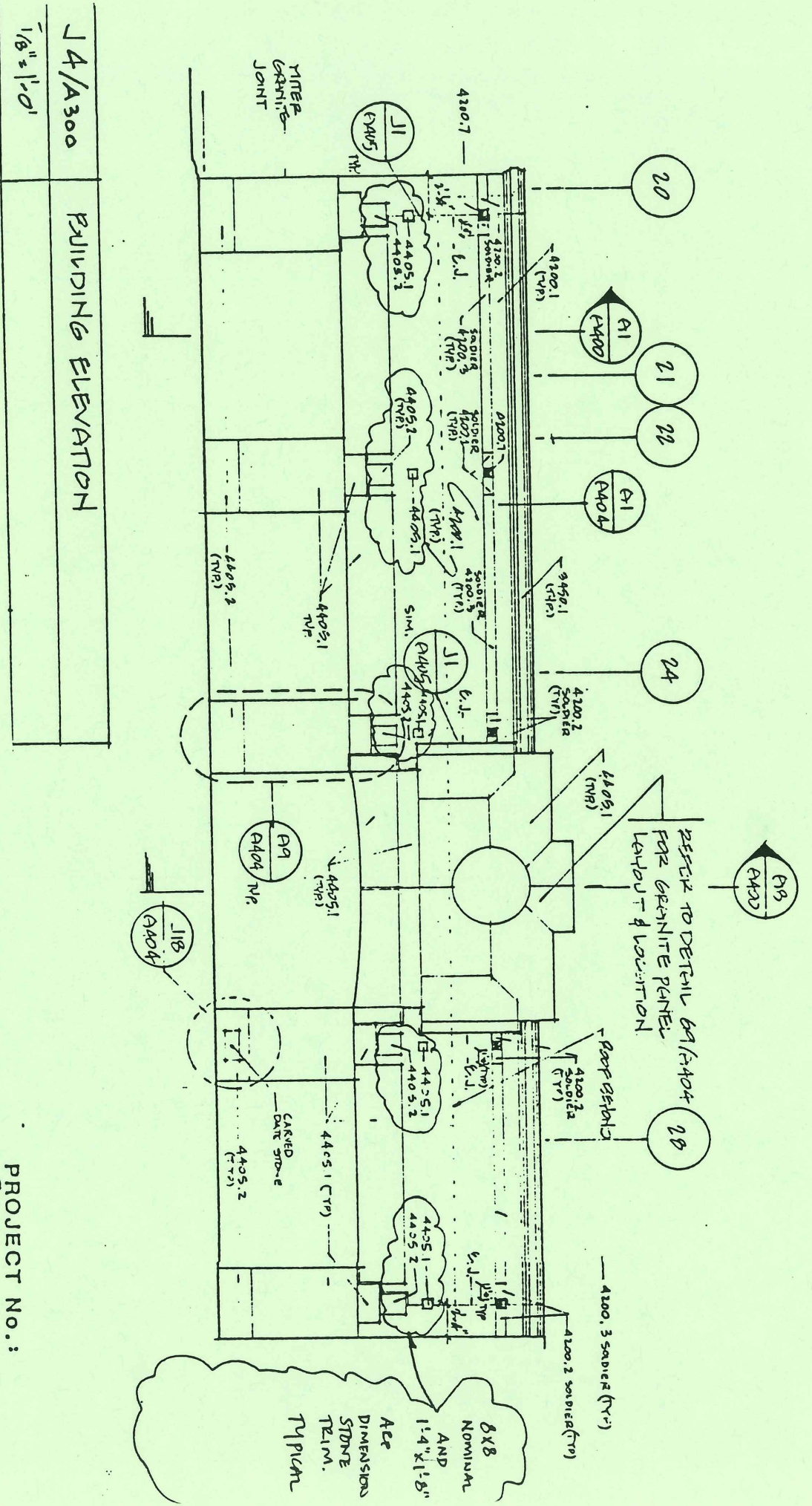
4200.2  
 SADDLE  
 (TRP)

4405.1  
 (TRP)  
 4405.2  
 (TRP)

MITER  
 GRANITE  
 JOINT  
 A14  
 4405.1  
 4405.2  
 (TRP)

MITER  
 GRANITE  
 JOINT  
 A9  
 4405.1  
 (TRP)





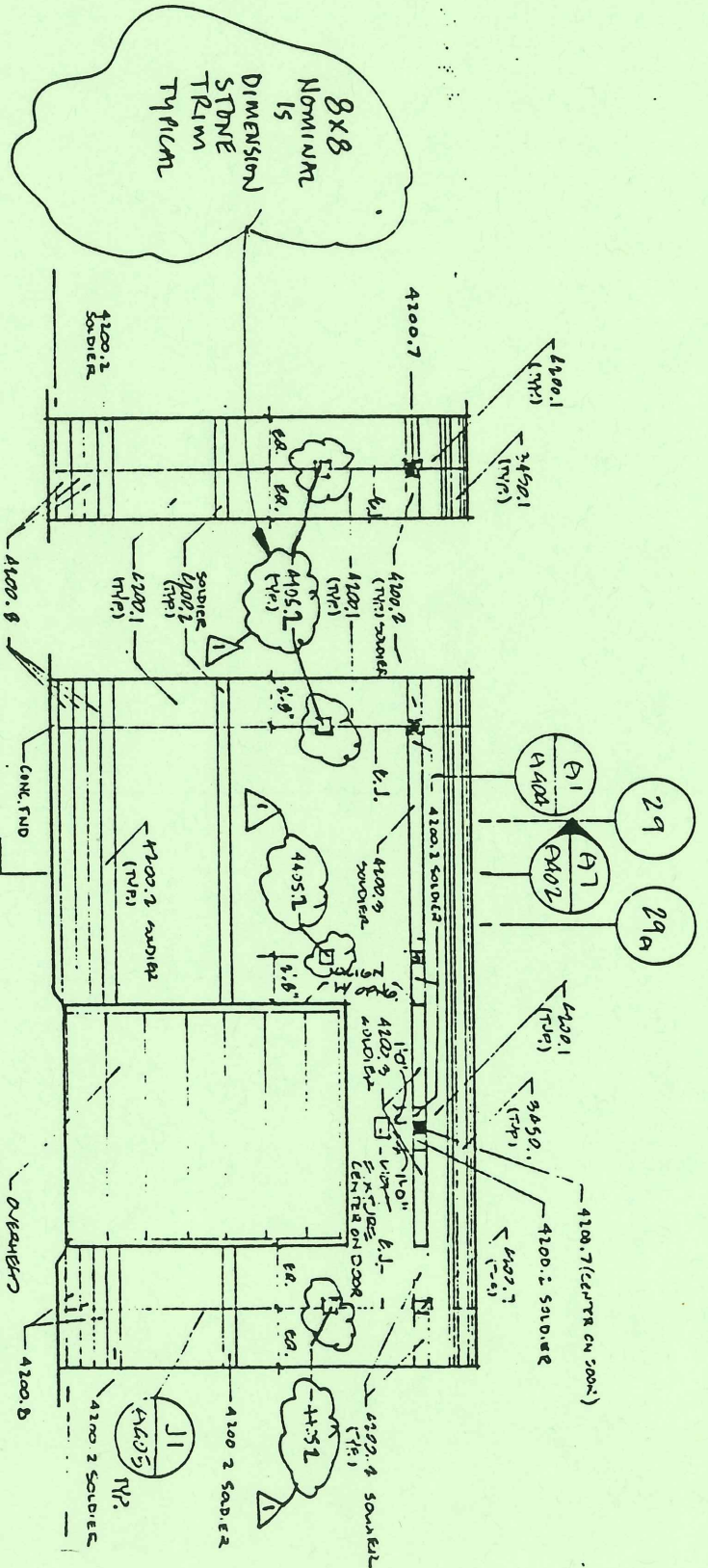
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 ADDENDUM No. 2  
 CLARIFICATION OF "DIMENSION STONE TEAM"

PROJECT No.: B9006

ADD-32

SHEET 4 of 6  
 DATE: 12.2.91





8x8  
NOMINIAL  
IS  
DIMENSION  
STONE  
TRIM  
TYPICAL

E7/A300	BUILDING ELEVATION
1/8" = 1'-0"	

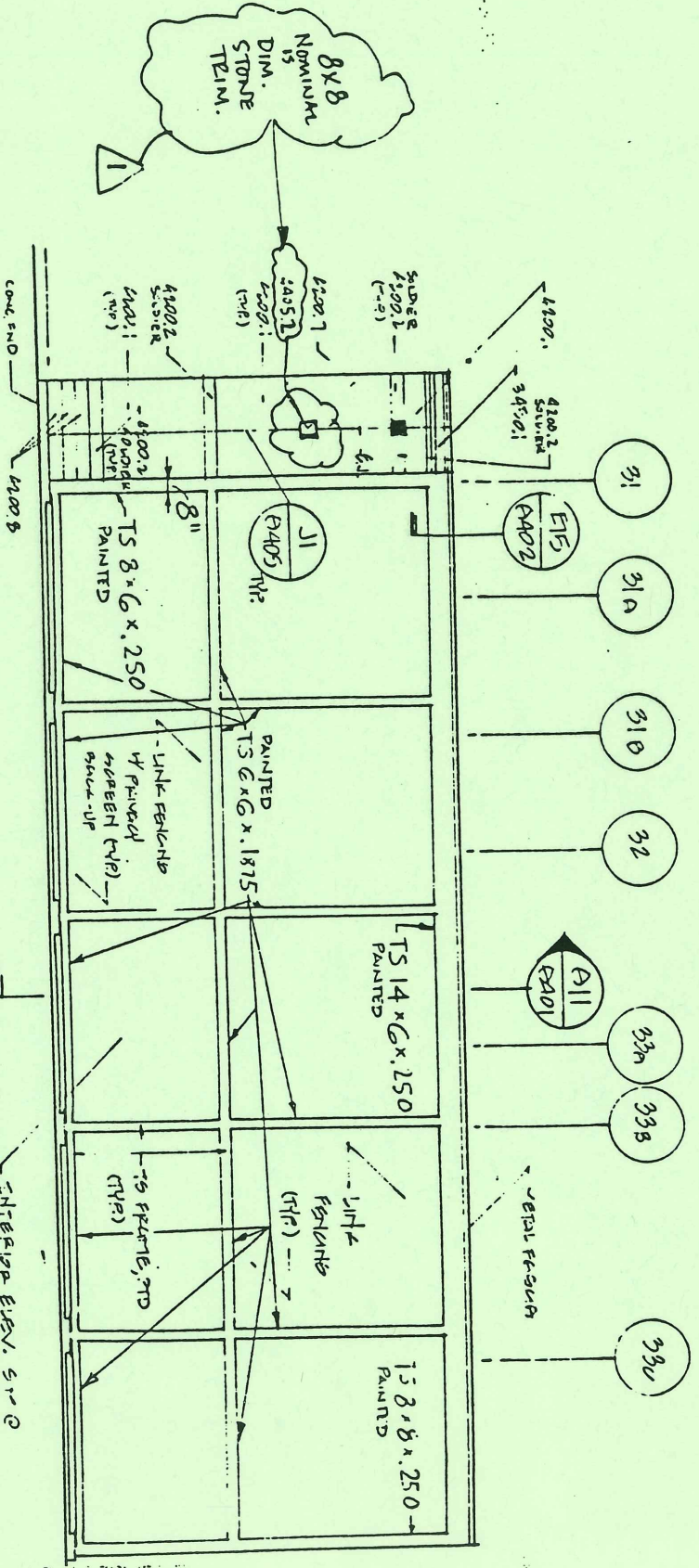


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PROJECT NO.:  
 89006  
 ADD-33

ADDENDUM No. 2 OF DIMENSION STONE TRIM  
 CLARIFICATION OF CHANGE THERMAL TO DRAIN THIS LOCATION  
 SHEET 5 of 6  
 DATE: 12.2.91



E12/A300 BUILDING ELEVATION  
 1/8" = 1'-0"



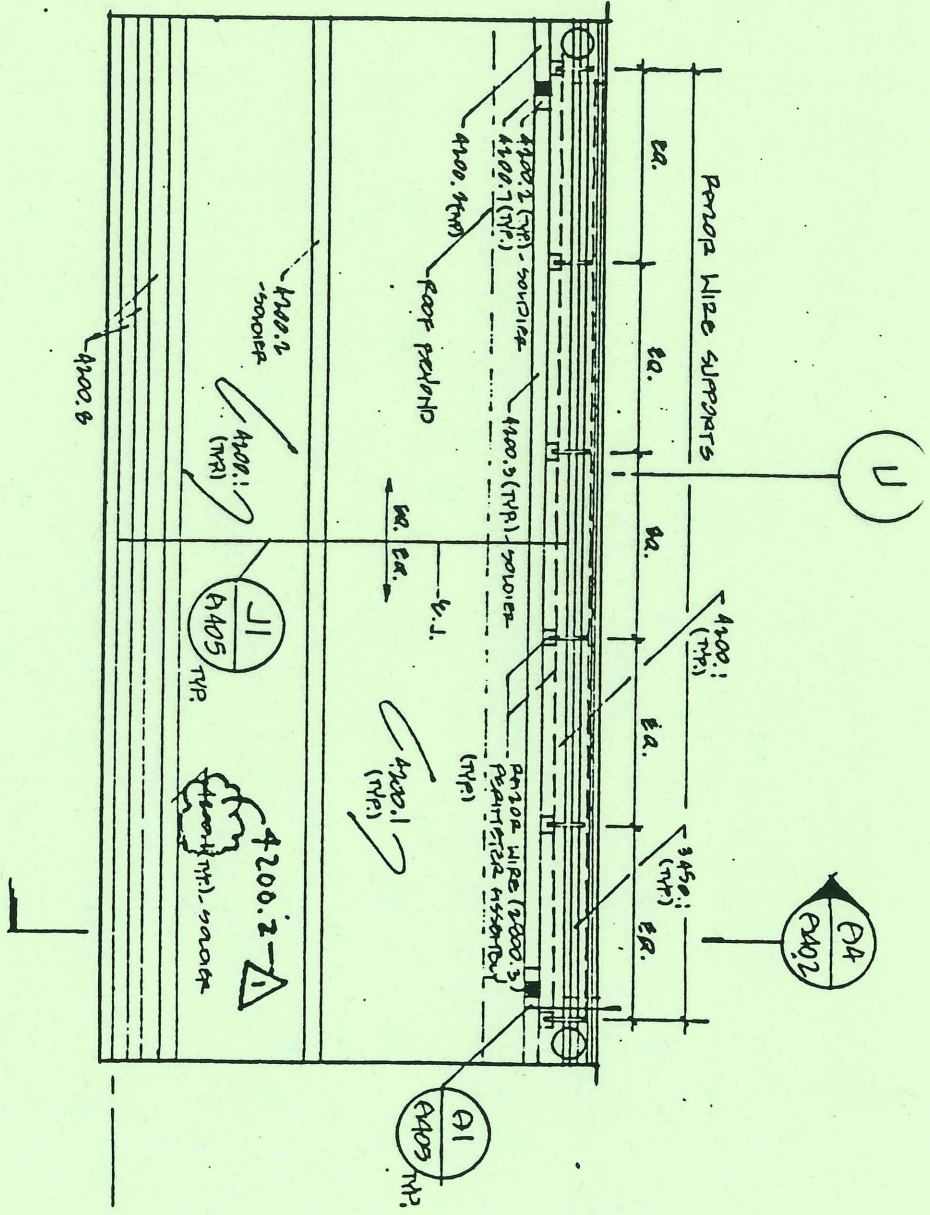
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 P.O. Box 10, Main Street, Umeoick, ME 04048 Tel: 207.793.8202  
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 ADDENDUM No. 2  
 CLARIFICATION OF DIMENSION STONE TRIM"  
 REVISION A CHANGE THEMAL TO RAUGH THIS LOCATION

PROJECT No.:  
 89006  
 ADD-34

SHEET 6 of 6  
 DATE: 12.2.91





N1/A301	BUILDING ELEVATION
1/8" = 1'-0"	

PROJECT No.:  
89006

ADD-35



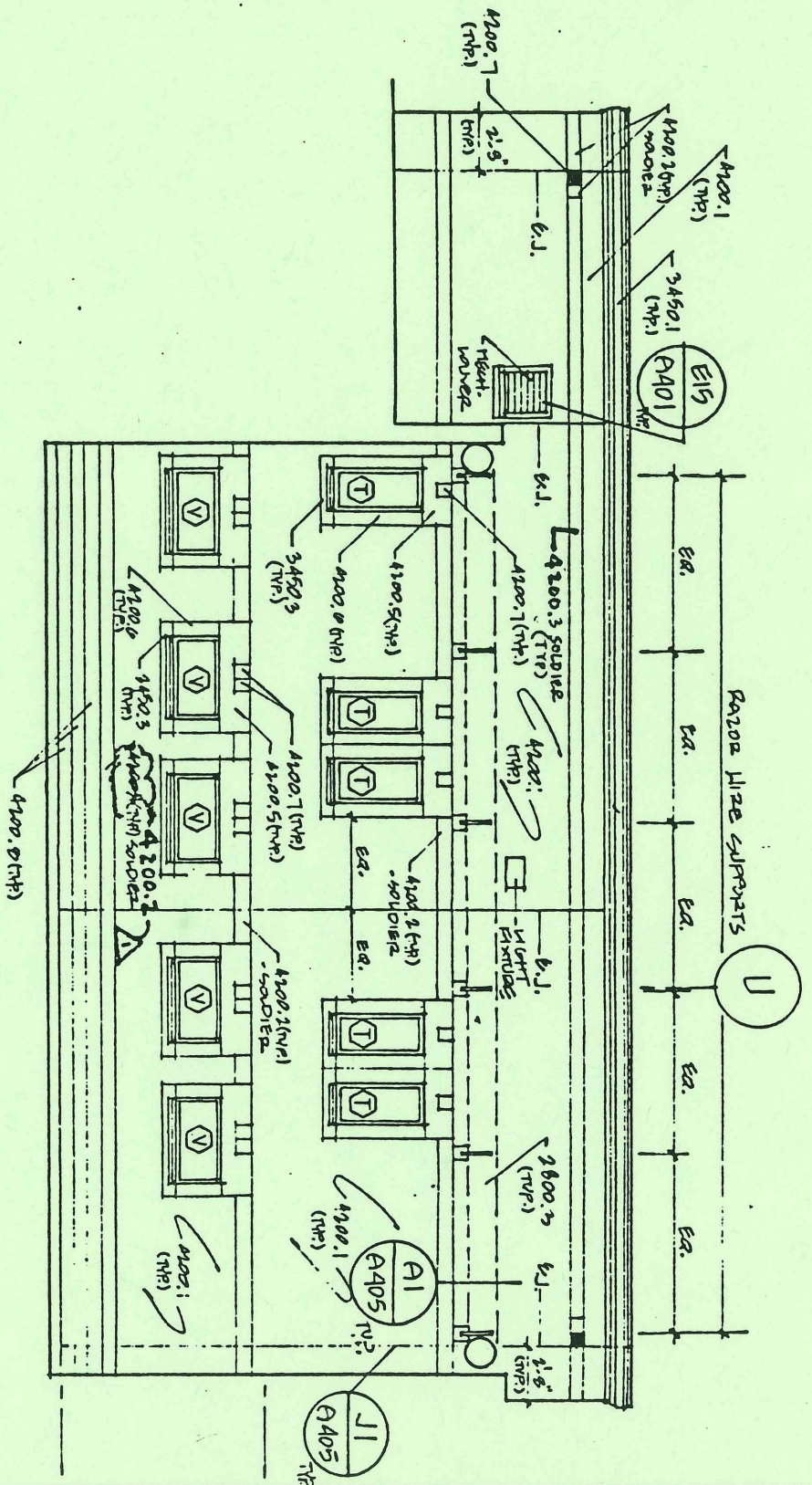
PROJECT:

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 CUMBERLAND COUNTY TAIL  
 APPENDUM No. 2  
 REVISION  $\Delta$  MASONRY TYPES.

SHEET 1 of 3  
 DATE: 12.2.91







N9/A301	BUILDING ELEVATION
1/8" = 1'-0"	

PROJECT No.:  
89006

ADD-37



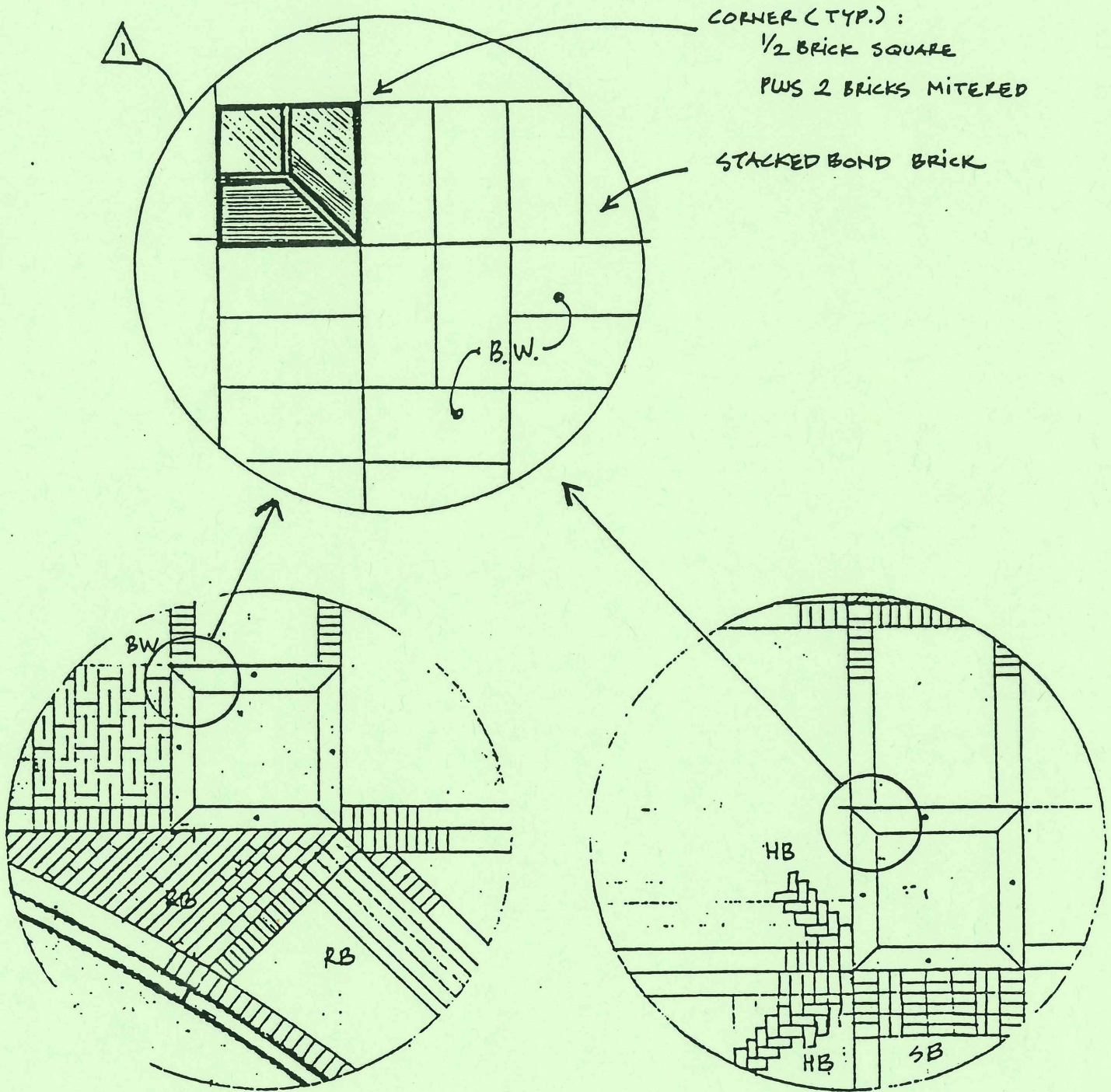
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 CUMBERLAND COUNTY JAIL  
 ADDENDUM No. 2  
 REVISION  $\Delta$  MASONRY TYPES

SHEET 3 of 3  
 DATE: 12.2.91

PROJECT:



L - 201 : 0-12 + 0-14 DETAILS : REVISION / CLARIFICATION



PROJECT No.:  
89006

**ADD-40**



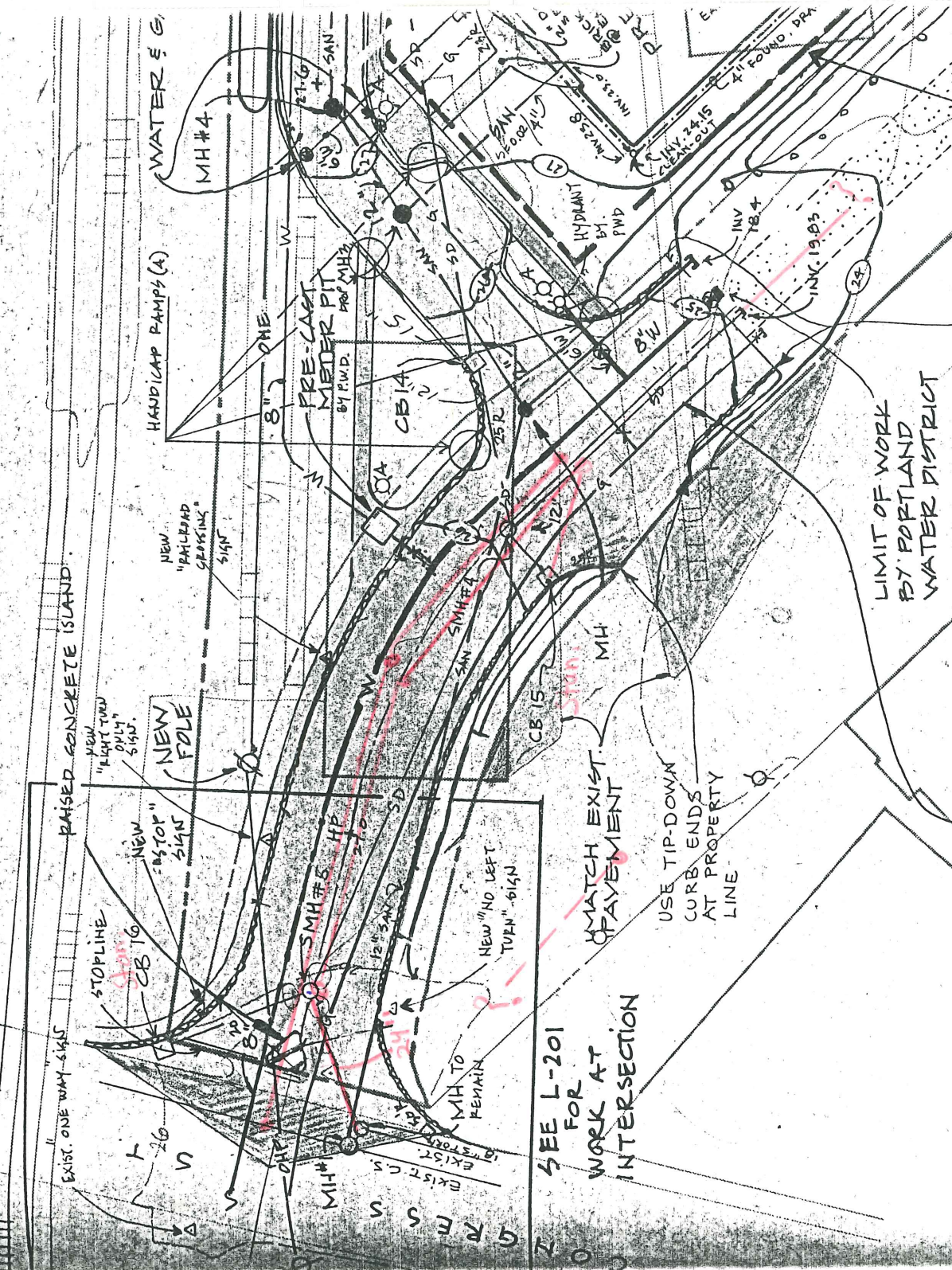
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PROJECT: ADDENDUM No. 2  
L-201 CLARIFICATION / REVISION  $\triangle$  PAVING

SHEET  $\frac{1}{1}$  of  $\frac{1}{1}$   
DATE: 12.2.91





GAS INSTALLATION BY NORTHERN UTILITIES - EXCAVATION & BACKFILL BY SITEWORK CONTRACTOR

LIMIT OF WORK BY PORTLAND WATER DISTRICT

USE TIP-DOWN CURB ENDS AT PROPERTY LINE

SEE L-201 FOR WORK AT INTERSECTION

USE TIP DOWN CURB ENDS

ALTERNATE 4 - UNDER BASE BID: CROWN, LOAM & SEED THIS AREA.

RAISED CONCRETE ISLAND

HANDICAP RAMPS (A)

PRE-CAST METER PIT

EXIST. ONE WAY SIGN

NEW "STOP" SIGN

NEW "BACKROAD CROSSING" SIGN

NEW "NO LEFT TURN" SIGN

NEW "RIGHT-TURN ONLY" SIGN

NEW FOLE

SMH #5

SMH #6

SMH #7

MH #15

MH #16

MH #4

CB #14

CB #15

CB #16

CB #17

CB #18

CB #19

CB #20

CB #21

CB #22

CB #23

CB #24

CB #25

CB #26

CB #27

CB #28

CB #29

CB #30

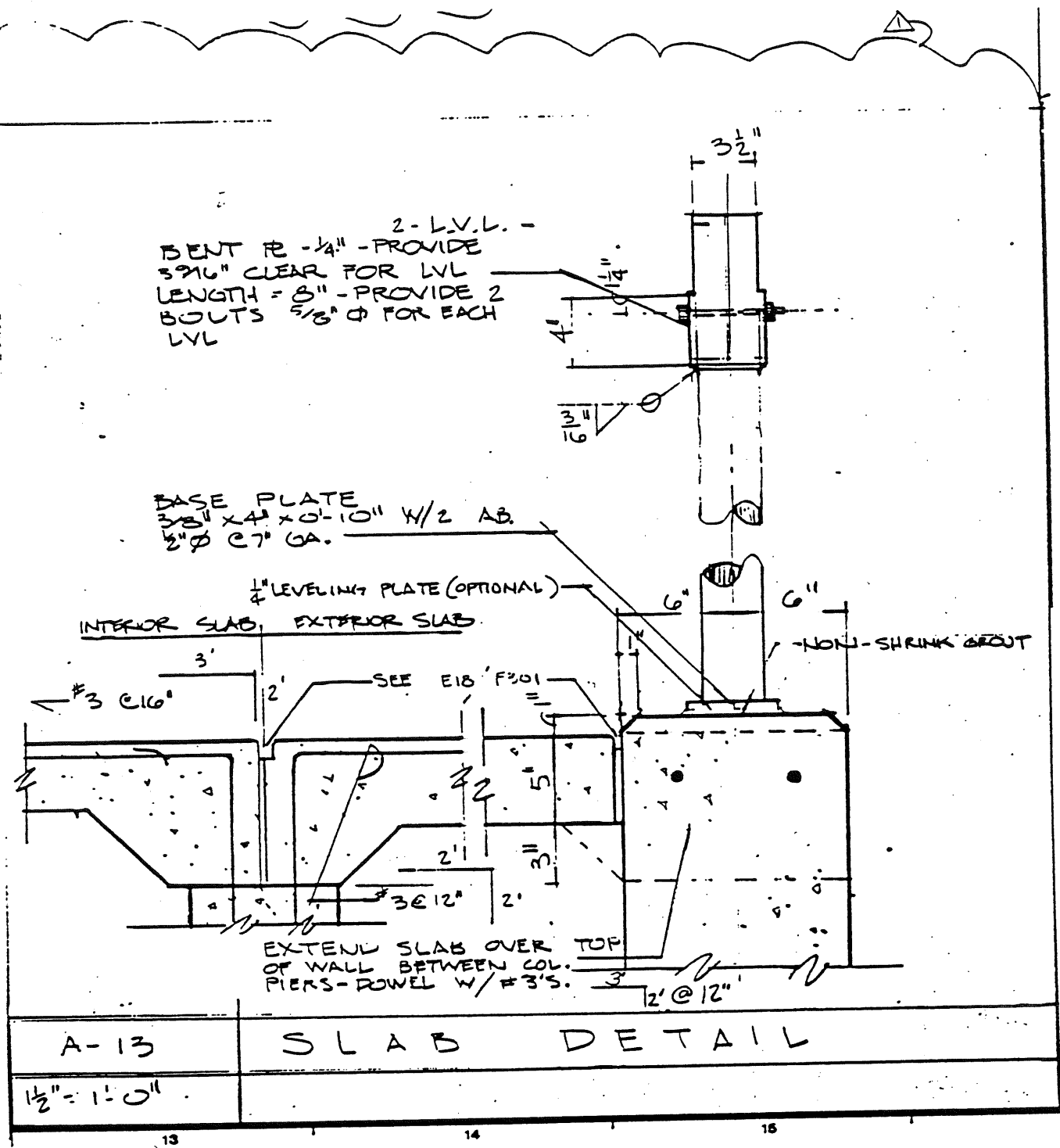
CB #31

CB #32

CB #33

CB #34





PROJECT No.:  
 P9006

ADD-9



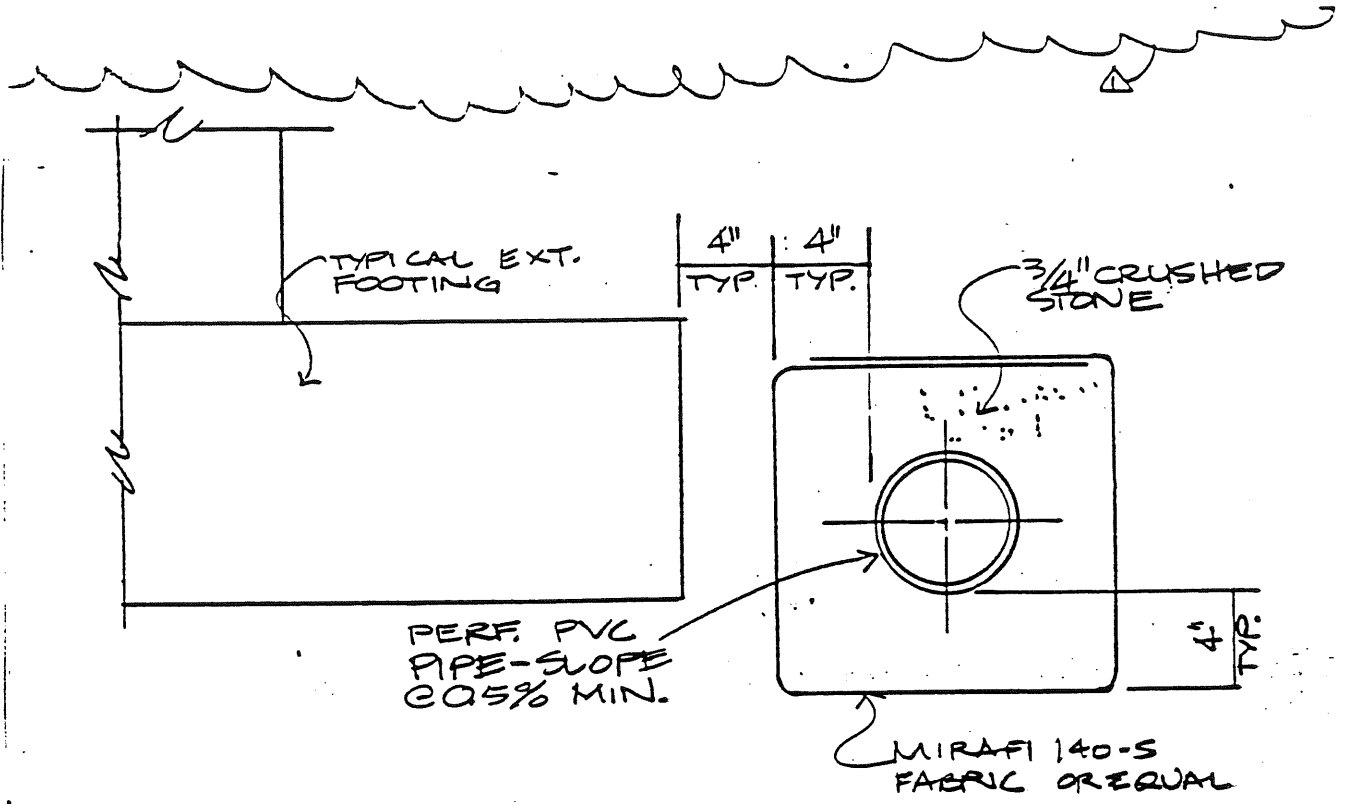
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 P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202  
 CUMBERLAND COUNTY JAIL ADDENDUM No. 1

PROJECT: PRERELEASE AIT #4 REV Δ  
 DWG A-13/PRF101

SHEET 2 of 10  
 DATE: 11-20-91





E-9 DRAIN DETAIL  
 1/2" = 1'-0"

PROJECT No.:  
 89006

ADD-10



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CUMBERLAND COUNTY JAIL ADDENDUM No. 1

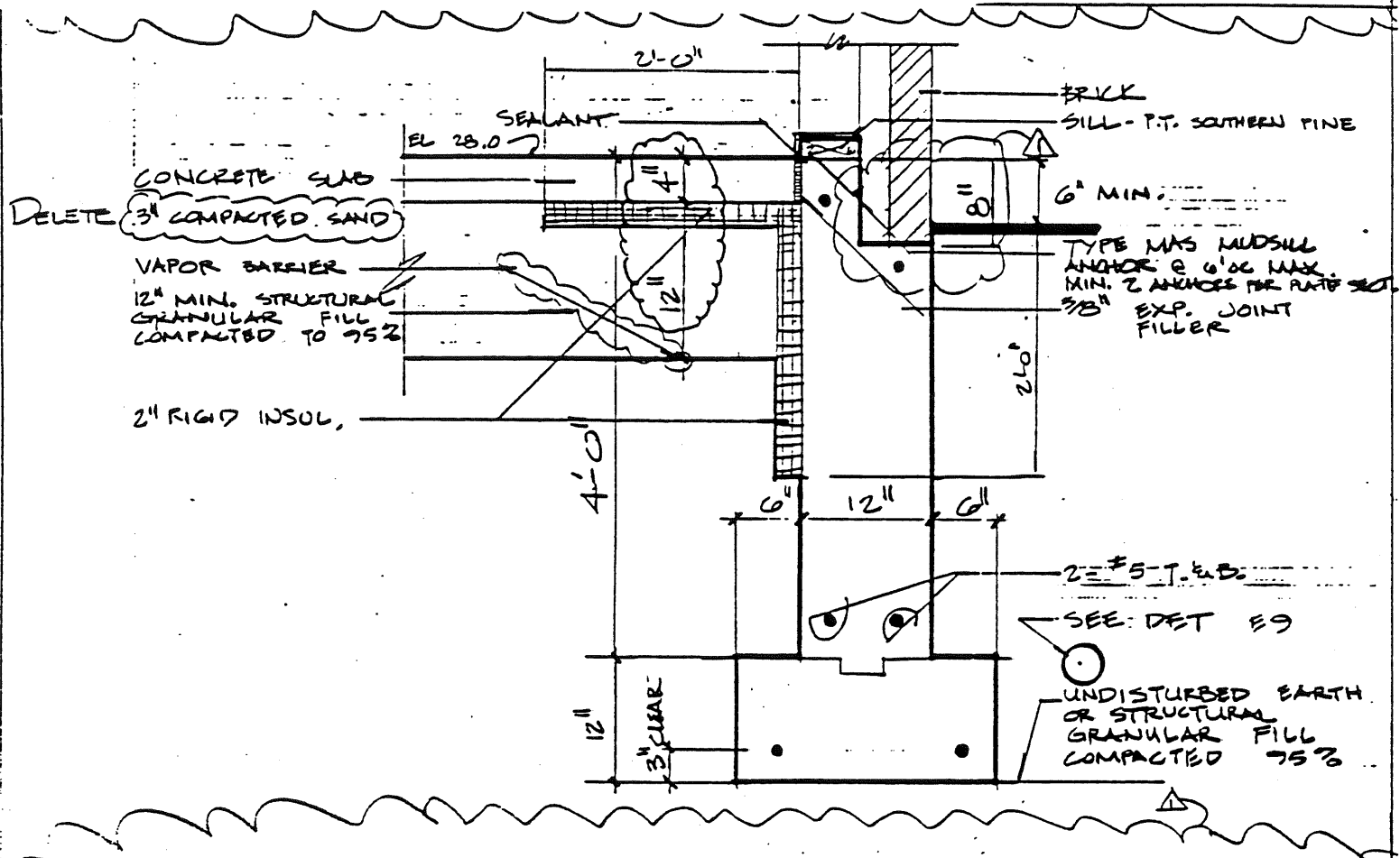
PRE-RELEASE ACT #4 REV Δ

DWG E-9/PRF101

PROJECT:

SHEET 3 of 10

DATE: 11-20-91



E 13	FOUNDATION WALL DETAIL
3/4" = 1'-0"	

PROJECT No.:  
89006

ADD-11



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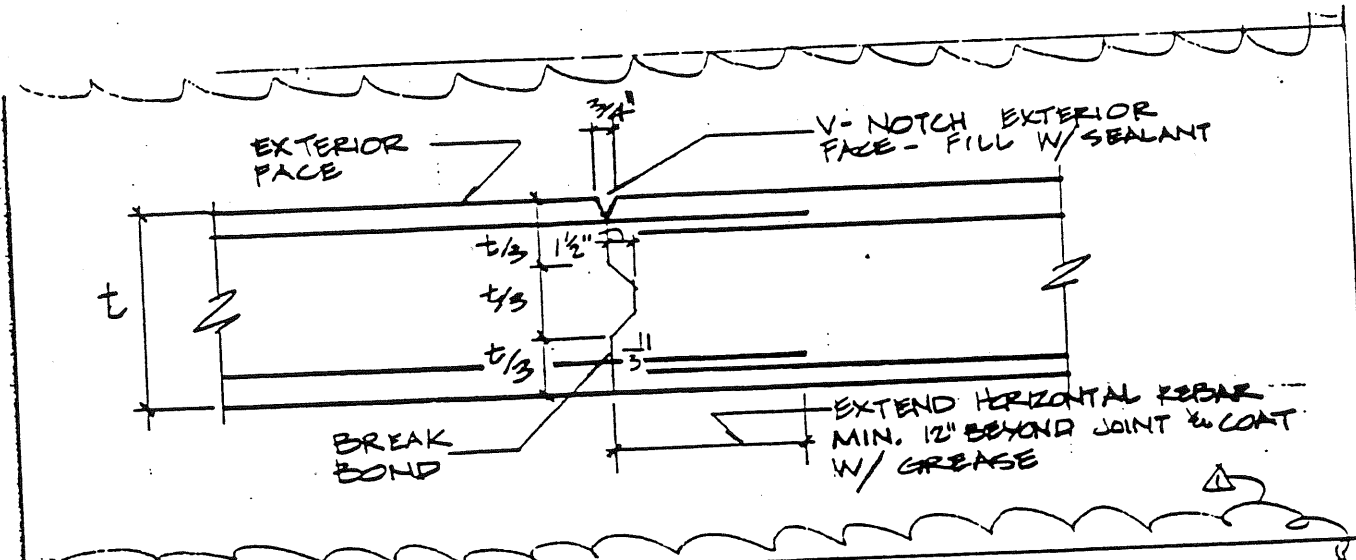
PRE-RELEASE ALT #4 REV. 1

DWG E13/PRF101

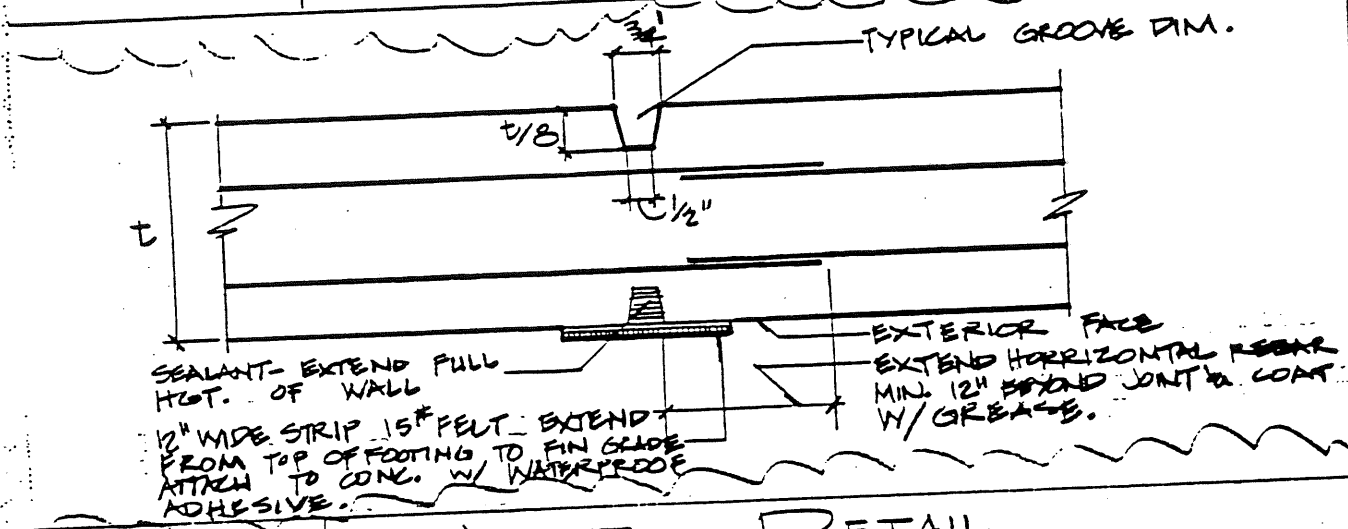
PROJECT:

SHEET 4 of 10

DATE: 11-20-91



L-9 JOINT DETAIL  
NO SCALE



J-9 JOINT DETAIL  
NO SCALE

PROJECT No.:  
89006

ADD-12



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CUMBERLAND COUNTY TAIL - ADDENDUM No. 1

PROJECT:

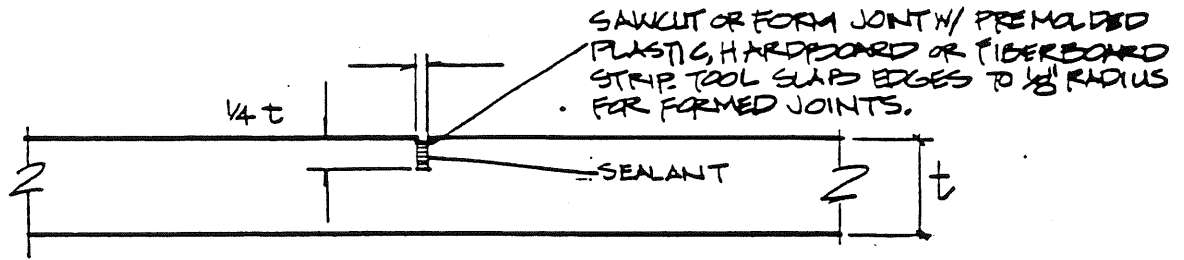
PRE RELEASE ACT #4 REV Δ

DWG L-9 & J-9 / PRF 101

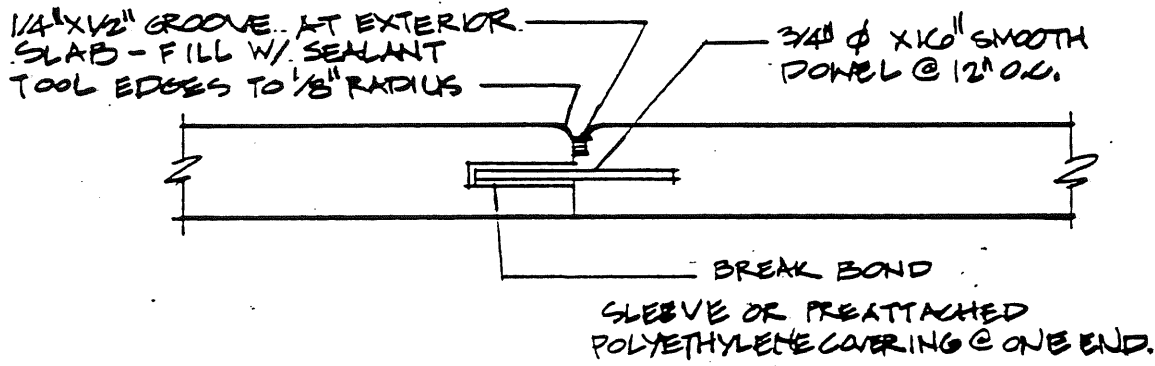
SHEET 5 of 10

DATE: 11-20-91





L 13 JOINT DETAIL  
NO SCALE



J 13 JOINT DETAIL  
NO SCALE

PROJECT No.:  
89006

ADD-13



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ARCHITECTURE ENGINEERING SURVEY

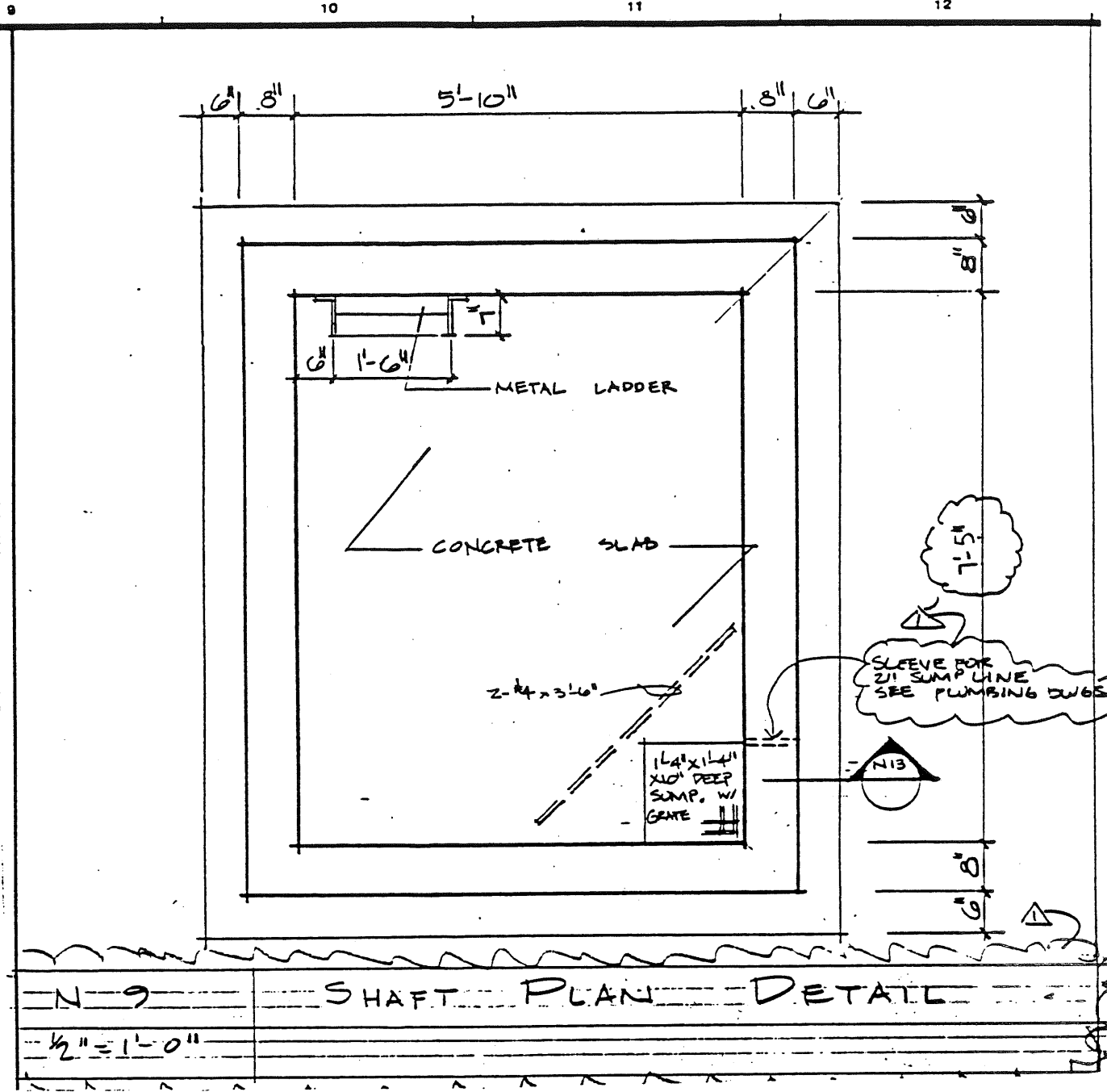
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CUMBERLAND COUNTY JAIL ADDENDUM No. 1

PROJECT: PRERELEASE ACT# 4 REV  $\Delta$   
DWG J-13 & L-13/PRF 101

SHEET 6 of 10

DATE: 11-20-91



PROJECT No.:  
89006

ADD-15



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CUMBERLAND COUNTY JAIL ADDENDUM No. 1

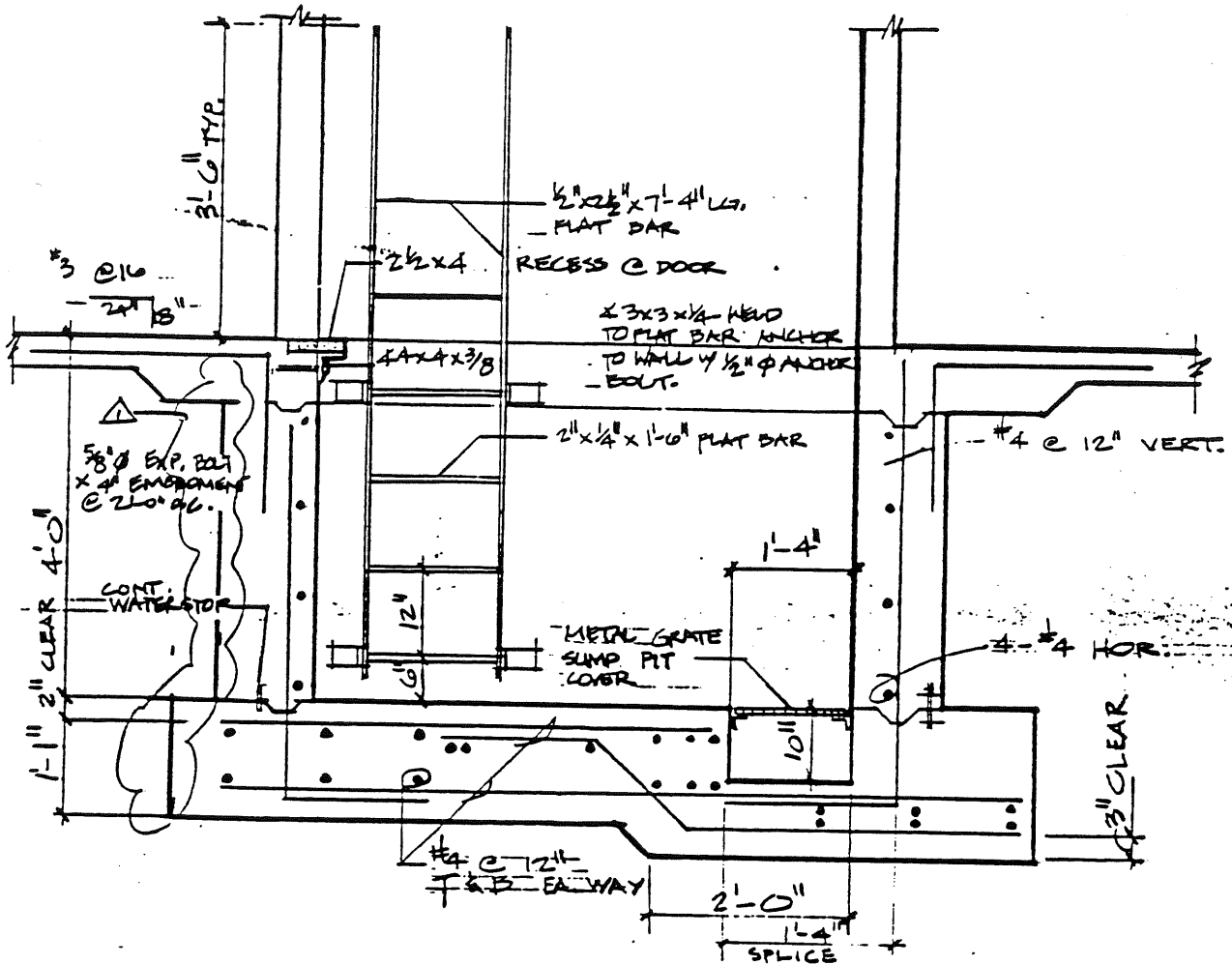
PROJECT:

PRERELEASE ALT #4 REV 1

DWG N-9

SHEET 8 of 10

DATE: 11-20-91



VERIFY DIMENSIONS W/ ELEVATOR SUPPLIER.

N 13	PIT SECTION DETAIL
3/4" = 1'-0"	

PROJECT No.: 89006

ADD-16



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CUMBERLAND COUNTY JAIL ADDENDUM No.1

PRERELEASE ALT #4 REV 1

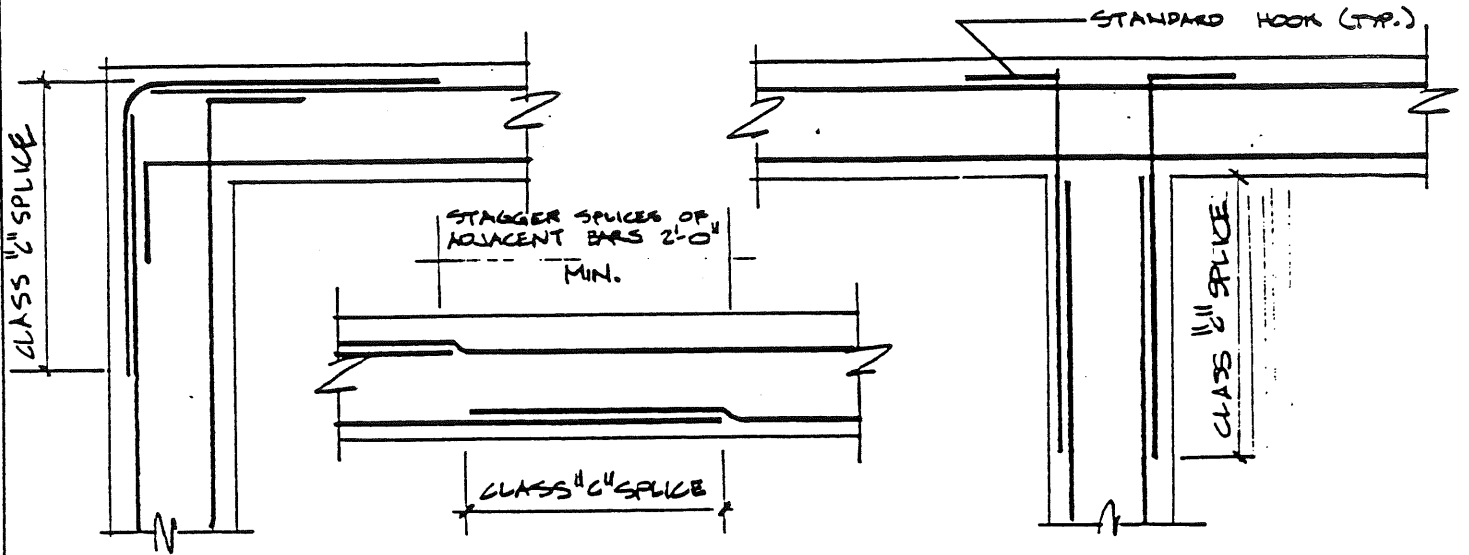
DWG N-13/PRF 101

PROJECT:

SHEET 9 of 10

DATE: 11-20-91





CORNER

SPLICE

T-INTERSECTION

N-17	TYPICAL SPLICE DETAIL
NO SCALE	

PROJECT No.:  
89006

ADD-17



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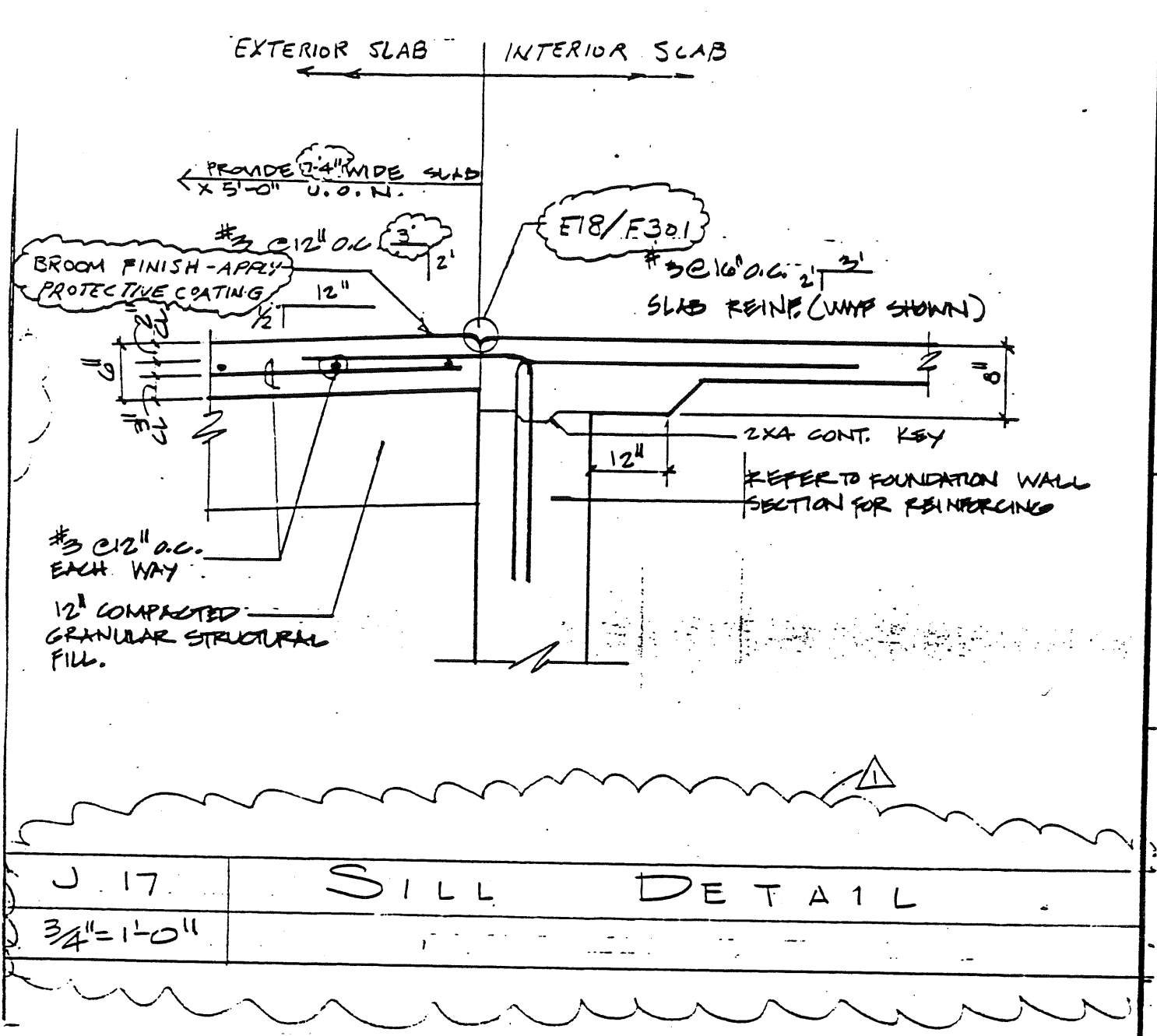
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CUMBERLAND COUNTY TAIL ADDENDUM No. 1  
PRE-RELEASE AUT #4 REV Δ  
DWG N-17 / PRE101

PROJECT:

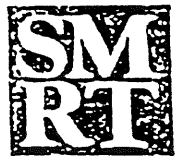
SHEET 10 of 10  
DATE: 11-20-91



J. 17	SILL DETAIL
3/4" = 1'-0"	

PROJECT No.:  
89006

**ADD-14**



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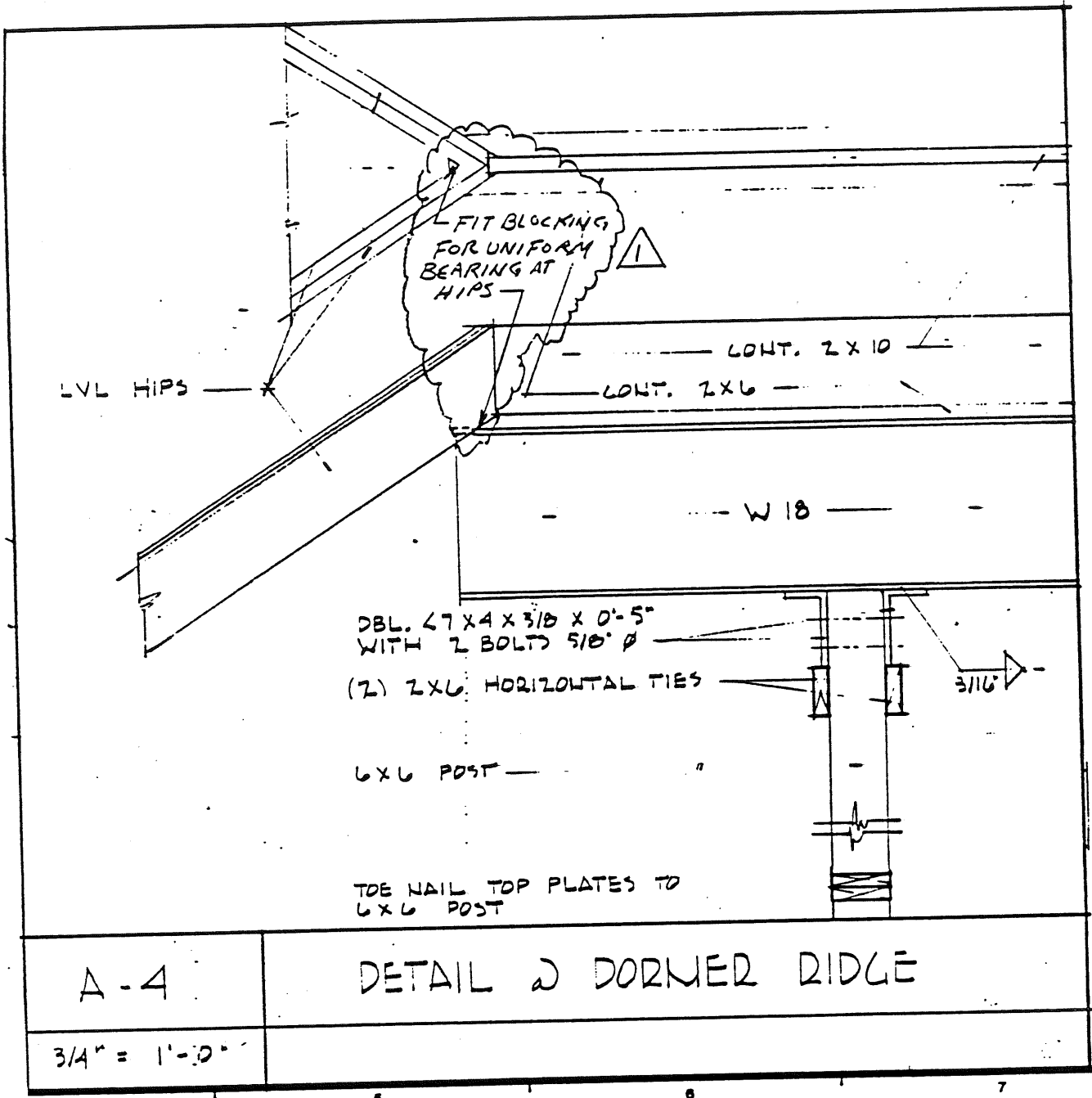
CUMBERLAND COUNTY JAIL ADDENDUM No. 1  
PRE-RELEASE ACT #4 REV. 1

PROJECT:

DWG J17/PRE101

SHEET 7 of 10

DATE: 11-20-91



A-4

DETAIL 2 DORMER RIDGE

3/4" = 1'-0"

PROJECT No.:  
89006

ADD-18



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PRELEASE ALT # 4 REV 1

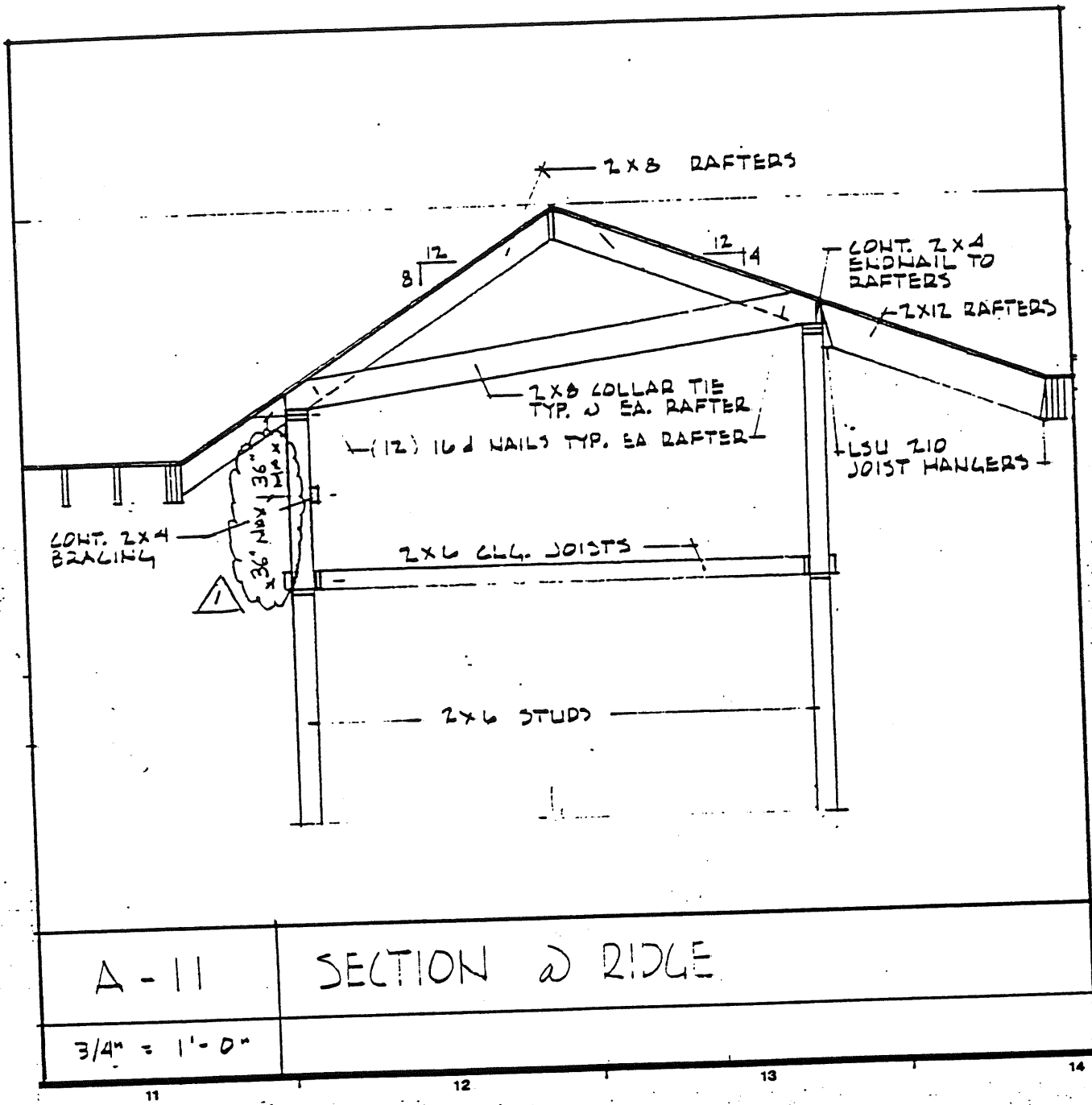
PROJECT:

DWG A-4/PRS-101

SHEET 1 of 4

DATE: 11-20-91





A-11

SECTION @ RIDGE

3/4" = 1'-0"

PROJECT No.:  
89006

ADD-19



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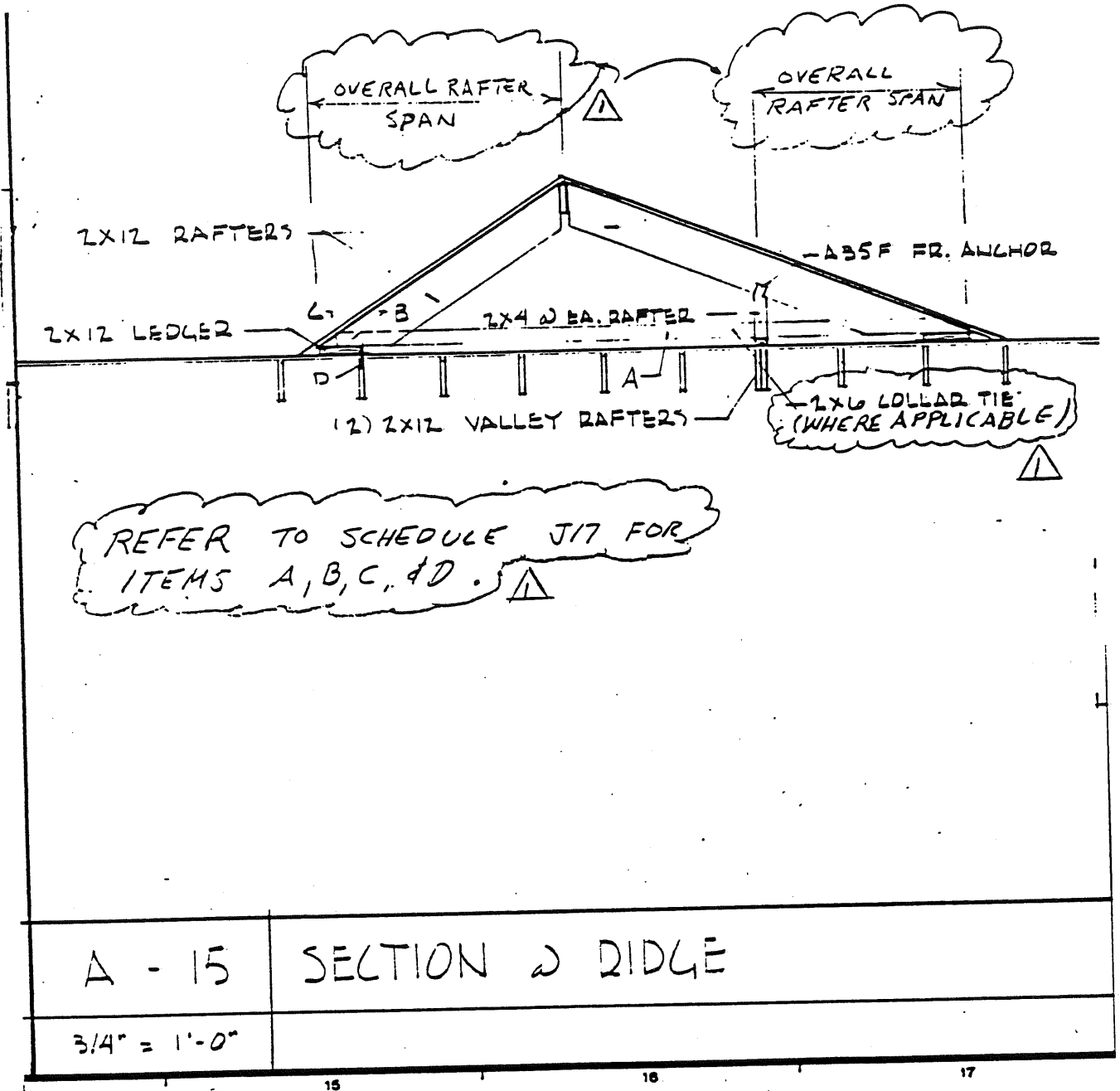
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CUMBERLAND COUNTY JAIL ADDENDUM No. 1

PROJECT: PRERELEASE ACT #4 REV 1  
DWG A-11/PRS-101

SHEET 2 of 4

DATE: 11-20-91



PROJECT No.:  
89006

ADD-20



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CUMBERLAND COUNTY JAIL ADDENDUM No. 1

PREPARE ALT #4 REV 1

DWG A-15/PRS-101

PROJECT:

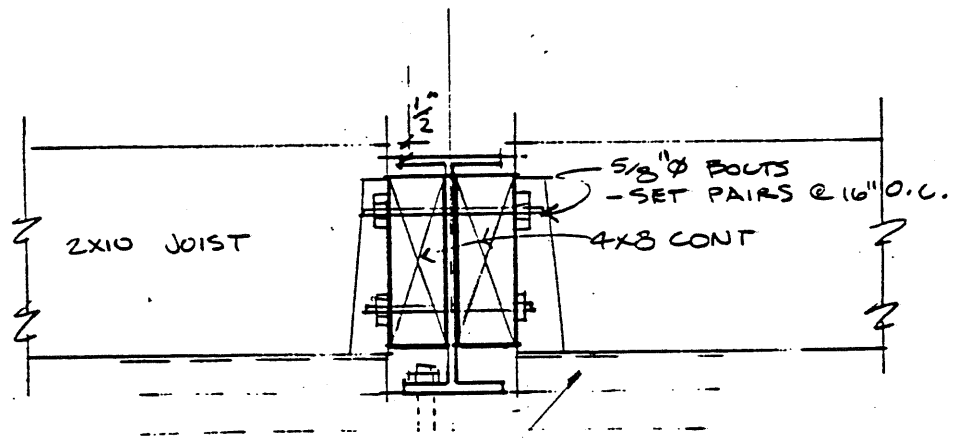
SHEET 3 of 4

DATE: 11-20-91

# J17 NAILING SCHEDULE

OVERALL RAFTER SPAN	COLLAR TIE A	COLLAR TIE CONNECTORS B	RAFTER CONN TO LEDGER C TO RAFTER D	LEDGER CONN TO RAFTER D
GREATER THAN 4'-6" BUT LESS THAN 6'-0"	2x6	8-16d NAILS	6-16d TOE NAILS (SEE DET. A)	5-16d NAILS
LESS THAN 4'-6"	NONE	-	5-16d TOE NAILS	5-16d NAILS
GREATER THAN 6'-0"	2x6	10-16d NAILS	6-16d TOE NAILS	5-16d NAILS

REFERENCE DET. A-15



AT BEAM BEARINGS  
 CUT UPPER 2x6 PLATE  
 & BOLT TO LOWER PLATE  
 SET LVL'S TO UNDERSIDE  
 OF PLATES.

E 18

BEARING DETAIL



PROJECT:

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CUMBEELAND COUNTY TAIL ADDRESS No. 1

PREPARED BY #4 REV A

DWG E-18 & J-17 / PRS-101

PROJECT No.:

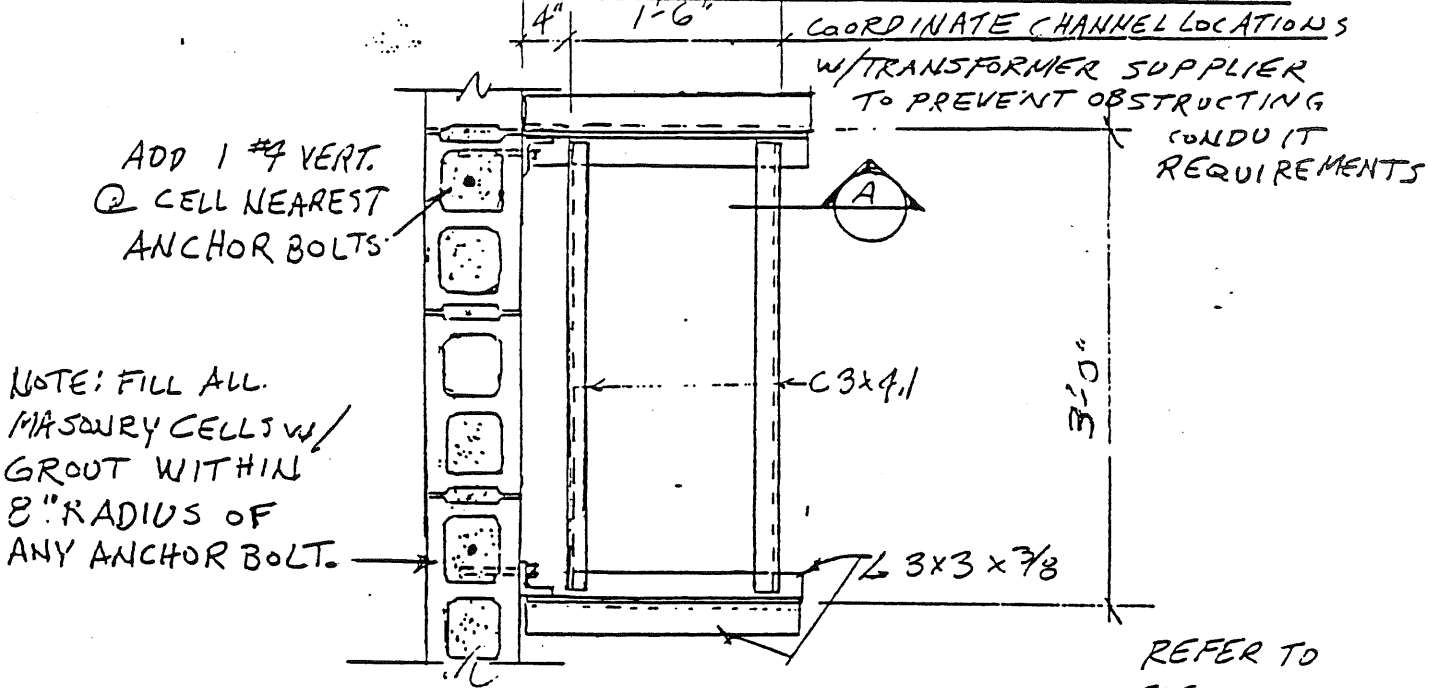
89006

ADD-21

SHEET 4 of 4  
 DATE:



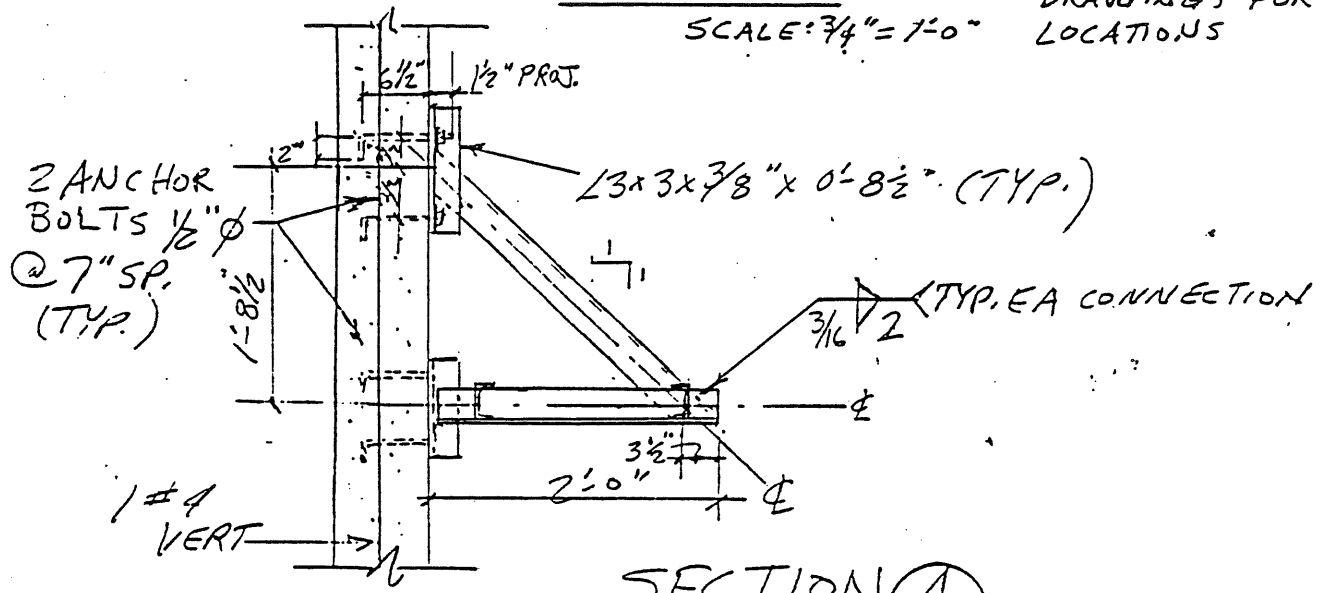
# WALL MOUNT TRANSFORMER SUPPORT BRACKETS AT CMU WALLS



**PLAN**

SCALE: 3/4" = 1'-0"

REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS



**SECTION A**

SCALE: 3/4" = 1'-0"

PROJECT No.:

ADD-22



**STEVENS MORTON ROSE & THOMPSON**  
ARCHITECTURE ENGINEERING SURVEY

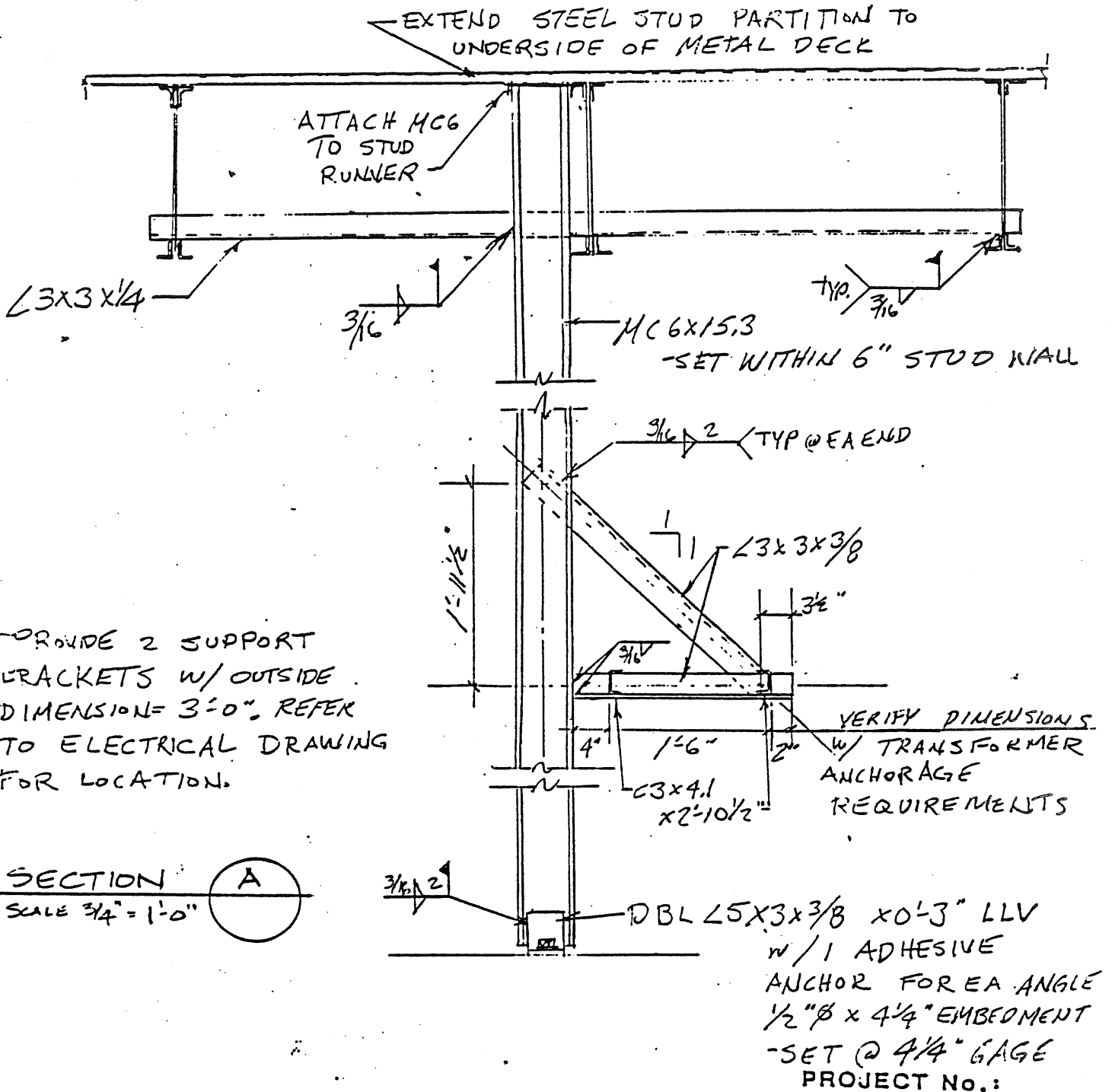
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PROJECT:

CUMBERLAND COUNTY TAX - ADDENDUM No. 1  
TRANSFORMER SUPPORT

SHEET 1 of 2  
DATE: 11-20-91

# WALL MOUNT TRANSFORMER SUPPORT BRACKETS AT STUD WALL



PROVIDE 2 SUPPORT BRACKETS W/ OUTSIDE DIMENSION = 3'-0". REFER TO ELECTRICAL DRAWING FOR LOCATION.

SECTION A  
SCALE 3/4" = 1'-0"

STEVENS MORTON ROSE & THOMPSON

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CUMBERLAND COUNTY JAIL ADDENDUM No. 1

PROJECT:

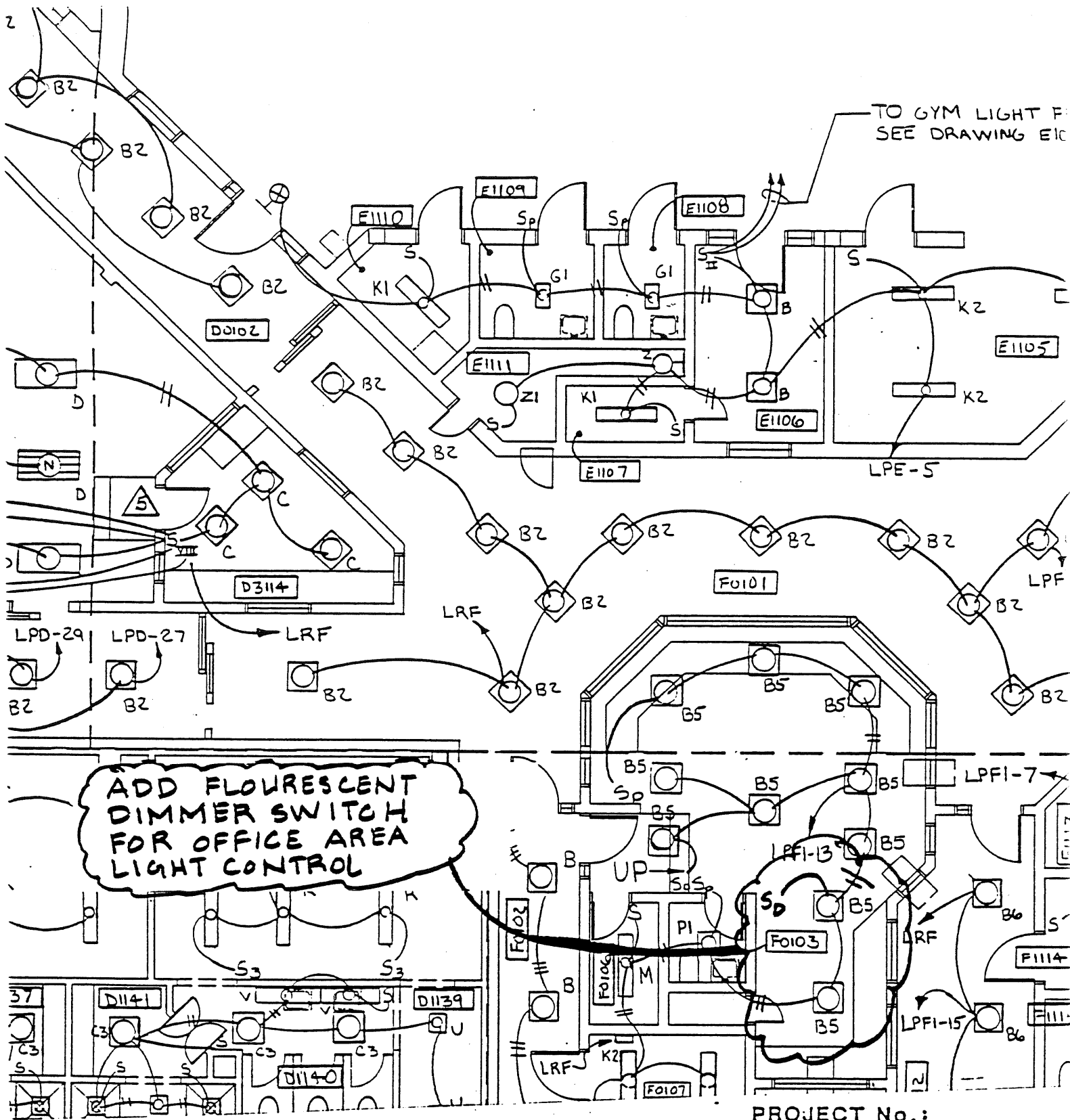
TRANSFORMER SUPPORT

ADD-23

SHEET 2 of 2

DATE: 11-20-91





PROJECT No.:  
89006

**ADD-24**



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CUMBERLAND COUNTY JAIL ADDENDUM No. 1  
ELECTRICAL - ADD FLOURESCENT DIMMER

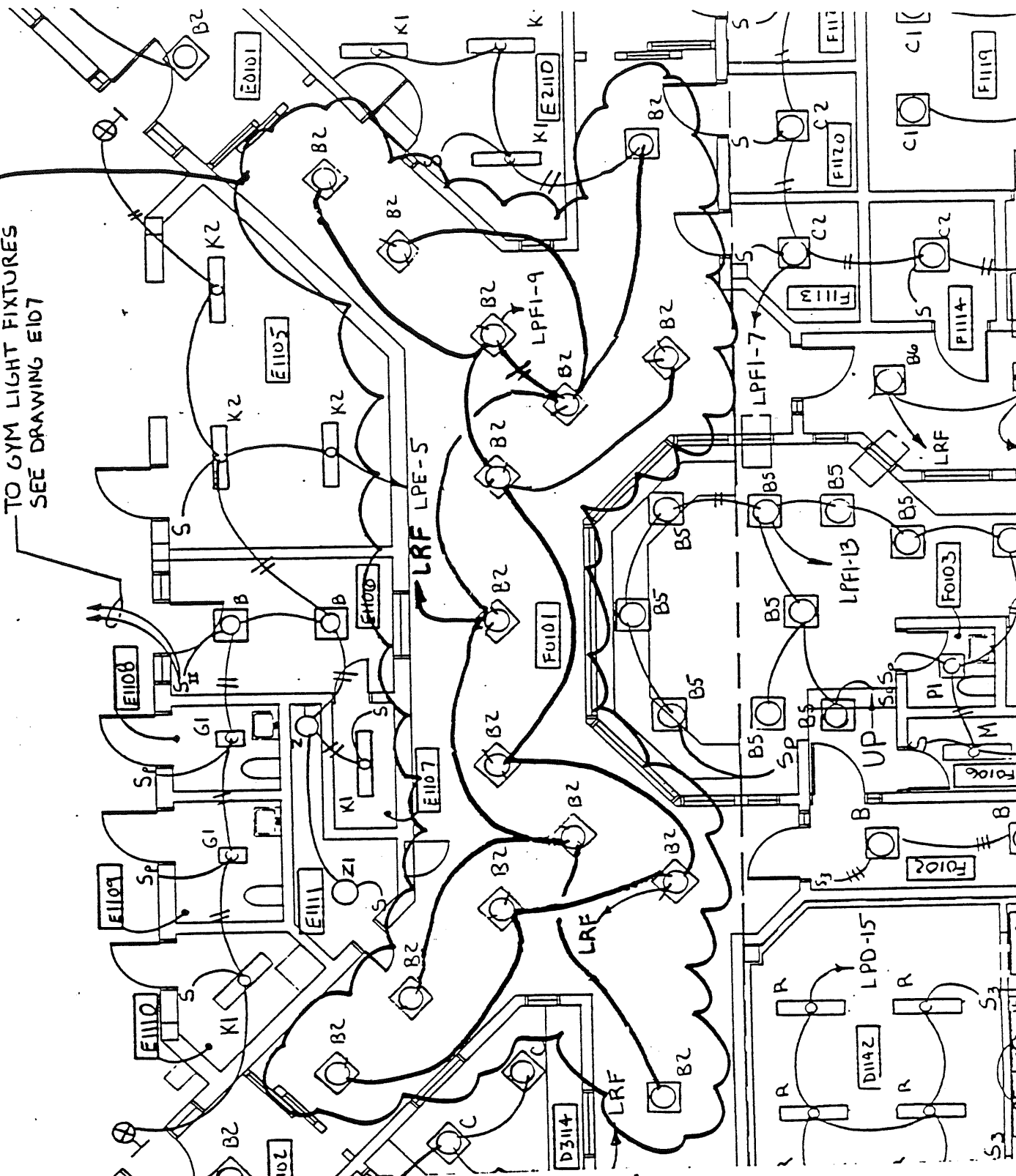
PROJECT:

SHEET 1 of 5  
DATE: 11-20-91



REVISE SWITCHING CONTROL

TO GYM LIGHT FIXTURES  
SEE DRAWING E107



PROJECT No.:  
89006

ADD-25



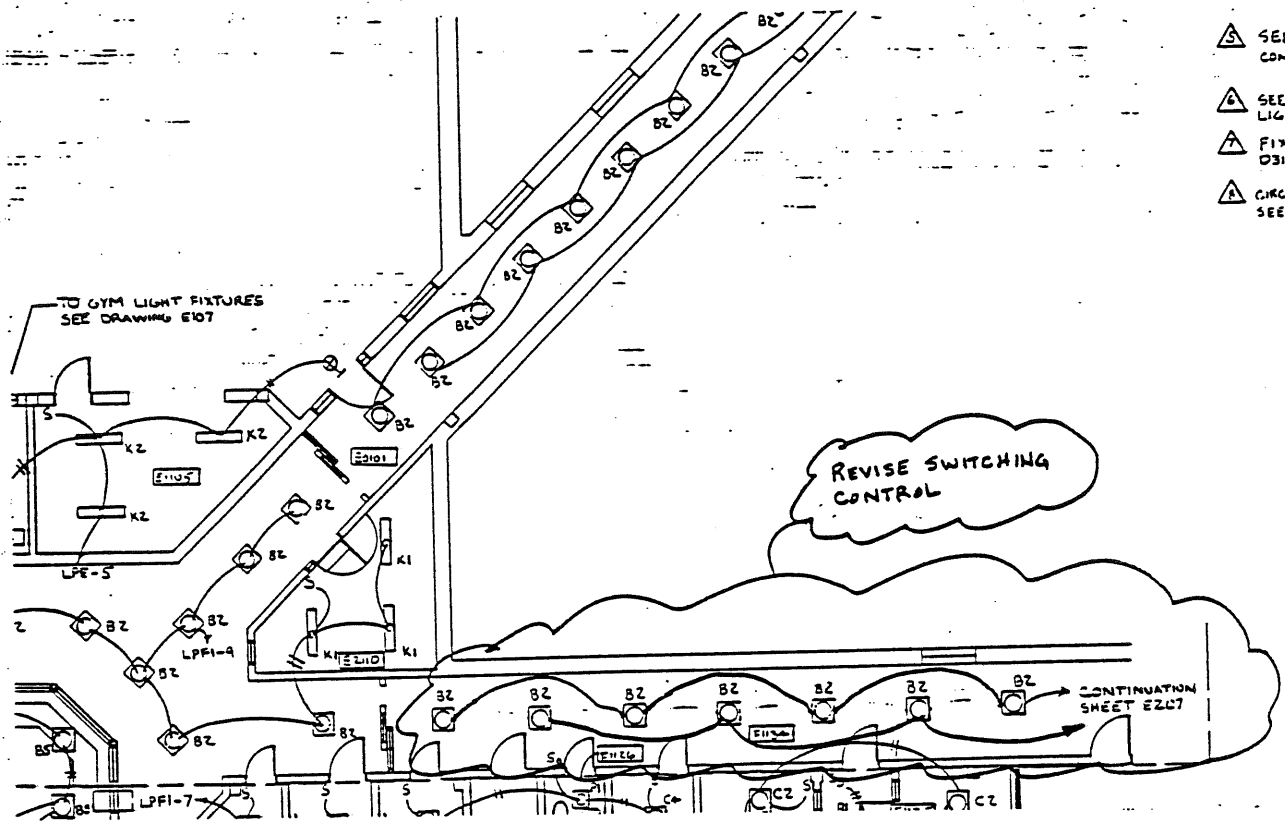
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CUMBERLAND COUNTY JAIL - ADDENDUM No. 1

PROJECT:

ELECTRICAL - REVISE SWITCHING CONTROL

SHEET 2 of 5  
DATE: 11-20-91



ADD-26



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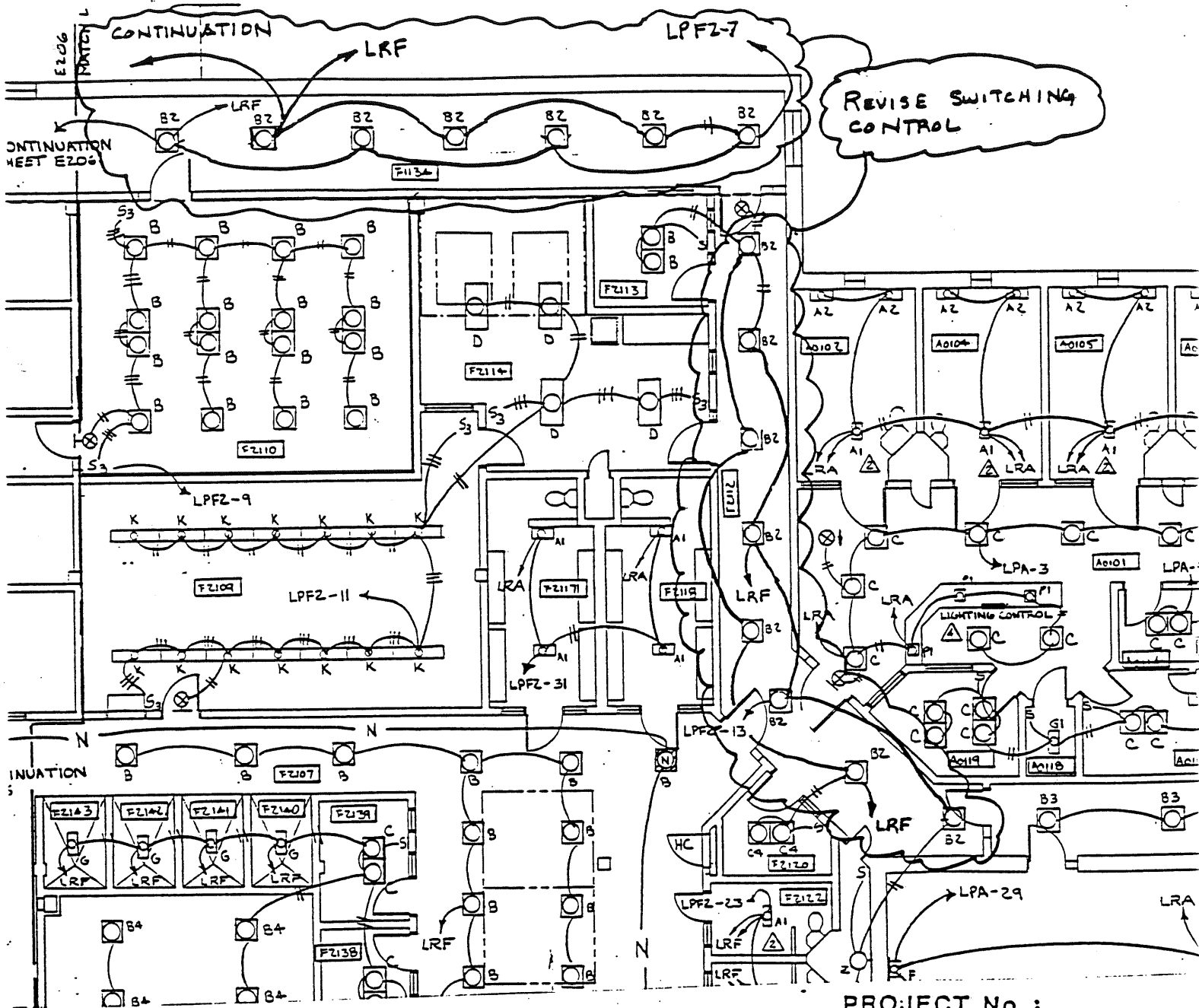
CUMBERLAND COUNTY JAIL - ADDENDUM No. 1

PROJECT:

REVISE SWITCHING CONTROL.

SHEET 3 of 5

DATE: 11-20-91



PROJECT No.:  
89006

**ADD-27**



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CUMBERLAND COUNTY JAIL - ADDENDUM No. 1

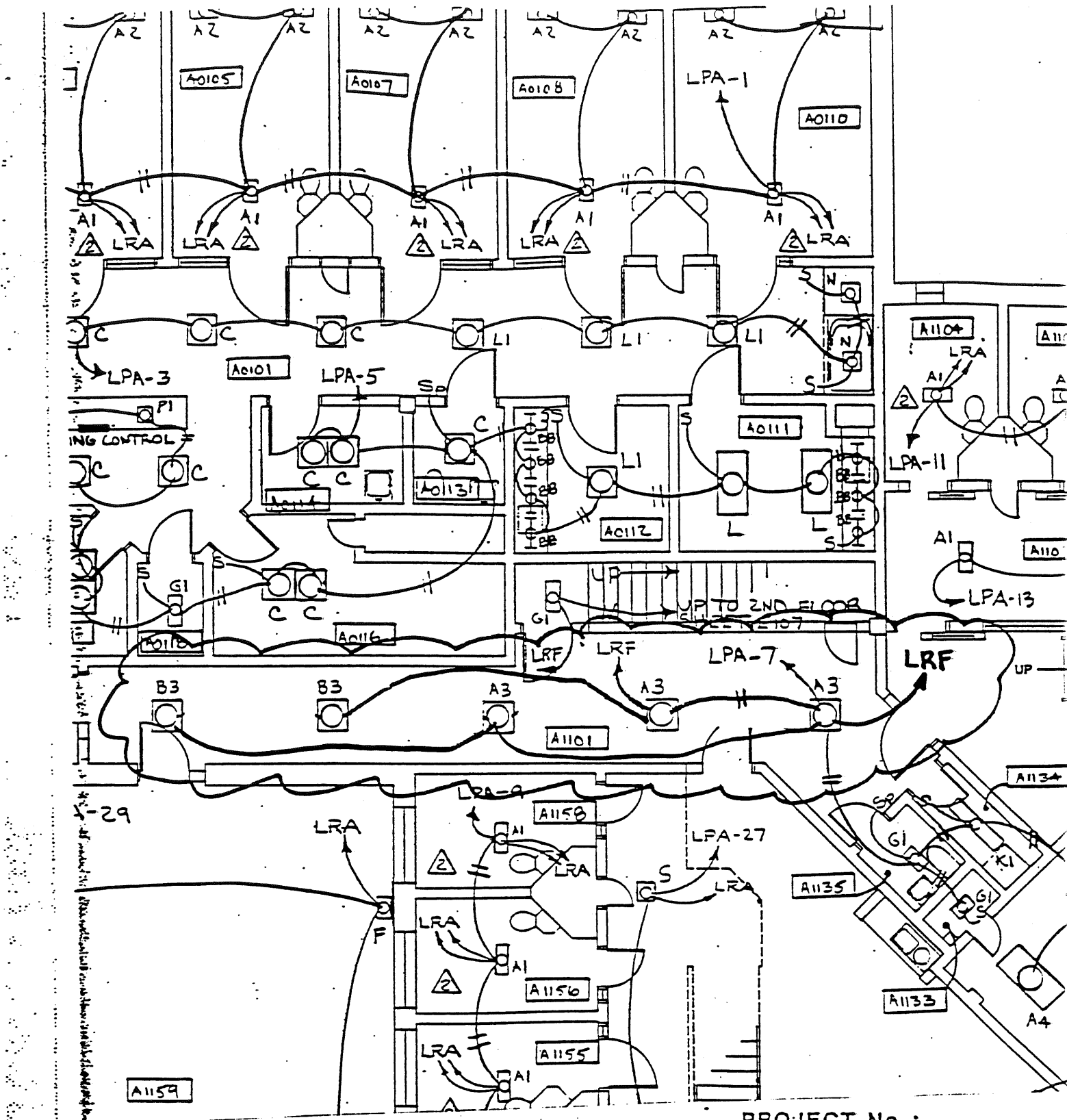
PROJECT:

REVISE SWITCHING CONTROL

SHEET 4 of 5

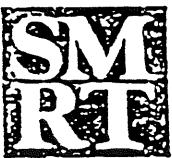
DATE: 11-20-91





PROJECT No.:  
89006

**ADD-28**



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CUMBERLAND COUNTY JAIL - ADDENDUM No. 1

PROJECT:

REVISE SWITCHING CONTROL

SHEET 5 of 5  
DATE: 11-20-91

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

SECTION 16425 - SWITCHBOARDS

Part 2 - PRODUCTS

Page 16425-3, Para 2.01 A;

Delete: from the listings of switchboard manufacturers the name; "Current Technology".

PERTAINING TO THE DRAWINGS

DRAWING L-100:

Revisions to Catch Basin Schedule #1 as follows:

- . Outlet size of outfall = 48"
- . SMH4: inlet sizes = 10" + 24"
- . SMH4: outlet sizes = 12" + 24"
- . SMH5: inlet sizes = 10" stub + 15"
- . SMH5: outlet sizes = 24"
- . CB16: outlet size = 15"

DRAWING L-101:

Revise outlet size from 30" to 48".

DRAWING L-201:

Insert this note: "See plan for approximate location of direct buried railroad communication cable (14' f/gage). Cable shall be located and protected by the Contractor from construction activities without interruption of communications. CB No. 16 may require field adjustment under this contract."

DRAWINGS A-209, A-213:

Insert: "Note: The following doors and rooms, noted on the schedules, shall be provided with tinted glass for the exterior lite, in the exterior wall only, of the glazing material required for this location in compliance with all codes and specifications. The glass with color tint shall be of the same manufacturer as the colored tinted reflective glass products, and be the same color. Provide a range of color samples for the Architect to select the final colors from; include as a minimum: green, blue, rose, silver,

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

bronze, grey, gold.

Doors: F1101, D1116  
Rooms: F1101, F1102."

DRAWINGS A-213:

Insert: "Note: The following doors and rooms, noted on the schedules shall be provided with tinted reflected glass (tinted reflective spandrel opaque glass at locations indicating opaque glass) for the exterior lite, in the exterior wall only, of the glazing material required for this location in compliance with all codes and specifications. The glass with color reflective tint/opaque reflective color tint shall be of the same manufacturer as the tinted glass products and be the same color. Provide a range of color samples for the Architect to select the final colors from; include as a minimum: green, blue, rose, silver, bronze, grey, gold.

Rooms: D1102, D1103, D1106, D1108, D1109, D1110, D1111, D1112, D1113, D1114, D1115, D1117, D1118, D1119."

DRAWING A-210

Detail E5/A-210:

Delete: reference to "J" bead under the window stool.

Insert in its place: "FRY 'F' molding (typical)".

DRAWING A-403:

Detail A15/A-403:

Flashing should read as "laminated asphalt/copper fabric".

DRAWING A-405

Detail J9/A-405:

Insert: "Sealant" under the continuous cap flashing, (typical).



CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

DRAWING A-504

Interior Elevation G-1: Mirrors specified in Section 10830.

Interior Elevation D-6: Toilet tissue dispenser noted as #17 should be noted as #13.

Interior Elevation M-5 - Staff Toilet:

Insert: "Note: Provide similar layout and fixtures for similar toilet rooms noted on the plans, schedules or interior elevations."

Insert: E1108, F1126, F0105, F2132, F2134, F2148."

DRAWING F-105:

The pile cap at colum P-13 is not identified. This should be designated "PC2".

DRAWING S-104:

Under notes add the following:

"15. All ceiling slabs shall be 6" thick unless otherwise noted."

DRAWING F-201:

Beam size schedule O-6, under "Type", "12 See" should be changed to read "12 See L-18/F201".

Modify Section L-18 in accordance with sketch.

DRAWING E-205:

Revise Note 1:

Insert: "1st floor unit C3 lighting plan chase C3174."

DRAWING E-206:

Insert: "Provide two LRF lighting relay controllers one for circuit LPD-27 and one for circuit LPD-29 in Corridor D0101."

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

DRAWING E-303:

Insert: "Note: Conduits not shown with sizes noted shall be sized as required."

DRAWING E-306:

Insert: "Note: Conduit between Unit B and Unit A exchange and conduit between Unit C and Unit A exchange shall be 3 inch."

DRAWING E-307

Insert:

"1. Provide one 3 inch conduit from backboard at room D4104 to backboards in C0201 and A1259. Provide two 3 inch conduits from backboard at Room D4104 to backboard in B0201. This clarifies the unlabeled runs shown on Dwg. E307."

Insert:

"Note: Wall mounted transformers indicated in the plans have mounting support structures provided by structural contractor as detailed in ADD-22 (CMU) and ADD-23 (Studwall)."

DRAWING E-308:

Insert: "Note: Each zone shall be broken up into two separate conduit runs for complete loop from Fire Alarm Control Panel. Each zone wiring shall be contained in a separate conduit run to control panel."

DRAWING E-309

Insert:

- "1. Conduit runs shown from distribution backboards B0201 & C0201 back to wireway at Room F0107 shall be sized at 4 inch.
2. Conduit runs shown from distribution backboards A1260, F2136, & F0107 back to wireway at Room F0107 shall be sized at 3 inch.
3. Provide one 2 inch conduit from each control console at control room A1230 (See Dwg. E107) to backboard A1260 shown on Dwg. E309.

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

4. Conduit sizes indicated adjacent to rooftop mounted antenna and equipment, etc, shall apply to the entire run back to respective backboard."

PERTAINING TO ADDENDUM SKETCHES (ADD- )

See Attached "ADD -" additions:

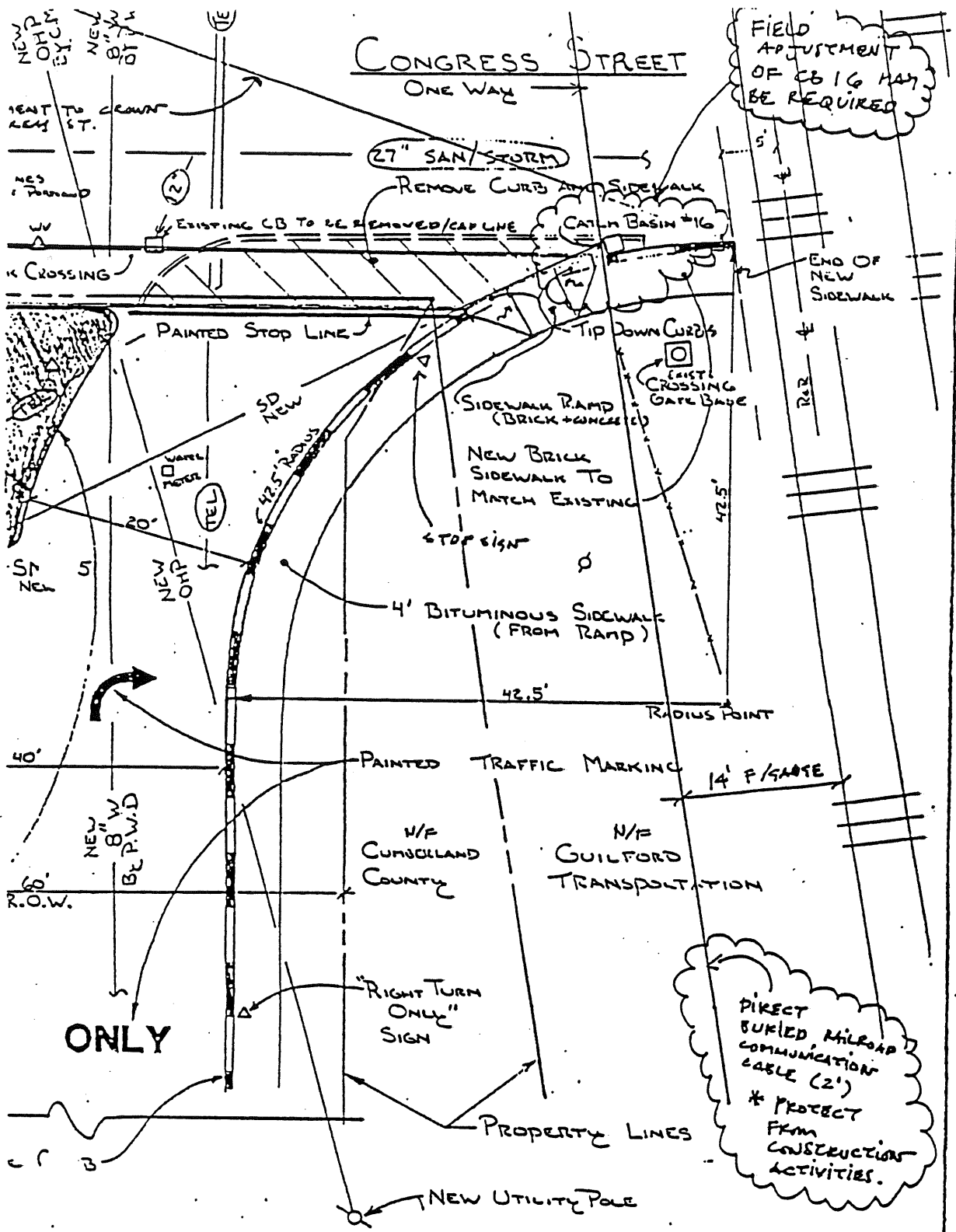
- ADD -1 Drawing L-201
- ADD -2 Structural Support - Central Control Room
- ADD -3 Subcontrol Room A-1230, Structural S-103, Supports
- ADD -4 Foundation - Typical Perimeter Beam (L18/F201)
- ADD -5 Prerelease Alternate #4 - Foundation Plan
- ADD -6 Prerelease Alternate #4 - 2nd Floor Framing
- ADD -7 Prerelease Alternate #4 - Roof Framing Plan
- ADD -8 Prerelease Alternate #4 - Dwg A-9/PRF-101
- ADD -9 Prerelease Alternate #4 - Dwg A-13/PRF-101
- ADD-10 Prerelease Alternate #4 - Dwg E-9/PRF-101
- ADD-11 Prerelease Alternate #4 - Dwg E-13/PRF-101
- ADD-12 Prerelease Alternate #4 - Dwg L-9 & J-9/PRF-101
- ADD-13 Prerelease Alternate #4 - Dwg J-13 & L-13/PRF-101
- ADD-14 Prerelease Alternate #4 - Dwg J-17/PRF-101
- ADD-15 Prerelease Alternate #4 - DWG N-9
- ADD-16 Prerelease Alternate #4 - Dwg N-13/PRF-101
- ADD-17 Prerelease Alternate #4 - Dwg N-17/PRF-101
- ADD-18 Prerelease Alternate #4 - Dwg A-4/PRS-101
- ADD-19 Prerelease Alternate #4 - Dwg A-11/PRS-101
- ADD-20 Prerelease Alternate #4 - Dwg A-15/PRS-101



CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

- ADD-21 Prerelease Alternate #4 - Dwg E-18 & J-17/PRS-101
- ADD-22 Transformer Support - CMU
- ADD-23 Transformer Support - Studwall
- ADD-24 Electrical - Add Flourescent Dimmer
- ADD-25 Electrical - Revise Switching Control
- ADD-26 Electrical - Revise Switching Control
- ADD-27 Electrical - Revise Switching Control
- ADD-28 Electrical - Revise Switching Control

END OF ADDENDUM NO. 1



PROJECT No.: 89006



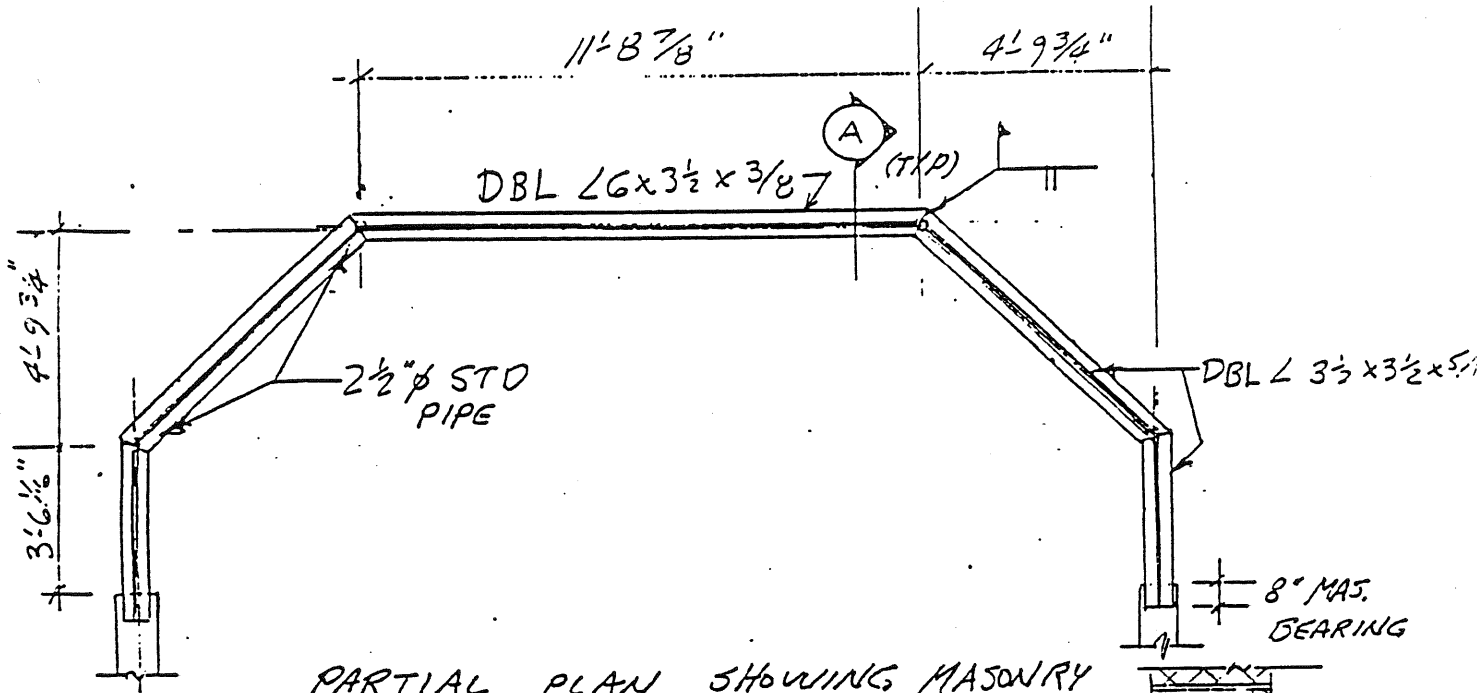
STEVENS MORTON ROSE & THOMPSON  
 ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
 P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

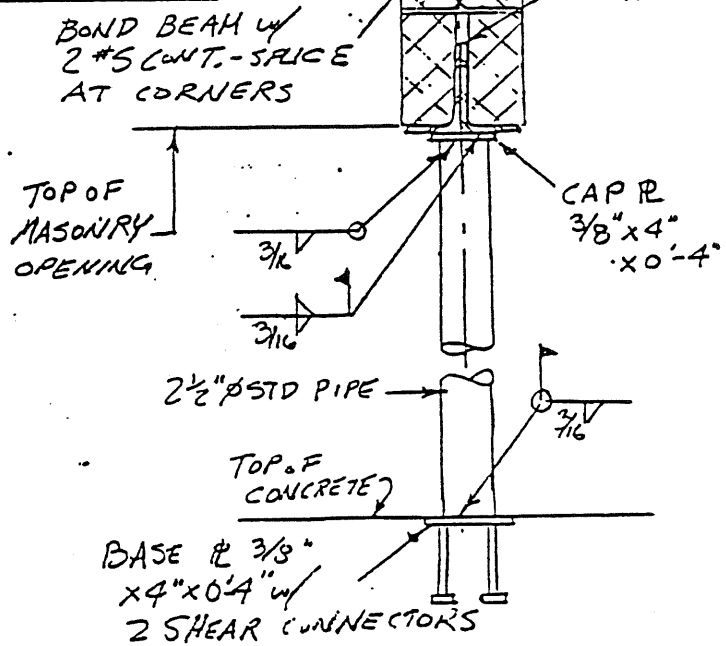
PROJECT: ADDENDUM No. 1 CUMBERLAND COUNTY JAIL  
 DRAWING L-201

ADD-1-ADD. No. 1

SHEET 1 of 1  
 DATE: 11-20-91



PARTIAL PLAN SHOWING MASONRY  
SUPPORTS OVER WINDOWS  
AT ROOM F0103  
 SCALE: 1/4" = 1'-0"



SECTION A  
 SCALE: 1" = 1'

PROJECT No.:  
 89006



STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

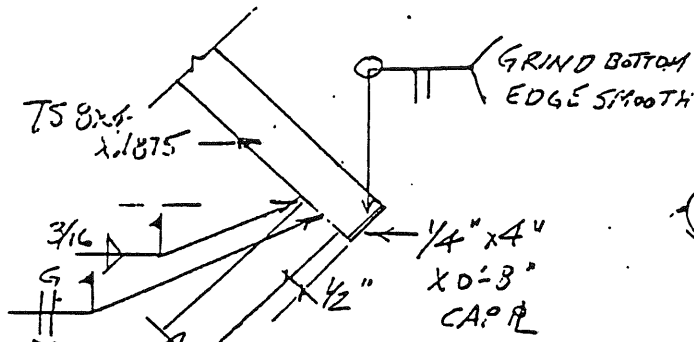
P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
 P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

ADD-2 - ADD. No. 1

PROJECT: CUMBERLAND COUNTY JAIL - ADDENDUM No. 1 SHEET 1 of 1  
 STRUCTURAL SUPPORT - CENTRAL CONTROL ROOM DATE: 11-20-91

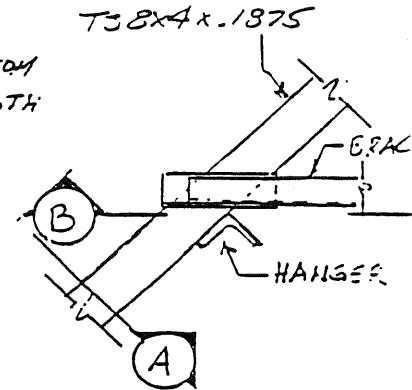


DETAILS FOR  
FRAMING FOR  
HANGING PART.  
SUPPORTS AT  
UNIT A 2<sup>ND</sup> FL.  
CONTROL ROOM  
SEE S103 FOR FRAMING PLAN



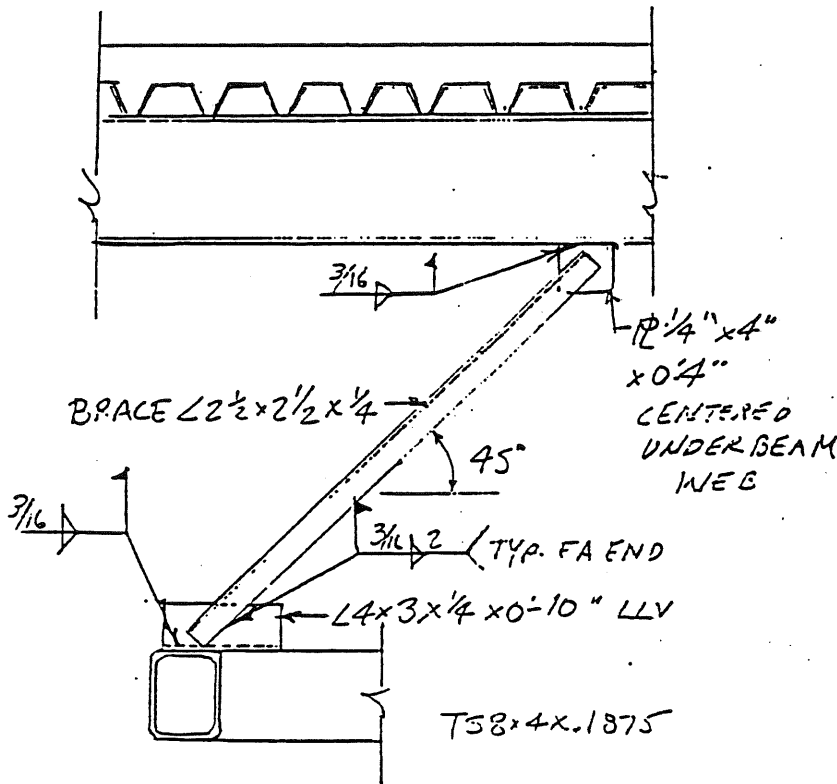
TYPICAL CORNER DETAIL

SCALE: 3/8" = 1'-0"



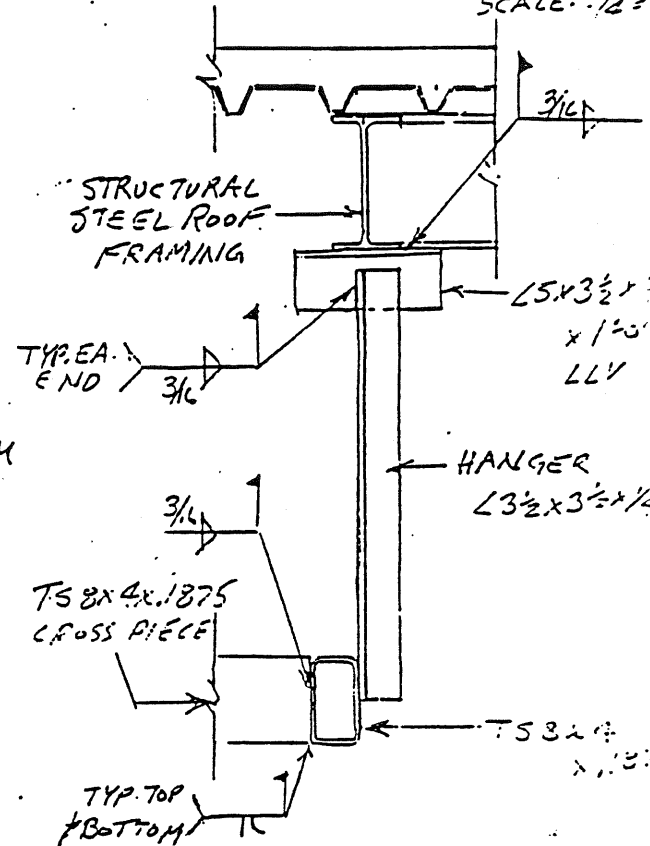
DETAIL AT HANGER & BRACE

SCALE: 3/16" = 1'-0"



Copies To: (B) TYPICAL BRACE

SCALE: 3/8" = 1'-0"



(A) TYPICAL HANGER

SCALE: 3/16" = 1'-0"

PROJECT No.:  
89006

ADD-3 - ADD No. 1

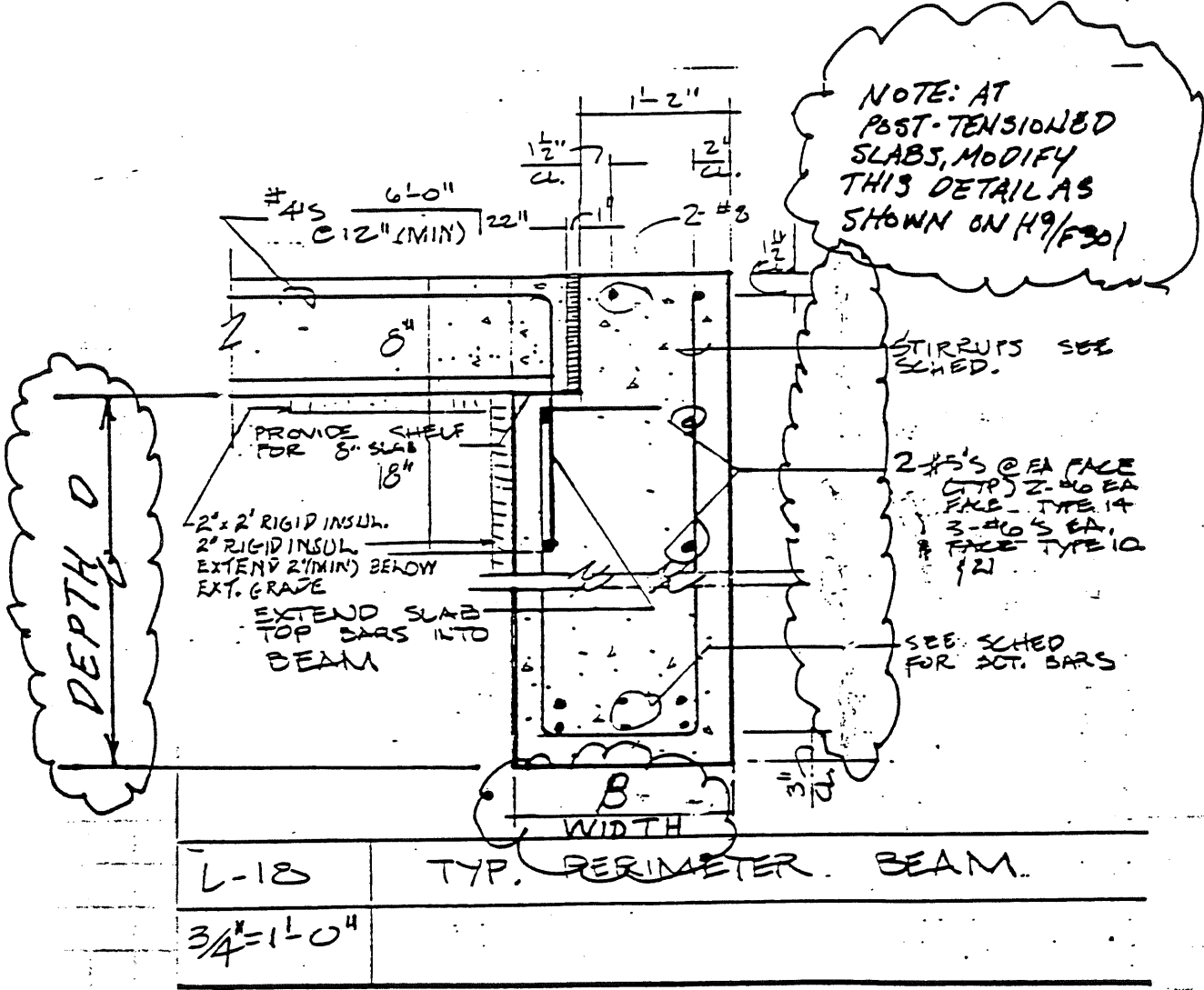


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P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

PROJECT: CUMBERLAND COUNTY JAIL-SUB CONTROL ROOM A1230  
ADDENDUM No. 1 - STRUCTURAL S-103, SUPPORTS

SHEET 1 of 1  
DATE: 11.20.91



PROJECT No.:  
89006

ADDENDUM No. 1

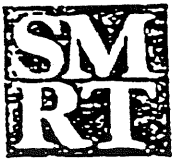
STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070  
P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

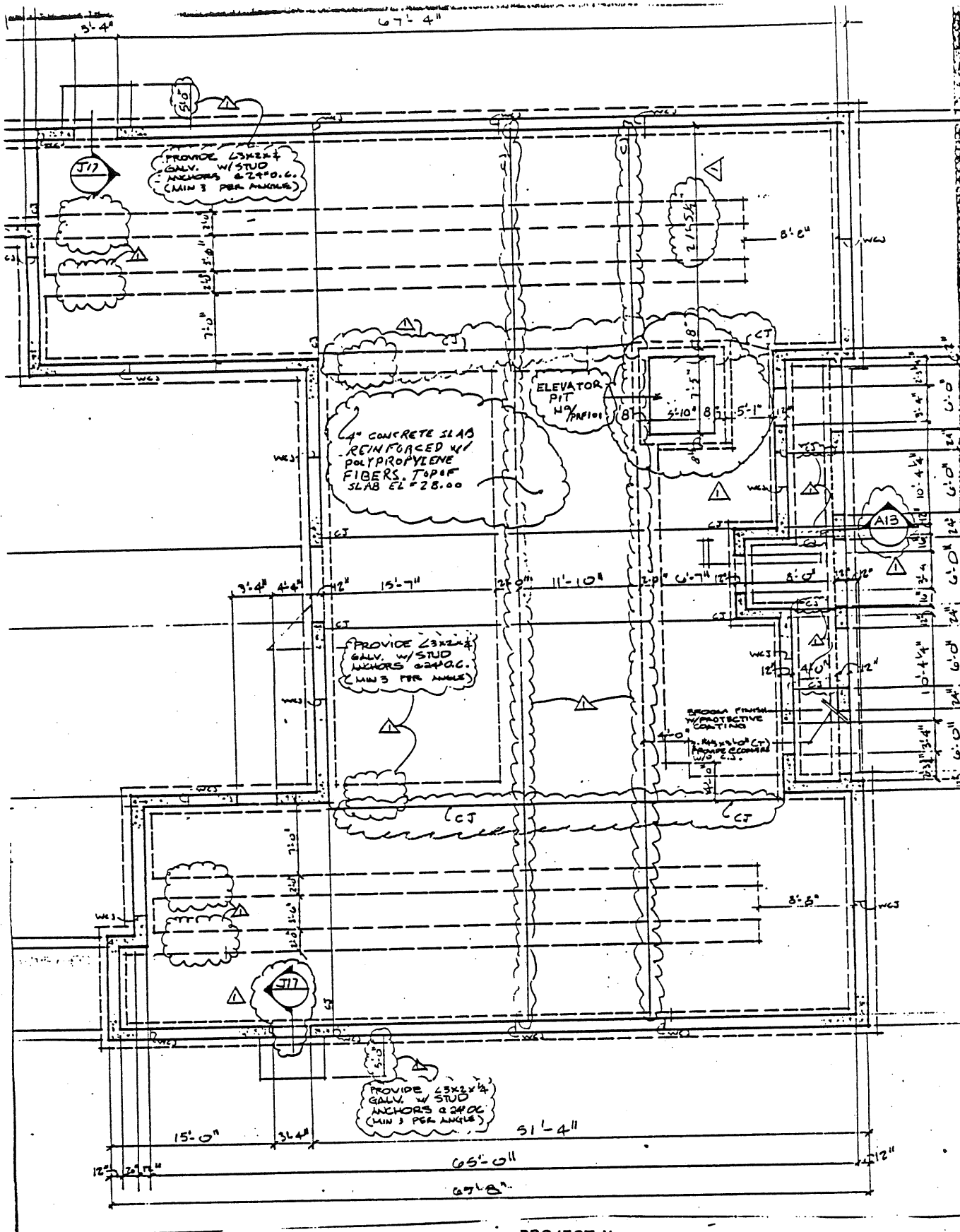
FOUNDATION - TYPICAL PERIMETER BEAM  
CUMBERLAND COUNTY JAIL. (L18/F201)

ADD- 4



PROJECT:

SHEET 1 of 1  
11.20.91



PROJECT No.:  
89006

**ADD-5**



STEVENS MORTON ROSE & THOMPSON  
ARCHITECTURE ENGINEERING SURVEY

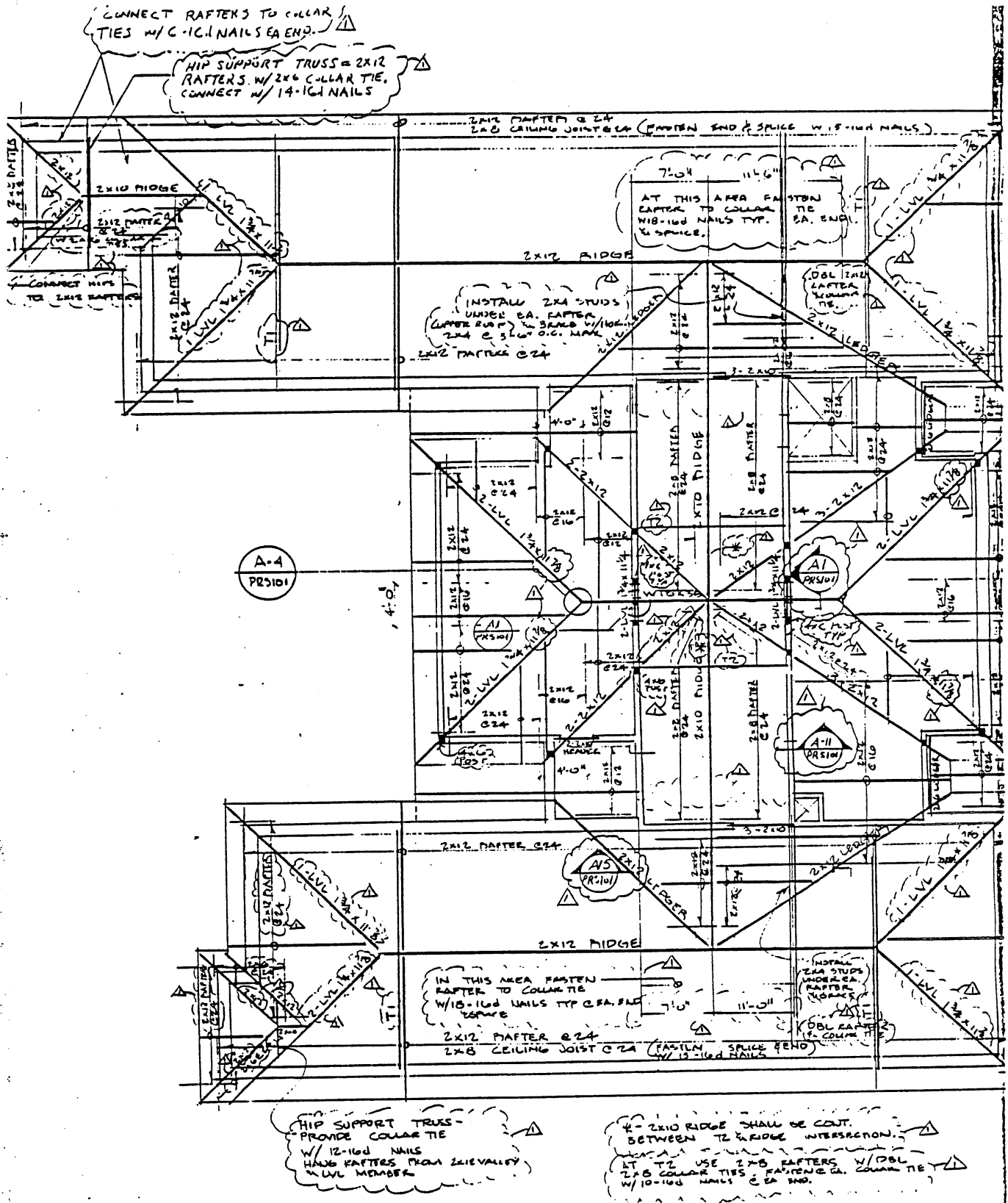
P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3848 Fax: 207.772.1070  
P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

PROJECT: CUMBERLAND COUNTY JAIL  
PRE RELEASE ALTERNATE #4  
FOUNDATION PLAN. REV  $\Delta$  ADDENDUM No.1

SHEET 1 of 3  
DATE: 11.20.91







# ROOF FRAMING PLAN

PROJECT No.:  
89006

ADD-7

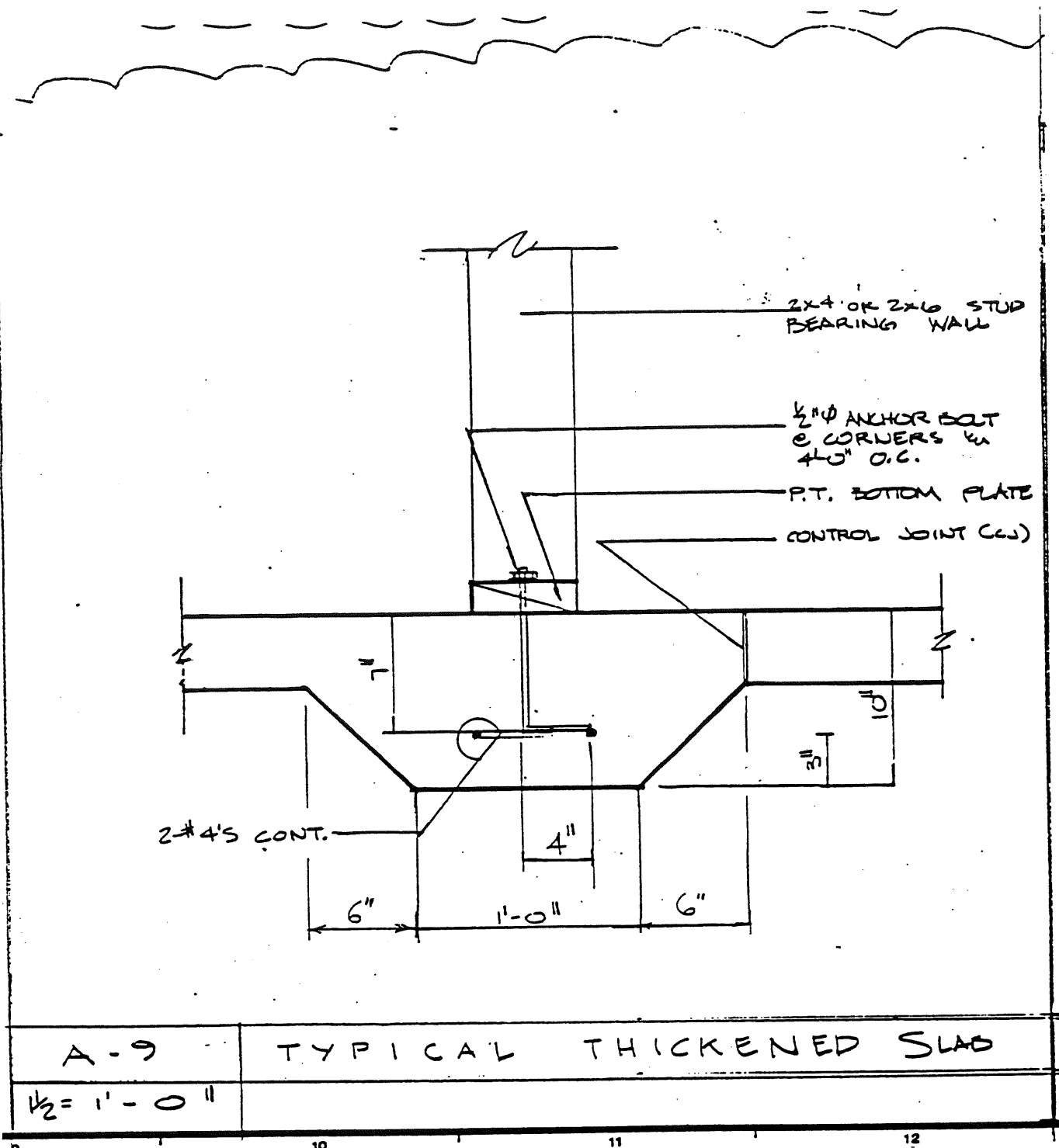


**STEVENS MORTON ROSE & THOMPSON**  
 ARCHITECTURE ENGINEERING SURVEY  
 P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3848 Fax: 207.772.1070  
 P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

PROJECT:

CUMBERLAND COUNTY JAIL  
 PRE-RELEASE ALTERNATE #4  
 ROOF FRAMING PLAN REV  $\Delta$  ADDENDUM No.1

SHEET 3 of 3  
 DATE: 11.20.91



A-9	TYPICAL THICKENED SLAB
1/2 = 1'-0"	

PROJECT No.:  
89006

ADD-8



STEVENS MORTON ROSE & THOMPSON  
ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202  
CUMBERLAND COUNTY JAIL ADDENDUM No. 1

PROJECT:

PRELENSURE ALT#4 REV.  
DWG A9/PRF101

SHEET 1 of 10  
DATE: 11-20-91



SECTION 01030 - ALTERNATES

Page 01030-2, Para 3.01 Schedule of Alternates:

Insert: " No.6 Provide an All Builders Risk Insurance policy in the Owner's name with a maximum deductable of \$2,500.00 (twenty-five hundred dollars) per occurrence. The policy shall be for completed value of the work, exclusive of foundations. Provide the policy for the longer of the following periods:

1. Commencing with the construction starting, to the date of actual owner possession of the premises; or
2. 2 years from the date of construction commencing.

The policy shall be written by an insurer who is authorized to conduct business in the State of Maine. Submit a copy of the proposed policy, for review by the owner, with your bid.

This policy shall conform to the description in all subparagraphs under paragraph 11.3 of the General Conditions of the Contract for Construction, AIA Document A201, and the Supplementary General Conditions."

SECTION 01500 - TEMPORARY FACILITIES

Page 01500-1, Para 1.02.D.

Security and Protection facilities required but are not limited to:

Insert:

"Temporary site lighting.

Temporary fencing and lighting for stockpiled materials on site.

Security personnel during non-construction hours for patrol and observation of the site".

Page 01500-6, Para 3.02G;

Insert "2. Install two (2) separate private line telephones at the Clerk of the Works office. One line for a Fax machine; the other line for telephone and answering machine."

PART II

SECTION 02200 EARTHWORK:

Page 02200-3, Para 1.07.C Permits and Codes:

Insert the following at the end of the paragraph:

"Provide FAA with a notice to install a temporary crane for boiler stack construction. Completed boiler stack notification attached. Blank FAS form 7460-1 provided by Architect.

Send form to:

Barbara Federice  
New England Regional Office  
Air Traffic Division ANE-532  
12 New England Executive Park  
Burlington, MA 01803."

SECTION 03300 CAST-IN-PLACE CONCRETE

Page 03300-1, Para 1.03.C.;

Delete "... prepared by registered Professional Engineer..." and

Insert "... prepared under the supervision of a registered Professional Engineer...".

SECTION 07530 SINGLE PLY MEMBRANE ROOFING

Page 07530-5, Para 2.04.B.1 and .2:

Delete paragraph in its entirety.

Insert in its place:

"B. Extruded Polystyrene Board Insulation: Rigid , cellular thermal insulation with closed cells and intergral high-density skin, complying with (ASTM C578) for type indicated; with 5 year aged R-Values of 5.6 at 25 degree F, 5.4 at 40 degree F, 5.0 at 75 degree F and as follows:

1. Type IV - 25 lb/sq. in. compressive strength minimum.
2. Water absorption: .16% by volume maximum, (ASTM C272).

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

3. Provide limited thermal warrantee for product provided, for a minimum 10 year period. Provide wirtten warranty from manufacturer with filed sub bid submission.
4. Provide minimum R-Value = 35 (5.4 at 25 degree F x 6-1/2"), average aged insulation R-Value; or minimum r-Value = 32 (5.0 at 75 degrees F x 6-1/2") average aged insulation R-value typical.
5. Surface Burning Characteristics: Maximum flame spread = 10; maximum smoke developed = 200.
6. Where extruded polystyrene is to be placed on steel deck refer to page 07530-6 Para 2.05.D for additional requirements for installation.
7. Roof insulation manufacturer must be registered by letter with the Maine Department of Environmental Protection certifying the Company's compliance schedule for phasing out CFC in their manufacturing process. Contact the Maine Department of Environmental Protection Division of Technical Services, Bureau of Air Quality Control; (207) 289-7688; for a list of companies who have registered at the time of bid."

SECTION 07900 JOINT SEALERS

Page 07900-4, Para 2.02;

Insert: "Lithochrome, color caulk in matching color; multi-part polyurethane sealant:

Where joints are exposed in integrally colored concrete floors, ramps, stairs."

Page 07900-8, Para 2.06 Miscellaneous Joint Sealers;

Insert:

"D. Lithochrome, color caulk, in matching color. Polyurethane based multi-part joint sealers. Flow type for horizontal joints; non-sag for vertical joints or slopes over 2 percent. Sealants consist of hardener, base, curing agent and tint.



CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

1. Uses: Lithochrome color caulk by L.M. Schofield Company shall be used in joints in integrally colored concrete; No Substitutions.
2. Install according to manufacturer's installation instructions."

SECTION 08800 GLASS AND GLAZING

Page 08800-1, Para 1.02.B.3;

Delete in its entirety.

Insert in its place: "3. Mirrors are specified in a Division 10 section."

Page 08800-6, Para 2.01.A.5 and 2.01.A.6; Available Manufacturers;

Insert: In each of the above noted paragraphs insert "Advanced Glass Systems Corporation".

Page 08800-9, Para 2.06.B;

Insert: after the words "Plastic Interlayer: Provide glass fabricator's standard polyvinyl butyral..." the words "(or equal)".

Page 08800-11, Para 2.09.A;

Insert: after the words "Globe Amerada Glass Company..." the words "or Advanced Glass Systems Corporation,"

SECTION 09250 GYPSUM DRYWALL

Page 09250-7, Para 2.05.A.2.b Trim accessories:

Delete: "J. Bead at window stools".

Insert in its place: "FRY F-Type molding FDM-625-75 shall be used at junction of wood window stools and gypsum wall board, typical."

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

Page 09250-14, Para 3.06.J;

Delete paragraph (J) in its entirety.

Insert in its place: "J. Spot Grout all hollow metal door frames for solid core wood doors, hollow metal doors and aluminum doors. Apply spot grout at each jamb anchor clip just before inserting board into frame."

SECTION 09511 ACOUSTICAL PANEL CEILINGS

Page 09511-1, Para 1.03C Submittals

Insert "4. Indicate the directional checkerboard pattern on the coordination drawings; include the indication of the grid starting point."

Page 09511-6, Para 3.03B Installation

Insert "1. Install directional acoustical ceiling tiles in an alternating checkerboard pattern with each adjacent tile pattern rotated 90 degrees, typical. Submit each different layout to the architect for approval as required under para 09511 - 1.03C.4."

SECTION 09900 PAINTING

Page 09900-12, Para 3.08C:

Insert after "Gypsum drywall to receive liquid vinyl coating" the abbreviation "(PXPT)".

Para 3.08D first sentence:

Delete "PXPT".

Page 09900-5, 2.01B Conventional Paint Manufacturers

Insert: "Glidden".

SECTION 10800 - TOILET AND BATH ACCESSORIES

Page 10800-1, Para 1.02 B.14; Typographical error. The item should read:

"14. Mop/broom holder."

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

Page 10800-1, Para 1.02.C:

Delete in its entirety.

Insert in its place "C. Mirrors - provide stainless steel framed mirrors of the sizes indicated on the drawings."

Page 10800-3, Para 2.02.C.1; TOILET TISSUE DISPENSER:

Insert: "Bobrick B-288 Surface mounted multi-roll toilet tissue dispenser, for locations where a recessed fixture will not fit".

Para 2.02.C.3;

Insert: "Use tamper proof fasteners to anchor fixtures."

SECTION 11400 - FOOD SERVICE AND LAUNDRY EQUIPMENT

Page 11400-32, Para 2.06,

Item No. 94 - Insert: "Milnor 35 lb."

Item No. 95 - Insert: "50 lb Huebsch electric dryer".

Item No. 96 - Insert: "Milnor 35 lb."

Item No. 97 - Insert: "50 lb. Huebsch electric dryer".

SECTION 11484 OUTDOOR RECREATION YARD BACKBOARDS AND GOALS (11484.4):

Page 11484-3, Para 2.04.A

Insert: "3. Continuously weld the manufacturer's mounting plate and bracket to the support beam provided under Division 5. Grind smooth; prime and paint the bracket to match the beam color as selected by the architect. Attach the backboard to the mounting bracket using tamper-proof fasteners. Coordinate bracket installation with the security fence installation."

SECTION 15500 - HVAC

Page 15500-23, Para 2.14.A;

Insert: "Equivalent tower as manufactured by Marley or Evapco are acceptable."



CUMBERLAND COUNTY JAIL

91-021-6363

~~BN~~ BN \*

*Handwritten signature*

ADDENDUM NO. 1

TO

CONTRACT DRAWINGS AND SPECIFICATIONS

FOR THE CONSTRUCTION OF THE

CUMBERLAND COUNTY JAIL

PORTLAND, MAINE

NOVEMBER 20, 1991

NOTICE TO BIDDERS

The specifications and drawings are amended herein.

Bidders are required to acknowledge receipt of this addendum on the proposal form in the provided space on Page 4; Filed sub-bidders are required to acknowledge receipt of this addendum on the proposal form in the space provided on page 2B-1; or by separate letter or telegram prior to opening of bids. Failure to acknowledge all addenda may cause the bid to be considered not responsive to the invitation, which would require rejection of the bid.

The bidding documents for solicitation of bids for construction of the above project are hereby changed as follows:

PERTAINING TO THE SPECIFICATIONS

PART I - FRONT END: NOTICE TO BUILDING CONTRACTORS:

Page OA-2, Second paragraph;

Insert: "FIRE PROTECTION - SECTION 15600" as a Subcontractor required to file their subproposals and Bid Bonds with the Bid Depository.

Page OA-3, Para 2.

Insert after the last plan room entry, the following:

"Associated General Contractors of N.H. Inc.  
10 Fort Eddy Road  
Concord, New Hampshire 03301  
(603) 225-2701."

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

PART I - FRONT END: PROPOSAL FORM FOR GENERAL CONTRACTORS:

Delete: The proposal form Pages 1 through 6 in its entirety.

Insert in its place; "Proposal Form for General Contractors - Addendum No. 1".

NOTE IN PARTICULAR THE FOLLOWING CHANGES MADE TO "PROPOSAL FORM FOR GENERAL CONTRACTORS - ADDENDUM NO. 1".

Page 1, Para A;

Note that "Proposal for the amount of" requires that the amount be filled in with both "words" and "numbers".

Page 3, Para C Alternates;

Insert: "No.6 Provide a Builders Risk Insurance policy in the Owner's name as described in Section 01030 - ALTERNATES".

Page 5, Para F;

Insert: "Fire Protection" as a Filed Subcontract Proposal.

Page 5, Para I.2;

Note that the time to complete the work for the Jail Building has been increased to : "... 640 calendar days from the date of a signed contract."

Page 6, Para I.3;

Note that the time to complete the work for the Prerelease Center Alternate No. 4 has been increased to: "... 400 calendar days from the date of availability of the site."

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

PROPOSAL FORM FOR GENERAL CONTRACTORS

BIDDER: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

TO: Cumberland County Commissioners  
Mr. Gary E. Plummer, Chairman  
Office of the Commissioners  
142 Federal Street  
Portland, Maine 04101

A. Having carefully examined the Form of Contract, General Conditions, Supplementary General Conditions, and Plans and Specifications dated October 25, 1991.

Prepared by: Stevens Morton Rose & Thompson, Inc.  
Architects and Engineers

For: Cumberland County Jail - Portland, Maine

as well as the premises and existing conditions affecting the Work, we the undersigned propose to furnish all labor, equipment and materials necessary for and reasonably incidental to the construction and completion of this PROPOSAL for the amount of

\$ \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_ (\$ \_\_\_\_\_)  
(In Words) (In Numbers)



CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

B. ALLOWANCES (SEE ALSO SECTION "ALLOWANCES, 01020")

The base bid amount includes the following allowances:  
(Allowances may or may not be used by the Owner. If all or part of an allowance is not used by the Owner, the Owner shall receive full credit for the unused portions).

A. Lump sums stated for allowances include hourly design fees for SMRT to be paid by the Contractor to SMRT.

- |    |  |              |
|----|--|--------------|
| 1. | <u>Ground Sign:</u> Internally lighted with stone base | \$ 20,000.00 |
| 2. | <u>Building/Destination Signs:</u> 10 signs            | \$ 5,000.00  |
| 3. | <u>Highway Signs:</u> 4 M.D.O.T. highway signs         | \$ 1,000.00  |
| 4. | <u>Interior graphics and signage</u>                   | \$ 25,000.00 |
| 5. | <u>Cast Bronze Dedication Plaque</u>                   | \$ 4,500.00  |
| 6. | <u>Structural Bracing</u>                              | \$ 42,000.00 |
| 7. | <u>Miscellaneous Entry Landscaping</u>                 | \$ 1,000.00  |

C. ALTERNATES (as listed and described in Section 01030)

- |       |  |               |
|-------|--|---------------|
| No. 1 | Provide "shell" enclosure for Unit C-3 as shown on drawings including complete exterior envelope, exterior glass and glazing, exterior doors, curtainwall, roof, insulation, temporary roof drainage, temporary heat and ventilation, structural bracing (Allowance No. 6), mechanical, electrical, and plumbing stubs (capped) for future completion. | \$ _____(ADD) |
| No. 2 | Provide complete Unit C-3 as shown on drawings.  | \$ _____(ADD) |
| No. 3 | Provide complete program area, library, offices, work room, classrooms and relocated commissary as shown on the drawings.  | \$ _____(ADD) |

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

- No. 4 Provide complete Pre-release Center as shown on the drawings. \$ \_\_\_\_\_(ADD)
- No. 5 Provide DDC control of terminal units as described in Division 15. \$ \_\_\_\_\_(ADD)
- No. 6 Provide a Builder's Risk Insurance policy in the Owner's name as described in Section 01030. \$ \_\_\_\_\_(ADD)

D. SUPPLEMENTAL ADDITIONS AND DEDUCTIONS - UNIT PRICES  
(as listed and described in Section 01026).

The undersigned agrees to perform additional work as ordered, or to allow for work ordered omitted, at the following prices:

ITEM

<u>No.</u>	<u>Description</u>	<u>Unit</u>	<u>Add</u>	<u>Deduct</u>
<u>UNIT PRICE SCHEDULE</u>				
1.	General Excavation			
A.	Unclassified	Per CY	\$ _____	\$ _____
B.	Rock, Blasting Permitted	Per CY	\$ _____	\$ _____
C.	Rock, Machine	Per CY	\$ _____	\$ _____
D.	Rock, Hand	Per CY	\$ _____	\$ _____
2.	Trench Excavation			
A.	Unclassified	Per CY	\$ _____	\$ _____
B.	Rock, Blasting	Per CY	\$ _____	\$ _____
C.	Rock, Machine	Per CY	\$ _____	\$ _____
D.	Rock, Hand	Per CY	\$ _____	\$ _____
3.	Excavation, Hand - General	Per CY	\$ _____	\$ _____
4.	Removal of Excavation from site	Per CY	\$ _____	\$ _____

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

5. Drainage Fill, Compacted, In Place	Per CY	\$ _____	\$ _____
6. Ordinary fill due to changed circumstances, compacted	Per CY	\$ _____	\$ _____
7. Structural, granular fill, compactd in place	Per CY	\$ _____	\$ _____
8. Topsoil in place	Per CY	\$ _____	\$ _____
9. Concrete filled steel piles in place			
Type 1	Per LF	\$ _____	\$ _____
Type 2	Per LF	\$ _____	\$ _____
10. Steel H-piles in place			
Type	Per LF	\$ _____	\$ _____
Type	Per LF	\$ _____	\$ _____
11. Structural Concrete, in place including forms, reinforcing steel and finishing.			
A. Grade beams and pile caps	Per CY	\$ _____	\$ _____
B. Structural ground slab (colored)	Per CY	\$ _____	\$ _____
C. Elevated slabs (colored and formed)	Per CY	\$ _____	\$ _____
D. Columns & elevated beams	Per CY	\$ _____	\$ _____
E. Frostwalls	Per CY	\$ _____	\$ _____
F. Footings	Per CY	\$ _____	\$ _____
G. Unreinforced slabs on grade	Per CY	\$ _____	\$ _____



CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

E. This proposal includes the following addenda to the Drawings and Specifications:

ADDENDUM NO. \_\_\_\_\_ DATED \_\_\_\_\_  
 ADDENDUM NO. \_\_\_\_\_ DATED \_\_\_\_\_  
 ADDENDUM NO. \_\_\_\_\_ DATED \_\_\_\_\_  
 ADDENDUM NO. \_\_\_\_\_ DATED \_\_\_\_\_  
 ADDENDUM NO. \_\_\_\_\_ DATED \_\_\_\_\_

F. Filed Subcontract Proposals are as follows:

TRADE	NAME OF SUBCONTRACTOR	AMOUNT
Masonry	_____	_____
Roofing	_____	_____
Painting	_____	_____
Detention Equipment	_____	_____
Plumbing, Heating & Ventilating	_____	_____
Electrical	_____	_____
Fire Protection	_____	_____

G. The undersigned agrees that each of the above named subcontractors represents a bonafide proposal based on the plans and specifications and will be used for the work indicated at the amount stated.

H. The undersigned acknowledges that the Owner may select and award the Contract by one of the following methods: the Base Bid alone, Base Bid plus all Alternates, or Base Bid plus specific Alternates of the Owner's choosing by whatever priority he places on the Alternates. Other factors as stipulated in these specifications may also be used in the selection and award process.

I. 1. The undersigned agrees, if this proposal is accepted, to sign a contract and deliver it, along with the bonds and affidavits of all insurance specified, within twelve (12) calendar days after the date of notification of such acceptance, except if the 12th day falls

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

on a holiday, a Saturday or Sunday, then the conditions will be fulfilled if the required documents are received before 12 o'clock noon on the day following the holiday, or the Monday following the Saturday or Sunday, and as a guarantee thereof, herewith submits a certified or cashier's check or bid bond as required.

2. The undersigned agrees, if awarded the Contract, to complete the Work for the Jail Building within 640 calendar days from date of the signed Contract.
3. The undersigned agrees, if awarded the Contract and if Alternate No. 4 (Prerelease Building) is accepted by the Owner, to complete that portion of the work within 400 calendar days from the date of availability of the site.
4. This Proposal includes the cost of 100% Performance and Payment Bond.
5. The prices stated in this Proposal will be held for a period of 90 days from the date of bid opening and if authorized to proceed within that 90 day period.

Signed \_\_\_\_\_

By \_\_\_\_\_

Address \_\_\_\_\_

Note: If Bidder is a corporation, write State of incorporation, and if a partnership, give full name of all partners.

END OF PROPOSAL FORM FOR GENERAL CONTRACTORS

CUMBERLAND COUNTY JAIL - ADDENDUM NO. 1

PART I - FRONT END: INSTRUCTIONS TO BIDDERS AIA DOCUMENT A701:

Article 3 Bidding Documents Para 3.1.1:

Second sentence delete the words "within ten days after receipt of bids."

Insert in its place "within fourteen calendar days after receipt of bids; as described in the NOTICE TO BUILDING CONTRACTORS".

Article 3 Bidding Documents; Para 3.3.2, Para 3.3.3 Delete in their entirety.

Para 3.4.3 Delete the words "No addenda will be issued later than four days prior..."

Insert in its place "No addenda will be issued later than three days prior..."

Part I - Front End: SGC SUPPLEMENTARY GENERAL CONDITIONS:

Page SGC-8, Para 11.3; PROPERTY INSURANCE;

Delete in its entirety

Insert in its place: "The Contractor may desire to purchase and maintain All Builders Risk Insurance described in all subparagraphs under paragraph 11.3. The Owner does not want to pay for the Contractor to carry additional Builder's Risk beyond that which is indicated in ALTERNATE No. 6. The Contractor may desire to carry Builder's Risk Insurance for this project but the cost shall not be passed on to the Owner. The Contractor shall provide All Builders's Risk Insurance as required under ALTERNATE No. 6, in Section 01030 ALTERNATES."

Part I - Front End: SUPPLEMENTARY INSTRUCTIONS TO BIDDERS:

Article 5 CONSIDERATION OF BIDS:

Page OB-5, Para 5.3.3

Delete "No bid may be withdrawn within 60 days after the actual date of the opening thereof".

Insert in its place: "No bid may be withdrawn within 90 days after the actual date of the opening thereof".



91-021-6363  
BN

ADDENDUM NO. 3

TO

CONTRACT DRAWINGS AND SPECIFICATIONS

FOR THE CONSTRUCTION OF THE

CUMBERLAND COUNTY JAIL

PORTLAND, MAINE

DECEMBER 5, 1991

NOTICE TO BIDDERS

The specifications and drawings are amended herein.

Bidders are required to acknowledge receipt of this addendum on the proposal form in the provided space on Page 5; Filed sub-bidders are required to acknowledge receipt of this addendum on the proposal form in the space provided on page 2B-1; or by separate letter or telegram prior to opening of bids. Failure to acknowledge all addenda may cause the bid to be considered not responsive to the invitation, which would require rejection of the bid.

The bidding documents for solicitation of bids for construction of the above project are hereby changed as follows:

PART I - SUPPLEMENTARY INSTRUCTIONS TO BIDDERS

Page OB-4, Para 4.5.6.2;

Delete the words "... 96 hours prior...".

Insert in their place "...72 hours prior...".

Insert:

"4.5.6.9 Proposal shall include those submittals and qualifications and quality assurance data which is specified to be included in the Filed Sub Contractor proposal; or the proposal may be declared informal and not in conformance with the requirements of the plans and specifications."

CUMBERLAND COUNTY JAIL

PERTAINING TO THE SPECIFICATIONS

SECTION 01500 - TEMPORARY FACILITIES

Page 01500-10, Para 3.03 TEMPORARY CONSTRUCTION AND SUPPORT FACILITIES INSTALLATION;

Insert:

"S. Individual filed subcontract trades shall provide the staging required for installation of their filed subcontract work."

SECTION 04200 - UNIT MASONRY

Page 04200-20, Para 2.11.C:

Clarification: " It is the intent that the anchor bolts which install in the masonry walls shall be furnished under Section 05120, and shall be installed under Section 04200."

SECTION 05120 - STRUCTURAL STEEL

Page 05120-4, Para 2.01.G. Anchor Bolts;

Clarification: "Anchor bolts shall be furnished under this Section. Anchor bolts specified under Section 04200, para 2.11.C shall also be furnished under this Section , but installed under Section 04200 - Unit Masonry."

SECTION 05500- METAL FABRICATIONS

Page 05500-1, Para 1.02.A;

Insert: "15. Steel chases, chase anchors, angles and plates."

Page 05500-2, Para 1.02.B;

Insert: "4. Coordinate and furnish items to Section 04200 for installation in masonry in a timely fashion as to not delay the work."

Page 05500-21;

Insert: Para "2.22 Steel Chases



CUMBERLAND COUNTY JAIL

- A. Fabricate steel chases and anchors, plates, angles and supports as indicated on the drawings and these specifications. Coordinate with all Divisions, in particular Divisions 3,4,15,16.
- B. Provide a full size mock-up of each steel chase type;
1. Use the mock-up to coordinate all systems to be installed in the chases with all trades, and make the mock-up available for viewing by the architect and the architect's field representative.
  2. The mock-up may be made of plywood, foam-core "gator" board, or steel at the fabricators option. The mock-up is to be used as a 3-dimensional coordination device and is expected to go through modifications until each trade and the general contractor have fully coordinated all systems and attachments.
  3. Any items which are in conflict within the chases shall be brought to the Architect's attention prior to fabrication."

SECTION 07310 - FIBER CEMENT SHINGLES

Page 07310-3, Para 2.02.A Slates;

Delete the words "...conforming to ASTM C222".

Insert a "period" after the word "shingles".

SECTION 07530 - SINGLE PLY MEMBRANE ROOFING

Page 07530-3, Para 2.02.A.1;

Delete the words "... Class SR, scrim or fabric internal reinforced."

Page 07530-6, Para 2.05.C, Mechanical Anchors;

Delete in its entirety.

CUMBERLAND COUNTY JAIL

Page 07530-7, Para 3.02.C;

Delete: Para C in its entirety.

SECTION 09900 - PAINTING

Page 09900-3, Para 1.04.B;

Insert:

- "3. Up to (3) three different wall colors may be required in any room in addition to a painted base (if 'pt' base is scheduled) or painted ceiling color (if scheduled). One of these wall colors may be a deep accent color.
4. Rails, frames angles, stairs and items set into walls or floors that require painting may be deep accent colors as selected by the Architect prior to painting."

SECTION 11192 - DETENTION HARDWARE

Page 11192-3, Para 1.06 REFERENCES;

Insert: "E. ANSI-A117.1 Accessibility standards."

Page 11192-24, Para 2.1.A FINISH;

Insert:

- "1. Handles on doors to mechanical rooms, janitor closets, electrical rooms, docks, maintenance rooms, and stair towers above or below the level of exit discharge shall have an integral tactile warning surface finish."

SECTION 11195 - DETENTION WOOD DOORS

Page 11195-5, Para 2.02 Materials;

Insert:

- "K. High Security Metal Vision Frames: Provide high security metal vision frames at wood doors for glass thickness indicated. Frames shall be formed of 10 gauge cold rolled steel. Finish shall be baked enamel in a color selected by the architect from the full range of available colors. Frames shall be thru-bolted, one side blank, the other side shall have #8 x 32 torx head fastener. Frames shall be similar and equal to Anemostat Model SG-10."



SECTION 11196 - MISCELLANEOUS DETENTION EQUIPMENT

Page 11196-2, Para 2.01.A - Solid Plastic Shower Doors;

Delete the words: "...eight inch heavy duty wrap around flange aluminum hinges, ...".

Insert in their place: "... spring pivots with box clamp door and style brackets similar to Bommer 7300 in dull chrome finish,...".

SECTION 11400 - FOOD SERVICE AND LAUNDRY EQUIPMENT

Page 11400-10, Para 2.06;

Insert:

"A. Provide all standard equipment, accessories and features, for each piece of equipment specified; provide optional accessories or features as specifically noted or required by the plans and specifications."

Page 11400-10, Item No. 1;

Insert: "Owner's trays, (N.I.C.) are Aladin #9012 four compartment, sized 2-1/4" thick x 13-3/8" wide x 14-7/8" long."

Page 11400-14, Item No. 25 - 60 quart mixer;

Delete the words "(\*Provide each new mixer with a bowl truck and adapter and splash cover)."

Insert in its place "(\*Provide each new mixer with a bowl truck and bowl truck adapter, a mixer adapter, and a splash cover)."

SECTION 12500 - WINDOW TREATMENT:

Page 12500-4, Para 2.02.E. Tilting Mechanism;

Delete the words "... worm and gear...".

SECTION 15500 - HVAC:

Page 15500-23, Para 2.14.C.;

Insert:

"Furnish and install spring-type vibration isolation rails

CUMBERLAND COUNTY JAIL

between the supporting steel and the bottom framework of the unit."

Page 15500-62, para 2.37.A.;

Delete: "or approved equal by Johnson Controls, Barber Coleman, or Landis-Gyr-Powers."

Insert: "or approved equal by Johnson Controls, Barber Coleman, Landis-Gyr-Powers, or Andover Controls."

SECTION 16460 - TRANSFORMERS

Page 16460-3, Para 2.03.I;

Delete: the words "where indicated" after "the following accessory items are required".

Insert: "." after "required".

Delete: Item #1 under accessories; items 2,3, and 4 remain part of this section.

SECTION 16621 - EMERGENCY POWER GENERATION

Page 16621-5, Para 2.02.E.2;

Delete in its entirety.

Insert in its place:

"2. The mechanical contractor shall furnish and install a 6000 gallon underground fuel tank and all piping from the underground tank to the day tank. (Refer to Division 15)."

Page 16621-5, Para 2.02.E.3;

Delete in its entirety.

Insert in its place:

"3. The electrical contractor shall furnish a 50 gallon, narrow profile day tank, complete with duplex fuel pumps, controls, and wiring, equal to Tramont TN-50 with electrical control module. Fuel pumps shall high-lift gear pumps each with a capacity of 2 GPM with a 1/3 h.p., 120 VAC, 1  $\emptyset$ , 60 Hz motor.

4. This contractor shall furnish all fuel piping between



the day tank and the engine inside the generator enclosure."

SECTION 16721 - FIRE ALARM SYSTEMS

Addendum No. 2 - Page 14 of 29; typographic error;

Change "Page 16721-11, Para 2.04.F" to read "Page 16721-17, Para 2.04.F".

SECTION 16800 - ADMINISTRATIVE INTERCOM

Page 16800-2, Para 1.4.E;

Delete the words:

"The installing company shall be Boudreau and Sons of Woburn, Massachusetts."

Insert the sentence:

"The installing company shall have least 3 years of successful installation experience on projects with administration intercom systems installation work in penal institutions."

Page 16800-21, Section 2.8 Options:

Insert after "available with additional equipment", the words, "... as part of this contract".

PERTAINING TO DRAWINGS

DRAWING L201 - ENTRY PLAZA PLAN

Insert:

"Note: Provide two planters #S-4-HS-36\* LSB-2" as specified in the following locations; one at each side of the brick paved pedestrian accessible plaza ramp at the visitor entrance drop off. Center each one on the basket-weave square paving pattern (BW)."

DRAWING A112

Plan Room No. F2153 Water Service; walls noted as type "19" shall have in addition the notation a type "17" or "17A" as required for the CMU portion of the wall.



CUMBERLAND COUNTY JAIL

DRAWING A203:

Room D2103 Industries, D3104 Dock, STD04 Stair: under ceiling "struct"

Insert: "Painted".

DRAWING A204:

Rooms E1101 - Gym/indoor exercise  
F2151 - Vehicle sallyport  
F2153 - Water service  
STE01 - Stair  
Under ceilings "struct" or "str":

Insert: "painted".

DRAWING A208:

Door C2246, under Thickness:

Insert: "2 inches".

DRAWING A209:

Doors E0103, E0104, F0108, F0109, under Thickness;

Delete: "1/3-4 inches".

Insert in its place: "2 inches".

DRAWING A211:

Details A1, A3, A15, E11, E13, E15;

Insert:

"Note: the 1/4" bent plate frames, weld plates, anchors and tube steel (TS 4x4x3/16") shall be provided under Section 11190. Items to be installed in the masonry shall be set and braced by the general contractor and installed in the masonry under Section 04200."

CUMBERLAND COUNTY JAIL

DRAWING A212, ADD-45, A403:

Exterior security windows types T, V, W, X, Y; and Details A15/A403, E15/A403, J15/A403:

Clarifications:

1. The sill and jambs are closed. The head is open for grouting.
2. Provide holes for #4 reinforcing steel bars to pass thru; rebar is provided and installed in Section 04200. Rebar is continuous and extends a minimum of 2'-0" beyond rough opening, grouted solid in CMU walls to anchor exterior security hollow metal windows in place.
3. Hardened (T.R.) tool resistant steel bars in 2" x 4" muntins are provided and installed by Section 11193. Size is 7/8"  $\emptyset$ , or 2-1/4" x 3/8" flat bar as indicated on ADD-46 and ADD-48. Tool steel is specified on page 11193-1, Para 1.03.B.
4. See ADD-48, Addendum No. 3 for room locations of additional tool resistant steel for exterior windows at the head, jamb, and sill in addition to the T.R. steel provided in all typical steel muntins.
5. Delete "T" anchors where closed hollow metal sections are provided; provide drilled holes for continuous #4 rebar insertion through the frames to be anchored by grouting solid into CMU walls, at heads, jambs and sills.

DRAWING A500

Detail D15/A500

Insert after "concrete tread" the words: "steel pan stair".

DRAWING A501

Detail 013/A501

Insert after "abrasive metal nosing" the words "(typical at concrete treads)".

DRAWING F101

Pod B1, between lines E and F at grade beam B11-1;



CUMBERLAND COUNTY JAIL

TS 4x4x.1875 x 0'-10" are indicated as 5 being required at 6'-1/2" on center. This is typical at all pods units B and C, and including Alternate Number 2 shown on sheet F104.

DRAWING F102

At the lower right hand corner of the sheet, section "M1/F103" is cut.

Change to read "M1/F301".

DRAWING F103

On the Second Floor Framing Plan, dimensions to Beam 3 and CMU columns 1 and 2 are not given. The dimension from the outside face of wall at line 37 to the edge of Beam 3 is 23'-5-13/16". The length of Beam 3 is 13'-8". CMU columns are located at each end of Beam 3 with one intermediate CMU column which may be located from dimensions given on Sheet A123.

DRAWING S100

At Stair STD04, Section "N15/S302" is cut. This should be Section "N15/S303".

DRAWING S101

On column line 35, "Beam 9" is specified. This beam number should be changed to "Beam 12". Also refer to Drawing S303; at details N1, K1, K6 and G4, change all mention of "Beam 9" to read "Beam 12".

DRAWING S102

At the slab edge to the left of column line 36A, section N13/S303 is cut.

This should be "N15/S303".

DRAWING S103

"Framing Plan for hanging partition supports";

Insert the following note: "Set bottom of steel for all TS 8 x 4 members at elevation 52'-0"."

DRAWING S103

Note 5 pertains only to column Q-37. The contractor should



CUMBERLAND COUNTY JAIL

note that all bent plate door frames shown in details on Sheet A211 are to be provided by the filed sub-bid per Division 11. The steel angle and weld plate shown in detail A15 on Sheet A211 is to be provided and installed by the General Contractor.

DRAWING S104

Note 2: Insert the following bearing plate sizes:

- "@ W8x10 - (1/4" x 6" x 0'-6")
- @ W14x22 - (3/8" x 6" x 0'-8")
- @ W12x16 - (3/8" x 6" x 0'-6")."

DRAWING M200

Detail A10/M200;

Revise roof curb height from 18" to 24" high.

Insert: "General Note: All roof curbs shall be 24" high on main jail (includes all hoods, E.F.'s, AHU's , etc.)".

DRAWING E306 - ADMINISTRATIVE INTERCOM RISER DIAGRAM

Clarification: CRM with two direct dialer modules in Room F0103 shall be connected to Unit A exchange panel EPA in A1259.

Insert: "Note: See antenna mounting details on Sheet E000."

DRAWINGS ADD-22 and ADD-23 CLARIFICATION:

Steel framing to support electrical equipment shall be furnished and installed under Section 05500.

PERTAINING TO ADDENDUM SKETCHES (ADD- )

- ADD-47 Drawing P-200 Plumbing Schedule revision
- ADD-48 Clarification - Drawings A403, A212, ADD-46
- ADD-49 Masonry Window Surround revision - Joint revised

PERTAINING TO GENERAL ADDENDUM ITEMS

1. Site Clarifications:

- A. Casco traps are called for in Type E basins only (detail K17/L301). The typical basin (detail A4/L300) does not include a Casco trap.
- B. Rip-rap on emergency road does not extend full length of roadway and is to be placed at wetland crossing areas shown on L101. At other locations along this roadway, use loam, seed, mulch and erosion control netting. See note on detail E15/L300.
- C. The limit of work for the Portland Water District is the property line. (See Addendum No. 2 of 12/2/91). The limit of work for the Gas Company is building wall insofar as sitework is concerned.
- D. Under the base bid, provide capped stubs from the various service mains to 8' outside the building. Install shutoff valves on water and gas services.
- E. There are two sizes of light poles/bases. Piles are as detailed and specified; (auger or timber).
- F. On Drawing L301 Pipe Trench, special backfill noted is simply to bed and protect the pipe and is to an elevation 12" over the pipe. The six (6) feet is the depth of pipe burial (top).

2. Section 04200 - Unit Masonry - Clarification: At all brick window returns where stack bond 04200.6 brick (K-32 lt. grey) is used on window surround:

- a. The return shall be the same color brick from Glen-Gery Hanley.
- b. The 4" exposed edge of the returned end of the brick surround shall also be glazed in the same color as the face.

3. Section 04200 - Unit Masonry - Clarification: At the brick window surrounds where 04200.5 (K-73 Salmon, Glen-Gery Hanley) is used; the exposed bottom edge with lipped edge shall also be glazed in the same color as the face.

4. Section 04200 - Unit Masonry: At the exterior security window masonry surrounds; each individual 8x8 nominal stack bond brick unit shall have a specified tie to the CMU back-



CUMBERLAND COUNTY JAIL

up wythe (typical).

5. Section 04200 - Unit Masonry: At all exterior security steel windows types T,V,W as shown on A212; Provide a 3/8" deep rake joint with colored sealant in the joint at the vertical interfaces of stack bond 8x8 brick and 4x8 running bond brick; and on paired window surrounds at the vertical interface of the adjoining vertical 8x8 stacked bond portions. (See also ADD-49); typical.
6. Section 09900 - The 'ceiling line' in rooms with exposed structure (including the cells, showers, dock, industries, etc.) for the purpose of paint application shall be the horizontal coursing joint that the ceiling structure bears upon, unless indicated otherwise. If the structure does not bear on coursing at a joint then the next coursing joint below the structure shall define the 'ceiling line'. All surfaces, structure and mechanical and electrical items above the 'ceiling line' shall be painted the same color as the ceiling unless noted otherwise.
7. Section 09900 - Painting - Clarification: Where a painted base (PT) is called for on CMU on the finish schedule, a different contrasting color as selected by the Architect will be included.
8. Section 09900 - Painting - Clarification: All exposed exterior steel, lintels, beams, frames, shall be painted. Colors to be selected by Architect.
9. Sections 11191 and 16900 shall coordinate the size of the door lock pockets in order that the control devices and electronic relays shall install into these pockets as required. Reference Page 16900-3, Para 1.04.A.7, and Page 11191-7, Para 2.01.B.8.c, for additional information.
10. Telephone Conduit System, Division 16 - Provide one telephone outlet on the east wall 18" AFF in the visitor's lobby, room No. F1102, next to the existing duplex receptacle located on the visitor side in front of the security/reception counter. (This outlet shall be a modular jack and is for connection of a "visual telephone and modum" by the owner, not furnished under this contract).
11. Section 16721 Fire Alarm Systems, shall provide and install combination Audio/Visual devices on the wall at the same mounting height as other A/V devices, include a finished steel protective cage for each device; provide in the following public restrooms: D1124, D1125, D4105, F1103, F1105, F1115, F1117, F2132, F2134, F2148.



CUMBERLAND COUNTY JAIL

12. Finish Schedule: 'Floor' material noted as

"Steel-CP" (checker plate) "Steel-G" (grating); shall receive high performance epoxy paint system. (Typical).

13. Skylights: Minimum pitch is 4 in 12; pitch may be steeper to meet specified load requirements depending on manufacturer's system and glazing required.

END OF ADDENDUM NO. 3

# H.W. TEMP. MAINT. SCHEDULE

CIRCUIT #	TEMP.	AREA SERVED
1	110°	UNIT B
2	110°	UNIT B
3	110°	UNIT D / ADMINISTRATION
4	110°	UNIT C
5	110°	ADMINISTRATION
6	110°	UNIT C
7	110°	UNIT F
8	110°	UNIT A
9	110°	ALT # 2
10	110°	ALT # 2
11	140°	KITCHEN
← DELETED →		
#	BEGINNING OF CIRCUIT RUN	
⊙	END OF CIRCUIT RUN	

PROJECT No.:  
89006

ADD-47



STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

CUMBERLAND COUNTY JAIL  
ADDENDUM No. 3

PROJECT:

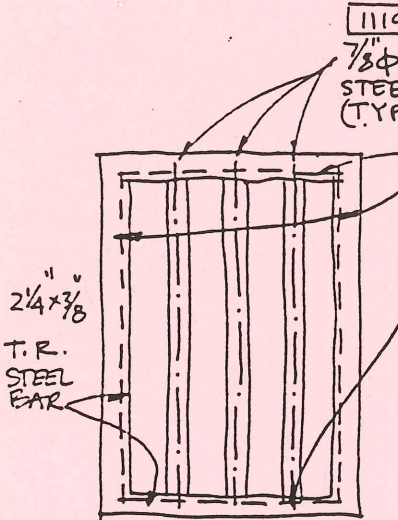
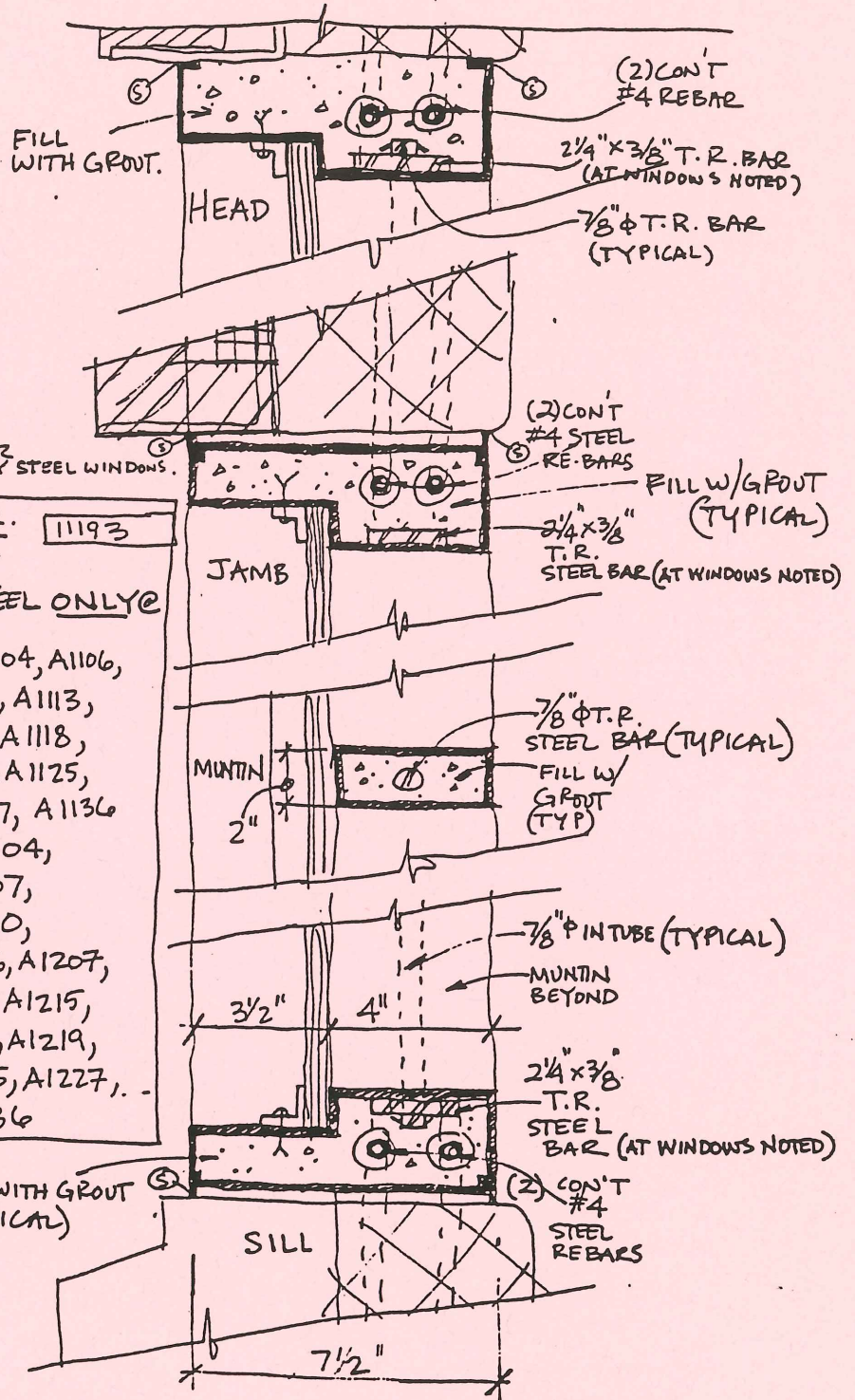
DRAWING P-200 PLUMBING SCHEDULE REVISION

SHEET 1 of 1  
DATE: 12.2.91



REFER ALSO TO DRAWINGS:

ADD-46, A 403,  
A-212



11193  
 2 1/4" x 3/8" T.R. STEEL BAR AT EXTERIOR SECURITY STEEL ONLY @ WINDOWS IN ROOMS: A1104, A1106, A1107, A1112, A1113, A1115, A1116, A1118, A1119, A1114, A1125, A1123, A1127, A1136, A0102, A0104, A0105, A0107, A0108, A0110, A1204, A1206, A1207, A1212, A1213, A1215, A1216, A1218, A1219, A1224, A1225, A1227, A1223, A1236

SEE "WINDOW TYPES" FOR ACTUAL ELEVATIONS

PROJECT No.:  
89006

ADD-48



STEVENS MORTON ROSE & THOMPSON

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3846 Fax: 207.772.1070

P.O. Box 10, Main Street, Umerick, ME 04048 Tel: 207.793.8202

CUMBERLAND COUNTY JAIL

APPENDUM NO. 3

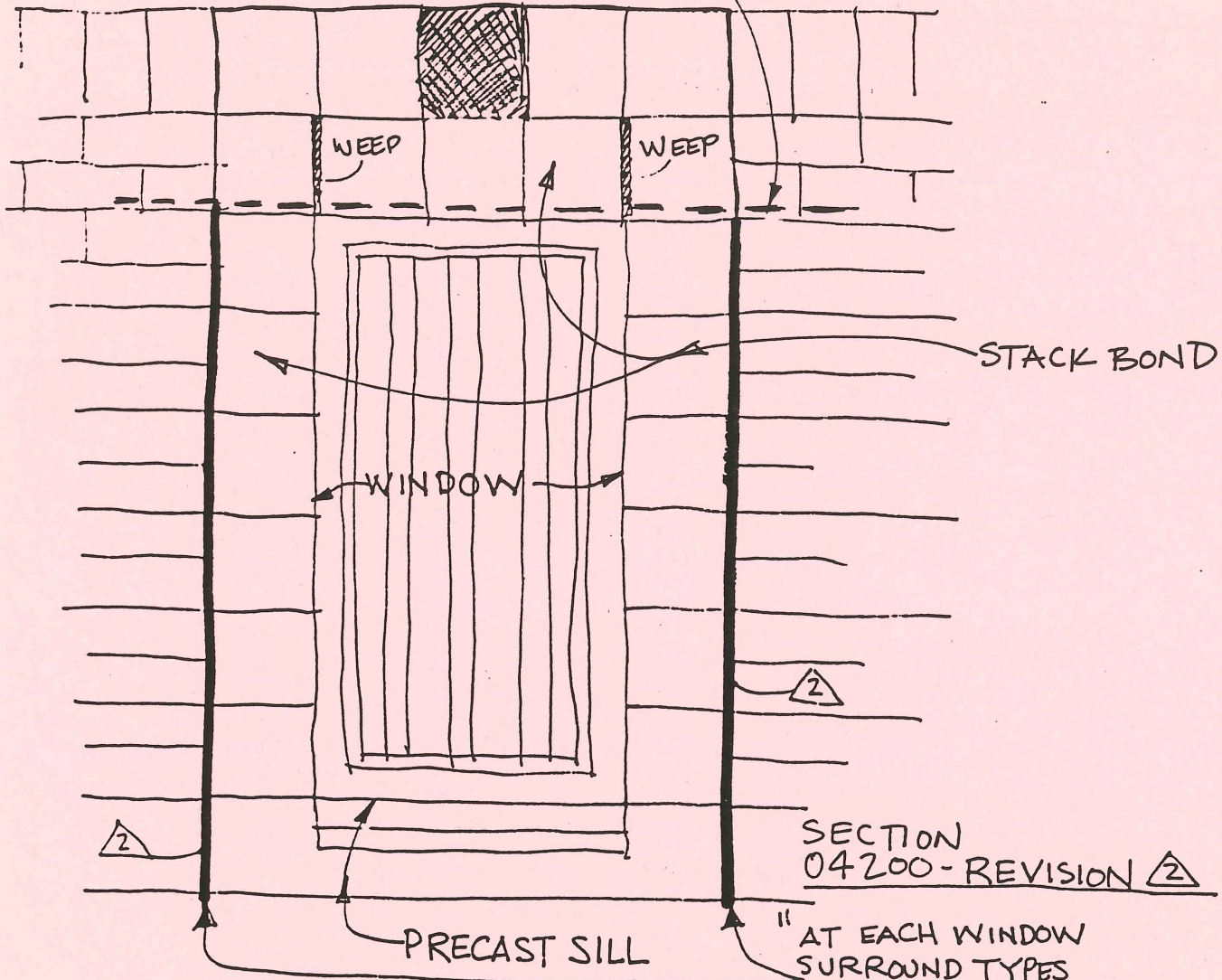
CLARIFICATION - DRAWINGS A-403, A-212, ADD-46

PROJECT:




SHEET 1 of 1  
DATE: 12.2.91



AT THE CONTRACTOR'S OPTION  
 STEEL LINTELS MAY BE EXTENDED IN ACCORDANCE WITH SPEC'S,  
 BEYOND THE STACK BOND BRICK WINDOW SURROUND  
 TO ALLOW PHASING OF THE WORK



SECTION  
 04200-REVISION 2

ELEVATION  SIMILAR  
 FOR   ELEVATIONS  
 SEE DRAWING A-212 FOR  
 SIZES, BRICK TYPE, AND DETAIL.

" AT EACH WINDOW  
 SURROUND TYPES  
 T, V, W; RAKE THESE  
 VERTICAL JOINTS BACK  
 3/8" AND INSTALL SEALANT  
 IN RAKE JOINT. COLOR TO  
 BE SELECTED BY ARCHITECT.  
 FROM MANUFACTURER'S STANDARD."

EXTERIOR SECURITY WINDOWS  
 WITH STACK BOND SURROUNDS N.T.S.

PROJECT No.:  
 89006



STEVENS MORTON ROSE & THOMPSON

ADD-49

ARCHITECTURE ENGINEERING SURVEY

P.O. Box 618, 39 Forest Avenue, Portland, ME 04104 Tel: 207.772.3848 Fax: 207.772.1070

P.O. Box 10, Main Street, Limerick, ME 04048 Tel: 207.793.8202

CUMBERLAND COUNTY JAIL

APPENDUM No. 3

PROJECT:

STACK BOND JOINT REVISED

SHEET 1 of 1  
 DATE: 12.2.91

Planning & Urban Development



Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

July 30, 1993

Arthur Thompson  
Stevens, Morton, Rose & Thompson  
39 Forest Avenue  
P.O. Box 618  
Portland, ME 04104

Dear Arthur:

Based on the comments of the Planning Board, the following information should be submitted prior to the August 24 public hearing:

- building elevations for the north, east, and west sides of the building;
- calculation of building height; and
- estimation of where the building will be visible from (Western Prom, I-295, Congress Street).

The Board also requested the presence of a County Commissioner to discuss various aspects of the Law Enforcement Center.

Please call if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Sarah".

✓ Sarah Hopkins  
Senior Planner

cc: Alexander Jaegerman, Chief Planner

Inspection Services  
Samuel P. Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

August 23, 1993

Alamo Rental  
TLC Management  
9 Rear Johnson Rd  
Portland, ME 04102

Re: 9 Rear Johnson Rd

Dear Sir,

Your application to make interior and exterior renovations has been reviewed and a permit is herewith issued subject to the following requirements:

**No Certificate of Occupancy can be issued until all the requirements of this letter are met.**

### Site Plan Review Requirements

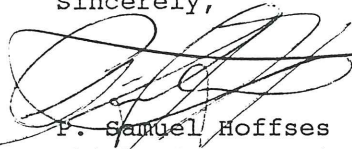
Inspections	Approved	W. Giroux
Fire Department	Approved	Lt McDougal
Planning	Approved	S. Hopkins
Public Works	Approved	M. Esterberg

### Building Code Requirements

1. A combustible liquids permit is required for above ground gasoline tank (Portland Fire Prevention Bureau).
2. The State Fire Marshal must also approve gasoline installation.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,

  
P. Samuel Hoffses  
Chief of Inspection Services

cc: W. Giroux, Building Inspections  
Lt McDougal, Fire Prevention Bureau  
S. Hopkins, Planning  
M. Esterberg, Public Works



COUNTY OF CUMBERLAND

JAIL BOND REFERENDUM

November 7, 1989

Pursuant to the 1989 Private and Special Laws Chapter 63:

"Shall the issuance of bonds be authorized in an amount not to exceed \$25,000,000 for construction of a new jail facility for Cumberland County?"

OFFICIAL RETURNS

COUNTY JAIL	YES	NO
BALDWIN	105	138
BRIDGTON	334	457
BRUNSWICK	2,560	2,283
CAPE ELIZABETH	1,425	868
CASCO	170	294
CUMBERLAND	933	638
FALMOUTH	1,714	1,309
FREEPORT	1,263	1,099
GORHAM	1,127	911
GRAY	535	472
HARRISON	155	221
HARPSWELL	571	624
NAPLES	231	267
NEW GLOUCESTER	299	326
NORTH YARMOUTH	322	273
PORTLAND	6,601	4,604
POWNAL	146	161
RAYMOND	270	324
SCARBOROUGH	1,682	1,267
SEBAGO	87	190
SOUTH PORTLAND	4,468	3,220
STANDISH	597	566
WESTBROOK	2,492	2,058
WINDHAM	1,026	1,042
YARMOUTH	1,463	1,144
TOTAL	<u>30,576</u>	<u>24,756</u>

CUMBERLAND COUNTY COMMISSIONERS

*Richard D. Hewes*  
Richard D. Hewes, Chairman

*Joseph R. Mazziotti*  
Joseph R. Mazziotti

*Gary E. Plummer*  
Gary E. Plummer

ATTEST:

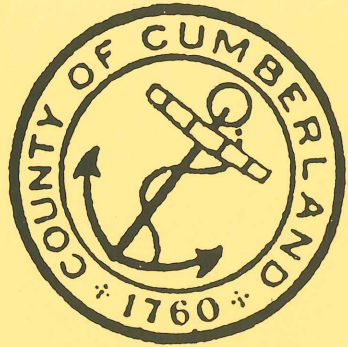
*Elvira S. Ridlon*

Elvira S. Ridlon  
Cumberland County Clerk



Attachment 10

COUNTY OF CUMBERLAND



OFFICIAL  
SPECIMEN BALLOT

FOR

NOVEMBER 7, 1989  
SPECIAL ELECTION

INSTRUCTIONS TO VOTERS

TO VOTE, COMPLETE THE ARROW(S) ←    ← POINTING TO YOUR CHOICE(S), LIKE THIS: ←

Bond Issue

BOND ISSUE

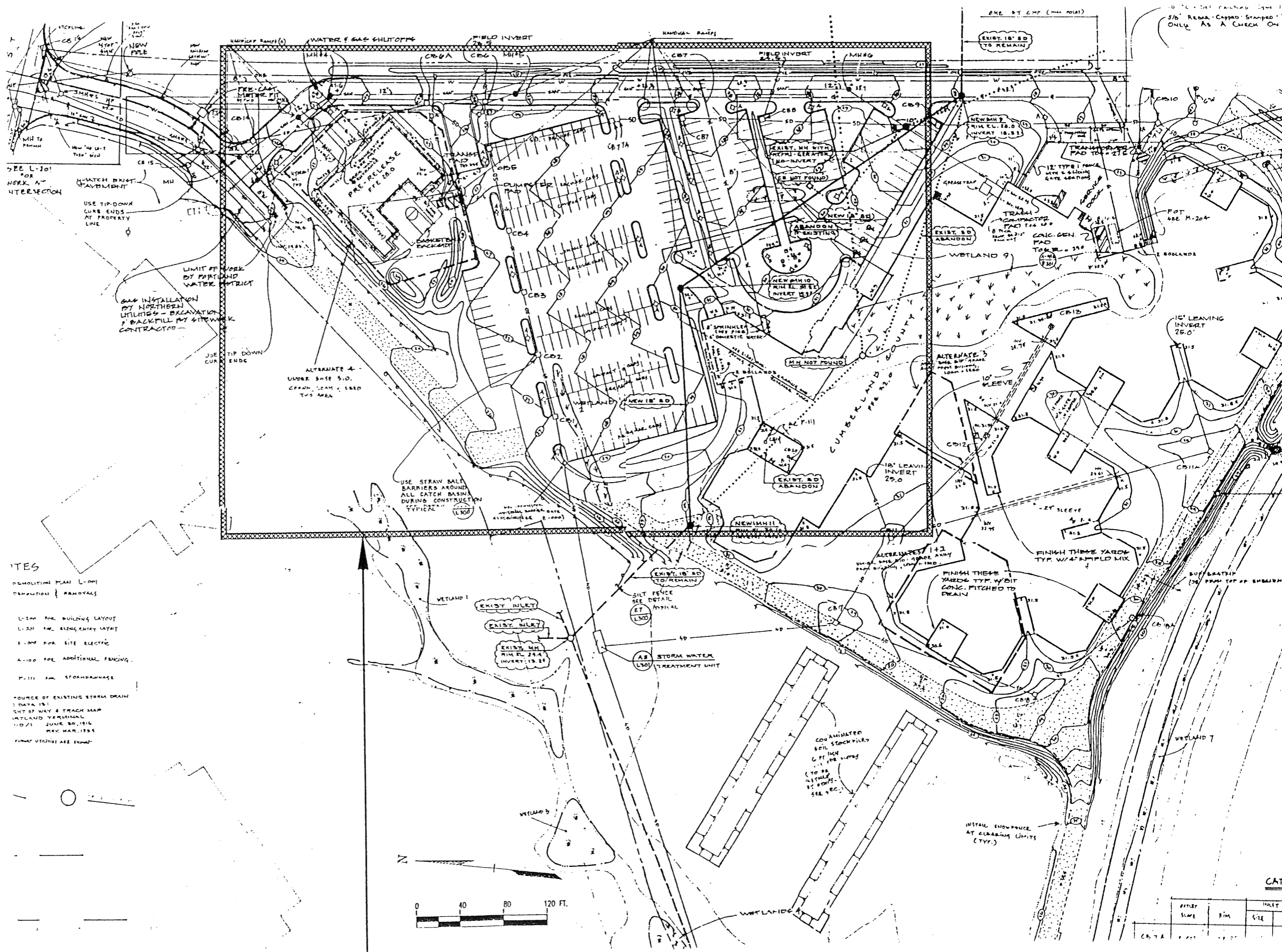
“Shall the issuance of bonds be authorized in an amount not to exceed \$25,000,000 for construction of a new jail facility for Cumberland County?”

The total estimated debt service for this issue is \$45,687,807 of which \$25,000,000 is principal and estimated \$20,687,807 is interest at an average rate of 7.532% over 20 years.

YES  
N

Cumberland County's current total bond indebtedness is \$7,520,000.

YOU HAVE NOW COMPLETED VOTING.

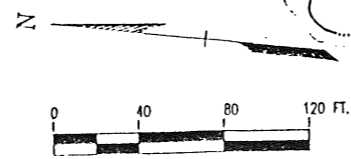


**NOTES**

DEMOLITION PLAN L-301  
 DEMOLITION & REMOVALS

L-301 FOR BUILDING LAYOUT  
 L-302 FOR ALTERNATE LAYOUT  
 E-300 FOR SITE ELECTRIC  
 A-100 FOR ADDITIONAL FENCING  
 P-111 FOR STORMDRAINAGE

SOURCE OF EXISTING STORM DRAIN DATA IS:  
 SET OF WAY & TRACK MAP  
 WETLAND TERMINAL  
 11/27/71 JUNE 30, 1974  
 REV. MAR. 1975  
 FUTURE UTILITIES ARE SHOWN



ITEM	DATE	BY





FRONT ELEVATION



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
39 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207/772-3846 Fax 207/772-1070

June 29, 1993

Ms. Sarah Hopkins  
Planning Department  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

Re: Cumberland County Law Enforcement Center

Dear Sarah:

SMRT is pleased to submit, on behalf of the Cumberland County Commissioners, plans for the proposed Law Enforcement Center (LEC) to be located adjacent to the new Cumberland County Jail off Ogsdenburg Street.

This proposed facility will replace the overcrowded and outdated Sheriff's Department now located on Federal Street. The building will architecturally complement the Jail and Pre-Release Center, both currently under construction. The two-story, masonry clad building is sited with its main entrance facing the public entrance of the jail. The siting of the three buildings in this configuration will create a campus atmosphere, bringing people and activity to the area.

Enclosed please find seven copies of the site plan, with the supporting plans from the original application for the Cumberland County Jail. Also enclosed please find the supporting documentation as required by the Land Use Code as well as the submittal fee. I believe you will find the application in order.

Sarah, should you have any questions or need additional information, please don't hesitate to contact me. We look forward to presenting this plan to the Board at its July meeting. Thank you for your attention to this matter.

Sincerely yours,  
STEVENS MORTON ROSE & THOMPSON, INC.

Arthur P. Thompson, AIA  
Principal

*Updated Traffic Study  
- amend DEP  
turn DEP  
not vs.*

Jail wkshp 7/27

⌘  
why now, not at original jail?  
low bids, no extras.

floor plans

158 FTE Jail

30 FTE LEC

19 Admin.

8 people - same shift as.

height of building -

Sq. ft. of current jail. - ~~42 ft~~

36 ft -

Elevations all sides

Floor plans.

County Commissioner present at public hearing.

Pedestrian Circulation -



## KEY FACT SHEET

### Cumberland County Commissioners Law Enforcement Center Cumberland County Jail Campus

July 27, 1993

Zone:	I-2
Campus Parcel Area:	15.8 acres
Proposed Building:	Two story brick clad structure on 5,600 sf footprint
Parking Provided:	189 spaces including 7 Handicapped spaces
Roads:	
Ogdensburg:	24 feet wide
Access Roads:	Two way, 24 feet wide One way, 20 feet wide

#### Landscaping:

The landscaping for the project utilizes the same landscaping design features from the jail with the following exceptions:

1. 16 new burning bushes.
2. 3 additional Japanese dogwoods.
3. One less pin oak.
4. No change in the number of mountain ashes.

#### Lighting:

The proposed lighting utilizes the existing light fixtures and poles (locations adjusted slightly to match proposed walks and parking), with the addition of 5 wall-mounted units on the backside of the building and 7 bollard lights in the front of the building.

#### Solid Waste:

Limited demolition debris will be generated. During construction, normal debris will be disposed of at the City's Riverside Landfill facility. Once operational, it is expected that the proposed Law Enforcement Center (30 employees) will generate approximately 15 pounds of trash each day, for disposal at the RWS, as it is presently. It is expected that the majority of this refuse (70%) will be recyclable office paper.

#### Drainage:

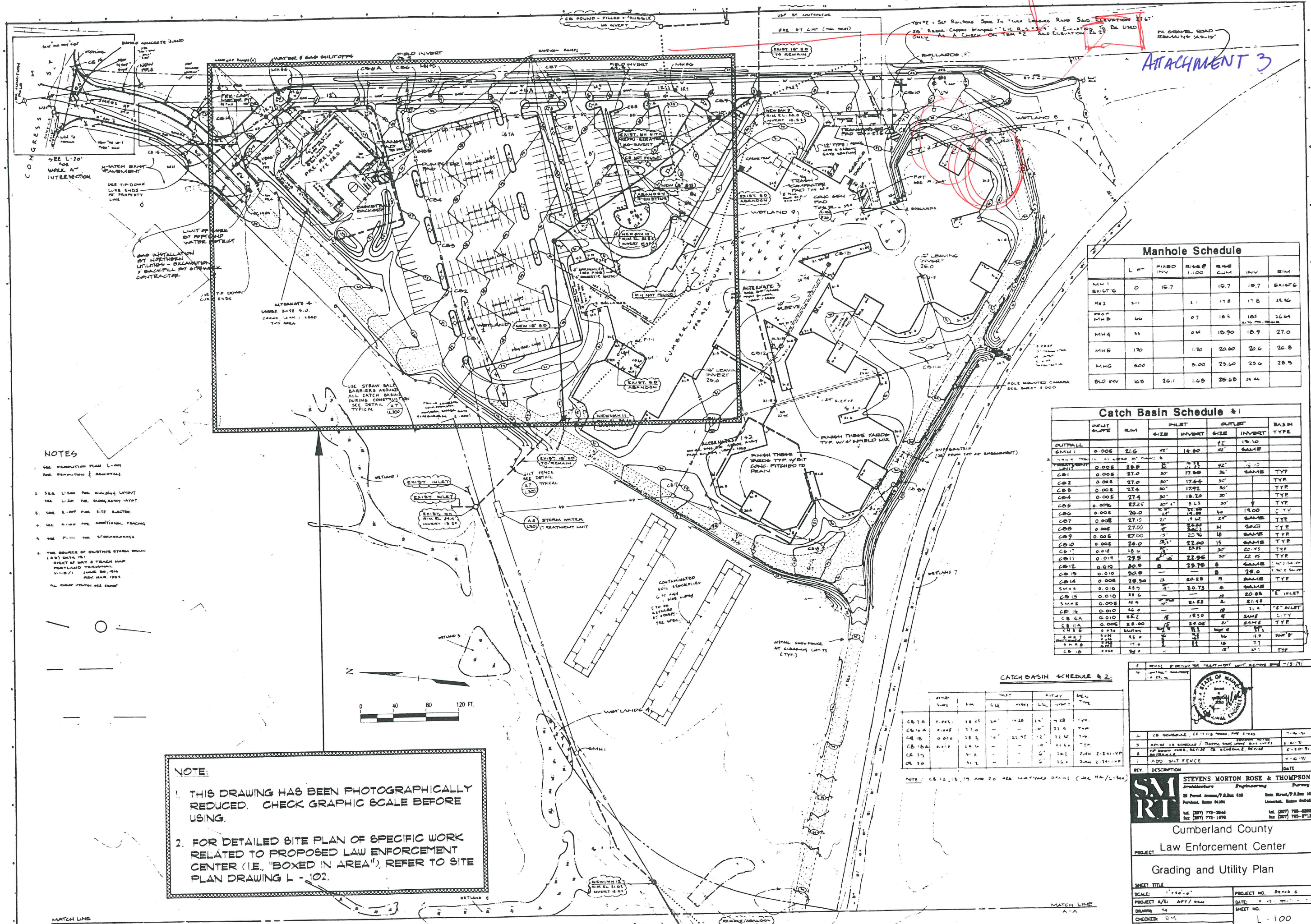
The proposed facility has a 15% increase in pervious cover resulting in a 1 cfs decrease in the stormwater runoff.

#### Utilities:

Tie into existing gas, water, and sanitary sewer.



ATTACHMENT 3



**Manhole Schedule**

	L-#	FINISH INV.	BASE @ 1:100	BASE CUM.	INV.	RIM
MH 1	0	15.7		15.7	15.7	5X10.6
EXIST'G						
MH 2	111		1.1	17.8	17.8	18.6
PROP						
MH 3	66		0.7	18.5	18.5	19.4
MH 4	11		0.4	18.90	18.9	27.0
MH 5	170		1.70	20.60	20.6	26.8
MH 6	300		3.00	23.60	23.6	28.5
OLD INV.	60	26.1	1.60	28.60	28.4	

**Catch Basin Schedule #1**

OUTLET	SLOPE	RIM	INLET		OUTLET		BASIN TYPE
			SIZE	INVERT	SIZE	INVERT	
OUTFALL							
CBM 1	0.008	21.6	42"	14.80	42"	15.10	
CBM 2	0.008	21.6	36"	17.15	42"	16.10	
CB 1	0.008	27.0	30"	17.90	36"	SAME	TYR
CB 2	0.008	27.0	30"	17.64	30"		TYR
CB 3	0.008	27.4	30"	17.92	30"		TYR
CB 4	0.008	27.4	30"	18.20	30"		TYR
CB 5	0.008	27.25	30"	18.3	30"		TYR
CB 6	0.008	26.0	30"	18.00	30"	19.00	CITY
CB 7	0.008	27.10	24"	18.4	24"	SAME	TYR
CB 8	0.008	27.00	30"	18.20	34"	SAME	TYR
CB 9	0.008	27.00	30"	20.40	18"	SAME	TYR
CB 10	0.008	26.0	30"	22.00	15"	SAME	TYR
CB 11	0.018	18.0	30"	22.8	30"	20.45	TYR
CB 12	0.018	22.5	30"	22.95	30"	22.75	TYR
CB 13	0.010	20.8	30"	22.75	30"	SAME	TYR
CB 14	0.010	20.8	30"	22.75	30"	SAME	TYR
SM 4	0.010	26.30	15"	20.88	15"	SAME	TYR
SM 5	0.010	26.7	15"	20.78	15"	SAME	TYR
SM 6	0.010	26.6	15"	20.88	15"	SAME	TYR
SM 7	0.010	26.4	15"	20.88	15"	SAME	TYR
SM 8	0.010	26.2	15"	20.88	15"	SAME	TYR
SM 9	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 10	0.010	26.2	15"	20.88	15"	SAME	TYR
SM 11	0.010	26.00	15"	20.88	15"	SAME	TYR
SM 12	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 13	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 14	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 15	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 16	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 17	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 18	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 19	0.010	26.0	15"	20.88	15"	SAME	TYR
SM 20	0.010	26.0	15"	20.88	15"	SAME	TYR

**CATCH BASIN SCHEDULE #2**

INLET	SLOPE	RIM	SIZE	INVERT	SIZE	INVERT	BASIN TYPE
CB 7A	0.008	18.25	30"	14.28	24"	14.28	TYR
CB 10A	0.008	27.0	30"	18.0	30"	21.9	TYR
CB 15	0.010	18.5	30"	22.45	24"	21.4	TYR
CB 16A	0.010	19.0	30"	22.0	30"	21.0	TYR
CB 17	0.010	21.2	30"	20.0	30"	20.0	TYR
CB 18	0.010	21.2	30"	20.0	30"	20.0	TYR

- NOTES**
- SEE PLAN L-001 FOR DIMENSIONS OF BUILDINGS
  - SEE L-100 FOR BUILDING LAYOUT
  - SEE L-101 FOR BUILDING LAYOUT
  - SEE L-102 FOR SITE ELECTRIC
  - SEE A-100 FOR ADDITIONAL FINISHING
  - SEE P-111 FOR STORM DRAINAGE
  - THE SOURCE OF EXISTING STORM DRAIN (SD) DATA IS: RIGHT OF WAY & TRUCK MAP PORTLAND TERMINAL, V.I.D./1 JUNE 30, 1916 PER MAR. 1904 ALL EXIST'G VERTICES ARE SHOWN

**NOTE:**

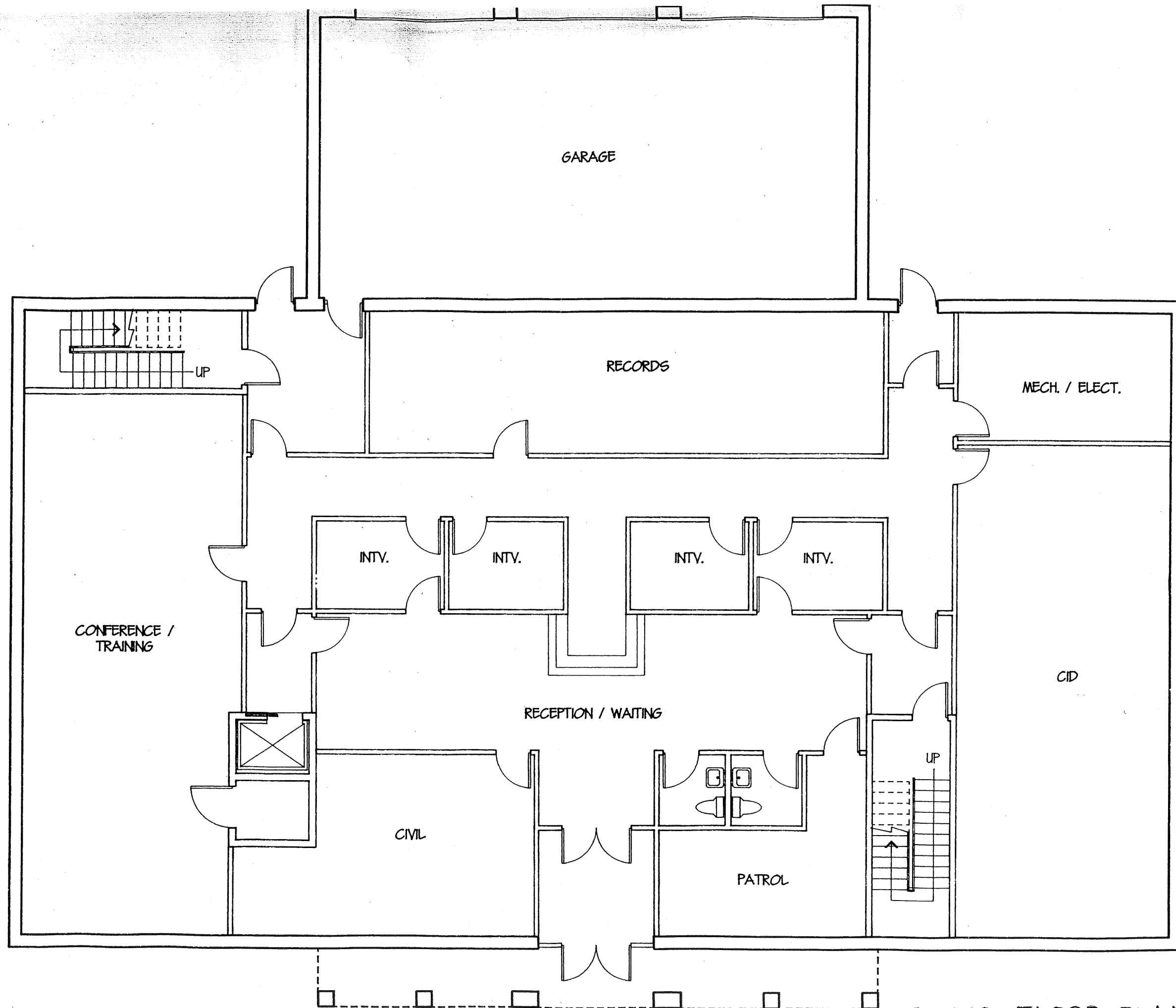
- THIS DRAWING HAS BEEN PHOTOGRAPHICALLY REDUCED. CHECK GRAPHIC SCALE BEFORE USING.
- FOR DETAILED SITE PLAN OF SPECIFIC WORK RELATED TO PROPOSED LAW ENFORCEMENT CENTER (I.E. "BOXED IN AREA"), REFER TO SITE PLAN DRAWING L-102.

STATE OF MAINE  
 PROFESSIONAL ENGINEER  
 STEVENS MORTON ROSE & THOMPSON  
 30 Forest Street, Portland, ME 04101  
 Telephone: (207) 772-2844  
 Fax: (207) 772-1978

Cumberland County  
 Law Enforcement Center  
 Grading and Utility Plan

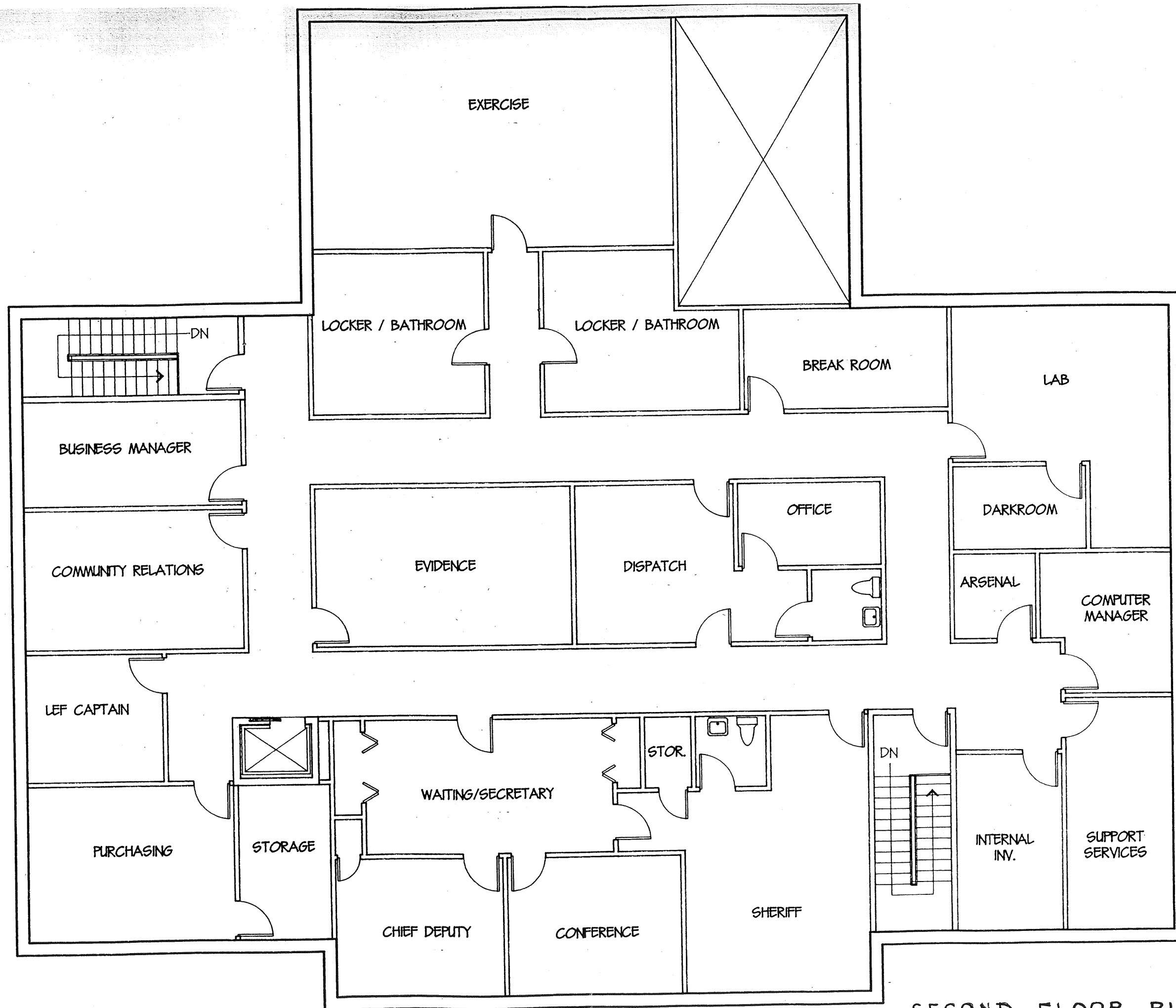
PROJECT NO. 04-006-6  
 SHEET NO. L-100





GROUND FLOOR PLAN





SECOND FLOOR PLAN

C. C. Jail / Part 89006.14

CURRENT LOCUS DEED

2K9382FG0061

054412

**RELEASE DEED**

✓ PORTLAND TERMINAL COMPANY, a corporation duly organized and existing under the laws of the State of Maine, with offices at Iron Horse Park, North Billerica, Middlesex County, Massachusetts (the "Grantor") in consideration of One Million Two Hundred Thousand (\$1,200,000.00) Dollars paid to it by the INHABITANTS OF THE COUNTY OF CUMBERLAND, STATE OF MAINE, a body corporate and politic having a mailing address of 142 Federal Street, Portland, Maine 04101 (the "Grantee") hereby grants to the Grantee all the Grantor's right, title and interest, without any warranties or covenants of title whatsoever, in a certain parcel of land, and the buildings, bridges, structures, crossings, fixtures and improvements thereon, if any, situated in Portland, Cumberland County, Maine (the "Premises") described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY THIS REFERENCE.

This conveyance is made subject to the following reservations, conditions, covenants and agreements:

- 2 →  
MSB
1. This conveyance is made without granting any right of way, either by necessity or otherwise over any remaining land or location of the Grantor.
  2. The Grantor excepts from this conveyance any and all railroad tracks, railroad track materials (including, but not limited to, ties, connections, switches and ballast), and/or related equipment of any description located in whole or in part within the Premises (the "Trackage") and this conveyance is subject to the right of the Grantor to enter the Premises from time to time and at any and all times within the ninety (90) day period commencing with and subsequent to the date of delivery of this deed, with such men, equipment and materials as, in the sole and reasonable opinion of the Principal Engineering Officer of the Grantor, are necessary for the removal of such Trackage. Days during the months of December, January, February and March shall not be included in the aforesaid ninety (90) day period. If the Trackage is not removed from the Premises by the expiration of said ninety (90) day period, the Trackage shall be deemed abandoned by the Grantor and shall then become the property of the Grantee.

3. By the acceptance of this deed and as part consideration therefor, the Grantee hereby assumes any and all agreements, covenants, obligations and liabilities of the Grantor in respect to any underground facilities, drainage culverts, walls, crossings and/or other structures of any nature and description located in whole or in part within the Premises.
4. By the acceptance of this deed and as part consideration therefor, the Grantee agrees to release and hold harmless the Grantor (including its officers, employees, agents, directors, shareholders and affiliates) from and against any and all loss, liability, damage, cost and expense (including reasonable attorneys' fees) occasioned by or associated with any claims, suits and/or enforcement actions (including any administrative or judicial proceedings and any remedial, removal or response actions) ever asserted, threatened, instituted or requested by any person and/or governmental agency on account of: (a) any release of oil or hazardous materials or substances of any description on, upon or into the Premises in contravention of any ordinance, law or statute (including, but not limited to, the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (42 U.S.C. Section 9601, et seq., as amended); and (b) any and all damage to real or personal property, natural resources and/or harm or injury to persons alleged to have resulted from such release of oil or hazardous materials or substances.
5. By the acceptance of this deed and as part consideration therefor, the Grantee hereby agrees to build and forever maintain fences (together with any necessary gates), suitable to the Principal Engineering Officer of the Grantor, along the boundaries of the Premises which are common to remaining land or location of the Grantor (the "Fences"), if Fences are ever required in the reasonable opinion of said Principal Engineering Officer in order to prevent encroachments or unauthorized entry upon adjoining land of the Grantor. If the Grantee fails to install, maintain, repair or replace the Fences within sixty (60) days after having been requested or ordered to do so by the said Principal Engineering Officer of the Grantor, then the Grantor shall have the right to so install,



maintain, repair or replace the Fences. The Grantee further covenants and agrees that, upon the rendering of a bill for the expense of such installation, maintenance, repair or replacement of the Fences, the Grantee shall pay said bill in full within thirty (30) days from the date of receiving it. The Grantee further covenants and agrees that if said bill is not paid within thirty (30) days, it shall become subject to a finance charge computed at a periodic rate of 1.5% per month applied to the previous balance after deducting any current payment. If said finance charge is not lawful, then the finance charge shall then be the highest lawful amount which does not exceed said 1.5% per month charge. If the Grantee, for any reason whatsoever, fails to pay said bill (and finance charges, if applicable) the Grantee shall pay all Grantor's costs of collection, including reasonable attorneys' fees and expenses.

6. This conveyance is subject to the following restrictions for the benefit of other land or location of the Grantor, to wit: that from the date of this deed, the Grantor shall not be liable to the Grantee or any lessee or user of the Premises (or any part thereof) for any damage to any buildings or property upon them caused by fire, whether communicated directly or indirectly by or from locomotive engines of any description upon the railroad operated by the Grantor, or otherwise.
7. By the acceptance of this deed and as part consideration therefor, the Grantee hereby agrees to make no use of the Premises which, in the reasonable opinion of the Principal Engineering Officer of the Grantor, unreasonably and adversely affects, increases or decreases drainage to, from, upon or in any remaining land or location of the Grantor. The Grantee agrees to indemnify and save the Grantor harmless from and against any and all loss, cost, damage or expense including, but not limited to, the cost of defending all claims and/or suits for property damage, personal injury or death arising out of or in any way attributable to any breach of the foregoing covenants.
8. The Grantor excepts from this conveyance any and all overhead, surface or underground signal and communication line facilities of the Grantor located

within the limits of the Premises and this conveyance is subject to the Grantor's use of any such facilities in their present locations and entry upon the Premises from time to time to maintain, repair, replace, renew, relay or remove such facilities.

9. Whenever used in this deed, the term "Grantor" shall not only refer to the PORTLAND TERMINAL COMPANY, but also its successors, assigns and affiliates and the term "Grantee" shall not only refer to the above-named Grantee, but also the Grantee's successors, assigns and grantees, as the case may be.
10. The several exceptions, reservations, conditions, covenants and agreements contained in this deed shall be deemed to run with the land and be binding upon the Grantee forever. In addition to the acceptance and recording of this deed, the Grantee hereby signifies assent to the said several exceptions, reservations, conditions, covenants and agreements, by joining in its execution.

IN WITNESS WHEREOF, the said PORTLAND TERMINAL COMPANY has caused this release deed to be executed in its name and its corporate seal to be hereto affixed by David A. Fink, its President, thereunto duly authorized this 9 day of November, 1990.

PORTLAND TERMINAL COMPANY

[Signature]  
Witness  
John Bryan Connell

By: [Signature]  
David A. Fink, President

SEAL

GRANTEE:  
INHABITANTS OF THE COUNTY OF  
CUMBERLAND, STATE OF MAINE

[Signature]  
Witness

By: [Signature]

[Signature]  
Witness

By: [Signature]

Witness

By: \_\_\_\_\_

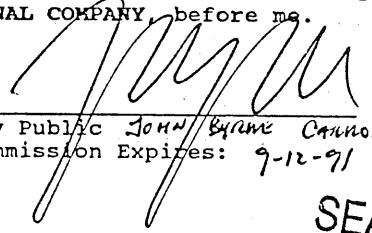


COMMONWEALTH OF MASSACHUSETTS

Middlesex, ss.

November 9, 1990

Then personally appeared the above-named David A. Fink, the President of the PORTLAND TERMINAL COMPANY and acknowledged the foregoing release deed to be his free act and deed and the free act and deed of said PORTLAND TERMINAL COMPANY, before me.



Notary Public John Byrnes Cannoll  
My Commission Expires: 9-12-91

SEAL

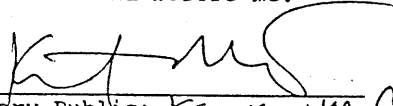
STATE OF MAINE

Cumberland, ss.

November 9, 1990

Then personally appeared Commissioners Richard  
NEWES + JOSEPH MAZZIOTTI

and acknowledged the foregoing release deed to be his/hers/their free act and deed, and the free and and deed of said INHABITANTS OF THE COUNTY OF CUMBERLAND, STATE OF MAINE before me.



Notary Public: KENNETH M. COLE<sup>TH</sup>  
My Commission Expires: \_\_\_\_\_

AK9382FG 067

EXHIBIT A

1st  
pass

A certain lot or parcel of land with any buildings thereon situated southerly of Congress Street, easterly of the Fore River and westerly of Saint John Street in the City of Portland, County of Cumberland and State of Maine, and being more particularly bounded and described as follows:

Beginning at a 5/8" rebar with cap stamped "ECJ RLS 509" located at the intersection of the southerly sideline of said Congress Street, with the westerly sideline of the Maine Central Railroad right-of-way as it crosses said Congress Street, being the northerly corner of the parcel herein described;

Thence along said Maine Central Railroad (MCRR) right-of-way following a curve to the left having a radius of 2474.92 feet, an arc distance of two hundred fifteen and sixty-nine hundredths (215.69) feet to a rebar;

Thence S 07°-08'-85" E along said MCRR right-of-way eight hundred twenty-five and eighty-four hundredths (825.84) feet to a rebar;

Thence continuing along said MCRR right-of-way following a curve to the left having a radius of 5776.94 feet, an arc distance of three hundred eighty-seven and ninety-seven hundredths (387.97) feet to a rebar;

Thence S 11°-04'-30" E along said MCRR right-of-way one hundred thirty-two and sixty-seven hundredths (132.67) feet to a rebar located at the intersection of the westerly sideline of said MCRR right-of-way with the easterly sideline of the Portland Terminal Company (PTC) rail right-of-way; provided, however that the Grantor and Grantee expressly agree that notwithstanding the line described by the preceding five paragraphs, the boundary between said parcel and said MCRR right-of-way shall be a line parallel to and thirty-three (33) feet westerly of the center line of the most western main line track in said MCRR right-of-way; except that this exception shall not apply to Parcel 2 described hereafter;

Thence along said PTC rail right-of-way, being 66 feet wide, 33 feet from the center line of the existing railroad tracks, following a curve to the left having a radius of 988.37 feet an arc distance of nine hundred forty-four and seventy-five hundredths (944.75) feet to a rebar;

Thence N 85°-15'-30" W along said PTC rail right-of-way, three hundred forty-seven and ninety-eight hundredths (347.98) feet to a set 5/8" rebar with aluminum cap stamped "SMRT RLS 1314" (set rebar 1314), said rebar being on the easterly sideline of the proposed Ogdensburg Street;

Thence N 04°-24'-55" E along said Ogdensburg Street eighty-three and ninety-two hundredths (83.92) feet to a rebar;

Thence along said Ogdensburg Street following a curve to the right having a radius of 375.00 feet an arc distance of four hundred nine and forty-seven hundredths (409.47) feet to a set rebar;

Thence N 66°-58'-35" E along said Ogdensburg Street three hundred thirty-four and ninety-five hundredths (334.95) feet to a set rebar;

Thence along said Ogdensburg Street following a curve to the left having a radius of 325.00 feet an arc distance of one hundred sixty and sixty-four hundredths (160.64) feet to a set rebar;

Thence N 38°-39'-25" E along said Ogdensburg Street two hundred fifty-nine and thirty-two hundredths (259.32) feet to a set rebar;

Thence N 47°-25'-55" E along said Ogdensburg Street thirty-two and seventy-seven hundredths (32.77) feet to a set rebar;

Thence along said Ogdensburg Street following a curve to the left having a radius of 205.00 feet, an arc distance of one hundred nineteen and seventy-six hundredths (119.76) feet to a set rebar;

Thence N 05°-11'-10" E along said Ogdensburg Street sixty-two and thirty-eight hundredths (62.38) feet to a set rebar;

Thence N 34°-16'-00" E along said Ogdensburg Street fourteen and eighty-eight hundredths (14.88) feet to rebar 509 being the point of beginning.

Said parcel containing 15.0 acres more or less.

*see  
2nd*

} ALSO another certain lot or parcel of land situated in said City of Portland, County of Cumberland and State of Maine located southerly of said Congress Street and being more particularly described as follows:



BK 9382 PG 069

Beginning at a 5/8" rebar with cap stamped "ECJ RLS 509" located at the intersection of the southerly sideline of said Congress Street, with the westerly sideline of the Maine Central Railroad right-of-way as it crosses said Congress, said point also being the northeasterly corner of the proposed Ogdensburg Street and the northerly corner of the first parcel described above;

Thence S 34°-16'-00" W along said first parcel fourteen and eight-eighth hundredths (14.88) feet to a 5/8" set rebar stamped "SMRT RLS 1314";

Thence S 05°-11'-10" W along said first parcel sixty-two and thirty-eight hundredths (62.38) feet to a set rebar;

Thence along said first parcel following a curve to the right having a radius of 205.00 feet an arc distance of one hundred nineteen and seventy-six (119.76) feet to a set rebar;

Thence S 47°-25'-55" W along said first parcel thirty-two and seventy-seven hundredths (32.77) feet to a set rebar;

Thence S 38°-39'-25" W along said first parcel two hundred fifty-nine and thirty-two hundredths (259.32) feet to a set rebar;

Thence along said first parcel following a curve to the right having a radius of 325 feet, an arc distance of one hundred sixty and sixty-four hundredths (160.64) feet to a set rebar;

Thence N 23°-01'-25" W across Ogdensburg Street fifty and no hundredths (50.00) feet to a set rebar;

Thence along other land of the PTC following a curve to the left having a radius of 275.00 feet an arc distance of one hundred thirty-five and ninety-two hundredths (135.92) feet to a set rebar;

Thence N 38°-39'-25" E along other land of the PTC two hundred fifty-nine and thirty-two hundredths (259.32) feet to a set rebar;

Thence N 29°-52'-55" E along other land of the PTC thirty-two and seventy-seven hundredths (32.77) feet to a set rebar;

Thence along other land of PTC following a curve to the left having a radius of 145.00 feet an arc distance of eighty-four and seventy-one hundredths (84.71) feet to a set rebar;

Thence N 5°-11'-10" E along other land of PTC sixty-two and thirty-eight hundredths (62.38) feet to a set rebar;

Thence N 23°-51'-15" W along other land of PTC fourteen and eight-six hundredths (14.86) feet to a rebar on the southerly sideline of Congress Street, also being the northeasterly corner of lands now or formerly of Hutchins recorded in the Cumberland County Registry of Deeds in Book 2982, Page 407;

Thence N 84°-48'-50" E along said Congress Street seventy-four and forty-five hundredths (74.45) feet to rebar 509, being the point of beginning.

Meaning and intending to describe a strip of land tapering from seventy-four and forty-five hundredths (74.45) feet wide to fifty (50.00) feet wide to be known as Ogdensburg Street.

Excepting herefrom and reserving to the Grantor, Portland Terminal Co., its successors and assigns, a right-of-way in common with the said Grantee, its successors and assigns, over the above described premises for access and egress to other land of said Portland Terminal Co. as if the above premises were an accepted City Street, including the right to install utilities over, in, under or through said premises but with the condition to restore said street thereafter, except to the extent that a portion of said premises may be still a City Street known as Ogdensburg Street.

300 } A right-of-way in common with others for vehicular access and egress and surface and storm water drainage over a certain lot or parcel of land situated southerly of Congress Street in the City of Portland, County of Cumberland and State of Maine and being more particularly described as follows:

Beginning at the most southeasterly corner of the second parcel described above at a set 5/8" rebar with aluminum cap stamped "SMRT RLS 1314" (set rebar 1314) on the northwesterly sideline of the first parcel described above;

Thence S 66°-58'-35" W along said first parcel three hundred thirty-four and ninety-five hundredths (334.95) feet to a set rebar;

Thence along said first parcel following a curve to the left having a radius of 375.00 feet an arc distance of four hundred nine and forty-seven hundredths (409.47) feet to a set rebar;

8K9382PG:071

Thence S 04°-24'-55" W along said first parcel eighty-three and ninety-two hundredths (83.92) feet to a set rebar, said rebar being at the northerly line of the Portland Terminal Co. (PTC) rail right-of-way also being the westerly corner of said first parcel;

Thence N 85°-15'-30" W along said PTC rail right-of-way fifty and no hundredths (50.00) feet to a set rebar, said rebar being on the westerly sideline of proposed Ogdensburg Street;

Thence N 85°-15'-30" W along said PTC rail right-of-way forty-one and eighty-two hundredths (41.82) feet to a 5/8" rebar with cap stamped "ECJ RLS 509";

Thence along said PTC rail right-of-way following a curve to the right having a radius of 922.37 feet an arc distance of four hundred ninety-four and ninety-seven hundredths (494.97) feet to a rebar;

Thence N 54°-28'-55" W along said PTC rail right-of-way thirty-four and ninety hundredths (34.90) feet to a rebar, said rebar being on the easterly line of lands now or formerly of the Maine Department of Transportation;

Thence along said Maine Department of Transportation land following a curve to the left having a radius of 375.00 feet an arc distance of sixty-three and sixty-two hundredths (63.62) feet to a set rebar;

Thence northerly of and fifty (50) feet distant from said PTC rail right-of-way following a curve to the left having a radius of 872.37 feet an arc distance of four hundred sixty-three and eighty-three hundredths (463.83) feet to a set rebar;

Thence S 85°-15'-30" E forty-one and fifty-four hundredths (41.54) feet to the westerly sideline of proposed Ogdensburg Street;

Thence N 04°-24'-55" E along said Ogdensburg Street thirty-three and sixty-four hundredths (33.64) feet to a set rebar;

Thence along other land of PTC following a curve to the right having a radius of 425 feet an arc distance of four hundred sixty-four and seven hundredths (464.07) feet to a set rebar;

Thence N 66°-38'-35" E along other land of PTC three hundred thirty-four and ninety-five hundredths (334.95) feet to a set rebar;



Thence S 23°-01'-25" E across said Ogdensburg Street fifty and no hundredths (50.00) feet to rebar 1314 being the point of beginning.

→ Meaning and intending to convey and hereby conveying a right-of-way over an extension of Ogdensburg Street and an easement running northwesterly thereof to provide access from the terminus of said Ogdensburg Street right-of-way as extended to land of the State of Maine, Maine Department of Transportation at the most southwesterly end of Frederick Street in said City of Portland, County of Cumberland and State of Maine, said right-of-way to be used for vehicular access and egress to parcels 1 and 2 described above, and parcel 4 hereafter, including the right to construct and maintain, including winter plowing as necessary, a graveled road over, under and through said right-of-way, and to construct and maintain a surface and storm water drainage system over, under and through said right-of-way, including specifically a drainage easement therein.

ESMT  
4th

→ ALSO a non-exclusive easement for surface and storm water drainage and detention over a certain lot or parcel of land situated westerly of said proposed Ogdensburg Street, in the City of Portland, County of Cumberland and State of Maine being more particularly described as follows:

Beginning at a point on the westerly sideline of proposed Ogdensburg Street on a curve having a tie measurement along a chord of S 10°-54'-04" W, ninety-six and two hundredths (96.02) feet, and another chord of S 04°-24'-55" W, eighty-three and sixty-four hundredths (83.64) feet from a set 5/8" rebar with aluminum cap stamped "SMRT RLS 1314" located on the northerly line of the Portland Terminal Company (PTC) rail right-of-way at the southwesterly terminus of proposed Ogdensburg Street;

Thence from said point of beginning S 48°-21'-44" W through other land of the PTC seventy-three and seventy hundredths (73.70) feet to a point;

Thence S 14°-01'-25" E through other land of PTC seventy-nine and ninety-nine hundredths (79.99) feet to a point, said point being on the northerly right-of-way line of the third parcel described above;

Thence N 85°-15'-30" W along said third parcel twenty-six and fifty-four hundredths (26.54) feet to a set rebar;

DK9382PG1073

Thence along said third parcel following a curve to the left having a radius of 872.37 feet an arc distance of ninety-five (95) feet, to a point;

Thence N 44°-20'-01" W through other land of PTC three hundred eight and thirteen hundredths (308.13) feet to a point, said point being on the easterly line of the lands now or formerly of the Maine Department of Transportation;

Thence along said lands of Maine Department of Transportation following a curve to the left having a radius of 375.00 feet an arc distance of seventy (70.00) feet to a point;

Thence S 53°-05'-10" E through other land of PTC three hundred thirteen and fourteen hundredths (313.14) feet to a point;

Thence N 48°-21'-44" E through other land of PTC one hundred thirty-four and nine hundredths (134.09) feet to a point, said point is on the westerly sideline of proposed Ogdensburg Street;

Thence along said Ogdensburg Street following a curve to the left having a radius of 425.00 feet an arc distance of sixty-seven and forty-eight hundredths (67.48) feet to the point of beginning.

Meaning and intending to describe in all the previously herein described parcels a portion of the premises conveyed to Portland Terminal Company by deeds dated July 1, 1911 and recorded in the Cumberland County Registry of Deeds, Book 881, Page 299 and Page 318, and as shown on the Recording Plat of the Cumberland County Jail for the Cumberland County Commissioners by Stevens Morton Rose & Thompson dated November 08, 1990 intended to be recorded. No monuments have been set as a result of this survey.

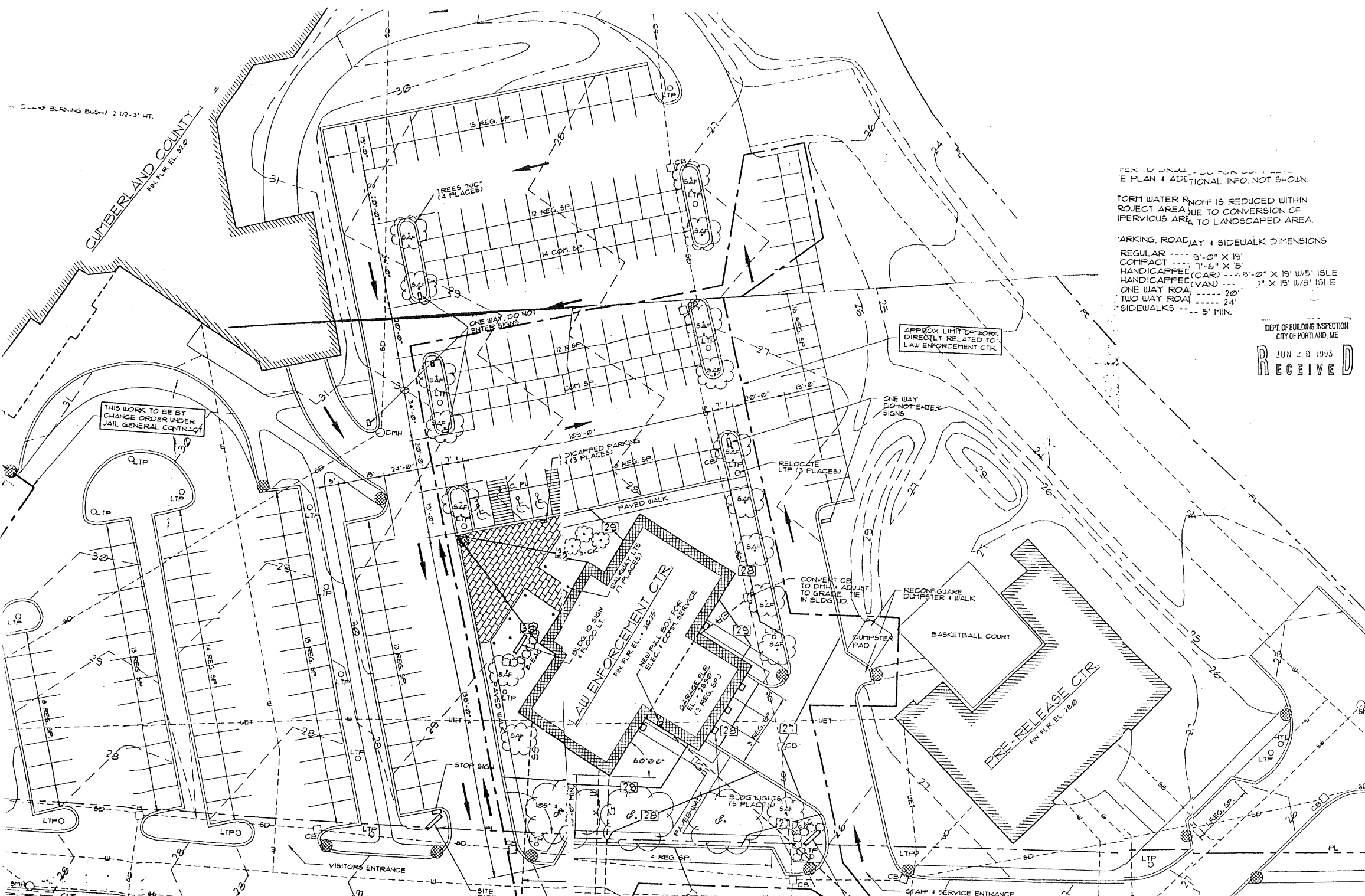
The basis of bearing is true north as shown on the above stated plan.

RECEIVED  
REGISTRY OF DEEDS

1990 NOV 13 AM 8:30

CUMBERLAND COUNTY





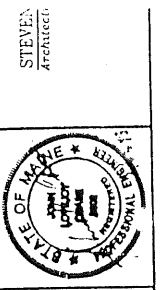
CUMBERLAND COUNTY  
FIN. FL. EL. - 32.0

FOR TO SCALE. SEE PLAN FOR DIMENSIONS.  
SEE PLAN FOR ADDITIONAL INFO. NOT SHOWN.  
TORM WATER RUNOFF IS REDUCED WITHIN  
PROJECT AREA DUE TO CONVERSION OF  
PAVED AREA TO LANDSCAPED AREA.

PARKING, ROADWAY & SIDEWALK DIMENSIONS  
REGULAR ..... 9'-0" X 19'  
COMPACT ..... 7'-6" X 15'  
HANDICAPPED (CAR) ..... 8'-0" X 19' W/5' ISLE  
HANDICAPPED (VAN) ..... 9" X 19' W/8' ISLE  
ONE WAY ROAD ..... 20'  
TWO WAY ROAD ..... 24'  
SIDEWALKS ..... 5' MIN.

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

JUN 23 1993  
RECEIVED



Project Name:  
**LAW ENFORCEMENT CENTER  
AT CUMBERLAND COUNTY JAIL**

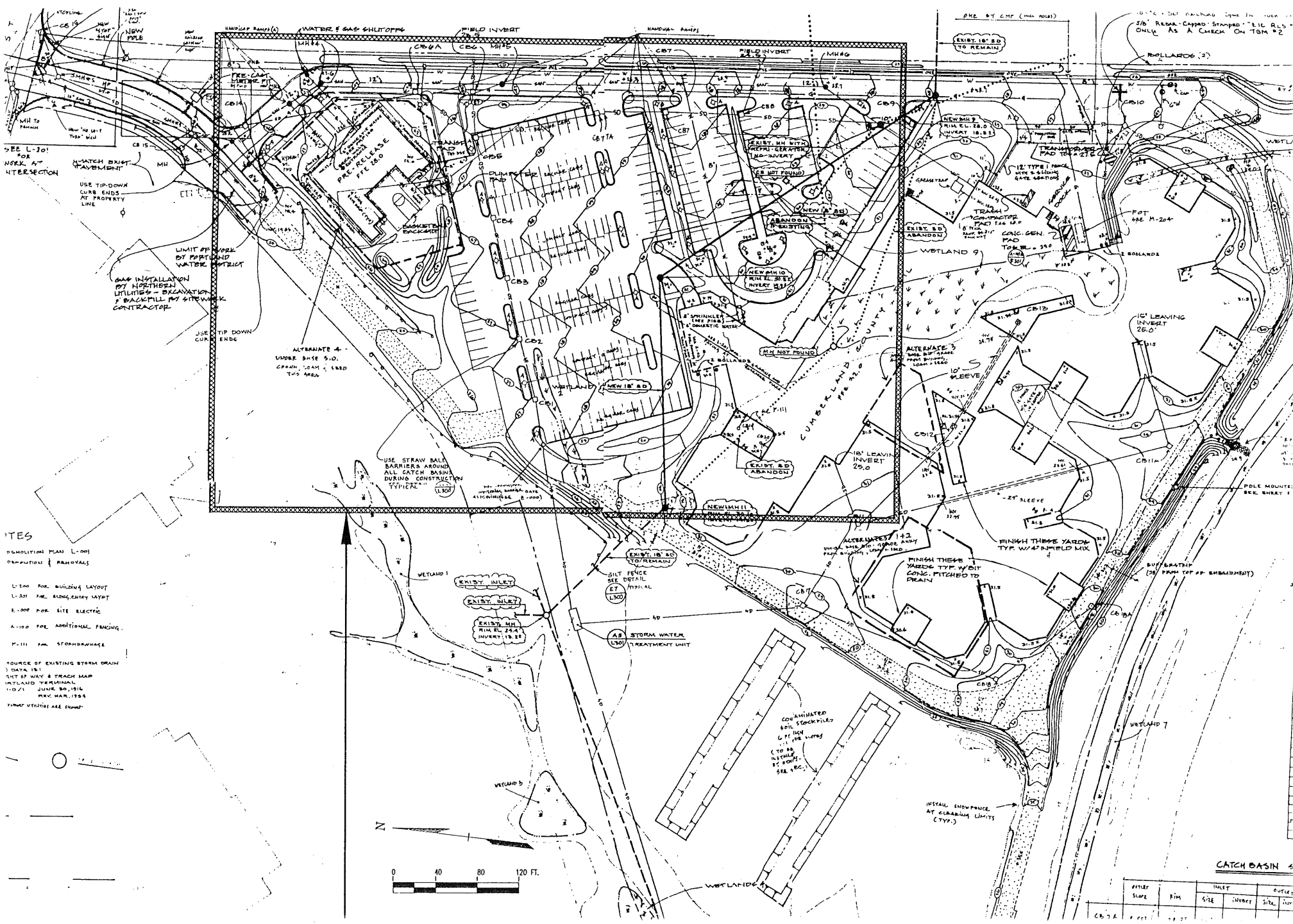
Rev.	Description	Date

Drawn By: MJC  
Checked By: MJC  
Date: 6/23/93

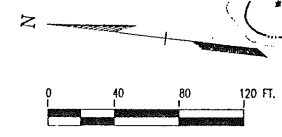
Job No.: 83066-T

Drawn By: MJC  
Checked By: MJC  
Date: 6/23/93





- NOTES**
- DEMOLITION PLAN L-001
  - DEMOLITION & RECONSTRUCTION
  - L-100 FOR BUILDING LAYOUT
  - L-201 FOR BUILDING ENTRY LAYOUT
  - E-000 FOR SITE ELECTRIC
  - A-100 FOR ADDITIONAL FENCING
  - P-111 FOR STORMDRAINAGE
  - SOURCE OF EXISTING STORM DRAIN 1) DATA 1971
  - 2) SHT. OF WAY & TRACK MAP WETLANDS PERMANENT 10/21 JUNIA 80, 1916
  - 3) PERM. MAR. 1934
  - 4) OTHER UTILITIES ARE SHOWN



**CATCH BASIN 4**

ENTER	INLET	OUTLET
SLOPE	SIZE	INVERT
CB-7 A	24\"/>	



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
39 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207/772-3046 Fax 207/772-1070

August 10, 1993  
Project No. 89006-7 2.1

Ms. Sarah Hopkins  
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Portland City Hall  
389 Congress Street  
Portland, Maine 04101

RE: Cumberland County Law Enforcement Center

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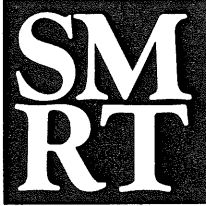
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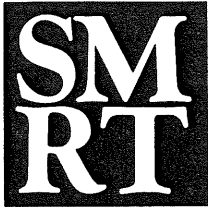
STEVENS MORTON ROSE & THOMPSON, INC.

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Arthur P. Thompson, Partner

APT:kb

Enclosures



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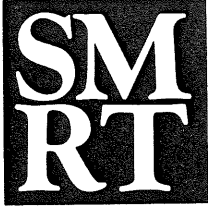
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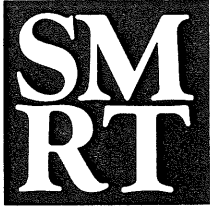


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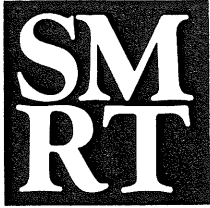
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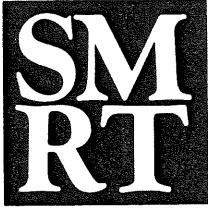
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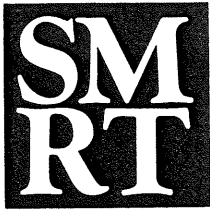
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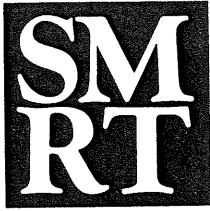
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## CUMBERLAND COUNTY LAW ENFORCEMENT CENTER Portland, Maine

The proposed Cumberland County Law Enforcement Center is to be located adjacent to the new Cumberland County Jail and Pre-Release Center, on a parcel of land owned by the County of Cumberland, in the I-2 zone. The Law Enforcement Center will replace the existing Sheriff's Department building, now located at 122 Federal Street in Portland.

The approximately 10,870 square foot, two story brick clad structure is estimated to cost \$1.1-million dollars. The funds for the project were appropriated as part of the original bond issue and are available for draw when required through the County Commissioners.

The total land area of the site is 15.8 acres, with the total ground area of the proposed building being 5,600 square feet. The site also accommodates the 104,000 square foot Cumberland County Jail and 4,500 square foot Pre-Release Center.

There are no easements or encumbrances on the area slated to be developed for the Law Enforcement Center.

The operation of the Law Enforcement Center is expected to generate a half pound per person per week of trash. The vast majority of the 225 pounds per week will be office paper. The Sheriff's Department expects that 70% of this will be recycled, with the remaining waste disposed of at RWS, as it is presently. During the course of construction, normal construction debris for a building of this type will be generated, with disposal either on-site in compliance with the State's solid waste regulations or removed to the City's Riverside Landfill, as presently approved for the construction of the jail. It should be noted that no demolition debris will be generated by this project.

Access to the proposed Law Enforcement Center will be similar to that of the jail, via Ogsdenburg Street. For a complete discussion of the traffic impacts, please see the Traffic Impact Assessment dated May 6, 1993 and prepared by William Eaton, P.E..

Parking needs for the Jail, Pre-Release Center and Law Enforcement Center will be accommodated by 189 parking spaces, as outlined on the plan. At peak, during a brief overlap period of the 7:00am - 3:00pm and 3:00pm - 11:00pm jail shifts, coupled with the 8:00am - 4:00pm Law Enforcement Center administrative staff shift, a total staff parking demand of 118 spaces will exist. This leaves 71 spaces for visitor and public use. A complete breakdown of staff shift assignments is included in the traffic assessment.

Water is provided to the project through the same system which will also service the jail. The



sanitary sewer from the proposed building feeds into the jail system; both were designed to handle the future Law Enforcement Center.

Please see the attached Drainage Summary, prepared by Dana R. Morton, P.E., for a complete discussion of the stormwater and surface drainage.

Construction is slated to begin as quickly as possible following receipt of regulatory approvals. Construction is anticipated to take approximately eight months, exclusive of winter conditions. Much of the typical construction sequence, such as clearing and grubbing, the installation of feeder utilities and rough earthwork, has been previously completed as part of the Jail contract. The following construction sequence is anticipated:

1. Installation of any required additional erosion and sedimentation control measures prior to the beginning of any sitework.
2. Earthwork as required to bring the site to grade.
3. Building construction.
4. Earthwork for utility modifications and parking.
5. Finish grading.
6. Loaming and seeding of all disturbed areas not covered by other materials.
7. Maintenance of erosion and sedimentation control until a good catch is obtained and the site is stabilized.

This project requires Department of Environmental Protection approval as a project modification of the original Site Location of Development application granted for the Cumberland County Jail. A pre-submission meeting was held with Linda Kokemuller on June 25. Approval is expected within 60 days of formal submission. With the exception of City of Portland approvals, no other regulatory reviews are required.

As noted above, the County has the requisite funds available for this project. The technical team retained by the County includes:

- SMRT 39 Forest Avenue, Portland.  
Programming; Architecture; Site Planning; Civil, Electrical, Mechanical and Structural Engineering; Survey; Interior Design and Regulatory Permitting Assistance.
- Jensen Baird Gardner & Henry Free Street, Portland.  
Legal services, including regulatory permitting assistance.
- R.W. Gillespie, Sanford.  
Geotechnical services.

The general contractor and subcontractors will be chosen through the bid process.

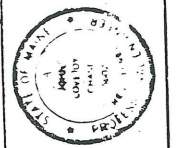
Attached please find the deed to the property.

There are no unusual natural areas, wildlife or fisheries habitats, or archaeological sites located on or near the proposed Law Enforcement Center which will be impacted by construction of this project.

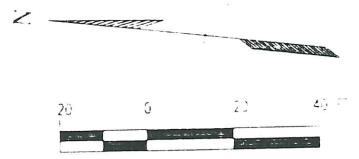
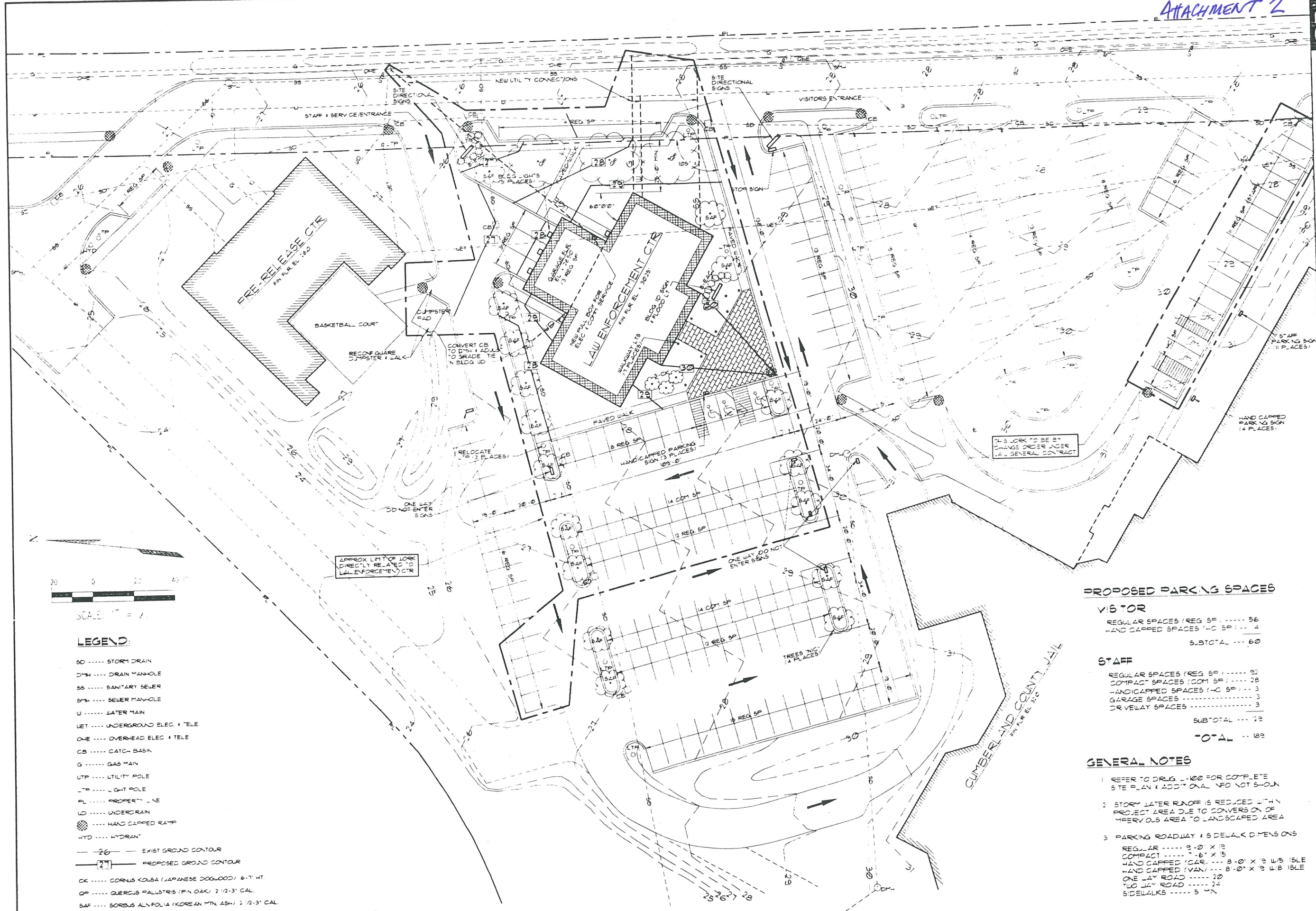
All submissions required by the Land Use Code have been prepared, with the exception of a

delineation of the intensity of the exterior lighting specific to the Law Enforcement Center. The same lighting pattern (and in many instances the same lighting location and fixtures) as approved for the Cumberland County Jail will be utilized for this project.

For ease of review, a set of site plans for the Cumberland County Jail is included in this submission. Please refer to this original set for details regarding erosion and sedimentation control, the entire utility network, access and drainage patterns.



Rev.	Description	Date
0	REVISED	6/1/93



SCALE: 1" = 20'

**LEGEND:**

- SD ..... STORM DRAIN
- DTH ..... DRAIN MANHOLE
- SS ..... SANITARY SEWER
- SM ..... SEWER MANHOLE
- U ..... WATER MAIN
- LET ..... UNDERGROUND ELEC. + TELE
- OHE ..... OVERHEAD ELEC. + TELE
- CB ..... CATCH BASIN
- G ..... GAS MAIN
- UTP ..... UTILITY POLE
- LTP ..... LIGHT POLE
- PL ..... PROPERTY LINE
- LD ..... UNDERDRAN
- HC ..... HAND CAPPED RAMP
- HYD ..... HYDRANT
- 26 — EXIST GROUND CONTOUR
- 27 — PROPOSED GROUND CONTOUR
- CK ..... CORNUS KOUSA (JAPANESE DOGWOOD) 6'-7' HT.
- OP ..... QUERCUS PALUSTRIS (PN OAK) 2 1/2'-3' CAL.
- SAF ..... SORBUS ALNIFOLIA (KOREAN MTN ASH) 2 1/2'-3' CAL.
- EAC ..... EVONYMUS ALATUS COMPACTA (DWARF BURNING BUSH) 2 1/2'-3' HT.

**PROPOSED PARKING SPACES**

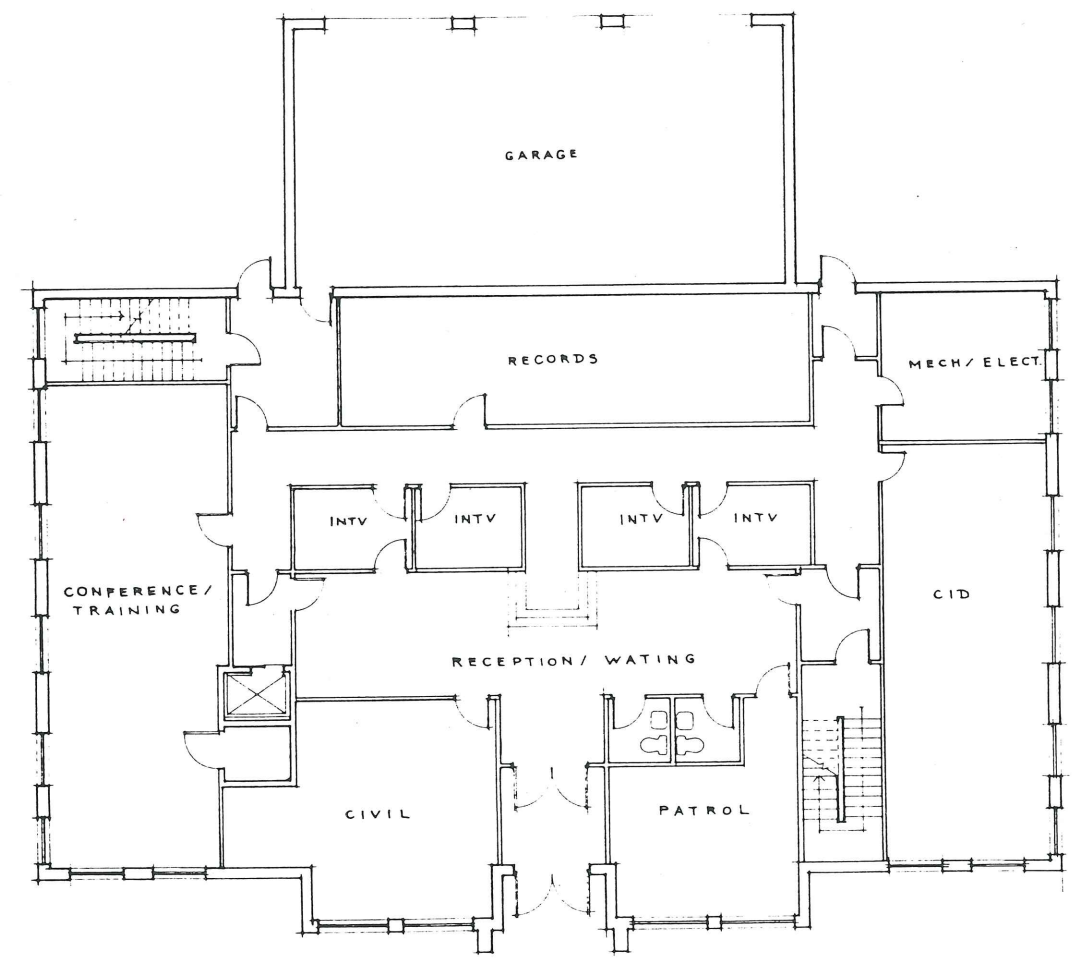
**VISITOR**  
REGULAR SPACES (REG SP) ..... 56  
HAND CAPPED SPACES (HC SP) ..... 4  
SUBTOTAL ..... 60

**STAFF**  
REGULAR SPACES (REG SP) ..... 01  
COMPACT SPACES (COM SP) ..... 28  
HAND CAPPED SPACES (HC SP) ..... 3  
GARAGE SPACES ..... 3  
DRIVEWAY SPACES ..... 3  
SUBTOTAL ..... 38  
**TOTAL ..... 98**

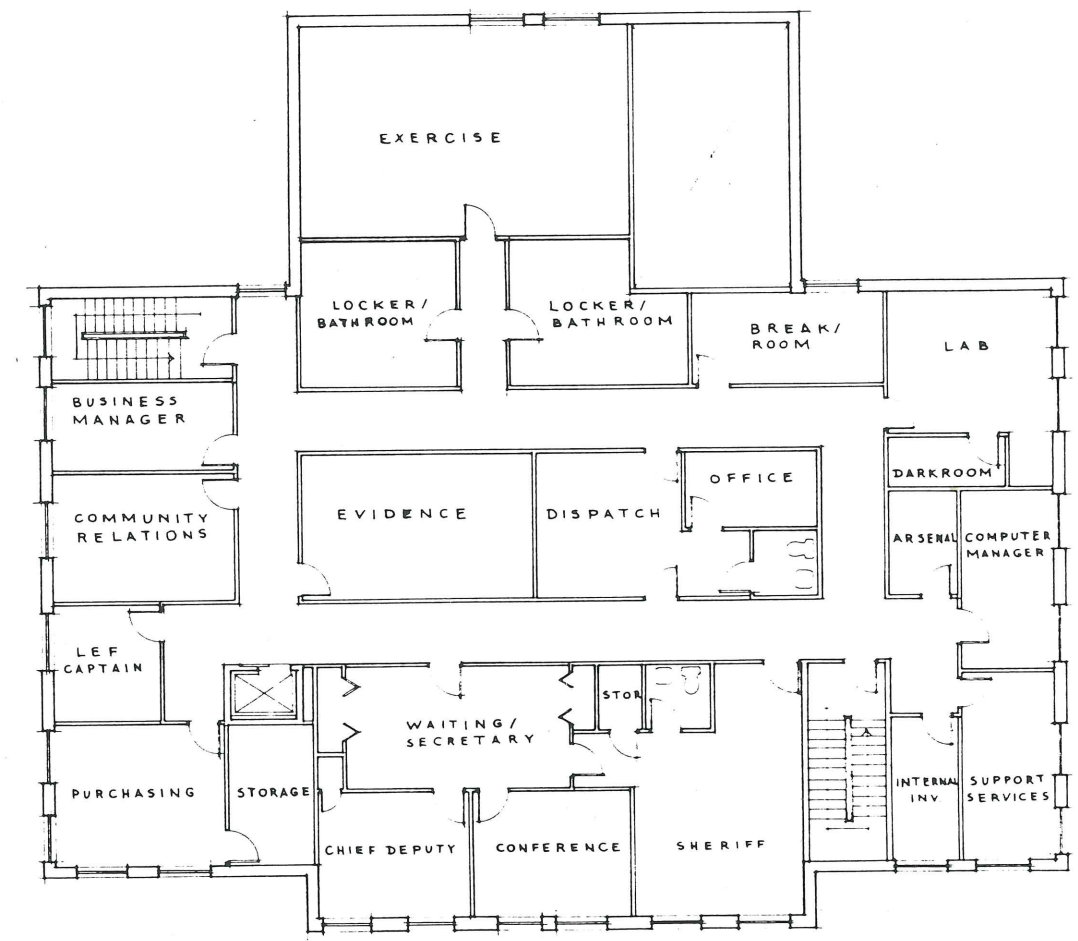
**GENERAL NOTES**

- 1 REFER TO DRUG L-100 FOR COMPLETE SITE PLAN. ADDITIONAL INFO NOT SHOWN.
- 2 STORY LATER RAOF IS REDUCED WITH IN PROJECT AREA DUE TO COVERS OF OPERABLE AREA TO LANDSCAPED AREA.
- 3 PARKING ROADWAY IS DELAID DIMENSIONS:  
REGULAR ..... 9'-0" X 19'  
COMPACT ..... 7'-6" X 15'  
HAND CAPPED / CAR ..... 8'-0" X 13' U.B. ISLE  
HAND CAPPED (VAN) ..... 8'-0" X 19' U.B. ISLE  
ONE WAY ROAD ..... 20'  
TWO WAY ROAD ..... 24'  
SIDEWALKS ..... 5' W





GROUND FLOOR PLAN



SECOND FLOOR PLAN

Project Name  
**Cumberland County  
 Law Enforcement Center  
 Portland, Maine**

Rev.	Description	Date

Drawing Name  
**PLANS**

Scale: 1/4" = 1'-0" Date: \_\_\_\_\_ Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_

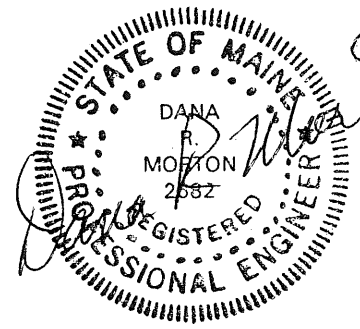
Job No: \_\_\_\_\_



LAW ENFORCEMENT CENTER  
(CUMBERLAND COUNTY JAIL)

DRAINAGE CALCS.

SUMMARY



EXISTING CONDITIONS:

The site location for this proposed development consists of an existing paved parking lot recently constructed as part of the new Cumberland County Jail located off of Ogdensburg Street in Portland, Maine. The proposed development will occupy a relatively small portion of the entire jail center campus as shown on the project site plans, drawings L-100 & L-102.

The soils on which the project will be developed generally fall into the A or B hydrologic soil groups. Approximately 90% of the area to be developed (or redeveloped) as part of this project is presently impervious asphalt paving. Existing drainage patterns consist of overland sheet flow to a channelized, underground storm drainage system.

PROPOSED DEVELOPMENT:

The proposed development consists of the construction of an approximately 6000 SF, two story building with minor regrading requirements and the provision of additional landscaped areas. As proposed, approximately 75% of the area to be redeveloped will be impervious (building and paving) rather than 90% as is the existing case. Proposed drainage patterns will remain essentially the same as before.

ANALYSIS RESULTS:

Runoff calculations were performed in accordance with SCS, TR-55 methodology for an area consisting of the proposed limits of work for the project as shown on the detailed site plan, drawing L-102.

With the development of the proposed Law Enforcement Center in a previously constructed parking lot the net landscaped area within the limits of work is increased. Correspondingly, the area curve number is lowered and the time of concentration increased. As a result, post-development runoff is calculated to be slightly less than pre-development runoff (a unique situation) as tabulated below:

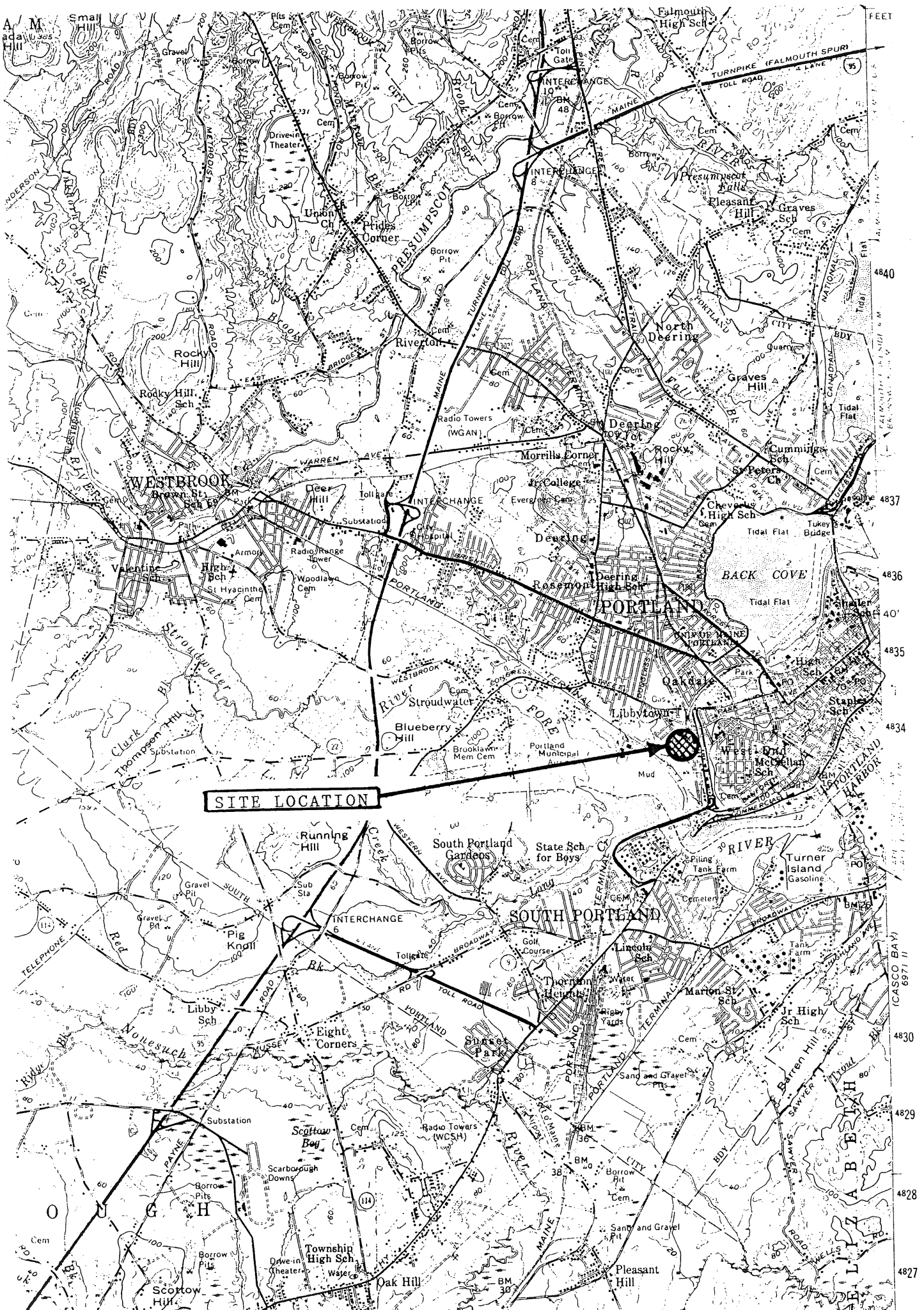
<u>Storm Event</u>	<u>2yr</u>	<u>5yr</u>	<u>10yr</u>	<u>25yr</u>	<u>50yr</u>	<u>100yr</u>
Existing Peak Flow	2cfs	2cfs	3cfs	3cfs	4cfs	4cfs
Proposed Peak Flow	1cfs	2cfs	2cfs	2cfs	3cfs	3cfs
Net Change in Flow	-1cfs	NC	-1cfs	-1cfs	-1cfs	-1cfs

LAW ENFORCEMENT CENTER  
(CUMBERLAND COUNTY JAIL)

DRAINAGE CALCS.

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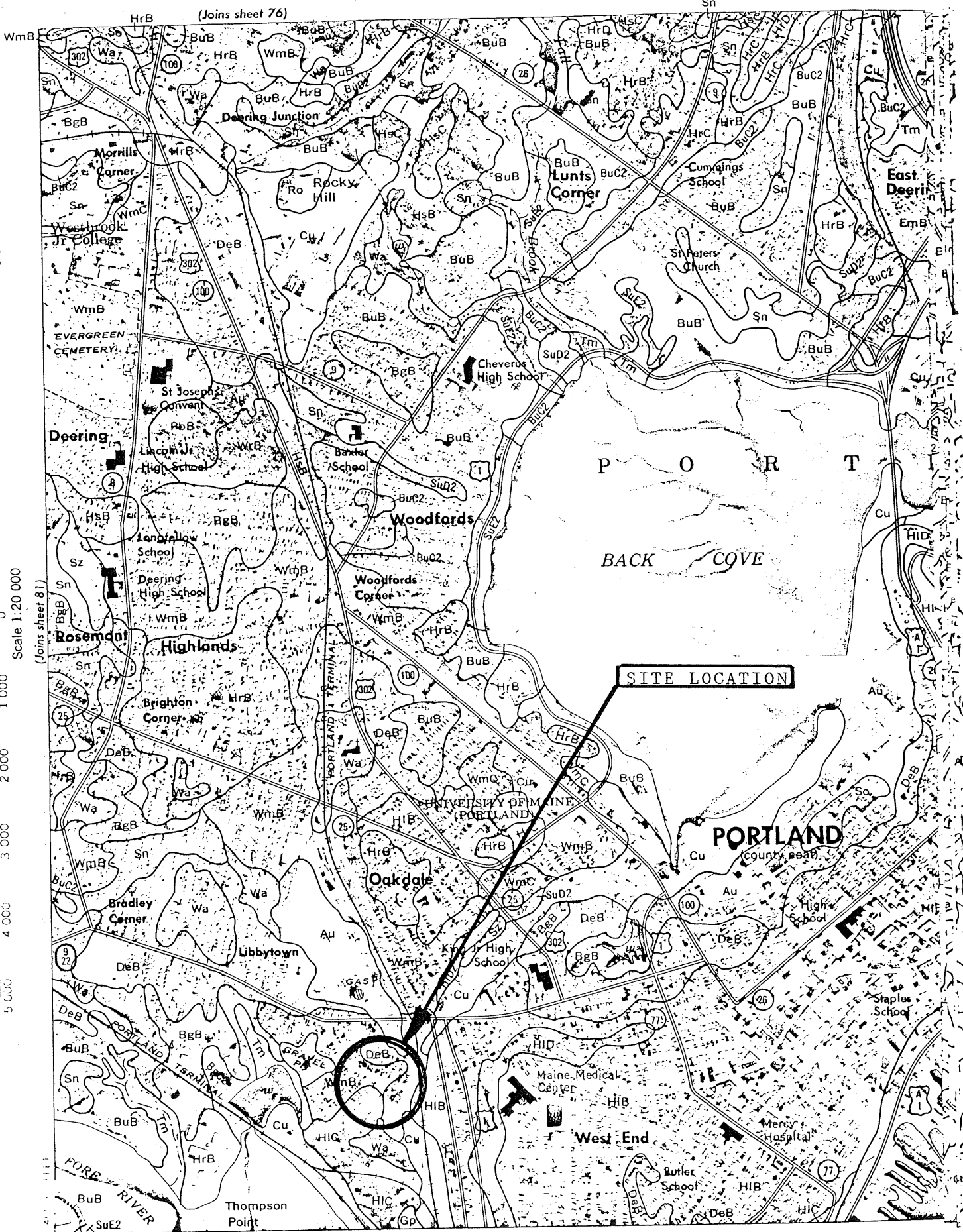


1 mile  
5 000 Feet

Scale 1:20 000

0 1 000 2 000 3 000 4 000 5 000

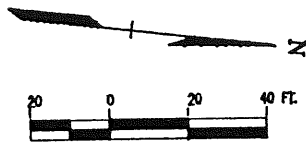
297 000 FEET



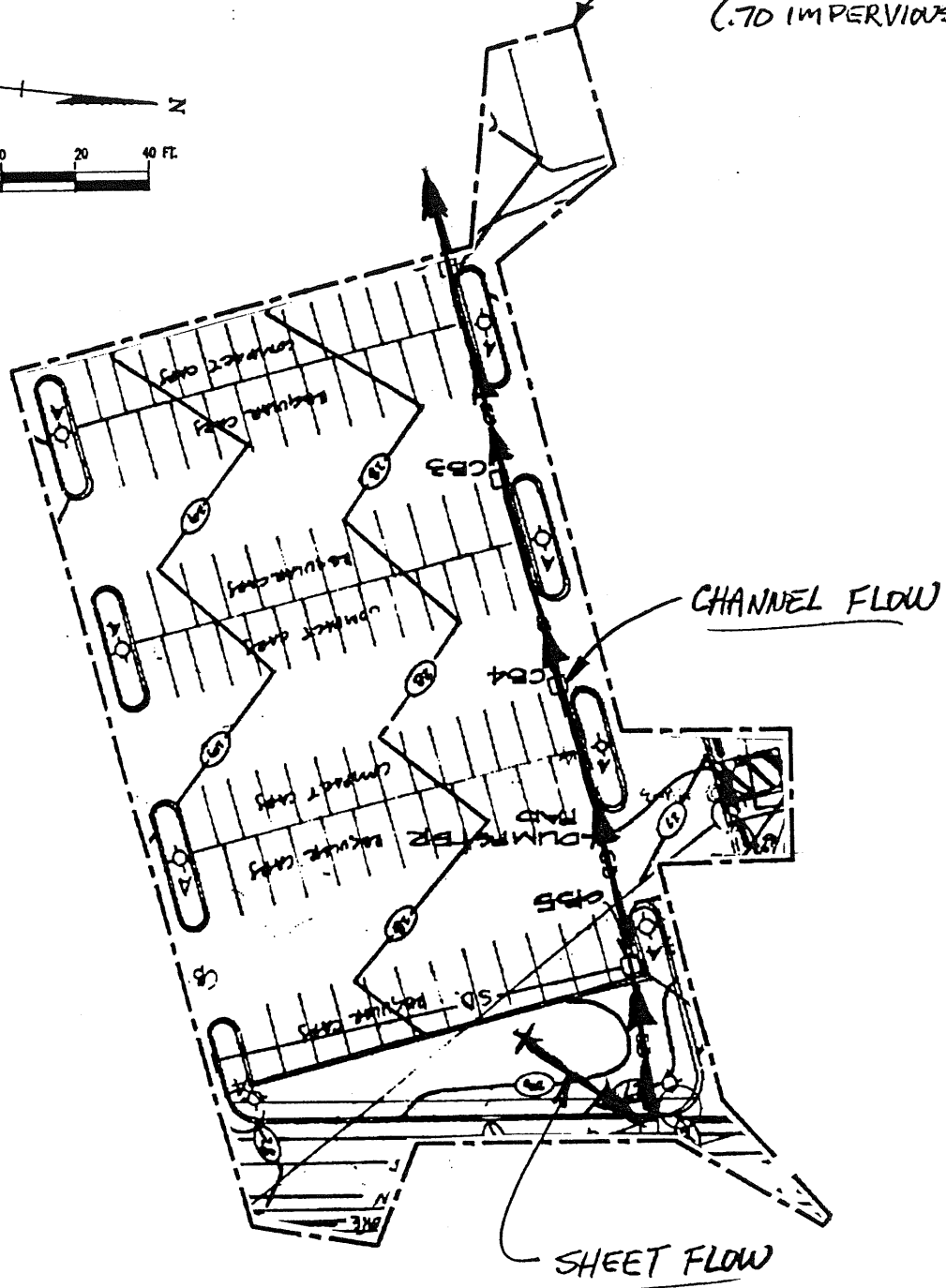
(Joins sheet 76)

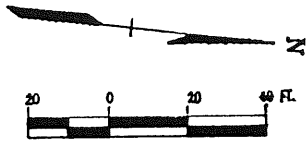
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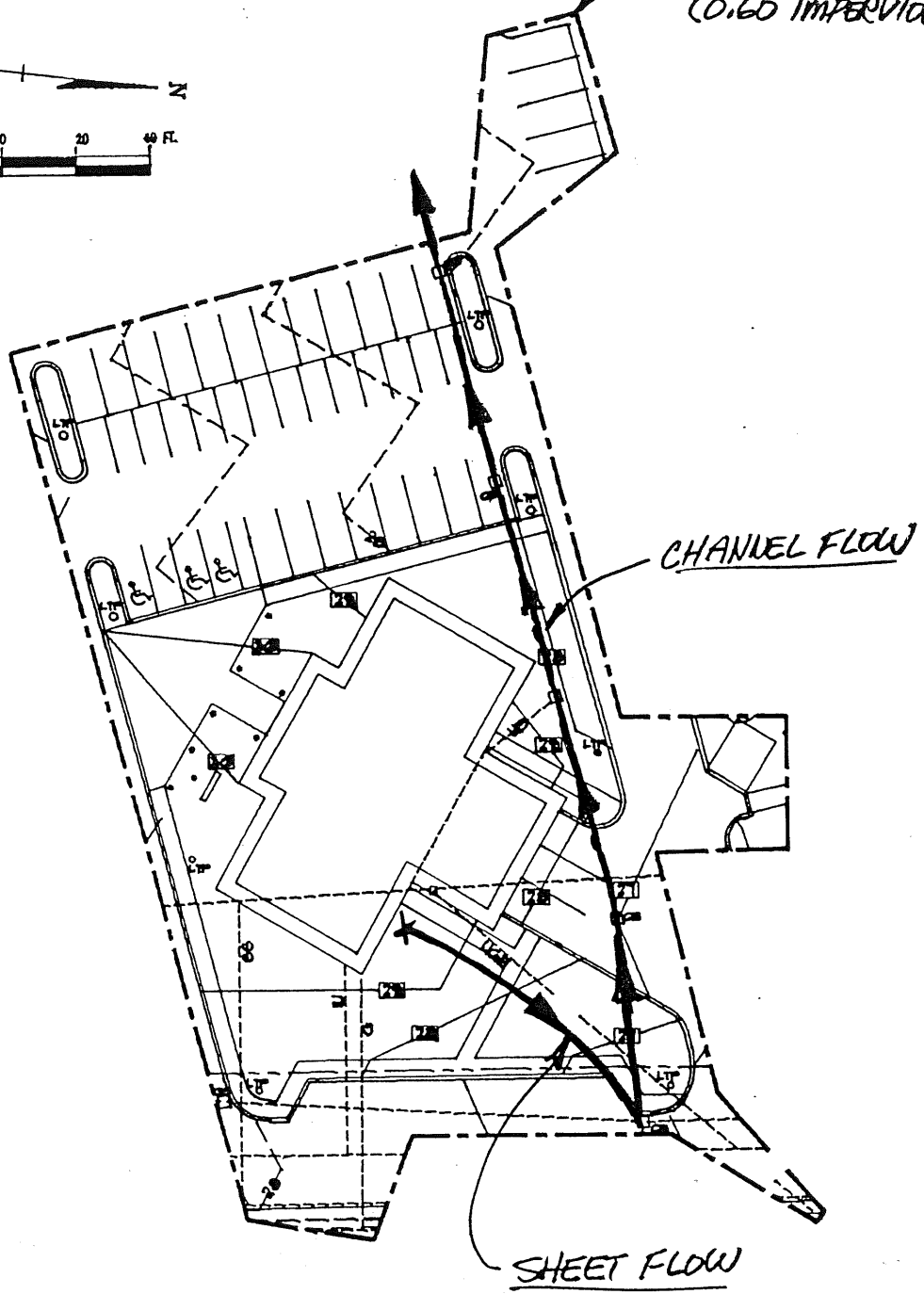


AREA = 0.80 Ac  
(.70 IMPERVIOUS)





AREA = 0.80 AC  
(0.60 IMPERVIOUS)



# CITY OF PORTLAND, MAINE

## PLANNING BOARD

August 24, 1993

Kenneth M. Cole III, Chair  
Jadine R. O'Brien, Vice Chair  
Joseph R. DeCoursey  
Irving Fisher  
Cyrus Hagge  
John H. Carroll  
Donna Williams

Arthur Thompson  
SMRT  
39 Forest Avenue  
P.O. Box 618  
Portland, ME 04104

RE: Law Enforcement Center

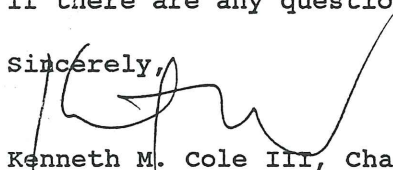
Dear Mr. Thompson:

On August 24, 1993, the Portland Planning Board voted 5-1 (Fisher; Cole abstained) to approve the site plan for the construction of a Law Enforcement Center located at the Cumberland County Jail facility.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #31-93, which is attached. A performance guarantee covering the site improvements as well as an inspection fee payment of 1.7% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

If there are any questions, please contact the Planning Staff.

Sincerely,

  
Kenneth M. Cole III, Chair  
Portland Planning Board

cc: Joseph E. Gray, Jr., Director of Planning and Urban Development  
Alexander Jaegerman, Chief Planner  
✓ Sarah Hopkins, Senior Planner  
P. Samuel Hoffses, Chief of Building Inspections  
William Giroux, Zoning Administrator  
George Flaherty, Director of Parks and Public Works  
John Rague, Principal Engineer  
Melodie Esterberg PE, Project Engineer  
William Bray, Deputy Director of Parks and Public Works  
Jeff Tarling, City Arborist  
Natalie Burns, Associate Corporation Counsel  
Lt. Gaylen McDougall, Fire Prevention  
Paul Niehoff, Materials Engineer  
Louise Chase, Building Permit Secretary  
Approval Letter File

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: PREPROJECT RUNOFF  
 Subarea : LIMITS

User: FLM Date: 06-25-93  
 Checked: JCC Date: 6-28-93

COVER DESCRIPTION	Hydrologic Soil Group			
	A	B	C	D
	Acres (CN)			
FULLY DEVELOPED URBAN AREAS (Veg Estab.)				
Open space (Lawns, parks etc.)				
Good condition; grass cover > 75%	.05(39)	.05(61)	-	-
Impervious Areas				
Paved parking lots, roofs, driveways	.35(98)	.35(98)	-	-
Total Area (by Hydrologic Soil Group)	.4 ====	.4 ====		

SUBAREA: LIMITS TOTAL DRAINAGE AREA: .8 Acres      WEIGHTED CURVE NUMBER: 92\*

\* - Generated for use by GRAPHIC method



Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: PREPROJECT RUNOFF

User: FLM Date: 06-25-93  
 Checked: LLC Date: 6-28-93

Flow Type	2 year rain	Length (ft)	Slope (ft/ft)	Surface code	n	Area (sq/ft)	Wp (ft)	Velocity (ft/sec)	Time (hr)
Sheet	3	40	.05	G					0.130
Open Channel		240						1.7	0.039
Time of Concentration =									0.17*
									=====

- Sheet Flow Surface Codes ---
- |                          |                  |                              |
|--------------------------|------------------|------------------------------|
| A Smooth Surface         | F Grass, Dense   | --- Shallow Concentrated --- |
| B Fallow (No Res.)       | G Grass, Burmuda | --- Surface Codes ---        |
| C Cultivated < 20 % Res. | H Woods, Light   | P Paved                      |
| D Cultivated > 20 % Res. | I Woods, Dense   | U Unpaved                    |
| E Grass-Range, Short     |                  |                              |

\* - Generated for use by GRAPHIC method

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: PREPROJECT RUNOFF

User: FLM  
 Checked: LLC

Date: 06-25-93  
 Date: 6/28/93

Data: Drainage Area : .8 \* Acres  
 Runoff Curve Number : 92 \*  
 Time of Concentration: 0.17 \* Hours  
 Rainfall Type : III  
 Pond and Swamp Area : NONE

Storm Number	1	2	3	4	5	6	7
Frequency (yrs)	2	5	10	25	50	100	0
24-Hr Rainfall (in)	3	4	4.7	5.5	6	6.7	0
Ia/P Ratio	0.06	0.04	0.04	0.03	0.03	0.03	0.00
Used	0.10	0.10	0.10	0.10	0.10	0.10	0.00
Runoff (in)	2.16	3.12	3.80	4.58	5.07	5.76	0.00
Unit Peak Discharge (cfs/acre/in)	0.922	0.922	0.922	0.922	0.922	0.922	0.000
Pond and Swamp Factor 0.0% Ponds Used	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Peak Discharge (cfs)	2	2	3	3	4	4	0

\* - Value(s) provided from TR-55 system routines

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: POSTPROJECT RUNOFF  
 Subarea : LIMITS

User: FLM  
 Checked: JLC

Date: 06-25-93  
 Date: 6/28/93

COVER DESCRIPTION	Hydrologic Soil Group			
	A	B	C	D
	Acres (CN)			
FULLY DEVELOPED URBAN AREAS (Veg Estab.)				
Open space (Lawns, parks etc.)				
Good condition; grass cover > 75%	.10(39)	.10(61)	-	-
Impervious Areas				
Paved parking lots, roofs, driveways	.30(98)	.30(98)	-	-
Total Area (by Hydrologic Soil Group)	.4 ====	.4 ====		

SUBAREA: LIMITS TOTAL DRAINAGE AREA: .8 Acres                      WEIGHTED CURVE NUMBER: 86\*

\* - Generated for use by GRAPHIC method

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: POSTPROJECT RUNOFF

User: FLM  
 Checked: JLC

Date: 06-25-93  
 Date: 6/28/93

Flow Type	2 year rain	Length (ft)	Slope (ft/ft)	Surface code	n	Area (sq/ft)	Wp (ft)	Velocity (ft/sec)	Time (hr)
Sheet	3	80	.04	G					0.248
Open Channel		240						1.7	0.039
Time of Concentration = 0.29*									=====

--- Sheet Flow Surface Codes ---

- A Smooth Surface
- B Fallow (No Res.)
- C Cultivated < 20 % Res.
- D Cultivated > 20 % Res.
- E Grass-Range, Short
- F Grass, Dense
- G Grass, Burmuda
- H Woods, Light
- I Woods, Dense

- Shallow Concentrated ---
- Surface Codes ---
- P Paved
- U Unpaved

\* - Generated for use by GRAPHIC method



Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: POSTPROJECT RUNOFF

User: FLM  
 Checked: JLC

Date: 06-25-93  
 Date: 6/28/93

Data: Drainage Area : .8 \* Acres  
 Runoff Curve Number : 86 \*  
 Time of Concentration: 0.29 \* Hours  
 Rainfall Type : III  
 Pond and Swamp Area : NONE

Storm Number	1	2	3	4	5	6	7
Frequency (yrs)	2	5	10	25	50	100	0
24-Hr Rainfall (in)	3	4	4.7	5.5	6	6.7	0
Ia/P Ratio	0.11	0.08	0.07	0.06	0.05	0.05	0.00
Used	0.11	0.10	0.10	0.10	0.10	0.10	0.00
Runoff (in)	1.66	2.55	3.19	3.94	4.41	5.08	0.00
Unit Peak Discharge (cfs/acre/in)	0.783	0.788	0.788	0.788	0.788	0.788	0.000
Pond and Swamp Factor 0.0% Ponds Used	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Peak Discharge (cfs)	1	2	2	2	3	3	0

\* - Value(s) provided from TR-55 system routines

LAW ENFORCEMENT CENTER  
(CUMBERLAND COUNTY JAIL)

DRAINAGE CALCS.

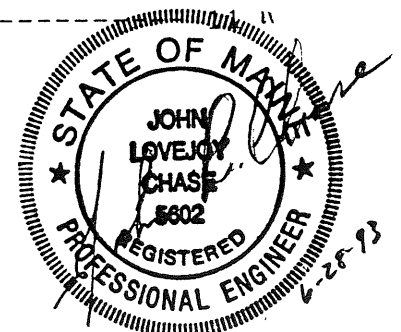
SUMMARY

Runoff calculations were performed in accordance with SCS, TR-55 methodology for an area consisting of the proposed limits of work for the project as shown on the detailed site plan, drawing L-102.

With the development of the proposed Law Enforcement Center in a previously constructed parking lot the net landscaped area within the limits of work is increased. Correspondingly, the area curve number is lowered and the time of concentration increased. As a result, post-development runoff is calculated to be slightly less than pre-development runoff (a unique situation).

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POSTDEVELOPMENT DISCHARGE CALCS. -----	



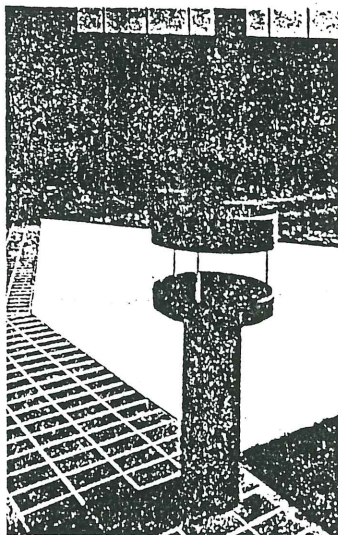
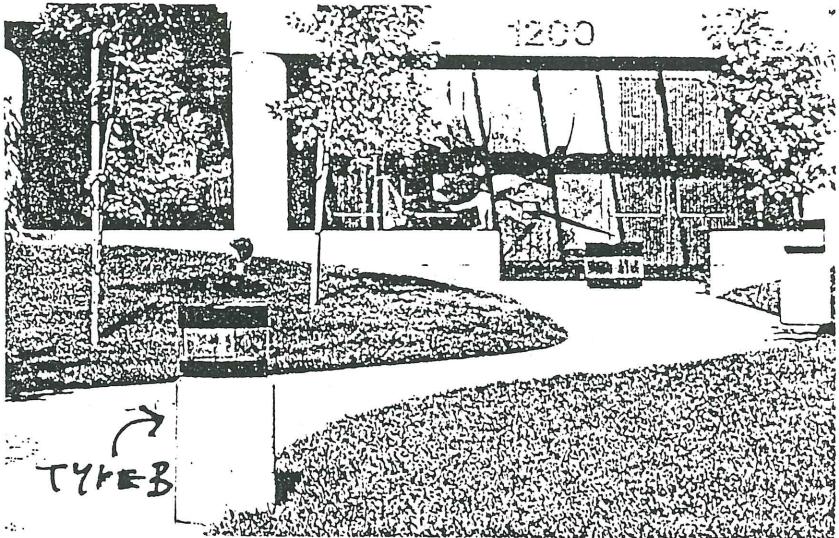
*SIC Unit  
 SEP 1981  
 FOR [unclear]  
 TO [unclear]*

Bollard Ten  
 BR16

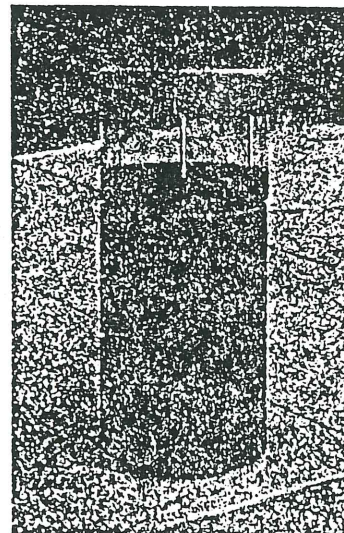
BR16 0 0 120 100HPS BLP

Gardco's Bollard Ten luminaires provide uniform, glare-free light distribution from housings designed to take the hard-knock life of low level lighting. The housings are made of quarter-inch cast aluminum, with one-piece impact-resistant lenses, all designed and engineered to defeat vandals. All potential points of water, insect and dust entry are sealed with silicone gasketing.

Gardco Form Ten optical assemblies meet precise distribution requirements with uniform, glare-free, site-confined lighting. Standard Bollard Ten units are 42" high with a 16" diameter luminaire. The luminaire can be mounted on a 16" diameter base, an 8" diameter post, or other structures.



BR16 1 3 120 175MH BRP

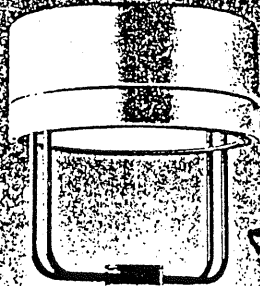
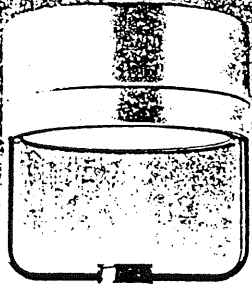


BR16 2 0 120 175MH BRP

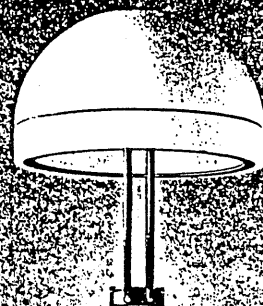
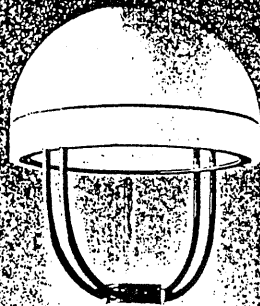
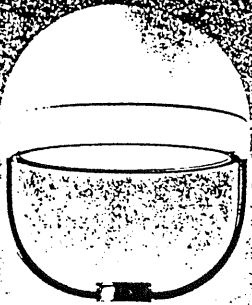
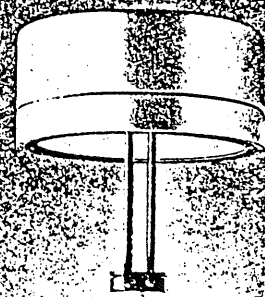
**Ordering Information**

Prefix	Mounting	Reflector	Ballast	Lamps	Finish
BR16	0	3,VQ,FM	120	100-175W	BRP,BLP,NP
BR16	1	3,VQ,FM	120	100-175W	BRP,BLP,NP
BR16	2	3,VQ,FM	120	100-175W	BRP,BLP,NP

Note: BR1600, 175W lamps available only in Mercury Vapor. BRP=Bronze Painted, BLP=Black Painted, NP=Natural Painted.



TYPE A



CIC-411  
SELECTION OF  
FIXTURES FOR  
TALL BUILDINGS  
175 V. M. H.



**CITY OF PORTLAND, MAINE  
MEMORANDUM**

**TO:** Sarah Hopkins, Senior Planner  
**FROM:** William Bray, Deputy Director of Parks and Public Works  
**DATE:** August 24, 1993  
**SUBJECT:** Law Enforcement Center

I have reviewed the submitted site plans for the Law Enforcement Center as proposed.

On the basis of the site plan and modified traffic impact analysis, I recommend approval of this project.



STEVENS MORTON ROSE & THOMPSON

Architecture Engineering Survey

39 Forest Avenue
P.O. Box 618
Portland, Maine 04104

tel 207/772.3846
fax 207/772.1070

LETTER OF TRANSMITTAL

TO Portland Planning Dept
389 Congress Street
Portland Maine 04101

Form with fields: DATE (8/19/93), JOB NO. (89006-8), ATTENTION (Sarah Hopkins), RE:

WE ARE SENDING YOU [X] Attached [ ] Under separate cover via \_\_\_\_\_ the following items:

- [ ] Shop drawings [ ] Prints [ ] Plans [ ] Samples [ ] Specifications
[ ] Copy of letter [ ] Change order [ ] \_\_\_\_\_

Table with columns: COPIES, DATE, NO., DESCRIPTION. Row 1: 1, [ ], [ ], Complete copy of DEP Project Modification application - Cumberland County Law Enforcement Center

THESE ARE TRANSMITTED as checked below:

- [ ] For approval [ ] Approved as submitted [ ] Resubmit \_\_\_\_\_ copies for approval
[X] For your use [ ] Approved as noted [ ] Submit \_\_\_\_\_ copies for distribution
[X] As requested required [ ] Returned for corrections [ ] Return \_\_\_\_\_ corrected prints
[ ] For review and comment [ ] \_\_\_\_\_
[ ] FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_ [ ] PRINTS RETURNED AFTER LOAN TO US

REMARKS Sarah -
As required by DEP for public inspection - Should you have any questions, please contact me.
Thanks.

COPY TO 89006-8 file

SIGNED: [Signature]

Bureau of Land Quality Control  
State House - Station #17  
Augusta, Maine 04333  
Telephone: 289-2111

#L- \_\_\_\_\_  
Fees Paid \_\_\_\_\_  
Date Received \_\_\_\_\_

APPLICATION FOR PROJECT MODIFICATION

This form shall be used to request approval of minor changes to: (a) project design or operation; or (b) the conditions of a permit as previously approved by the Board or Department of Environmental Protection.

A processing fee of \$50 is required at the time of application submittal. Depending on the degree of review required, additional fees may be assessed. The Department will bill you if additional fees are needed.

If significant changes are proposed, then a complete new project application will be required by the Department.

(Please type or print)

Name of Applicant: Cumberland County Commissioners

Address: 142 Federal Street Portland, ME 04101

Telephone Number: 207-871-8380

Name of Contact or Agent: Fran Harrison, SMRT

Telephone: 772-3846

LOCATION OF ACTIVITY

Name of Project: Cumberland County Law Enforcement Center

Municipality or Township: Portland County: Cumberland

REQUIRED INFORMATION

1. Existing DEP permit number: L-17657-26-A-N

2. DEP Project Analyst for original application (if known): Linda Kokemuller

3. Description of Proposed Change: The proposed Cumberland County Law Enforcement Center is to be located adjacent to the new Cumberland County Jail and Pre-Release Center, on a parcel of land owned by the County of Cumberland. The Law Enforcement Center will replace the existing Sheriff's Department building, now located at 122 Federal Street in Portland. The proposed building, approximately 10,870 square feet, is a two story brick clad structure, on a 5,600 square footprint. The proposed facility has a 15% increase in vegetative cover, compared to the original CCJ project, resulting in a 1 cfs decrease in the stormwater runoff.

(Attach additional sheet(s), if necessary.)

NOTE: The applicant shall use this form or one containing identical information to notify abutters, municipal officials, and local newspapers.

NOTICE

Please take notice that Cumberland County Commissioners  
Name of Applicant

142 Federal Street, Portland, ME 04101  
Address of Applicant

is filing for a modification to an existing permit with the Maine Department of Environmental Protection pursuant to the provisions of\* \_\_\_\_\_

Site Location of Development, Title 38, M.R.S.A. Sections 481 to 489 \_\_\_\_\_

This modification involves:

Construction of a County Law Enforcement Center, with a building footprint of 5,600 square feet.  
(State specifically what is to be done)

The proposed building will be located on the campus of the new Cumberland County Jail, off Ogdensburg Street.

in the Town of Portland

The application will be filed for public inspection at the Department's Office in Augusta and at the municipal offices on August 18, 1993  
Date

Written comments and/or a request for a public hearing from an interested person must be sent to the Department of Environmental Protection, State House Station #17, Augusta, Maine 04333, within 14 days of filing the application to receive consideration. A public hearing may or may not be held at the discretion of the Commissioner or Board of Environmental Protection.

\* \* \* \* \*

\*NOTE: Please insert appropriate statute name and section number into the above paragraph.

- Site Location of Development, Title 38, M.R.S.A. Sections 481 to 489
- Great Ponds, Title 38, M.R.S.A. Sections 391 to 396
- Coastal Wetlands Alteration or Sand Dune, Title 38, M.R.S.A. Section 474
- Alteration of River, Stream or Brook, Title 38, M.R.S.A. Sections 425 to 430
- Freshwater Wetlands, Title 38, M.R.S.A. Sections 405 to 410
- Maine Waterways, Title 38, M.R.S.A. Sections 630 to 636
- Septage Land Disposal, Title 38, M.R.S.A. Section 1301



## **CUMBERLAND COUNTY LAW ENFORCEMENT CENTER Portland, Maine**

The proposed Cumberland County Law Enforcement Center is to be located adjacent to the new Cumberland County Jail and Pre-Release Center, on a parcel of land owned by the County of Cumberland, in Portland. The Law Enforcement Center will replace the existing Sheriff's Department building, now located at 122 Federal Street in Portland.

The approximately 10,870 square foot, two story brick clad structure is estimated to cost \$1.1-million dollars. The funds for the project were appropriated as part of the original bond issue and are available for draw when required through the County Commissioners.

The total land area of the site is 15.8 acres, with the total ground area of the proposed building being 5,600 square feet. The building will be located on area previously slated (in the original Cumberland County Jail Site Location Application) as paved surface. The project modification will result in a 15% increase in vegetative area, resulting in a 1 cfs decrease in the stormwater runoff. Please see the attached Drainage Summary, prepared by Dana R. Morton, P.E., for a complete discussion of the stormwater and surface drainage.

The site also accommodates the 104,000 square foot Cumberland County Jail and 4,500 square foot Pre-Release Center.

There are no easements or encumbrances on the area slated to be developed for the Law Enforcement Center.

The operation of the Law Enforcement Center is expected to generate a half pound per person per day of trash. The vast majority of the 15 pounds per day will be office paper. The Sheriff's Department expects that 70% of this will be recycled, with the remaining waste disposed of at RWS, as it is presently. During the course of construction, normal construction debris for a building of this type will be generated, with disposal either on-site in compliance with the State's solid waste regulations or removed to the City's Riverside Landfill, as presently approved for the construction of the jail. It should be noted that no demolition debris will be generated by this project.

Access to the proposed Law Enforcement Center will be similar to that of the jail, via Ogsdenburg Street. For a complete discussion of the traffic impacts, please see the Traffic Impact Assessment dated May 6, 1993 and prepared by William Eaton, P.E..

Parking needs for the Jail, Pre-Release Center and Law Enforcement Center will be accommodated by 189 parking spaces, as outlined on the plan. At peak, during a brief overlap period of

the 7:00am - 3:00pm and 3:00pm - 11:00pm jail shifts, coupled with the 8:00am - 4:00pm Law Enforcement Center administrative staff shift, a total staff parking demand of 118 spaces will exist. This leaves 71 spaces for visitor and public use. A complete breakdown of staff shift assignments is included in the traffic assessment.

Water is provided to the project through the same system which will also service the jail. The sanitary sewer from the proposed building feeds into the jail system; both were designed to handle the future Law Enforcement Center.

Construction is slated to begin as quickly as possible following receipt of regulatory approvals. Construction is anticipated to take approximately eight months, exclusive of winter conditions. Much of the typical construction sequence, such as clearing and grubbing, the installation of feeder utilities and rough earthwork, has been previously completed as part of the Jail contract.

The following construction sequence is anticipated:

1. Installation of any required additional erosion and sedimentation control measures prior to the beginning of any sitework.
2. Earthwork as required to bring the site to grade.
3. Building construction.
4. Earthwork for utility modifications and parking.
5. Finish grading.
6. Loaming and seeding of all disturbed areas not covered by other materials.
7. Maintenance of erosion and sedimentation control until a good catch is obtained and the site is stabilized.

Regulatory approvals are required from the Department of Environmental Protection as a project modification to the existing Site Location license L-17657-26-A-N and from the City of Portland, Site Plan review.

The technical team retained by the County includes:

- SMRT 39 Forest Avenue, Portland.  
Programming; Architecture; Site Planning; Civil, Electrical, Mechanical and Structural Engineering; Survey; Interior Design and Regulatory Permitting Assistance.
- Jensen Baird Gardner & Henry Free Street, Portland.  
Legal services, including regulatory permitting assistance.
- R.W. Gillespie, Sanford.  
Geotechnical services.

The general contractor and subcontractors will be chosen through the bid process.

Attached please find the deed to the property.

There are no unusual natural areas, wildlife or fisheries habitats, or archaeological sites located on or near the proposed Law Enforcement Center which will be impacted by construction of this project.

The same exterior lighting pattern will be used for the Law Enforcement Center as was approved for the Cumberland County Jail and Pre-Release Center. The plan utilizes the existing light fixtures and poles, with the locations adjusted slightly to accommodate proposed walks and parking. Additional lighting will consist of five wall mounted units on the back of the building and seven bollard lights in front of the building.

## KEY FACT SHEET

### Cumberland County Commissioners Law Enforcement Center Cumberland County Jail Campus

July 27, 1993

Zone: I-2

Campus Parcel Area: 15.8 acres

Proposed Building: Two story brick clad structure on 5,600 sf footprint

Parking Provided: 189 spaces including 7 Handicapped spaces

Roads:

- Ogdensburg: 24 feet wide
- Access Roads:
  - Two way, 24 feet wide
  - One way, 20 feet wide

#### Landscaping:

The landscaping for the project utilizes the same landscaping design features from the jail with the following exceptions:

1. 16 new burning bushes.
2. 3 additional Japanese dogwoods.
3. One less pin oak.
4. No change in the number of mountain ashes.

#### Lighting:

The proposed lighting utilizes the existing light fixtures and poles (locations adjusted slightly to match proposed walks and parking), with the addition of 5 wall-mounted units on the backside of the building and 7 bollard lights in the front of the building.

#### Solid Waste:

Limited demolition debris will be generated. During construction, normal debris will be disposed of at the City's Riverside Landfill facility. Once operational, it is expected that the proposed Law Enforcement Center (30 employees) will generate approximately 15 pounds of trash each day, for disposal at the RWS, as it is presently. It is expected that the majority of this refuse (70%) will be recyclable office paper.

#### Drainage:

The proposed facility has a 15% increase in pervious cover resulting in a 1 cfs decrease in the stormwater runoff.

#### Utilities:

Tie into existing gas, water, and sanitary sewer.





## Cumberland County Law Enforcement Center Traffic Impact Assessment

### Introduction

The Cumberland County Commissioners propose to construct a Law Enforcement Center at the site of the new Cumberland County Jail, which recently received both State and City of Portland approvals (and is currently under construction). The proposed Law Enforcement Center and Jail facilities are to be located on Ogdensburg Street, south of Congress Street and just west of St. John Street. A traffic impact study was prepared in support of the proposed Jail in March 1991 by the consulting firm of McDonough & Scully, Inc. of Framingham, Massachusetts. The data contained in this study will form the basis of the traffic impact assessment contained herein.

### Site Access

Access to the proposed Law Enforcement Center will be similar to that of the County Jail, via Ogdensburg Street. Because Ogdensburg Street is located along a one-way (eastbound) segment of Congress Street, driveway movements are limited to right turn in/out only.

### Traffic Generation

As part of the March 1991 traffic study, surveys of two jail facilities with similar characteristics to the proposed facility were conducted to develop estimates of traffic generation. The two facilities surveyed were Hampshire County Jail in Massachusetts, and Hillsborough County Jail in Manchester, New Hampshire. Both facilities operate on a similar shift schedule (7A-3P, 3P-11P, 11P-7A) to the Cumberland County facility, and total staffing (160±) is also similar. Based upon these surveys, traffic generation rates for the proposed facility were estimated to be as follows:



Time Period	Rate (Total per Employee)	Enter/Exit (Percent)
Daily	2.6	49/51
AM Peak Hour*	0.26	30/70
PM Peak Hour*	0.14	20/80
PM Peak Hour of Generator	0.35	20/80

\* Peak Hour of Adjacent Street

The March 1991 Study assumed an employee population of 200 persons, indicating an estimated trip generation of 520 per day, with 52 during the AM Peak Hour and 28 during the PM Peak Hour. The Cumberland County Sheriff's Department and CRS, an independent consulting firm working with the Sheriff, have been developing staffing plans for the proposed Cumberland County Jail. The most recent employee staffing plans developed for the Jail facility are summarized below.

Shift	Weekdays	Weekends
1 11:00pm-7:00am	18	17
2 7:00am-3:00pm	55	28
3 3:00pm-11:00pm	26	25
<b>TOTAL</b>	<b>99</b>	<b>70</b>

In addition to the "regular" staff of 99 persons on duty during the week, there are an additional 47 persons employed who are categorized as "shift relief" employees, that fill in vacancies caused by training requirements, illness, vacation, holidays, etc. In essence there must always be 99± persons at the Jail each weekday, and any vacancy must be filled by a shift relief employee. In the original study, it was estimated that staffing would be 160-200 employees. It appears that this range included shift relief employees. While these workers must indeed be hired as part of the Jail operation, they are not all on site each day. It is likely that there was some confusion and/or misinterpretation associated with what the term "employee" meant in relation to traffic generation. For the case of traffic generation, the number of employees present on a daily basis is the basic variable applied to trip rates, not the total number of employees hired, which in this case includes shift



relief employees. Revising the estimated traffic generation to reflect the number of employees which work at the facility on a daily basis indicates 260 daily trips, with 26 trips in the AM Peak Hour and 14 in the PM Peak Hour.

The proposed Law Enforcement Center will have an employment population of 30± persons. Approximately 8 persons will be on the same shift schedule as the Jail (see previous table), 3 will be on indeterminate shifts, and 19 (administrative staff) will be on an 8:00 AM to 4:00 PM shift. It is expected that the Law Enforcement Center will generate traffic in a manner similar to the Jail, except that the PM Peak Hour of the facility will coincide with the PM Peak Hour of the adjacent street (Congress Street - PM Peak Hour approximately 4:00 to 5:00 PM) due to the administrative staff time schedule. For the proposed facility, AM Peak Hour traffic generation is estimated at 8 trips, with PM Peak Hour traffic generation at 11 trips.

The table below summarizes traffic generation estimates based upon current estimates for the Jail and the Law Enforcement Center, and compares the combined level of traffic generation for both facilities to the traffic projection contained in the March 1991 report.

Facility	AM Peak Hour Trips	PM Peak Hour Trips
Current Jail (99 Emp)	26	14
Proposed Law Enf. Ctr.	8	11
Total Jail & L.E.C.	34	25
Jail (200 Emp. - 3/91 Rpt)	52	28
Net Traffic Generation	-18	-3

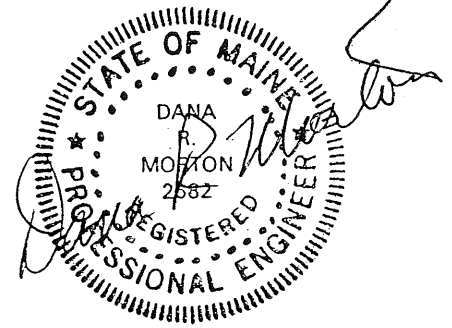
As the table above indicates, current projections of the traffic generated by both the Jail (with 99 employees during weekdays) and the proposed Law Enforcement Center (30 employees) is less than that originally estimated for a jail facility with 200 employees. Accordingly, the findings (and the disposition of those findings) of the original study (March 1991) should continue to be valid for the combination of the approved jail and proposed Law Enforcement Facility.

WILLIAM C. EATON  
#3715  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF MARYLAND  
5/6/93

LAW ENFORCEMENT CENTER  
(CUMBERLAND COUNTY JAIL)

DRAINAGE CALCS.

SUMMARY



**EXISTING CONDITIONS:**

The site location for this proposed development consists of an existing paved parking lot recently constructed as part of the new Cumberland County Jail located off of Ogdensburg Street in Portland, Maine. The proposed development will occupy a relatively small portion of the entire jail center campus as shown on the project site plans, drawings L-100 & L-102.

The soils on which the project will be developed generally fall into the A or B hydrologic soil groups. Approximately 90% of the area to be developed (or redeveloped) as part of this project is presently impervious asphalt paving. Existing drainage patterns consist of overland sheet flow to a channelized, underground storm drainage system.

**PROPOSED DEVELOPMENT:**

The proposed development consists of the construction of an approximately 6000 SF, two story building with minor regrading requirements and the provision of additional landscaped areas. As proposed, approximately 75% of the area to be redeveloped will be impervious (building and paving) rather than 90% as is the existing case. Proposed drainage patterns will remain essentially the same as before.

**ANALYSIS RESULTS:**

Runoff calculations were performed in accordance with SCS, TR-55 methodology for an area consisting of the proposed limits of work for the project as shown on the detailed site plan, drawing L-102.

With the development of the proposed Law Enforcement Center in a previously constructed parking lot the net landscaped area within the limits of work is increased. Correspondingly, the area curve number is lowered and the time of concentration increased. As a result, post-development runoff is calculated to be slightly less than pre-development runoff (a unique situation) as tabulated below:

<u>Storm Event</u>	<u>2yr</u>	<u>5yr</u>	<u>10yr</u>	<u>25yr</u>	<u>50yr</u>	<u>100yr</u>
Existing Peak Flow	2cfs	2cfs	3cfs	3cfs	4cfs	4cfs
Proposed Peak Flow	1cfs	2cfs	2cfs	2cfs	3cfs	3cfs
Net Change in Flow	-1cfs	NC	-1cfs	-1cfs	-1cfs	-1cfs

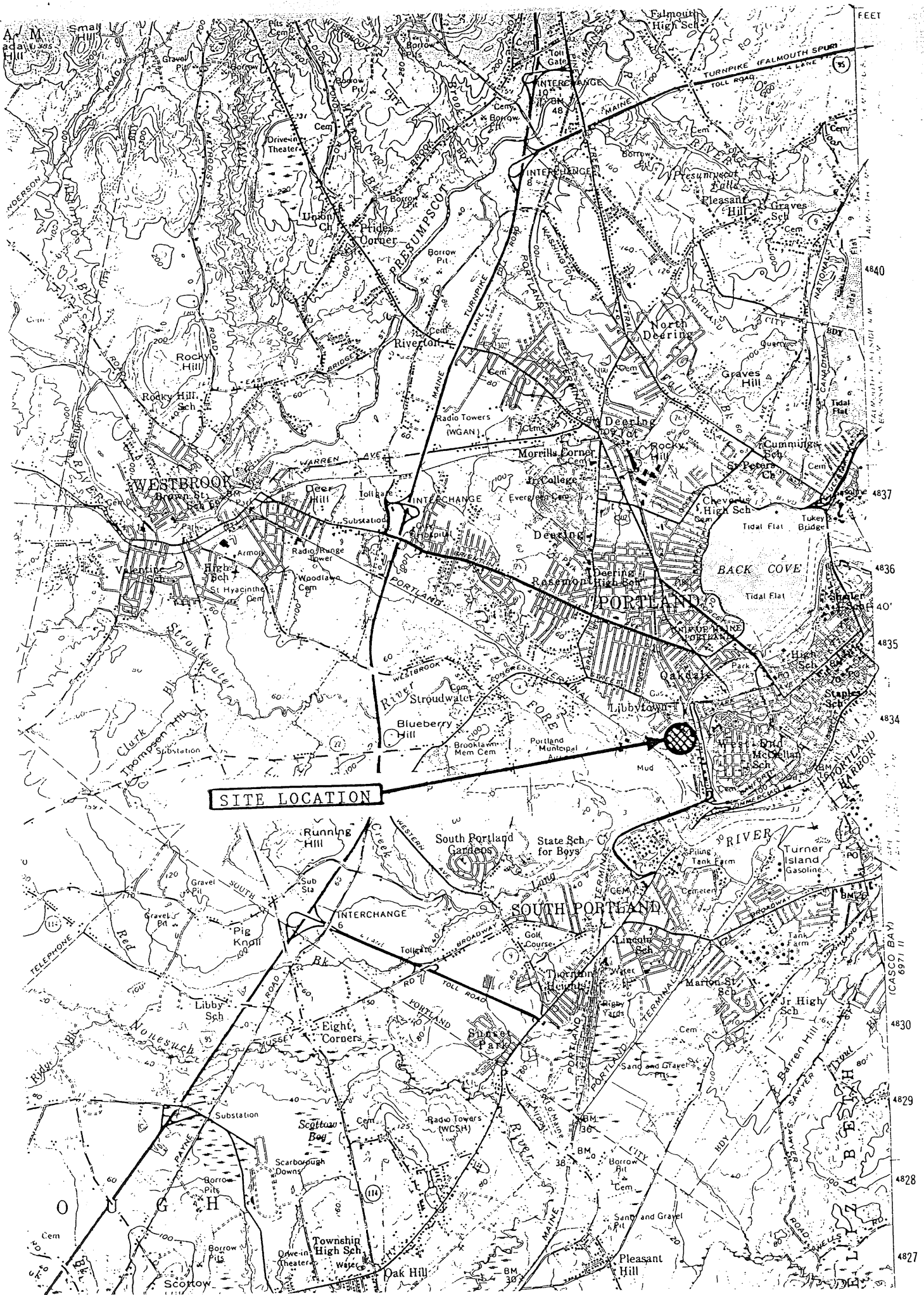


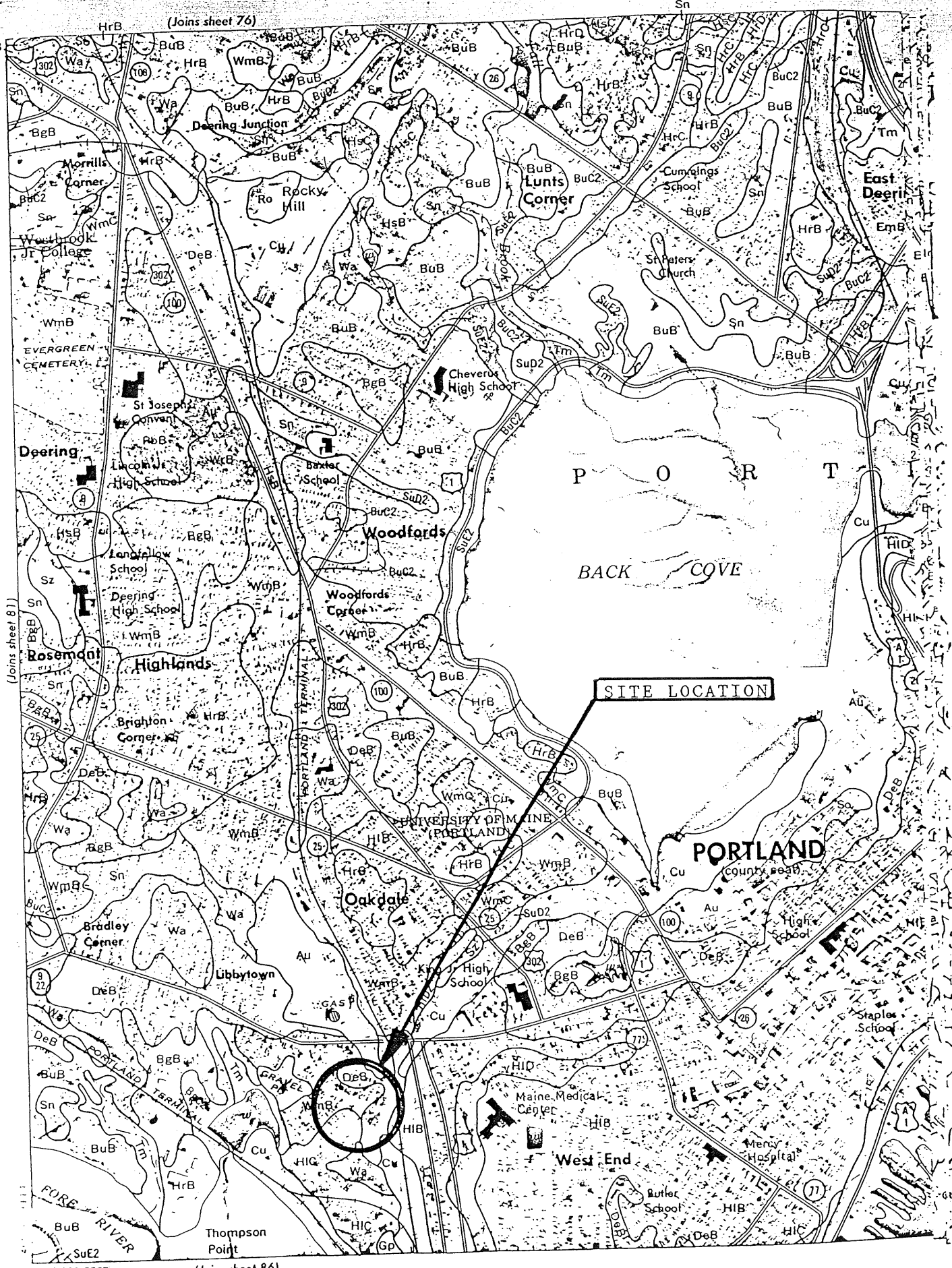
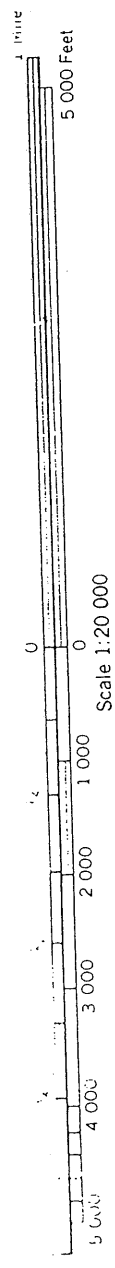
LAW ENFORCEMENT CENTER  
(CUMBERLAND COUNTY JAIL)

DRAINAGE CALCS.

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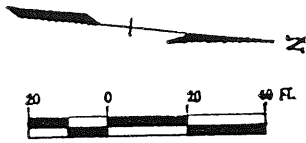
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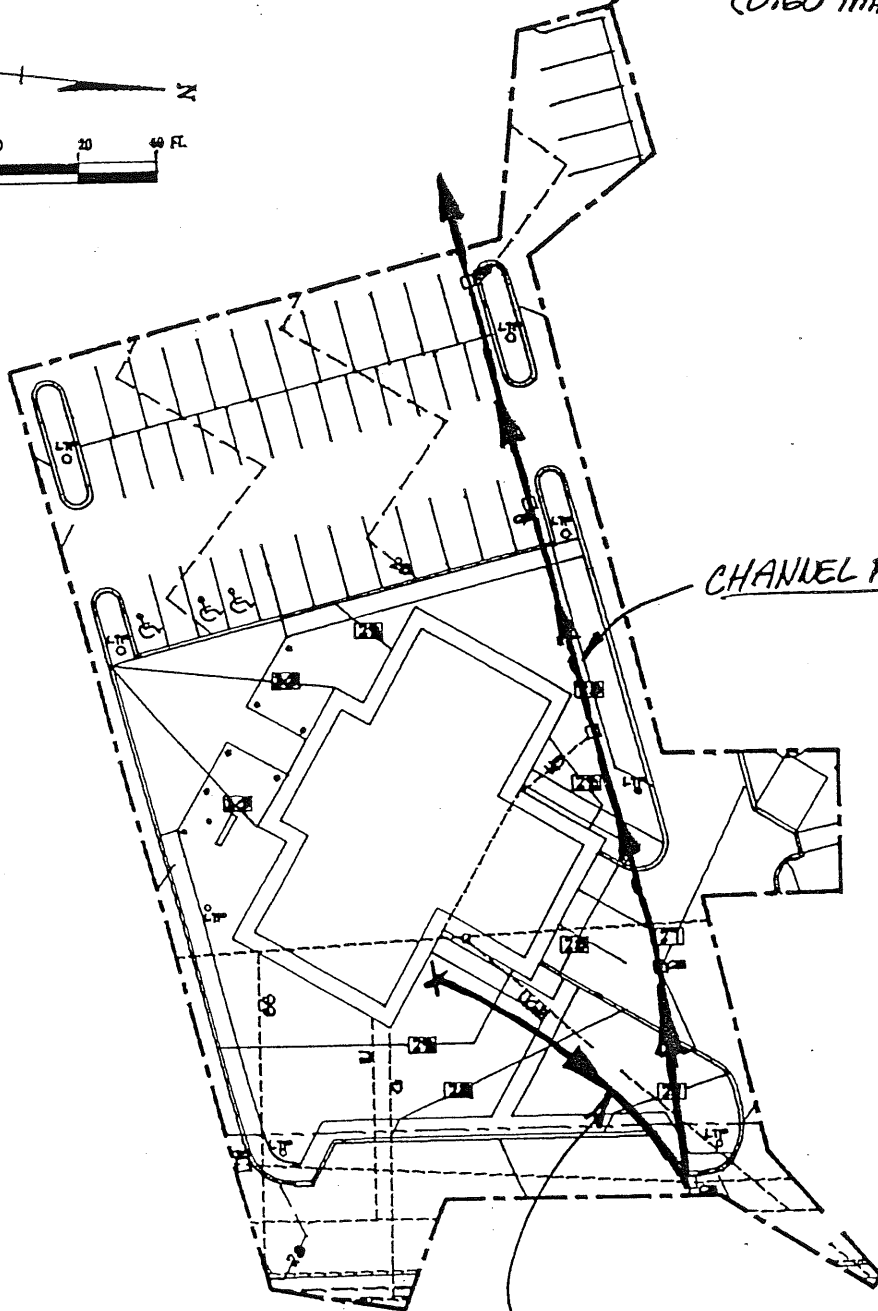








AREA = 0.80 AC  
(0.60 IMPERVIOUS)



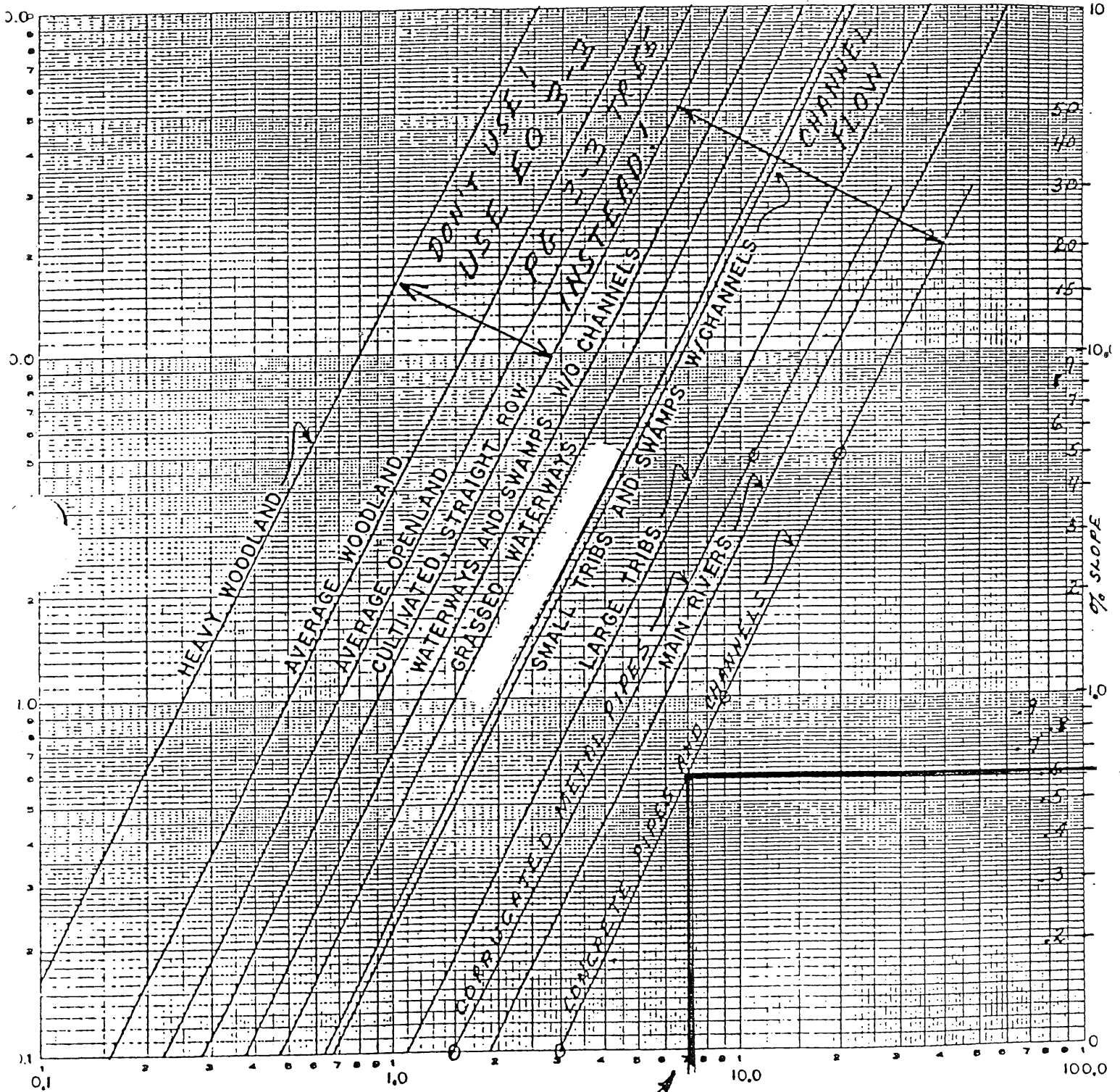
SHEET FLOW

CHANNEL FLOW

TIME OF CONCENTRATION  
 UPLAND METHOD  
 VELOCITIES  
 CHANNEL FLOW CHART

NEH-4 PG 15-8a

JJS



VELOCITY IN FEET PER SECOND

CHANNEL FLOW - V = 1.7 FPS

TR-55 CURVE NUMBER COMPUTATION

VERSION 1.11

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: PREPROJECT RUNOFF  
 Subarea : LIMITS

User: FLM  
 Checked: JCC

Date: 06-25-93  
 Date: 6-28-93

COVER DESCRIPTION	Hydrologic Soil Group			
	A	B	C	D
	Acres (CN)			
FULLY DEVELOPED URBAN AREAS (Veg Estab.)				
Open space (Lawns, parks etc.)				
Good condition; grass cover > 75%	.05(39)	.05(61)	-	-
Impervious Areas				
Paved parking lots, roofs, driveways	.35(98)	.35(98)	-	-
Total Area (by Hydrologic Soil Group)	.4 ====	.4 ====		

SUBAREA: LIMITS TOTAL DRAINAGE AREA: .8 Acres      WEIGHTED CURVE NUMBER: 92\*

\* - Generated for use by GRAPHIC method

TR-55 Tc and Tt THRU SUBAREA COMPUTATION

VERSION 1.11

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: PREPROJECT RUNOFF

User: FLM  
 Checked: JCC

Date: 06-25-93  
 Date: 6-28-93

Flow Type	2 year rain	Length (ft)	Slope (ft/ft)	Surface code	n	Area (sq/ft)	Wp (ft)	Velocity (ft/sec)	Time (hr)
Sheet	3	40	.05	G				1.7	0.039
Open Channel		240							0.130
Time of Concentration = 0.17*									====

- Sheet Flow Surface Codes ---
- A Smooth Surface
  - B Fallow (No Res.)
  - C Cultivated < 20 % Res.
  - D Cultivated > 20 % Res.
  - E Grass-Range, Short
  - F Grass, Dense
  - G Grass, Bermuda
  - H Woods, Light
  - I Woods, Dense

- Shallow Concentrated Surface Codes ---
- P Paved
  - U Unpaved

\* - Generated for use by GRAPHIC method



TR-55 GRAPHICAL DISCHARGE METHOD

VERSION 1.11

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE  
 Subtitle: PREPROJECT RUNOFF

State: ME

User: FLM  
 Checked: JCC

Date: 06-25-93  
 Date: 6/28/93

Data: Drainage Area : .8 \* Acres  
 Runoff Curve Number : 92 \*  
 Time of Concentration: 0.17 \* Hours  
 Rainfall Type : III  
 Pond and Swamp Area : NONE

Storm Number	1	2	3	4	5	6	7
Frequency (yrs)	2	5	10	25	50	100	0
24-Hr Rainfall (in)	3	4	4.7	5.5	6	6.7	0
Ia/P Ratio	0.06	0.04	0.04	0.03	0.03	0.03	0.00
Used	0.10	0.10	0.10	0.10	0.10	0.10	0.00
Runoff (in)	2.16	3.12	3.80	4.58	5.07	5.76	0.00
Unit Peak Discharge (cfs/acre/in)	0.922	0.922	0.922	0.922	0.922	0.922	0.000
Pond and Swamp Factor 0.0% Ponds Used	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Peak Discharge (cfs)	2	2	3	3	4	4	0

\* - Value(s) provided from TR-55 system routines

TR-55 CURVE NUMBER COMPUTATION

VERSION 1.11

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: POSTPROJECT RUNOFF  
 Subarea : LIMITS

User: FLM  
 Checked: LLC

Date: 06-25-93  
 Date: 6/28/93

COVER DESCRIPTION	Hydrologic Soil Group			
	A	B	C	D
	Acres (CN)			
FULLY DEVELOPED URBAN AREAS (Veg Estab.)				
Open space (Lawns, parks etc.)				
Good condition; grass cover > 75%	.10(39)	.10(61)	-	-
Impervious Areas				
Paved parking lots, roofs, driveways	.30(98)	.30(98)	-	-
Total Area (by Hydrologic Soil Group)	.4 ====	.4 ====		

SUBAREA: LIMITS TOTAL DRAINAGE AREA: .8 Acres      WEIGHTED CURVE NUMBER: 86\*

\* - Generated for use by GRAPHIC method

TR-55 Tc and Tt THRU SUBAREA COMPUTATION

VERSION 1.11

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: POSTPROJECT RUNOFF

User: FLM  
 Checked: JLC

Date: 06-25-93  
 Date: 6/28/93

Flow Type	2 year rain	Length (ft)	Slope (ft/ft)	Surface code	n	Area (sq/ft)	Wp (ft)	Velocity (ft/sec)	Time (hr)
Sheet	3	80	.04	G					0.248
Open Channel		240						1.7	0.039
									Time of Concentration = 0.29*
									=====

--- Sheet Flow Surface Codes ---

- A Smooth Surface
- B Fallow (No Res.)
- C Cultivated < 20 % Res.
- D Cultivated > 20 % Res.
- E Grass-Range, Short

- F Grass, Dense
- G Grass, Bermuda
- H Woods, Light
- I Woods, Dense

- Shallow Concentrated ---
- Surface Codes ---
- P Paved
- U Unpaved

\* - Generated for use by GRAPHIC method

Project : LAW ENFORCEMENT CENTER  
 County : CUMBERLAND-SE State: ME  
 Subtitle: POSTPROJECT RUNOFF

User: FLM  
 Checked: JLC

Date: 06-25-93  
 Date: 6/28/93

Data: Drainage Area : .8 \* Acres  
 Runoff Curve Number : 86 \*  
 Time of Concentration: 0.29 \* Hours  
 Rainfall Type : III  
 Pond and Swamp Area : NONE

Storm Number	1	2	3	4	5	6	7
Frequency (yrs)	2	5	10	25	50	100	0
24-Hr Rainfall (in)	3	4	4.7	5.5	6	6.7	0
Ia/P Ratio	0.11	0.08	0.07	0.06	0.05	0.05	0.00
Used	0.11	0.10	0.10	0.10	0.10	0.10	0.00
Runoff (in)	1.66	2.55	3.19	3.94	4.41	5.08	0.00
Unit Peak Discharge (cfs/acre/in)	0.783	0.788	0.788	0.788	0.788	0.788	0.000
Pond and Swamp Factor 0.0% Ponds Used	1.00	1.00	1.00	1.00	1.00	1.00	1.00
Peak Discharge (cfs)	1	2	2	2	3	3	0

\* - Value(s) provided from TR-55 system routines



LAW ENFORCEMENT CENTER  
(CUMBERLAND COUNTY JAIL)

DRAINAGE CALCS.

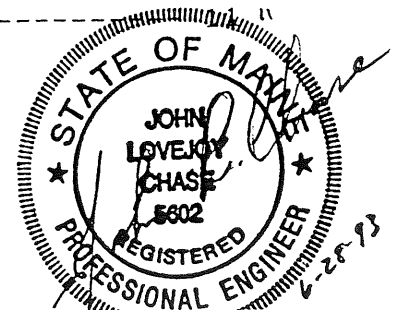
SUMMARY

Runoff calculations were performed in accordance with SCS, TR-55 methodology for an area consisting of the proposed limits of work for the project as shown on the detailed site plan, drawing L-102.

With the development of the proposed Law Enforcement Center in a previously constructed parking lot the net landscaped area within the limits of work is increased. Correspondingly, the area curve number is lowered and the time of concentration increased. As a result, post-development runoff is calculated to be slightly less than pre-development runoff (a unique situation).

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CHANNEL FLOW CHART -----	5
PREDEVELOPMENT CN CALC. -----	6
PREDEVELOPMENT Tc CALC. -----	7
PREDEVELOPMENT DISCHARGE CALCS. -----	8
POSTDEVELOPMENT CN CALC. -----	9
POSTDEVELOPMENT Tc CALC. -----	10
POSTDEVELOPMENT DISCHARGE CALCS. -----	10



CC Jail / Post 89006.14  
CURRENT Locus Deed

DK9382FG0061

054412

RELEASE DEED

↓ PORTLAND TERMINAL COMPANY, a corporation duly organized and existing under the laws of the State of Maine, with offices at Iron Horse Park, North Billerica, Middlesex County, Massachusetts (the "Grantor") in consideration of One Million Two Hundred Thousand (\$1,200,000.00) Dollars paid to it by the INHABITANTS OF THE COUNTY OF CUMBERLAND, STATE OF MAINE, a body corporate and politic having a mailing address of 142 Federal Street, Portland, Maine 04101 (the "Grantee") hereby grants to the Grantee all the Grantor's right, title and interest, without any warranties or covenants of title whatsoever, in a certain parcel of land, and the buildings, bridges, structures, crossings, fixtures and improvements thereon, if any, situated in Portland, Cumberland County, Maine (the "Premises") described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF BY THIS REFERENCE.

This conveyance is made subject to the following reservations, conditions, covenants and agreements:

- 7 →
1. This conveyance is made without granting any right of way, either by necessity or otherwise over any remaining land or location of the Grantor.
  2. The Grantor excepts from this conveyance any and all railroad tracks, railroad track materials (including, but not limited to, ties, connections, switches and ballast), and/or related equipment of any description located in whole or in part within the Premises (the "Trackage") and this conveyance is subject to the right of the Grantor to enter the Premises from time to time and at any and all times within the ninety (90) day period commencing with and subsequent to the date of delivery of this deed, with such men, equipment and materials as, in the sole and reasonable opinion of the Principal Engineering Officer of the Grantor, are necessary for the removal of such Trackage. Days during the months of December, January, February and March shall not be included in the aforesaid ninety (90) day period. If the Trackage is not removed from the Premises by the expiration of said ninety (90) day period, the Trackage shall be deemed abandoned by the Grantor and shall then become the property of the Grantee.

3. By the acceptance of this deed and as part consideration therefor, the Grantee hereby assumes any and all agreements, covenants, obligations and liabilities of the Grantor in respect to any underground facilities, drainage culverts, walls, crossings and/or other structures of any nature and description located in whole or in part within the Premises.
4. By the acceptance of this deed and as part consideration therefor, the Grantee agrees to release and hold harmless the Grantor (including its officers, employees, agents, directors, shareholders and affiliates) from and against any and all loss, liability, damage, cost and expense (including reasonable attorneys' fees) occasioned by or associated with any claims, suits and/or enforcement actions (including any administrative or judicial proceedings and any remedial, removal or response actions) ever asserted, threatened, instituted or requested by any person and/or governmental agency on account of: (a) any release of oil or hazardous materials or substances of any description on, upon or into the Premises in contravention of any ordinance, law or statute (including, but not limited to, the Comprehensive Environmental Response, Compensation and Liability Act of 1980 (42 U.S.C. Section 9601, et seq., as amended); and (b) any and all damage to real or personal property, natural resources and/or harm or injury to persons alleged to have resulted from such release of oil or hazardous materials or substances.
5. By the acceptance of this deed and as part consideration therefor, the Grantee hereby agrees to build and forever maintain fences (together with any necessary gates), suitable to the Principal Engineering Officer of the Grantor, along the boundaries of the Premises which are common to remaining land or location of the Grantor (the "Fences"), if Fences are ever required in the reasonable opinion of said Principal Engineering Officer in order to prevent encroachments or unauthorized entry upon adjoining land of the Grantor. If the Grantee fails to install, maintain, repair or replace the Fences within sixty (60) days after having been requested or ordered to do so by the said Principal Engineering Officer of the Grantor, then the Grantor shall have the right to so install,

maintain, repair or replace the Fences. The Grantee further covenants and agrees that, upon the rendering of a bill for the expense of such installation, maintenance, repair or replacement of the Fences, the Grantee shall pay said bill in full within thirty (30) days from the date of receiving it. The Grantee further covenants and agrees that if said bill is not paid within thirty (30) days, it shall become subject to a finance charge computed at a periodic rate of 1.5% per month applied to the previous balance after deducting any current payment. If said finance charge is not lawful, then the finance charge shall then be the highest lawful amount which does not exceed said 1.5% per month charge. If the Grantee, for any reason whatsoever, fails to pay said bill (and finance charges, if applicable) the Grantee shall pay all Grantor's costs of collection, including reasonable attorneys' fees and expenses.

6. This conveyance is subject to the following restrictions for the benefit of other land or location of the Grantor, to wit: that from the date of this deed, the Grantor shall not be liable to the Grantee or any lessee or user of the Premises (or any part thereof) for any damage to any buildings or property upon them caused by fire, whether communicated directly or indirectly by or from locomotive engines of any description upon the railroad operated by the Grantor, or otherwise.
7. By the acceptance of this deed and as part consideration therefor, the Grantee hereby agrees to make no use of the Premises which, in the reasonable opinion of the Principal Engineering Officer of the Grantor, unreasonably and adversely affects, increases or decreases drainage to, from, upon or in any remaining land or location of the Grantor. The Grantee agrees to indemnify and save the Grantor harmless from and against any and all loss, cost, damage or expense including, but not limited to, the cost of defending all claims and/or suits for property damage, personal injury or death arising out of or in any way attributable to any breach of the foregoing covenants.
8. The Grantor excepts from this conveyance any and all overhead, surface or underground signal and communication line facilities of the Grantor located



- 4 -

within the limits of the Premises and this conveyance is subject to the Grantor's use of any such facilities in their present locations and entry upon the Premises from time to time to maintain, repair, replace, renew, relay or remove such facilities.

9. Whenever used in this deed, the term "Grantor" shall not only refer to the PORTLAND TERMINAL COMPANY, but also its successors, assigns and affiliates and the term "Grantee" shall not only refer to the above-named Grantee, but also the Grantee's successors, assigns and grantees, as the case may be.
10. The several exceptions, reservations, conditions, covenants and agreements contained in this deed shall be deemed to run with the land and be binding upon the Grantee forever. In addition to the acceptance and recording of this deed, the Grantee hereby signifies assent to the said several exceptions, reservations, conditions, covenants and agreements, by joining in its execution.

DX9382PG-065

- 5 -

IN WITNESS WHEREOF, the said PORTLAND TERMINAL COMPANY has caused this release deed to be executed in its name and its corporate seal to be hereto affixed by David A. Fink, its President, thereunto duly authorized this 9 day of November, 1990.

PORTLAND TERMINAL COMPANY

[Signature]  
Witness  
John Bynne Conall

By: [Signature]  
David A. Fink, President

SEAL

GRANTEE:  
INHABITANTS OF THE COUNTY OF  
CUMBERLAND, STATE OF MAINE

[Signature]  
Witness

By: [Signature]

[Signature]  
Witness

By: [Signature]

\_\_\_\_\_  
Witness

By: \_\_\_\_\_

DX9382PG067

EXHIBIT A

1st  
PAGE

A certain lot or parcel of land with any buildings thereon situated southerly of Congress Street, easterly of the Fore River and westerly of Saint John Street in the City of Portland, County of Cumberland and State of Maine, and being more particularly bounded and described as follows:

Beginning at a 5/8" rebar with cap stamped "ECJ RLS 509" located at the intersection of the southerly sideline of said Congress Street, with the westerly sideline of the Maine Central Railroad right-of-way as it crosses said Congress Street, being the northerly corner of the parcel herein described;

Thence along said Maine Central Railroad (MCRR) right-of-way following a curve to the left having a radius of 2474.92 feet, an arc distance of two hundred fifteen and sixty-nine hundredths (215.69) feet to a rebar;

Thence S 07°-08'-85" E along said MCRR right-of-way eight hundred twenty-five and eighty-four hundredths (825.84) feet to a rebar;

Thence continuing along said MCRR right-of-way following a curve to the left having a radius of 5776.94 feet, an arc distance of three hundred eighty-seven and ninety-seven hundredths (387.97) feet to a rebar;

Thence S 11°-04'-30" E along said MCRR right-of-way one hundred thirty-two and sixty-seven hundredths (132.67) feet to a rebar located at the intersection of the westerly sideline of said MCRR right-of-way with the easterly sideline of the Portland Terminal Company (PTC) rail right-of-way; provided, however that the Grantor and Grantee expressly agree that notwithstanding the line described by the preceding five paragraphs, the boundary between said parcel and said MCRR right-of-way shall be a line parallel to and thirty-three (33) feet westerly of the center line of the most western main line track in said MCRR right-of-way; except that this exception shall not apply to Parcel 2 described hereafter;

Thence along said PTC rail right-of-way, being 66 feet wide, 33 feet from the center line of the existing railroad tracks, following a curve to the left having a radius of 988.37 feet an arc distance of nine hundred forty-four and seventy-five hundredths (944.75) feet to a rebar;

Thence N 85°-15'-30" W along said PTC rail right-of-way, three hundred forty-seven and ninety-eight hundredths (347.98) feet to a set 5/8" rebar with aluminum cap stamped "SMRT RLS 1314" (set rebar 1314), said rebar being on the easterly sideline of the proposed Ogdensburg Street;

Thence N 04°-24'-55" E along said Ogdensburg Street eighty-three and ninety-two hundredths (83.92) feet to a rebar;

Thence along said Ogdensburg Street following a curve to the right having a radius of 375.00 feet an arc distance of four hundred nine and forty-seven hundredths (409.47) feet to a set rebar;

Thence N 66°-58'-35" E along said Ogdensburg Street three hundred thirty-four and ninety-five hundredths (334.95) feet to a set rebar;

Thence along said Ogdensburg Street following a curve to the left having a radius of 325.00 feet an arc distance of one hundred sixty and sixty-four hundredths (160.64) feet to a set rebar;

Thence N 38°-39'-25" E along said Ogdensburg Street two hundred fifty-nine and thirty-two hundredths (259.32) feet to a set rebar;

Thence N 47°-25'-55" E along said Ogdensburg Street thirty-two and seventy-seven hundredths (32.77) feet to a set rebar;

Thence along said Ogdensburg Street following a curve to the left having a radius of 205.00 feet, an arc distance of one hundred nineteen and seventy-six hundredths (119.76) feet to a set rebar;

Thence N 05°-11'-10" E along said Ogdensburg Street sixty-two and thirty-eight hundredths (62.38) feet to a set rebar;

Thence N 34°-16'-00" E along said Ogdensburg Street fourteen and eighty-eight hundredths (14.88) feet to rebar 509 being the point of beginning.

Said parcel containing 15.0 acres more or less.

*see  
2WD*

{ ALSO another certain lot or parcel of land situated in said City of Portland, County of Cumberland and State of Maine located southerly of said Congress Street and being more particularly described as follows:



BX9302PG 069

Beginning at a 5/8" rebar with cap stamped "ECJ RLS 509" located at the intersection of the southerly sideline of said Congress Street, with the westerly sideline of the Maine Central Railroad right-of-way as it crosses said Congress, said point also being the northeasterly corner of the proposed Ogdensburg Street and the northerly corner of the first parcel described above;

Thence S 34°-16'-00" W along said first parcel fourteen and eight-eighth hundredths (14.88) feet to a 5/8" set rebar stamped "SMRT RLS 1314";

Thence S 05°-11'-10" W along said first parcel sixty-two and thirty-eight hundredths (62.38) feet to a set rebar;

Thence along said first parcel following a curve to the right having a radius of 205.00 feet an arc distance of one hundred nineteen and seventy-six (119.76) feet to a set rebar;

Thence S 47°-25'-55" W along said first parcel thirty-two and seventy-seven hundredths (32.77) feet to a set rebar;

Thence S 38°-39'-25" W along said first parcel two hundred fifty-nine and thirty-two hundredths (259.32) feet to a set rebar;

Thence along said first parcel following a curve to the right having a radius of 325 feet, an arc distance of one hundred sixty and sixty-four hundredths (160.64) feet to a set rebar;

Thence N 23°-01'-25" W across Ogdensburg Street fifty and no hundredths (50.00) feet to a set rebar;

Thence along other land of the PTC following a curve to the left having a radius of 275.00 feet an arc distance of one hundred thirty-five and ninety-two hundredths (135.92) feet to a set rebar;

Thence N 38°-39'-25" E along other land of the PTC two hundred fifty-nine and thirty-two hundredths (259.32) feet to a set rebar;

Thence N 29°-52'-55" E along other land of the PTC thirty-two and seventy-seven hundredths (32.77) feet to a set rebar;

Thence along other land of PTC following a curve to the left having a radius of 145.00 feet an arc distance of eighty-four and seventy-one hundredths (84.71) feet to a set rebar;

Thence N 5°-11'-10" E along other land of PTC sixty-two and thirty-eight hundredths (62.38) feet to a set rebar;

Thence N 23°-51'-15" W along other land of PTC fourteen and eight-six hundredths (14.86) feet to a rebar on the southerly sideline of Congress Street, also being the northeasterly corner of lands now or formerly of Hutchins recorded in the Cumberland County Registry of Deeds in Book 2982, Page 407;

Thence N 84°-48'-50" E along said Congress Street seventy-four and forty-five hundredths (74.45) feet to rebar 509, being the point of beginning.

Meaning and intending to describe a strip of land tapering from seventy-four and forty-five hundredths (74.45) feet wide to fifty (50.00) feet wide to be known as Ogdensburg Street.

Excepting herefrom and reserving to the Grantor, Portland Terminal Co., its successors and assigns, a right-of-way in common with the said Grantee, its successors and assigns, over the above described premises for access and egress to other land of said Portland Terminal Co. as if the above premises were an accepted City Street, including the right to install utilities over, in, under or through said premises but with the condition to restore said street thereafter, except to the extent that a portion of said premises may be still a City Street known as Ogdensburg Street.

300 } A right-of-way in common with others for vehicular access and egress and surface and storm water drainage over a certain lot or parcel of land situated southerly of Congress Street in the City of Portland, County of Cumberland and State of Maine and being more particularly described as follows:

Beginning at the most southeasterly corner of the second parcel described above at a set 5/8" rebar with aluminum cap stamped "SMRT RLS 1314" (set rebar 1314) on the northwesterly sideline of the first parcel described above;

Thence S 66°-58'-35" W along said first parcel three hundred thirty-four and ninety-five hundredths (334.95) feet to a set rebar;

Thence along said first parcel following a curve to the left having a radius of 375.00 feet an arc distance of four hundred nine and forty-seven hundredths (409.47) feet to a set rebar;

BK9382PG1071

Thence S 04°-24'-55" W along said first parcel eighty-three and ninety-two hundredths (83.92) feet to a set rebar, said rebar being at the northerly line of the Portland Terminal Co. (PTC) rail right-of-way also being the westerly corner of said first parcel;

Thence N 85°-15'-30" W along said PTC rail right-of-way fifty and no hundredths (50.00) feet to a set rebar, said rebar being on the westerly sideline of proposed Ogdensburg Street;

Thence N 85°-15'-30" W along said PTC rail right-of-way forty-one and eighty-two hundredths (41.82) feet to a 5/8" rebar with cap stamped "ECJ RLS 509";

Thence along said PTC rail right-of-way following a curve to the right having a radius of 922.37 feet an arc distance of four hundred ninety-four and ninety-seven hundredths (494.97) feet to a rebar;

Thence N 54°-28'-55" W along said PTC rail right-of-way thirty-four and ninety hundredths (34.90) feet to a rebar, said rebar being on the easterly line of lands now or formerly of the Maine Department of Transportation;

Thence along said Maine Department of Transportation land following a curve to the left having a radius of 375.00 feet an arc distance of sixty-three and sixty-two hundredths (63.62) feet to a set rebar;

Thence northerly of and fifty (50) feet distant from said PTC rail right-of-way following a curve to the left having a radius of 872.37 feet an arc distance of four hundred sixty-three and eighty-three hundredths (463.83) feet to a set rebar;

Thence S 85°-15'-30" E forty-one and fifty-four hundredths (41.54) feet to the westerly sideline of proposed Ogdensburg Street;

Thence N 04°-24'-55" E along said Ogdensburg Street thirty-three and sixty-four hundredths (33.64) feet to a set rebar;

Thence along other land of PTC following a curve to the right having a radius of 425 feet an arc distance of four hundred sixty-four and seven hundredths (464.07) feet to a set rebar;

Thence N 66°-38'-35" E along other land of PTC three hundred thirty-four and ninety-five hundredths (334.95) feet to a set rebar;

Thence S 23°-01'-25" E across said Ogdensburg Street fifty and no hundredths (50.00) feet to rebar 1314 being the point of beginning.

Meaning and intending to convey and hereby conveying a right-of-way over an extension of Ogdensburg Street and an easement running northwesterly thereof to provide access from the terminus of said Ogdensburg Street right-of-way as extended to land of the State of Maine, Maine Department of Transportation at the most southwesterly end of Frederick Street in said City of Portland, County of Cumberland and State of Maine, said right-of-way to be used for vehicular access and egress to parcels 1 and 2 described above, and parcel 4 hereafter, including the right to construct and maintain, including winter plowing as necessary, a graveled road over, under and through said right-of-way, and to construct and maintain a surface and storm water drainage system over, under and through said right-of-way, including specifically a drainage easement therein.

ESMT  
4TH

ALSO a non-exclusive easement for surface and storm water drainage and detention over a certain lot or parcel of land situated westerly of said proposed Ogdensburg Street, in the City of Portland, County of Cumberland and State of Maine being more particularly described as follows:

Beginning at a point on the westerly sideline of proposed Ogdensburg Street on a curve having a tie measurement along a chord of S 10°-54'-04" W, ninety-six and two hundredths (96.02) feet, and another chord of S 04°-24'-55" W, eighty-three and sixty-four hundredths (83.64) feet from a set 5/8" rebar with aluminum cap stamped "SMRT RLS 1314" located on the northerly line of the Portland Terminal Company (PTC) rail right-of-way at the southwesterly terminus of proposed Ogdensburg Street;

Thence from said point of beginning S 48°-21'-44" W through other land of the PTC seventy-three and seventy hundredths (73.70) feet to a point;

Thence S 14°-01'-25" E through other land of PTC seventy-nine and ninety-nine hundredths (79.99) feet to a point, said point being on the northerly right-of-way line of the third parcel described above;

Thence N 85°-15'-30" W along said third parcel twenty-six and fifty-four hundredths (26.54) feet to a set rebar;



BK 9382PG 073

Thence along said third parcel following a curve to the left having a radius of 872.37 feet an arc distance of ninety-five (95) feet, to a point;

Thence N 44°-20'-01" W through other land of PTC three hundred eight and thirteen hundredths (308.13) feet to a point, said point being on the easterly line of the lands now or formerly of the Maine Department of Transportation;

Thence along said lands of Maine Department of Transportation following a curve to the left having a radius of 375.00 feet an arc distance of seventy (70.00) feet to a point;

Thence S 53°-05'-10" E through other land of PTC three hundred thirteen and fourteen hundredths (313.14) feet to a point;

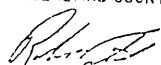
Thence N 48°-21'-44" E through other land of PTC one hundred thirty-four and nine hundredths (134.09) feet to a point, said point is on the westerly sideline of proposed Ogdensburg Street;

Thence along said Ogdensburg Street following a curve to the left having a radius of 425.00 feet an arc distance of sixty-seven and forty-eight hundredths (67.48) feet to the point of beginning.

Meaning and intending to describe in all the previously herein described parcels a portion of the premises conveyed to Portland Terminal Company by deeds dated July 1, 1911 and recorded in the Cumberland County Registry of Deeds, Book 881, Page 299 and Page 318, and as shown on the Recording Plat of the Cumberland County Jail for the Cumberland County Commissioners by Stevens Morton Rose & Thompson dated November 08, 1990 intended to be recorded. No monuments have been set as a result of this survey.

The basis of bearing is true north as shown on the above stated plan.

RECEIVED  
RECORDS & CLERK OF DEEDS  
1990 NOV 13 AM 8:30  
CUMBERLAND COUNTY





**CITY OF PORTLAND, MAINE**  
**SITE PLAN REVIEW**  
**Processing Form**

*Planning Dept*

5/29/93

Cumberland County Commissioners  
 Applicant

\_\_\_\_\_ Date

142 Federal St- Ptlid, ME 04101  
 Mailing Address

Ordensburt St.  
 Address of Proposed Site

construct additional building  
 Proposed Use of Site

\_\_\_\_\_ Site Identifier(s) from Assessors Maps

appx 13 acres / appx 80'x95'  
 Acreage of Site / Ground Floor Coverage

\_\_\_\_\_ Zoning of Proposed Site

Site Location Review (DEP) Required: ( ) Yes ( ) No

Proposed Number of Floors \_\_\_\_\_

Board of Appeals Action Required: ( ) Yes ( ) No

Total Floor Area \_\_\_\_\_

Planning Board Action Required: ( ) Yes ( ) No

Other Comments: contact person: Arthur Thompson 772-3846 (SMART)

Date Dept. Review Due: \_\_\_\_\_

*Major Site plan review*

**PLANNING DEPARTMENT REVIEW**

\_\_\_\_\_  
 (Date Received)

- Major Development — Requires Planning Board Approval: Review Initiated
- Minor Development — Staff Review Below

	LOADING AREA	PARKING	CIRCULATION PATTERN	ACCESS	PEDESTRIAN WALKWAYS	SCREENING	LANDSCAPING	SPACE & BULK OF STRUCTURES	LIGHTING	CONFLICT WITH CITY PROJECTS	FINANCIAL CAPACITY	CHANGE IN SITE PLAN
APPROVED	✓											✓
APPROVED CONDITIONALLY												CONDITIONS SPECIFIED BELOW
DISAPPROVED												REASONS SPECIFIED BELOW

REASONS: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

(Attach Separate Sheet if Necessary)

*Jan L. H. L. Aug 24, 1993*

SIGNATURE OF REVIEWING STAFF/DATE





SOUTH ELEVATION  
 1/8" = 1'-0"

12-1-93

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 SUBJECT TO DEPARTMENTAL  
 CONDITIONS  
 DATE OF APPROVAL 12/10/93

*revised elevations - PE:KOLF*



004

SMRT PORTLAND

7721070

12:56

12/03/93



NORTH ELEVATION

$\frac{1}{8}'' = 1'-0''$

12-193

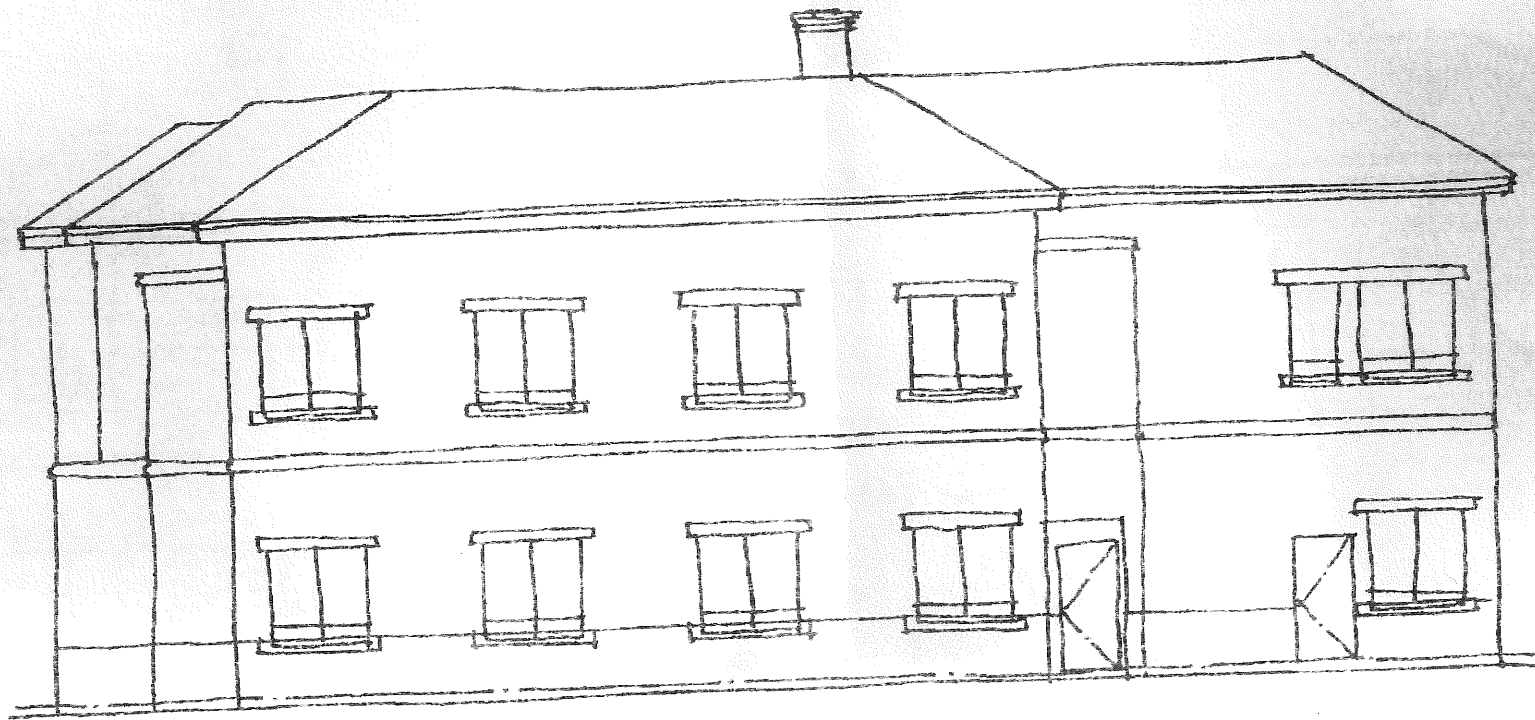
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SMRT PORTLAND

ST721070

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12/03/93

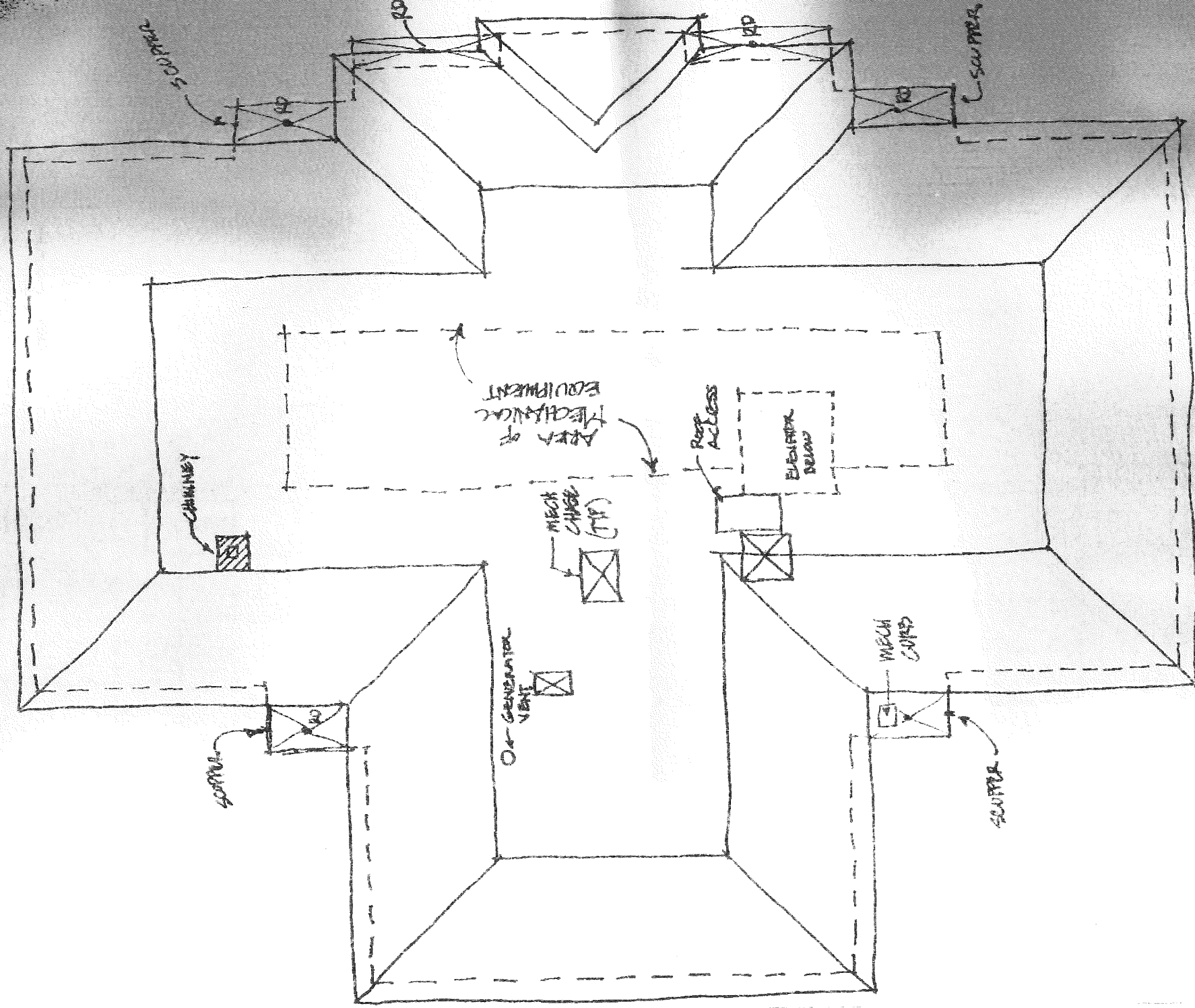


EAST ELEVATION

$\frac{1}{8}'' = 1'-0''$

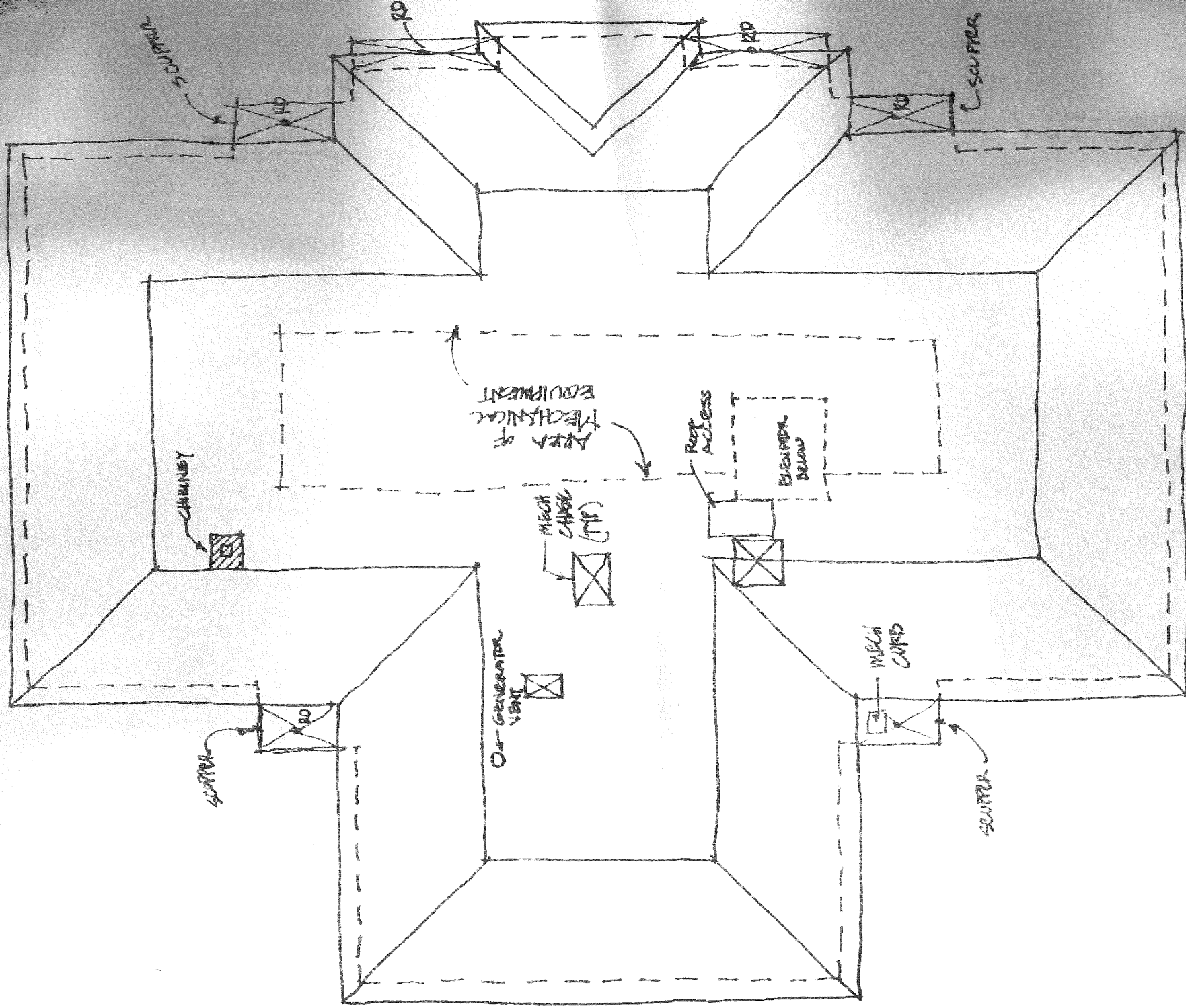
12-1-93





12-1-93

ROOF PLAN  
1/8" = 1'-0"



ROOF PLAN

1/8" = 1'-0"

12-1-93





CITY OF PORTLAND

December 6, 1993

Phil Kaminsky  
SMRT  
39 Forest Avenue  
P.O. Box 618  
Portland, ME 04104

RE: Law Enforcement Center at the Cumberland County Jail

Dear Mr. Kaminsky:

This letter is to confirm the revision to the approved site plan of the Law Enforcement Center project located at the Cumberland County Jail Site on Ogdensburg Street. The approved revision includes changing from a peaked roof to a mansard roof in order to provide space for mechanical equipment. The revised plan has been reviewed and approved by the project review staff including representatives of the Planning, Public Works, Building Inspections, Fire and Parks Departments.

If you have any questions regarding the revision please contact the planning staff at 874-8300, extension 8720.

Sincerely,

A handwritten signature in dark ink, appearing to read "Joseph E. Gray, Jr.", written over a printed name and title.

Joseph E. Gray, Jr.  
Director of Planning and Urban Development

cc: Alexander Jaegerman, Chief Planner  
✓ Sarah Hopkins, Senior Planner  
Craig R. Carrigan, Development Review Coordinator  
P. Samuel Hoffses, Chief of Building Inspections  
Jeff Tarling, City Arborist  
Paul Niehoff, Materials Engineer  
Bill Bray, Traffic Engineer  
Lt. Gaylen McDougall, Fire Prevention  
Natalie Burns, Associate Corporation Counsel  
Louise Chase, Building Permit Secretary  
Approval Letter File

OCT 22 1993

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***THE MERRILL COMPANIES***

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P. O. B O X 7 3 9 P O R T L A N D, M A I N E 0 4 1 0 4 P H O N E ( 2 0 7 ) 7 6 1 - 2 4 1 6

October 12, 1993

Mark T. Margerum, Licensing Coordinator  
Division of Site Location Review  
Att: Linda Kokemuller  
Department of Environmental Protection  
312 Canco Road  
Portland, Maine 04103

CERTIFIED

Re: Cumberland County Commissioners  
Law Enforcement Center Application, Portland

Dear Mr. Margerum:

This is written on behalf of Portland Cargo Associates, a joint venture of Merrill Industries, Inc. and Guilford Transportation Industries which holds a Site Law license on land abutting the applicant.

We have reviewed the County's application for modification and we object to its approval because although it may offer some efficiency for government activities, it further undermines the developability of adjoining parcels by further reducing the remaining traffic capacity of the affected infrastructure. The fact that the new estimate of traffic volume is the same or less than the original estimate provides no relief from the burden this project has placed upon the Portland Cargo Associates site.

We respectfully request that any modification to the Cumberland County Commissioner's license be conditioned upon the County's performance on certain oral assurances it made at the time it acquired the property. Its failure to deliver on these assurances to date has created considerable distress to both public and private interests.

In November, 1990, Portland Terminal Company, a subsidiary of Guilford Transportation Industries, Inc. sold two parcels of land and two easement parcels to the Cumberland County Commissioners. Parcel 2 consisted of a strip of land approximately 500 feet in length which was originally designated as the "relocated Ogdensburg Street" on the Portland Cargo Associates "Fore River Transportation Park, Phase 1" (L-14032-39C-M) Plan of April 14, 1987. Portland Terminal Company retained for itself and for its assigns full right of access over this parcel to other adjoining properties of Portland Terminal Company.

Mark T. Margerum  
October 12, 1993  
Page 2

Portland Terminal Company sold these parcels to the Cumberland County Commissioners under threat of condemnation. It retained its right of access on Parcel 2 to enable future development of adjoining parcels on the same site. It was understood by Portland Terminal Company at the time of the sale by Portland Terminal Company, that 1) Parcel 2 would be developed for traffic circulation purposes in conformity with the previously approved Site Location Act permit and the subdivision plan on file with the City of Portland, 2) that the former Ogdensburg Street would be discontinued and 3) that the "relocated Ogdensburg Street" would be constructed to city specifications and deeded to the City of Portland and dedicated as a public street. It was further understood that as a part of the County jail construction project, a gravelled alternative access route would be developed for the jail on the easement granted on Parcel 3 which was the continuation of the planned "relocated Ogdensburg Street" up to the point of the "Mountain Line" railroad track and thence northerly then easterly to Frederick Street.

For its own reasons, the County has failed to develop the "relocated Ogdensburg Street extension". It has failed to dedicate Parcel 2 to the City of Portland as it represented that it would. The combined result of these changes in plan has been to perpetuate an unsafe rail crossing and cloud the developability of remaining land.

Moreover, during construction of the project, the County has permitted virtually impassable roadway conditions to exist for weeks at a time at great distress and inconvenience to employees of Merrill Industries who were forced to gain access to the remaining property through roads rutted with uncontrolled cement and mortar wastes.

Neither the original McDonough Sully traffic analysis performed for the County nor the subsequent analysis performed by Eaton Traffic Engineers recognized the ongoing traffic being generated by Merrill Industries, Inc. and Hutchins Trucking. In fact, McDonough referred to Merrill Industries as a "administrative office". Even a superficial investigation in 1991 would have disclosed a large stockpile of road salt, a small warehouse, as well as an extensive accounting, dispatching, marketing, safety, benefits administration and customer service facility serving a five state area. Similar activities have existed continuously at this location since 1986. That oversight would appear to cast some doubt on the reliability of the traffic analysis that now claims more buildings and activity will result in less traffic.

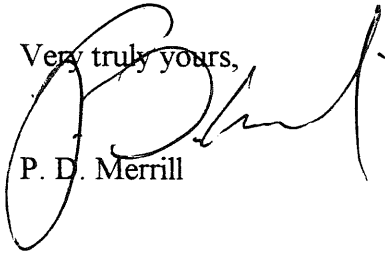
The County's refusal to develop access as designed and agreed and its continuing failure to recognize the requirements of traffic now generated or to be generated on the balance of the property is injurious to the property owners, their tenants, and to the

Mark T. Margerum  
October 12, 1993  
Page 3

taxpayers of the City of Portland which are being deprived of the benefits of further development of the site. We therefore request any approval of the County's request for modification be conditional upon the County applying a sufficient amount of its apparently available excess construction funds to the construction and rough grading of the relocated Ogdensburg Street extension as shown on the approved subdivision plan and site location law permit.

You may request further information through Leonard Lucas of Guilford Transportation Industries (603-595-1614) or the undersigned.

Very truly yours,

  
P. D. Merrill

PDM/ne

cc: Leonard Lucas  
Bob Ganley  
Ann Pringle  
Joe Gray



227 present

6-0 Parker Foods.  
6-0 return Porter Bldg.

Bud:  
Unauthorized  
use of  
public funds

furniture

Cumberland County Cs have requested  
site plan review for LEC to be located...

- Orientation: Jail, pre-release, Comp St, RE, etc

- Jail Site: 15.8 acres

- Proposed LEC: footprint 5,600  
total sq. f. 10,870

Zoning I-2 Industrial.

LEC will house the Sheriff's offices & garages  
now located on Federal St.

The applicant has submitted a traffic  
study based on the number of  
employees and shifts of the facility  
and has determined that a  
total of 189 parking spaces are  
required. For the jail, pre-release, etc

Vehicles will enter the site from Cox  
Street and will be directed to  
the appropriate bldg.

Sidewalks and pavement markings  
direct pedestrians through the site.

The building will be 2 stories with masonry  
facade.

The building will be 43 ft. high  
Results from a balloon test indicate  
that the building will be  
visible from Gilman St. and  
the Western Prom but not  
from I.295.

The landscaping plan will follow  
the existing landscaping pattern  
with the addition of foundation  
plantings at the entrance  
building

Similarly, the lighting plan will  
~~be~~ remain unchanged from the  
original jail plan with the  
exception of building mounted  
lights and bollard mounted  
lights within the entry

Rep from County Commissioners

Utilities connected to the new lines  
installed in the access road.

Because the site is currently a pky to  
The impervious surface area will  
increase with the addition of land

CITY OF PORTLAND, MAINE  
MEMORANDUM

ph packet  
Floor plans

**TO:** Chair Cole and Members of the Portland Planning Board  
**FROM:** Sarah Hopkins, Senior Planner  
**DATE:** July 27, 1993  
**SUBJECT:** Proposed Law Enforcement Center at the Cumberland County Jail

The Cumberland County Commissioners are requesting site plan review for a proposed Law Enforcement Center to be constructed within the parking lot of the Cumberland County Jail. The site is located in the I-2 zone, at the intersection of Congress Street and Ogdensburg Street.

As the Board may recall, the 104,000 sq. ft. jail and 4,500 sq. ft. Pre-Release Center were approved in 1991. The entire Jail site is 15.8 acres, with access off of Congress Street via Ogdensburg Street. Construction of the facilities are nearly complete.

The Law Enforcement Center will replace the existing Sheriff's Department building, now located at 122 Federal Street.

Parking

The applicant anticipates that all parking needs can be met on site, without the addition of any new pavement. The Law Enforcement Center will be constructed within the parking lot, displacing approximately 50 spaces.

According to a Traffic Impact Assessment submitted by the applicant, the parking needs for the jail, Pre-Release Center, and Law Enforcement Center will be accommodated with 189 existing parking spaces. Based on the staffing plans developed for the Jail, Pre-Release Center, and Sheriff's Office, it is estimated that there is a demand of 118 spaces during the overlap of the peak hours of operation: 7:00 a.m. - 3:00 p.m. and 3:00 p.m. - 11:00 p.m. Jail shifts and the 8:00 a.m. - 4:00 p.m. Law Enforcement Center Administrative shifts.

These parking calculations are a refinement of the previous calculations submitted in 1991 for the Jail. The previous calculations included both shift workers and shift relief employees. In reviewing the numbers, it was found that the two sets of employees would rarely be on site at the same time, hence the reduced parking needs calculation.

Proposed Building

As indicated on the elevation drawings, the Law Enforcement Center is a two story building with a brick facade. The building will be placed between the Jail and Pre-Release building and will face the jail. This placement will create a courtyard between the jail and Law Enforcement Center.



The two story building will consist of a three bay garage, administrative offices, interviewing rooms, locker rooms, and a training/conference room.

Elevation drawings of the north, east, and west sides of the building will be submitted prior to public hearing.

#### Utilities/Drainage

All utilities will be connected to the existing lines in the Jail access road. Utilities include storm sewer, water, gas, telephone, storm sewer, and underground electric.

Because the building and its associated landscaping is proposed within an existing parking lot, the impervious surface area will decrease.

Regrading for the Law Enforcement Center will be minimal. Runoff will drain away from the building and will be collected in existing catchbasins within the parking areas.

All stormwater will be treated within the system designed for the Jail and Pre-Release Center.

#### Circulation

Access to the proposed center will be similar access for the Jail: vehicles will enter the site from Congress Street via Ogdensburg Street and follow the access road into the parking lot. Directional signage separates staff and service entrances from the visitors entrance.

#### Landscaping/Lighting

The applicants propose to loam and seed the area around the Law Enforcement Center and to provide clusters of planting around the building site. Landscaping will consist of two rows of Korean Mountain Ash to match the existing design of the parking lot islands, 3 Pin Oaks, 16 Burning Bush plants, and 3 Japanese Dogwoods.

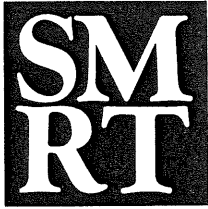
Lighting consists of walkway lights at the front of the building, flood lights to illuminate the signage, and 5 wall mounted building lights over the service and garage entrances. The applicant will submit catalog cuts and foot candle information prior to public hearing.

#### Other Approvals

This proposal requires approval from the DEP as a modification to the original Site Location of development application which was submitted for the Jail. The applicant has initiated this process.

#### Attachments:

1. Project Description
2. Law Enforcement Center Site Plan
3. Jail Site Plan
4. Building Elevation
5. Traffic Impact Assessment
6. Drainage Calculations



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
39 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207/772-3346 Fax 207/772-1070

August 10, 1993  
Project No. 89006-7 2.1

Ms. Sarah Hopkins  
Planning Department  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

RE: Cumberland County Law Enforcement Center

Dear Sarah:

SMRT is pleased to submit, on the behalf of the Cumberland County Commissioners, 10 copies of revised plans for the proposed Law Enforcement Center (LEC), for your review and approval.

The plan set contains:

1. Site plan L-102, reoriented to match the orientation of the CC Jail plans.
2. The overall site plan L-100 showing the larger campus including the jail and the pre-release building.
3. A new set of building elevations for all 4 sides of the proposed Law Enforcement Center.
4. Floor plans of the first and second floors of the Center.

Please note that the proposed Center is 43 feet high.

We have reviewed the site from all sides with respect to its visibility from Western Promenade, I-295, and Congress Street. We performed a "balloon test" for the building and will present the original photographs at the public hearing. We believe the building will not be visible from I-295. I have included with this letter laser copies of the photos of the views from various locations.

I believe we have addressed all of the issues you raised in your letter of July 30. I hope you will contact me or John L. Chase at your earliest opportunity if you have further questions.

Sincerely

STEVENS MORTON ROSE & THOMPSON, INC.

A handwritten signature in cursive script that reads "Arthur P. Thompson". The signature is written in dark ink and includes a horizontal flourish at the end.

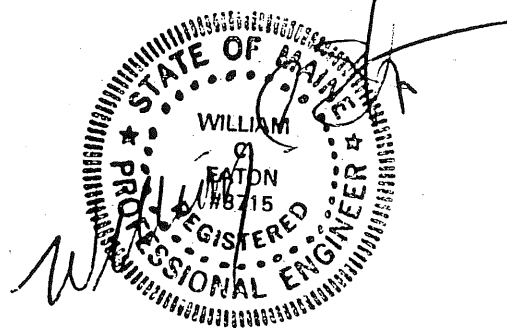
Arthur P. Thompson, Partner

APT:kb

Enclosures

Job Number: 51927.99  
Date Issued: 04/24/90

**T.Y. LIN**  
INTERNATIONAL



ADDENDUM  
TO THE REPORT ON  
TRAFFIC IMPACT STUDY

TRANSPORTATION AND INDUSTRIAL PARK  
PORTLAND, MAINE

PREPARED FOR  
PORTLAND CARGO ASSOCIATES  
PORTLAND, MAINE

PREPARED BY  
T. Y. LIN INTERNATIONAL/HUNTER-BALLEW ASSOCIATES  
CONSULTING ENGINEERS  
5 FUNDY ROAD  
FALMOUTH, MAINE

APRIL 1990





TRAFFIC IMPACT STUDY ADDENDUM  
TRANSPORTATION AND INDUSTRIAL PARK  
PORTLAND, MAINE

INTRODUCTION

In response to a request by Portland Cargo Associates in April of 1990, the original Transportation and Industrial Park's Traffic Study (dated March 1987) is hereby updated to reflect current traffic volumes and the development's impact upon them.

DATA COLLECTION

- o John L. Murphy, P.E. provided T. Y. Lin International/Hunter-Ballew Associates (TYLI/HBA) with a traffic impact study completed in December of 1989 for a development on St. John Street, Portland. Traffic volumes, accident data, and signal timing parameters were used from this study.
- o TYLI/HBA conducted an on-site field review.

BASE CONDITIONS

Turning movement count data was collected for the study intersections, Park Avenue/St. John Street and Congress Street/St. John Street, for the years 1986 and 1989 during the PM peak hour only. These volumes were adjusted using Maine Department of Transportation's (MDOT) Weekly Group Mean Factors to represent 1986 and 1989 Design Hour Volumes respectively (see Figure 1).

In the original traffic study, a 2% annual growth rate was assumed to increase the existing traffic volumes to those expected to occur during the 1988 Build year condition. To check the accuracy of this assumption, an analysis of the change in traffic volumes at the study intersections was done using the 1986 and 1989 turning movement count data.

Design hourly volumes (typically used for traffic analysis) were used because they represent the traffic volume patterns during the same period year after year. Only the PM peak hour traffic volumes were analyzed during both years. Table 1, below, details the changes in traffic volume characteristics over the 3 year study period at the study intersections:

TO I-295



116(134)  
 171(230)  
 38(50)

84(135)  
 714(672)  
 167(148)

PARK AVENUE

594(653)  
 316(378)  
 249(206)

294(325)  
 44(35)

225(306)  
 79(129)

CONGRESS STREET

341(262)  
 406(446)  
 268(268)

591(599)  
 62(34)

OGDENSBURG STREET

PROPOSED SITE

ST. JOHN STREET

VALLEY STREET

NOT TO SCALE

TRANSPORTATION & INDUSTRIAL PARK  
PORTLAND, MAINE

1986 & 1989  
DESIGN HOUR VOLUMES

FIGURE 1

APRIL 1990

XXX - 1986 D.H.V.  
 (XXX) - 1989 D.H.V.

TABLE 1: COMPUTATION OF GROWTH RATES

<u>Intersection/ Turning Movement</u>	<u>1986 DHV</u>	<u>1989 DHV</u>	<u>Annual Growth per Movement</u>	<u>Annual Growth per Approach</u>
<b>Park Ave./St. John St.</b>				
SB-RT*	116	134	+ 5.2%	+ 9.1%
SB-TH	171	230	+11.5%	
SB-LT	38	50	+10.5%	
WB-RT	84	135	+20.2%	0.3%
WB-TH	714	672	- 2.0%	
WB-LT	167	148	- 3.8%	
NB-LT	594	653	+ 3.3%	+ 2.2%
NB-TH	316	378	+ 6.5%	
NB-RT	<u>249</u>	<u>206</u>	- 5.8%	
TOTAL	2449	2606		
<b>Congress St./St. John St.</b>				
SB-TH	294	325	+3.5%	+ 2.1%
SB-LT	44	35	-6.8%	
WB-RT	225	306	+12.0%	+14.4%
WB-LT	79	129	+21.1%	
NB-TH	591	599	+ 0.5%	- 1.0%
NB-RT	62	34	-15.1%	
WB-LT	341	262	- 7.7%	- 1.3%
WB-TH	406	446	+ 3.3%	
WB-RT	<u>268</u>	<u>268</u>	0.0%	
TOTAL	2310	2404		

\* SB-RT is southbound-right-turn, etc.

The annual average growth for the study intersections by intersection are as follows for the 3-year period:

	<u>Annual Average Growth per Intersection</u>
Park Ave./St. John St.	+2.1%
Congress St./St. John St.	+1.4%
Combined	+1.8%

The Transportation and Industrial Park is scheduled to be completed in the year 1991. Accordingly, to estimate the 1990 and 1991 Base year traffic volumes, the 1989 traffic volumes at the study intersections were increased by annual growth rates per approach to reflect differential growth and then adjusted to balance related traffic movements (see Figures 2 and 3).



TO I-295  
←

146  
245  
55

135  
672  
148

PARK AVENUE

667  
386  
211

338  
36

349  
147

CONGRESS STREET

252  
428  
257

593  
34

OGDENSBURG STREET

PROPOSED SITE

ST. JOHN STREET

VALLEY STREET

NOT TO SCALE

TRANSPORTATION & INDUSTRIAL PARK  
PORTLAND, MAINE

1990 ESTIMATED  
DESIGN HOUR VOLUMES

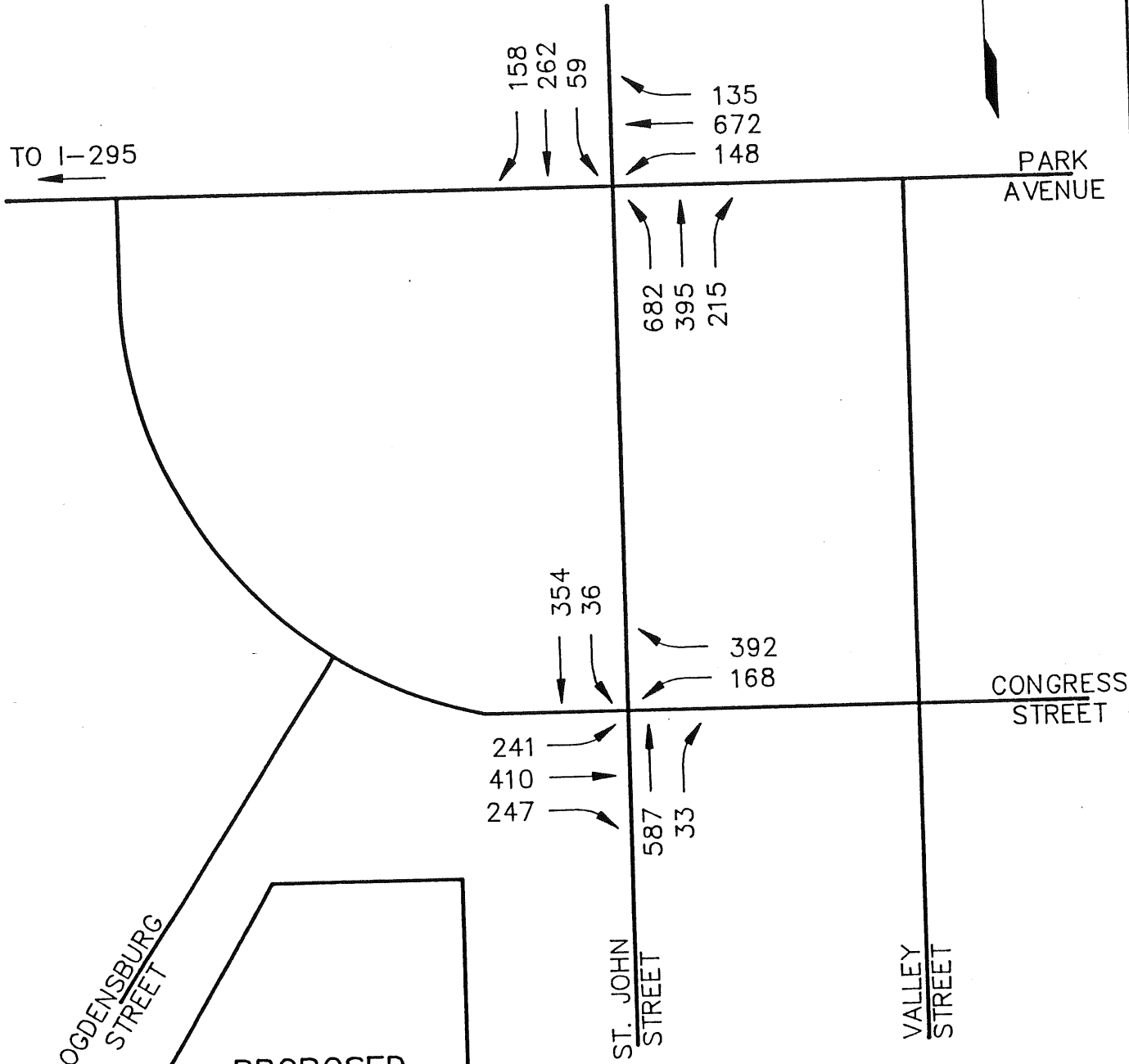
XXX - 1990 ESTIMATED D.H.V.

FIGURE 2

APRIL 1990



TO I-295



OGDENSBURG STREET

PROPOSED SITE

ST. JOHN STREET

VALLEY STREET

PARK AVENUE

CONGRESS STREET

NOT TO SCALE

TRANSPORTATION & INDUSTRIAL PARK  
PORTLAND, MAINE

1991 ESTIMATED BASE  
DESIGN HOUR VOLUMES

XXX - 1991 ESTIMATED BASE D.H.V.

FIGURE 3

APRIL 1990

T. Y. LIN INTERNATIONAL/HUNTER-BALLEW ASSOCIATES

SITE GENERATED TRAFFIC

Because the size and definition of the project have not changed since the original traffic study was issued, the trip generation and distribution have remained unchanged (see Figure 4).

The site generated traffic combined with the 1991 Base year traffic are illustrated in Figure 5 as 1991 Build Year Traffic Volumes.

CAPACITY ANALYSIS

To evaluate traffic operations and check intersection geometric requirements, signalized intersection capacity analyses were performed on the study intersections for the 1990 Existing, 1991 Base Year, and 1991 Build Year conditions under both pre-timed and actuated signal systems. The capacity analyses were performed using a computer program, CINCH, that models procedures found in Chapter 9, Signalized Intersections, in the 1985 Highway Capacity Manual (Special Report 209, Transportation Research Board). Summaries of the CINCH capacity analyses are shown below in Table 2 (refer to the original traffic study for an explanation of LOS and how it relates to intersection delay).

Figure 6 illustrates the lane assignments used under the 1991 Build condition to facilitate the indicated Levels of Service (LOS).

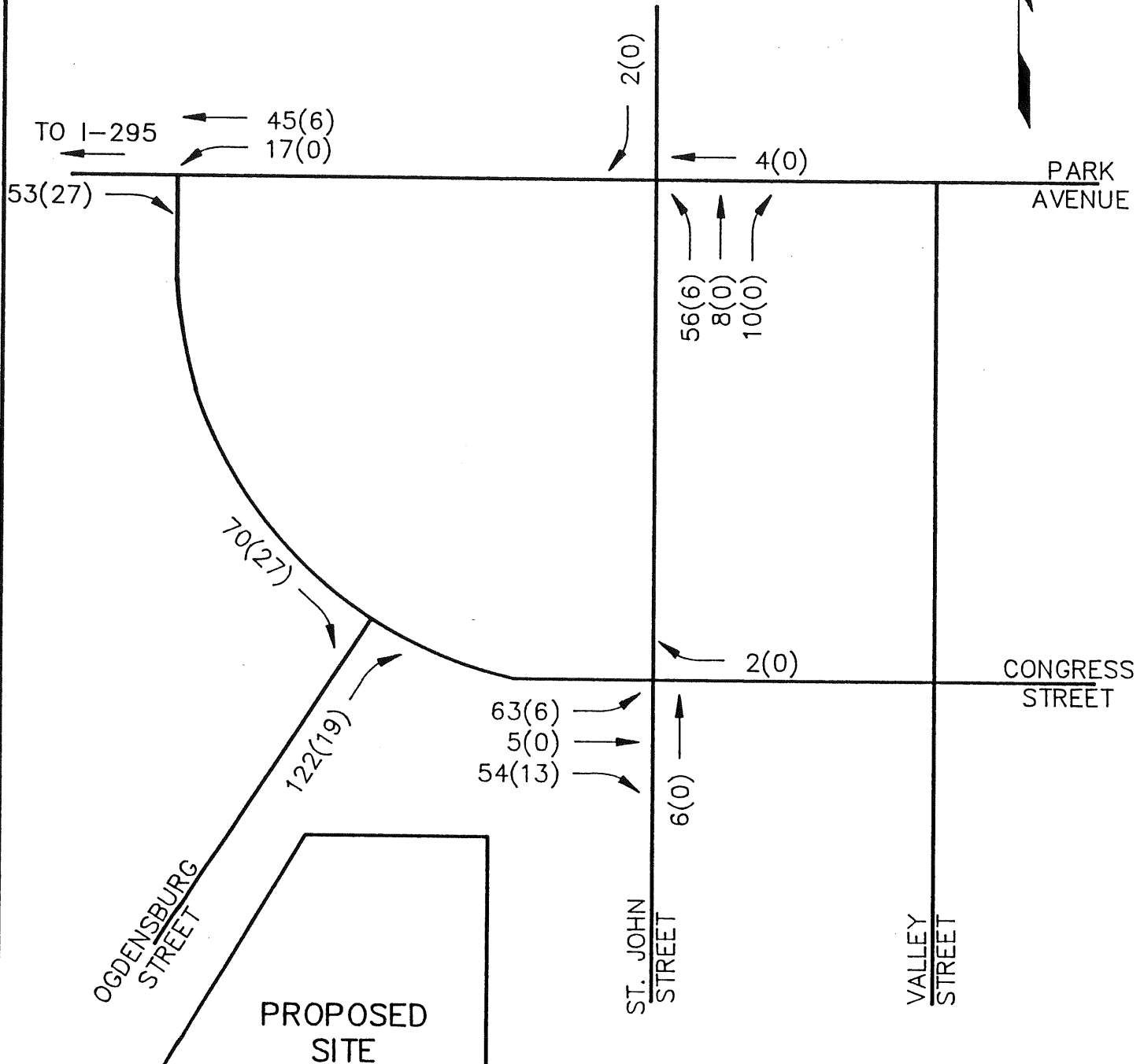
TABLE 2: SUMMARY OF CINCH CAPACITY ANALYSES

DESCRIPTION	PARK AVE.		CONGRESS ST.	
	LOS	Delay (Seconds)	LOS	Delay (Seconds)
1990 Existing, Pre-Timed	D	40.21	B	13.41
1991 Base, Pre-Timed*	D	43.90	B	9.92
1991 Build, Pre-timed*	D	45.69	B	9.98
1991 Build, Actuated				
Cycle = 60 sec	D	60.47	B	8.01
Cycle = 70 sec	D	49.80	B	8.87
Cycle = 80 sec	D	44.19	B	9.76
Cycle = 90 sec	D	41.25	B	10.67
Cycle = 100 sec	D	39.84	B	11.59
Cycle = 110 sec**	D	39.37	B	12.51
Cycle = 120 sec	D	39.49	B	13.43

\* Timings of signalized intersections are not coordinated.

\*\* Optimum cycle length for intersection coordination.

Queue lengths (95th percentile) were analyzed for constructability. The largest queue found was for the northbound left-through lane having 18 vehicles at 20 feet per queued vehicle requires 360 feet of storage length. Available storage length for this queue is approximately 900 feet.



NOT TO SCALE

TRANSPORTATION & INDUSTRIAL PARK  
 PORTLAND, MAINE

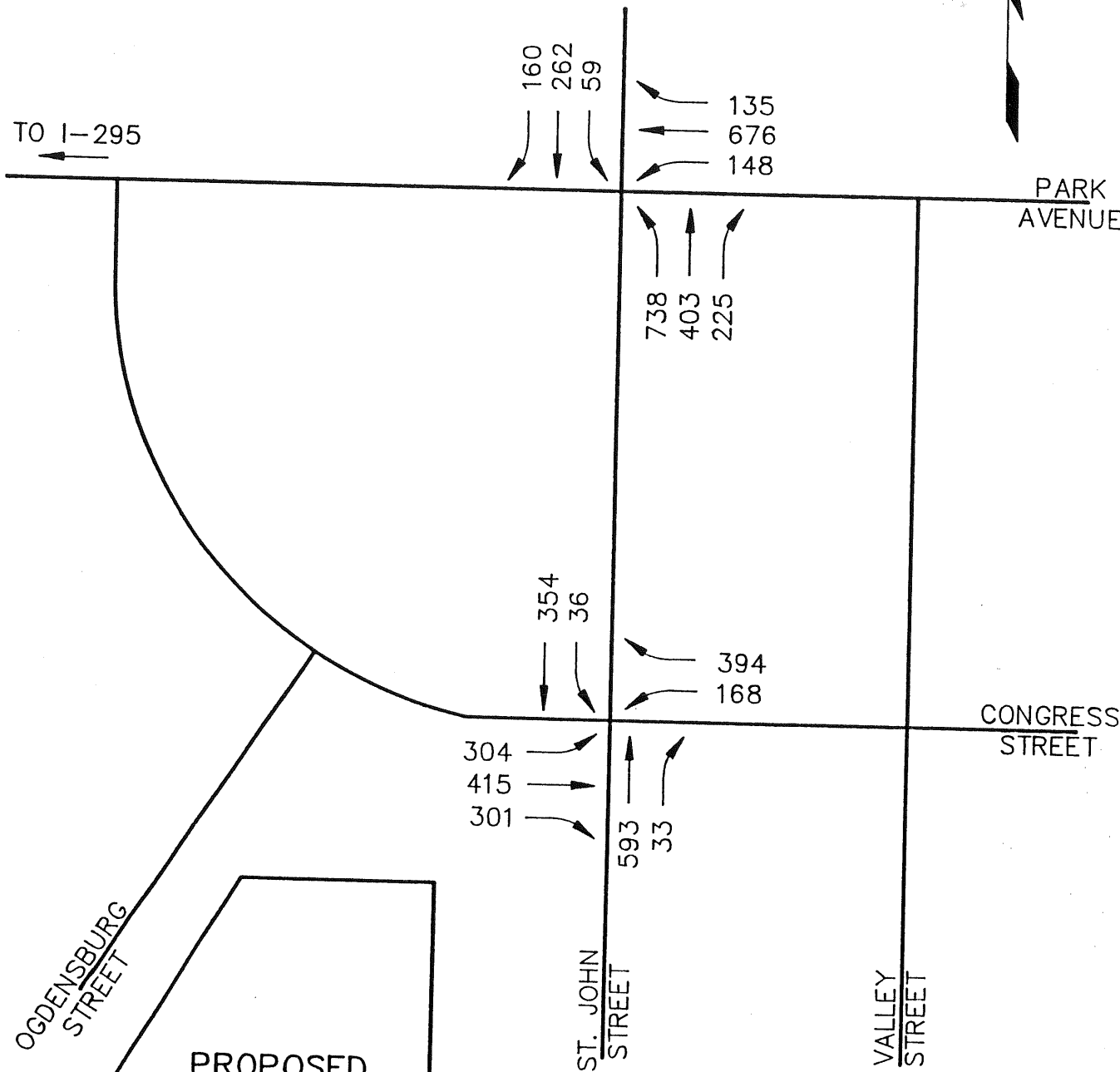
SITE GENERATED  
 PM PEAK HOUR  
 TRAFFIC VOLUMES

FIGURE 4

APRIL 1990

XXX - TOTAL VOLUME  
 (XXX) - TRUCK VOLUME

TO I-295



OGDENSBURG STREET

PROPOSED SITE

ST. JOHN STREET

VALLEY STREET

CONGRESS STREET

PARK AVENUE

NOT TO SCALE

TRANSPORTATION & INDUSTRIAL PARK  
PORTLAND, MAINE

1991 ESTIMATED BUILD  
DESIGN HOUR VOLUMES

XXX - 1991 ESTIMATED BUILD D.H.V.

FIGURE 5

APRIL 1990

(TD-0248)

T. Y. LIN INTERNATIONAL/HUNTER-BALLEW ASSOCIATES





TO I-295  
←

PARK AVENUE

CONGRESS STREET

OGDENSBURG STREET

PROPOSED SITE

ST. JOHN STREET

VALLEY STREET

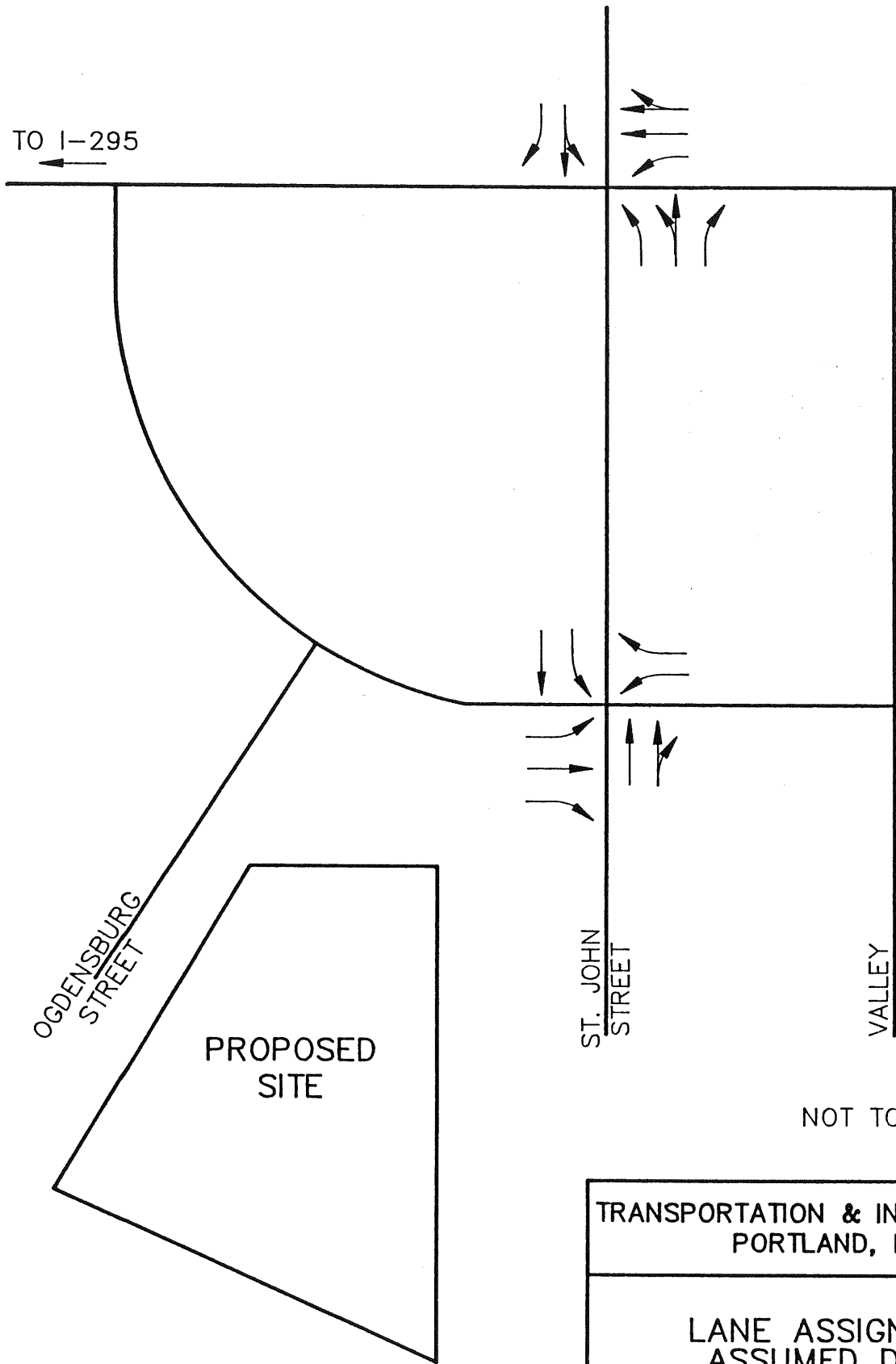
NOT TO SCALE

TRANSPORTATION & INDUSTRIAL PARK  
PORTLAND, MAINE

LANE ASSIGNMENTS  
ASSUMED DURING  
1991 BUILD YEAR

FIGURE 6

APRIL 1990



SAFETY ANALYSES

Accident data and collision diagrams were collected from John L. Murphy, P.E. by way of his December 1989 traffic study entitled, St. John Street Realty Trust, Medical Office Building, St. John Street, Portland. Accident data was collected for the most recent 3 year period (1986-1988) along St. John Street from Congress Street to Park Avenue. There were over 30 lane changing accidents, over 30 angle accidents, over 40 turning accidents, over 30 rear-end accidents, 7 pedestrian accidents, and several miscellaneous accidents.

- o Lane Changing - Many of these accidents were due to the numerous curb cuts and confusion at the signalized approaches. The City of Portland has already instituted measures (overhead signs, pavement markings, etc.) to alleviate the confusion at the approaches.
- o Angle - Most of these accidents occurred at the intersections during the night-time hours when the signals had operated on flash-mode. The City of Portland has since changed the signals to 24-hour operation.
- o Turning - Again many of these accidents were due to confusion as to lane assignments on the signalized approaches and to the numerous curb cuts. Overhead signing by the City of Portland has reduced this confusion.
- o Rear-End - These accidents appear mostly at the curb cuts (those waiting to enter a driveway are rear-ended) and in the intersections (those waiting to turn are rear-ended). Improved lane assignments and/or overhead signs can be used to increase the efficiency of the intersection approach lanes.

CONCLUSIONS AND RECOMMENDATIONS

1. The project site remains unchanged, insofar as location and scope of development, from the original traffic study.
2. Annual growth rates by intersection approach were used because they tend to represent actual growth trends more accurately.
3. The capacity analyses revealed acceptable levels of service in the 1991 Build year under an actuated signal system. An actuated signal system will provide a better level of service and thus less delay, than the current pre-timed system.
4. The only safety issue not currently under modification, is the abundance of curb cuts in the study area. However, since the project's site generated trips have only an indirect relationship to these accident types (the size and number of gaps used by vehicles using the private driveways are decreased), it is assumed that through actuation of the signals at the study intersections, that more/larger gaps can be created for the vehicles turning into or out of the private driveways.

#### IV. Motions for the Board to Consider

On the basis of plans and materials submitted by the applicant and on the basis of information contained in Planning Report #6-91 and Planning Memorandum dated April 30, 1991 relevant to standards for Site Plan and Shoreland review, the Planning Board finds:

1. That the plan is in conformance with the Site Plan Ordinance of the Land Use Code.

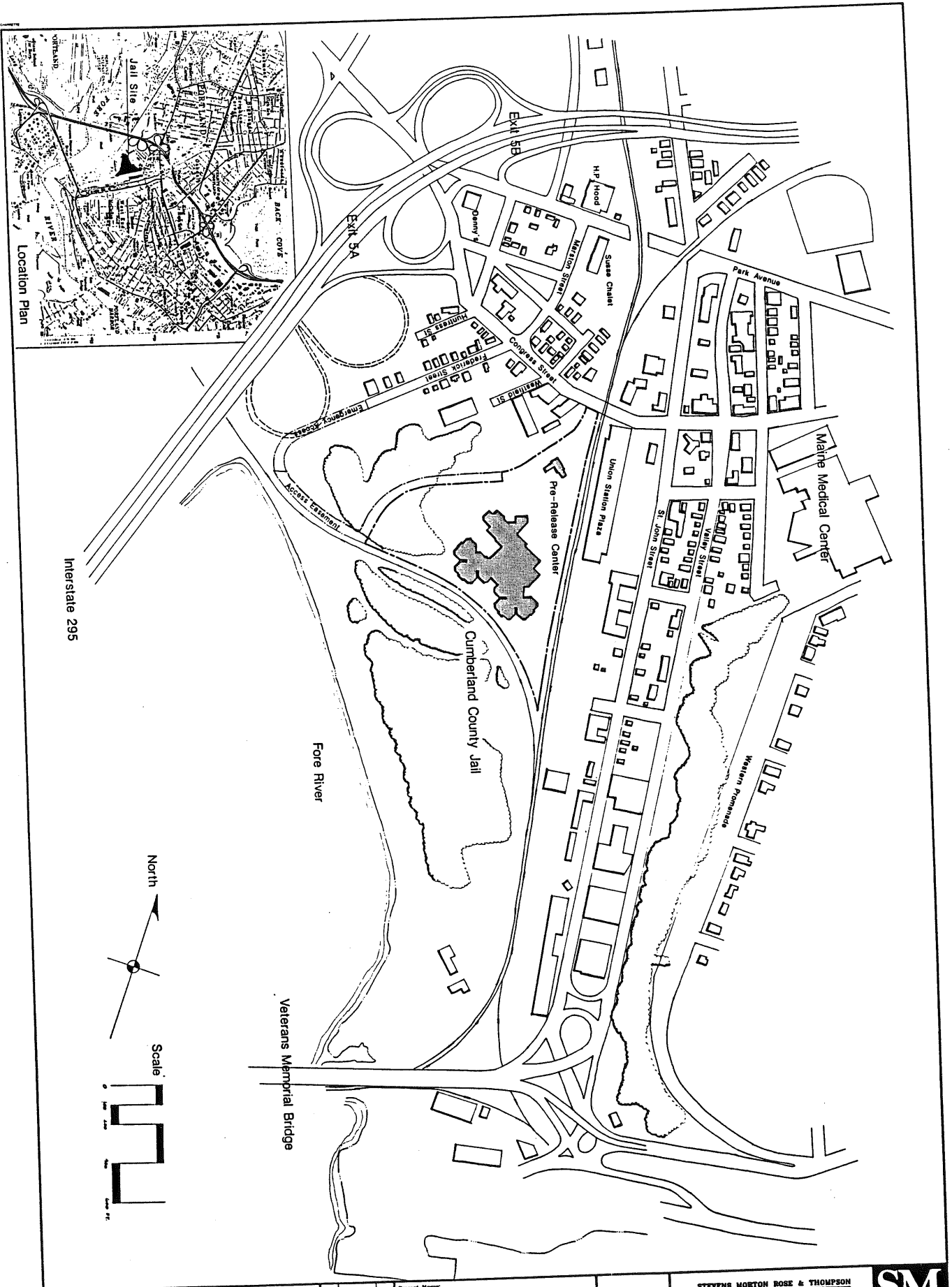
##### Potential Conditions of Approval

##### A. ~~Traffic Concerns~~

- 1 - That the applicant contribute \$30,000 to the City's signalization fund for the traffic controller and signage of the St. John Street and Park Avenue intersection and corridor, prior to issuance of a building permit;
- 2 - That the applicant update the jail site plan to include all traffic recommendations, including signage and pavement markings, prior to issuance of a building permit;
- 3 - If <sup>as</sup> a result of the Cumberland County Jail construction and operation, there is a demonstrated increase in accidents, along the Congress Street corridor between Frederick Street and St. John Street, according to Warrant 6 of the Manual on Uniform Traffic Control Devices within the first three years from the issuance of the Certificate of Occupancy, then the Portland Planning Board may require the County to contribute up to \$40,000.00 for road improvements at the Ogdensburg Street entrance to Congress Street to alleviate such problems, such improvements needing the approval of the Commissioner of the Maine Department of Transportation.
- 4 - That the applicant submit, prior to issuance of a building permit, a signage plan and landscaping plan for the entrance to the jail. These plans shall be reviewed and approved by the Traffic Engineer and Arborist for ~~sight~~ distances. *including preservation plan*

5 B. That the applicant shall record at the Cumberland County Registry of Deeds an Emergency Access Lane Maintenance Agreement.

6 C. That the applicant provide the city with evidence of permission to utilize a portion of Maine DOT land for construction of an emergency access lane.



Drawing Name:  
**Vicinity Plan**

Scale:  
0 100 200 300 400 500 FT

North

Interstate 295

Rev.	Description	Date	Project Name:
			<b>Cumberland County Jail</b>
			Portland, Maine

**STEVENSON MORTON ROSE & THOMPSON**  
Architecture  
35 Forest Avenue/PA Box 640  
Portland, Maine 04108  
Tel: (207) 776-2200  
Fax: (207) 776-2202

Survey  
Date: 08/01/00  
Location: 08/01/00

SMRT





Inspection Services  
Samuel P. Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

October 4, 1994

H.P. Cummings Construction Co.  
P.O. Box 297  
Winthrop, ME 04364

RE: 36 Ogdensburg Street (Cumberland County) Portland, ME

Dear Sir:

Your application to construct a Law Enforcement Center (w/3 bay garage) (approximately 11,000 sq. ft.) has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not preclude the applicant from meeting applicable State and Federal laws.

No Certificate of Occupancy can be issued until all requirements of this letter are met.

### Site Plan Review Requirements

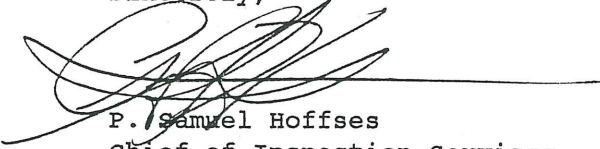
Public Works -	Approved - M. Esterberg
Inspection Division -	Approved - S. Hoffses
Planning Division -	Approved - S. Hopkins
Fire Department -	Approved - Lt. McDougal

1. All required Fire Alarm systems shall have the capability of "Zone Disconnect" via switches or key pad program provided the method is approved by the Fire Prevention Bureau.
2. All remote annunciators shall have a visible "trouble" indicator along with the Fire Alarm "Zone" indicators.
3. Any Master Box connected to the Municipal Fire Alarm System shall have a supervised Municipal Disconnect Switch.
4. All Master Box location shall be approved by the Fire Department Director of Communications. A Master Box shall be located so that the center of the box is (5') five feet above finished floor.
5. All Master Box locations are required to have a locked box (knoxbox).
6. A fire alarm acceptance report shall be submitted to the Portland Fire Department.

7. A 4" storz fire department connection is required.
8. Any new sprinkler construction over 6 sprinkler heads needs to have State Fire Marshall approval.
9. Any renovations or sprinkler systems over 20 sprinkler heads needs to have State Fire Marshall approval.
10. A sprinkler performance test shall be submitted to the Portland Fire Department after completion of sprinkler work.
11. Emergency generator is now connected to main generator in jail - if at a future date this structure is sold, arrangement must be made to have emergency power to this building.
12. Guardrails & Handrails - A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Group 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I1, I-2M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
13. Areas of refuge shall be done in accordance with the City's Building Code Chapter 10, Section 1007.5 (The BOCA National Building Code/1993).
14. All handrails shall be constructed in accordance with Chapter 10, Section 1022.0 of the City's Building Code.

If you have any questions regarding these requirements, please do not hesitate to contact this office.

Sincerely,



P. Samuel Hoffses  
Chief of Inspection Services

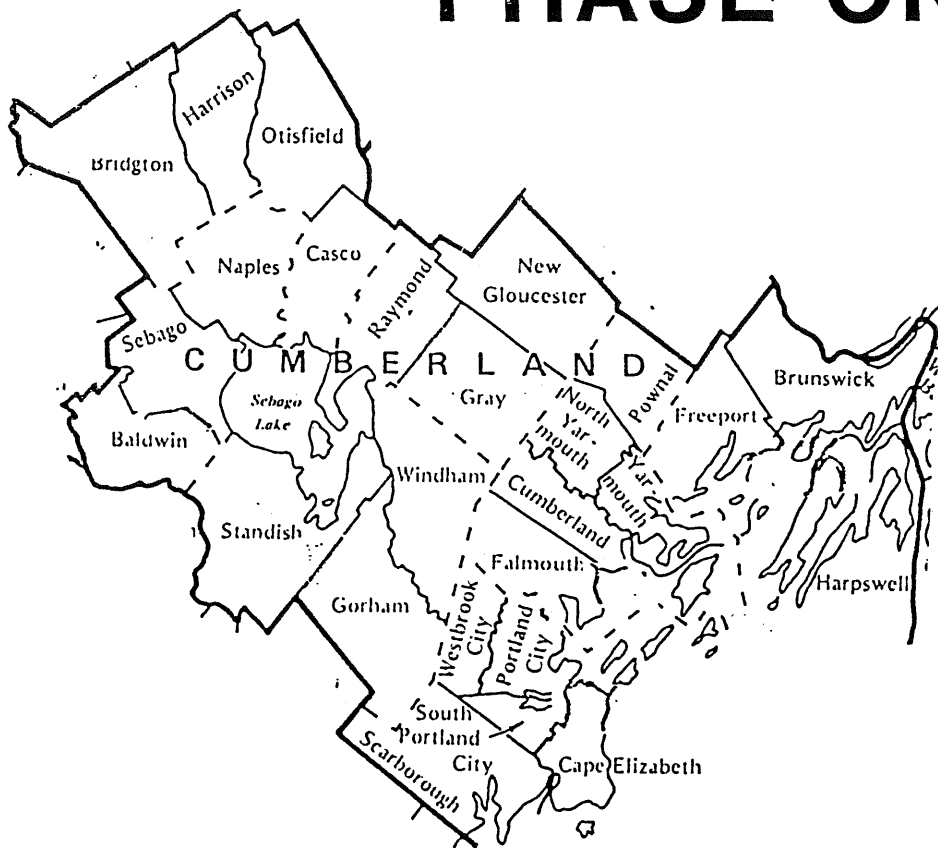
cc: Lt. McDougal, Fire Prevention  
Sarah Hopkins, Senior Planner

*Alex S ARAH*

# FINAL REPORT

## CUMBERLAND COUNTY JAIL COMMITTEE

### PHASE ONE



December 12, 1988

# Cumberland County Jail Committee

c/o Cumberland County Commissioners, 142 Federal Street  
Portland, ME 04101 Phone (207) 871-8380

Cumberland County Commissioners  
Cumberland County Sheriff  
Portland, Maine

December 12, 1988

On behalf of the Cumberland County Jail Committee I am pleased to submit this report following the completion of our "first phase" of work.

You created the Jail Committee in January, assigning the following duties:

1. Examine jail problems;
2. Determine long-term bedspace needs;
3. Consider non-physical alternatives;
4. Analyze a range of solutions; and
5. Submit an initial recommendation.

The Committee adopted and implemented a comprehensive "total systems planning" process. Implementing this process required 15 full Committee meetings and 10 additional meetings of two subcommittees. I have estimated that members spent more than 1050 hours in meetings during Phase One.

The following pages present our findings and offer specific recommendations for your consideration.

Respectfully,

  
L. Daniel Boisot, Chairman

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## Committee Members:

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Edward M. Bonney  
Brad Buck  
Richard N. Bryant  
A. L. Carlisle  
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Michael Chitwood  
Paul Coleman  
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# EXECUTIVE SUMMARY

## PHASE ONE FINAL REPORT CUMBERLAND COUNTY JAIL COMMITTEE

December 12, 1988

### JAIL "MISSION"

One of the first tasks undertaken by the Committee required members to articulate a broad range of principles that they believed should guide the operation of county detention and corrections. These principles were refined into a "mission statement" that became a foundation for subsequent research, analysis, and decisions.

### JAIL PROBLEMS

Cumberland County has many serious problems with its jail and solutions must be developed and implemented as soon as possible. Efforts to improve operations and interim repair and renovation of the 1964 structure are applauded, but these are not enough to solve the full range of deficiencies. The Jail Committee concludes that major physical deficiencies remain, and long-term planning must offer reasonable and efficient solutions. Solutions must not only address jail facilities, but also operations, management, and administration.

### ALTERNATIVE SOLUTIONS CONSIDERED

The Jail Committee considered a broad range of facility options, ranging from the minimal "do nothing" solution to the complete replacement of the current facility. Several variations were also considered. A "life-cycle cost" analysis compared long-term costs for all options, and the options were evaluated with regard to the Mission Statement.

### SUMMARY OF RECOMMENDATIONS

#### FACILITIES

The Jail Committee recommends construction of a new jail on a new site.

1. Location and Site Criteria . The new jail should be located as close as possible to the county courthouse; proximity should be measured by both physical distance and travel time. The new site should: (a) encompass at least ten acres; (b) be accessible to public transportation; (c) have city/town sewer available; (d) have suitable soils and topography; and (e) be able to gain city/town approval for use as a jail. Additional site criteria should be developed during a broad-based search for appropriate sites.

2. Size. At this point, the Committee recommends the provision of 278 long-term bedspaces, and a distinct short-term holding area. In addition, the county should allocate funds to secure beds in the community for the treatment of appropriate pre-trial and sentenced inmates, as an alternative to jail, or following a period of jail confinement. Ideally, further research and analysis will identify methods to reduce projected needs in the coming months.

3. Design Considerations. Special consideration is suggested for the following components of the facility: (a) all spaces should incorporate the principles outlined in the Mission Statement; (b) some minimum-security bedspaces should be constructed as residential settings, physically and operationally distinct from the rest of the jail population; (c) a small juvenile detention facility should be constructed on the same site as the new jail but as a separate and distinct unit; (d) space should be provided to conduct judicial proceedings; and (e) space for the Sheriff's Department law enforcement and civil process activities should be constructed on the site.

4. Financing and Costs. The Committee recommends that the County Commissioners seek voter approval for bonds to finance the construction of the proposed facilities in November, 1989. It is hoped that total project costs will be less than \$20,000,000.

#### USE OF RESOURCES TO REDUCE JAIL NEEDS

The Committee recommends that the County Commissioners create a Jail Population Management Task Force, composed of representatives of key agencies and participants in the criminal justice system. This Task Force should be asked to develop, implement, and monitor appropriate activities that result in reduced needs for secure confinement, consistent with consideration of public safety. The Committee also recommends that a "Systems/Alternatives Subcommittee" be formed by the Jail Committee in the next phase of planning, to evaluate methods to reduce future needs for jail space and to assist in the development of appropriate alternatives.

#### JAIL OPERATIONS

Jail operations must continue to be improved. The Jail Committee offers its assistance in this effort through the creation of a "Jail Operations Subcommittee" in the next phase of planning.

#### PLANNING AND DEVELOPMENT STEPS

The Committee offers to assist the County to implement these recommendations through a continuing planning initiative. A proposed approach for the next phase of planning is described in Section IV of the report. A detailed architect selection process is proposed in Appendix C.

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December 12, 1988

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- Appendix C. Proposed "Request for Proposals" for the Selection of an Architect
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# Phase One Final Report

## Cumberland County Jail Committee

### I. COMMITTEE MANDATE AND METHODOLOGY

The Cumberland County Jail Committee was created by the County Commissioners in January, 1988. Members were selected by the Commissioners and the county Sheriff in an effort to provide broad representation.

The Committee met with the County Commissioners in March, 1988, and was assigned the following duties:

1. Examine jail problems;
2. Determine long-term bedspace needs;
3. Consider non-physical alternatives;
4. Analyze a range of solutions; and
5. Submit an initial recommendation.

A one-day "Planning of New Institutions" seminar was provided to members, and to a broader group of officials and citizens on March 16. This "PONI 1" program was provided by the National Institute of Corrections (NIC) as one component of a broader set of technical assistance services offered to Cumberland County.

In addition to the PONI 1 seminar, NIC provided assistance with collecting and analyzing data to develop bedspace projections and offered several Committee members an opportunity to participate in a week-long "Planning of New Institutions-2" seminar at the National Academy of Corrections in Boulder, Colorado.

At the first Jail Committee meeting, the County Commissioners described additional assistance that was available to the Committee, including clerical and mailing services and the provision of professional planning services. The Commissioners described the jail-planning initiative in its broader context as a component of a comprehensive effort to solve current jail problems. This broader effort was described in a letter to the Maine Department of Corrections in December, 1988, and formed the basis for the Department's approval of temporary variances for the operation of the current jail facility.

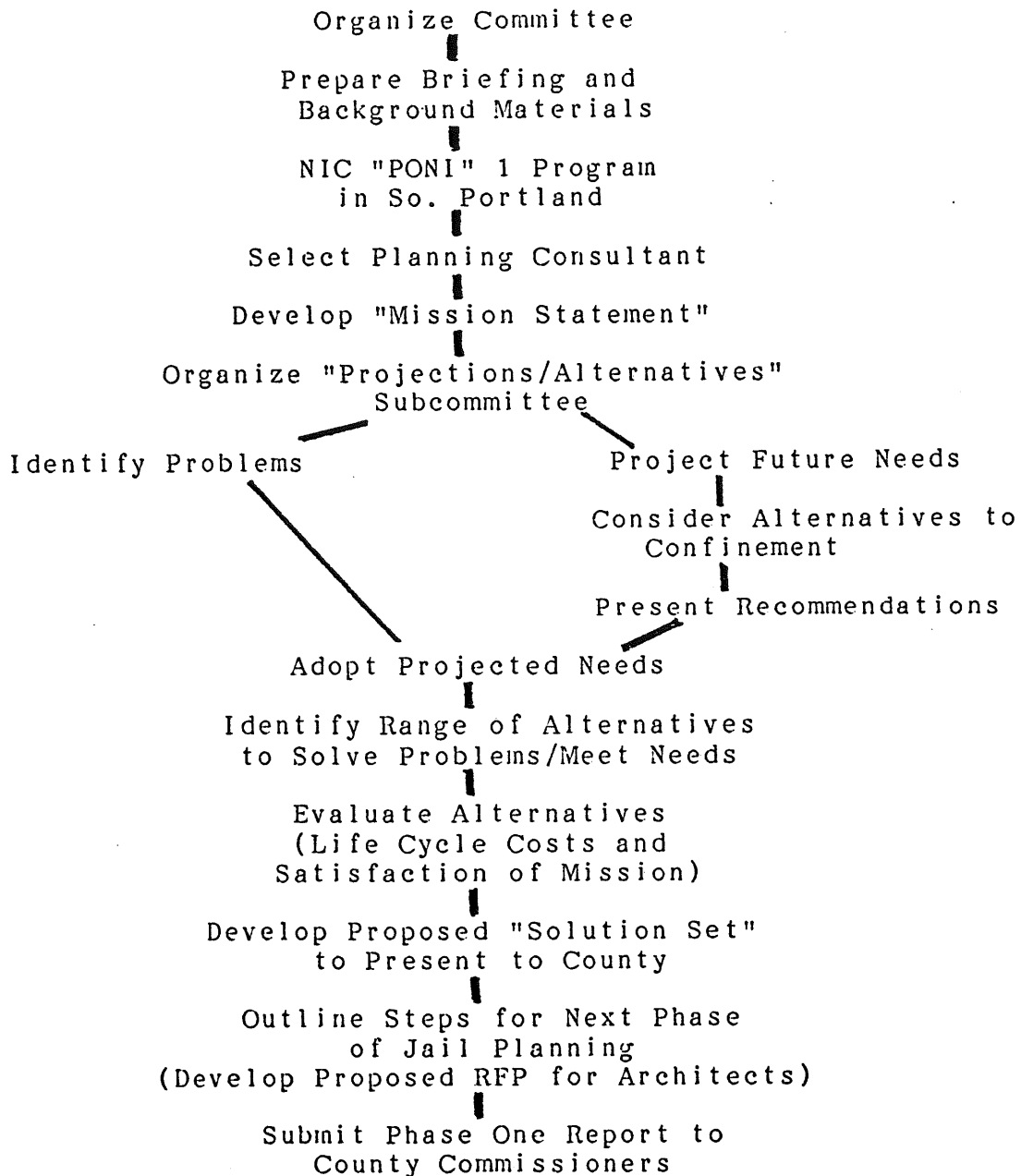
In May, 1988, the Committee sought professional assistance by issuing a "Request for Proposals." After careful consideration of the proposals that were received, the Committee recommended that CRS, Inc., of Kents Hill, Maine, be retained by the county to assist the Committee during the first phase of jail planning.



With the assistance of CRS, the Committee adopted and implemented a comprehensive "total systems planning" process, as described in Table I below.

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Table I: FLOWCHART OF PHASE ONE PLANNING ACTIVITIES  
Cumberland County Jail Committee



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Implementing this process required 15 full Committee meetings and 10 additional meetings of two subcommittees. It is estimated that members spent more than 1050 hours in meetings during Phase One.

At the beginning of the process, the County provided each Committee member with a comprehensive "Planning Notebook," which included among other items, briefing papers, bedspace projections, cost summaries, alternatives, jail inspection reports, and standards.

## II. SUMMARY OF FINDINGS

The following pages summarize the findings of the Jail Committee during Phase One of the planning process. Readers are directed to Appendix A (Final Report of the Projections/Alternatives Subcommittee), Appendix B (Briefing Papers Prepared by the Planning Consultants) and Appendix D (Committee and Subcommittee Notes) for more detail.

### A. MISSION OF THE JAIL

One of the first tasks undertaken by the Committee required members to articulate a broad range of principles that they believed should guide the operation of county detention and corrections. Over a period of several weeks, these principles were refined into a "mission statement" that became a foundation for subsequent research, analysis, and decisions.

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#### "MISSION STATEMENT" FOR THE CUMBERLAND COUNTY JAIL

This statement was developed at the beginning of a comprehensive planning process that was prompted by serious jail crowding and standards compliance problems.

Planning for Improvements. In response to population increases, more efficient law enforcement, and the stricter enforcement of constitutional requirements and state standards, there is a profound need for jail improvements. Proposals for improvement will be developed through a comprehensive "total systems planning" process. This document articulates key policies that will guide planning and subsequent implementation efforts. This approach acknowledges that the jail is only one component of a larger county criminal justice system.

Purpose of the Jail. The primary purpose of the jail is to provide safety for the community by separating individuals who pose a threat to the public from the community and by providing a safe and secure environment for both staff and inmates.

Historically, jails are underfunded and receive little attention. Ideally, a proactive approach should be taken--in terms of the definition of the population, program development, and linkages with the broader criminal justice, human service, and social service systems.

The jail serves local police departments by providing short-term detention, usually during the pre-arraignment period. Most towns have no other detention alternative. Issues such as travel time (location), processing time, and availability of space are important to local police

agencies. It is essential to take a "systemic" approach to pre-arraignment services.

Jail Population. The jail population should comprise those persons who require secure incarceration for detention or conviction and who can appropriately be housed in the facility. To that end, Cumberland County should explore appropriate facilities and methods to divert, from the jail, those appropriate for other facilities and programs. The jail holds a variety of prisoners, including pretrial, presentence, and sentenced.

Operations. Jail operations must guarantee the constitutional rights of inmates and must comply with state jail standards. Inmate classification is an essential tool, enhancing safety, security, and the effective use of programs and services.

Staff. Appropriate numbers and types of staff must be provided to operate the county detention/corrections system. Staff must be provided with facilities and services to meet their needs, to maintain morale, to instill professional confidence, and to promote effective operations and management.

Inmate Programs and Services. Programming should provide residents with the opportunity to maintain or improve themselves physically, socially, vocationally, educationally and mentally while in custody, consistent with state standards and constitutional guarantees. Programs and services should reduce inmate idleness.

Work programs should be directed toward: (1) developing good work habits; (2) increasing the likelihood of employment on release; and (3) presenting little or no cost to the county.

Sentenced and unsentenced prisoners, who have been diagnosed to have substance abuse problems, should have the opportunity to face their problems while confined in a alcohol or drug-free setting.

Attention should be focused on successful inmate transition from institutional life to reintegration into the community.

Facilities' Design. Detention/corrections' facilities should be designed to ensure flexibility and future expansion. Facility designs should: minimize noise; maximize natural light; minimize dreariness through creative use of light and colors; and promote positive inmate/staff interactions. Facilities should provide the appropriate amount and types of spaces for the diverse inmate population, in appropriate location(s), consistent with state standards and constitutional guarantees.

Costs. Planning should be directed toward the end that long-term savings and benefits are not sacrificed for short-term economy. This "life cycle cost" perspective acknowledges the need for staffing and facility efficiency.

## B. SYSTEMS ANALYSIS

A "Projections/Alternatives" subcommittee was created by the Committee and charged with the task of calculating future jail system needs, with an emphasis on identifying alternatives to confinement. In the early stages of the subcommittee's work, members agreed that the jail is only one component of a larger criminal justice system. They studied the dynamics of the criminal justice system that is primarily responsible for the composition of the jail population.

Subcommittee members also concluded that many significant "actors" who are outside of the traditional criminal justice system have, or will have, an important impact on the jail population. Therefore, the subcommittee broadened the scope of its inquiry to include such groups as legislators, human service providers, and city/town officials.

Based on discussions and an analysis of jail populations and operations, a wide range of entities that have a direct and indirect impact on the jail population were identified, including:

- Law Enforcement Agencies
- Bail Commissioners
- District Attorney
- Courts
- Defense Attorneys
- Juvenile Caseworkers
- Probation and Parole
- Mental Health Facilities
- Human Service Agencies
- Families and Friends of Inmates
- Communities
- Employers
- Maine Department of Corrections
- Other Jails

As this list indicates, a diverse group of persons will determine future jail populations, and will interact with jail inmates. The subcommittee decided to solicit direct input from all these groups during the planning process, ensuring maximum participation in the projection of future needs.



Methodology for a Comprehensive "Systems" Survey. Subcommittee members designed an ambitious process to solicit information and insights throughout Cumberland County. This process included:

Telephone interviews with 25 representatives of groups that will impact future jail populations;

Mail survey of selected "service providers," who currently offer services to the jail or who could in the future;

Mail survey of legislators to ascertain their recommendations and predictions; and

Mail survey of all city/town managers.

A list of persons contacted, and survey instruments used, is provided in Appendix D. Questions were designed to secure responses to several key types of questions, including:

1. What do you expect/need from the jail?
2. What changes do you expect or want?
3. How would you be affected if the jail were closed, expanded, relocated, replaced, or if more programs were offered?
4. What recommendations can you offer as we plan for improvement?

Interviews were conducted by Jail Committee members and the staff of the county's correctional planning consultant.

The comments secured from all respondents were assembled and reviewed by the subcommittee. From these, members were able to secure much-needed insights into the current, planned, and desired operation of systems that impact the Cumberland County Jail. An important secondary benefit from this process was the direct involvement of nearly 50 more persons throughout Cumberland County in the planning process. Most of these persons expressed an interest in receiving information about the planning efforts.

Conclusion. The "systems" investigation was a productive effort that yielded important insights for the planning process. Additionally, it allowed many more persons throughout Cumberland County to become directly involved with jail planning. Through this effort, subcommittee members gained a better understanding of the complex forces that determine the jail population. This has proven invaluable as the Jail Committee plans for future improvement.

## C. PROJECTED NEEDS AND ALTERNATIVES TO CONFINEMENT

The Projections/Alternatives Subcommittee was formed by the Cumberland County Jail Committee in July, 1988, to develop recommendations concerning future needs for detention/corrections space and to examine the range of alternatives that might have an impact on projected needs.

The Subcommittee met eight times over a 15-week period; 14 Jail Committee members actively participated in the process (Brad Buck, Paul Eggert, Paul Coleman, Russ Immariageon, Peter Manning, Pierre Shevenell, Gary Cooper, Gary Plummer, Stev Parker, Joan Gauche, Nancy Grayson, Dan Boisot, Steve Johnson, John Dovinsky). The Subcommittee was assisted by the county's correctional planning consultant. Prior to the formation of the Subcommittee, the county received assistance from the National Institute of Corrections.

The Subcommittee decided to establish base projections through statistical analysis and to modify and refine these based on:

1. Changes in the criminal justice system that are not adequately reflected in the data base;
2. Changes that are anticipated; and
3. Changes that are desired.

This methodology acknowledged that the process of estimating future needs was as much a matter of policy as a process of analyzing data. A complete report of the subcommittee's findings and recommendations is provided in Appendix A. The following text highlights the process and conclusions.

### 1. Observations and Requisites

After extensive analysis and discussion, the Subcommittee developed projected needs for the county detention/corrections system. These findings are based on many key observations and requisites.

#### a. Observations

- (1) Some inmates belong in jail and should not be diverted to other settings. Some inmates belong in treatment/alternatives, which should be established so that inmates may be diverted from the jail. Some inmates do not belong in jail or in alternatives; these inmates should be diverted or released as quickly as possible.
- (2) Many inmates have serious substance abuse problems; additionally, increasing problems are encountered with regard to mental health needs and AIDs.
- (3) Many inmates leave jail with no place to go and without coping skills; they need some sort of "bridge" to assist them in a successful release into the community.

b. Requisites on which the Projected Needs are Based.

- (1) The public must be educated about the need to use alternatives and the safety of such programs. Public education is essential if community support of the overall system is to be secured.
- (2) The county must manage the system through a continuing effort such, as a "jail crowding task force."
- (3) Information on incoming detainees must be collected early, must be verified, and must be shared throughout the processing period to increase the speed and validity of decisions.
- (4) A formal, pretrial supervision program must be implemented, and third party services must be provided.
- (5) People who are released prior to disposition should be diverted based on valid information. Compliance with conditions of release must be monitored, and the conditions must be enforced.
- (6) All facilities must be designed for internal flexibility to accomodate changing inmate populations and for efficient expansion.
- (7) If facilities provide too much extra capacity, it will be difficult to encourage the criminal justice system to use alternatives to confinement.

2. Projected Bedspace Needs

Average Daily Population. The county population growth, jail admission rate, and length of stay were used to generate an initial estimate of jail inmate populations for the Year 2010. An average daily population for the Year 2010 was determined to be 225.

This initial estimate was adjusted through several separate calculations, described in the following text, to reflect peak populations, classification, to adjust for the boarders that were included in the study period data base, to subtract two inmate groups that should be relocated, and to add new state-diverted inmates.

This projected average daily population compares to current levels of up to 145 and represents a total increase of 55% over 20 years (an average of 2.7% increase per year). Initial projections were based on the analysis of jail occupancy during the past five years.

Peak Populations. Daily jail populations vary significantly from average population estimates. The subcommittee was concerned that peaks in the population could cause periodic, if not regular, overcrowding, if the number of available beds were

based on average figures. Therefore, the average daily population was increased by 10% to reflect the historic rate of peaking experienced in Cumberland County.

Classification and Segregation. The second adjustment to the base projections was designed to simulate the real impact of the need to classify and separate inmates within the jail. Nationally, a 20% "classification" factor has been estimated by the National Institute of Corrections. This factor reflects the extent to which available bedspaces can actually be used because of the need to classify inmates based on security risk and other characteristics, and the separations that are required.

Subtracting "Boarders." The data base used to generate projected needs included a significant number of state and federal prisoners who were held at the county jail. This "boarding" activity is not required by statute and has been halted in recent months. Therefore, the peaked/classified projection was adjusted down to simulate a population without any voluntary boarders. Some subcommittee members suggest that boarders should be accepted in the future, but the subcommittee concluded that construction plans should be based on the mandatory inmate population that can be expected.

Relocate Short-Term OUI Sentences. The subcommittee recommended that bedspaces not be built for short-term (two-day) OUI sentences, because that population has a dramatically different peaking characteristic (usually on weekends) and because this population can be better handled in alternative facilities and programs (such as those being considered for statewide implementation). As a result of this policy, the proportion of the Year 2010 bedspaces attributed to this inmate group was subtracted. These bedspaces were subtracted to prompt the development of alternatives.

Relocate/Redefine Short-Term Detainees. Nearly 70% of all admissions are inmates confined pretrial for periods of three days or less. The subcommittee recommended that this population be subtracted from the long-term bedspaces and housed in special, short-term detention facilities. These detainees pose special problems and demand specialized facilities and handling; they also have a dramatically higher peaking rate.

Impact of Community Corrections Act. The Community Corrections Act will bring significant numbers of new inmates to counties. After much deliberation, the subcommittee concluded that it would be most expedient, and accurate, to project this new population separately because the Act has not yet been fully implemented and is not reflected in the data base. After careful consideration, and application of current data, the subcommittee concluded that an additional 51.2 beds should be added to accommodate this new prisoner population.



### 3. Forces and Factors That Would Increase/Decrease Needs

The subcommittee, and the Full Committee, engaged in lengthy discussion concerning the proposed bedspace needs. Most members believed that the recommended needs are too low; some believed that fewer bedspaces could be adequate.

Arguments/rationale for increasing bedspace included the following:

The rate of jail use in Cumberland County is much lower than it is nationally, but it can be expected to increase as the county becomes more urban.

Current practices are not overly disposed towards jail use (the admission rate is 30% lower than national rates, and the average length of stay is one-half).

Current sentencing practices are constrained by lack of space, limited programs, and physical conditions.

County population growth has been underestimated.

State trends are to shift even more prisoners to local custody.

Public demands for increased enforcement activities may increase admissions;

Drug enforcement activities (local, county, state, and federal) will have a marked impact on jail needs.

Inmates' characteristics are steadily moving toward more serious, violent behaviors.

The consequences of providing insufficient space are more serious than the consequences of having extra space (...if we err, it should be on the "high" side because of the human costs and liability of crowding).

Providing increased alternatives to confinement (pretrial and sentenced) could draw clients that are currently not confined, lessening the impact on the jail population.

Space could be provided for inmates who are returning from state facilities as part of their "pre-release" process.

Space could be provided for inmates who are the responsibility of the U.S. Marshals.

Arguments/rationale for decreasing bedspace include the following:

If sufficient numbers and types of bedspaces are provided, there will be less pressure on the criminal justice system to explore and use alternatives to confinement.

Alternatives to confinement, such as home detention, could have a greater impact on the jail population than projected.

New bail laws could have a greater impact on jail needs than currently expected.

New approaches to sentencing could reduce jail space needs, such "day fines".

Expedited case handling, from arraignment through disposition, could reduce the length of confinement for some inmates.

Creative prosecutorial programs have reduced jail space needs in other states.

Providing better defense services could result in a reduction of jail space needs.

It might be possible to lower the 20% "classification" factor by designing smaller housing units (thereby increasing the flexibility of use); however, this could significantly increase staffing costs.

#### 4. Recommendation--Proceed But "Keep Eyes Open."

Following extensive analysis and debate, the subcommittee recommended using the following bedspace projection (Table II) for the next phase of planning. The subcommittee suggested that this recommendation should not close the discussion on this issue and encouraged further examination of data alternatives in an attempt to identify possible reductions.

In an effort to explore methods to reduce future needs and to focus on the "non-physical" dimensions of jail problems and needs, the subcommittee recommended that another subcommittee be commissioned to focus on "programs"-- both within the jail and in the broader criminal justice and human service systems. Hopefully, this group will be able to recommend methods to the full Committee for reducing future needs during subsequent stages of the planning process; if so, projected needs can be decreased.

The subcommittee's calculations and recommendations are summarized on the following table (Table II).

Table II: Summary of Year 2010 Bedspace Needs

BASE PROJECTIONS

Projected Average Daily Population.....	225 inmates
Peaked Average Daily Population (10%)....	248 beds
Classified Daily Population (20%).....	297 beds

ADJUSTMENTS TO BASE PROJECTIONS

Subtract Boarder	-46 beds
Divert OUI Short-Term Sentences	-7 beds
Relocate/Redefine Short-Term Detainees	-17 beds

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NET LONG-TERM BEDSPACE NEEDS 227 beds

ADDITIONAL BEDSPACES ATTRIBUTABLE TO STATE COMMUNITY CORRECTIONS ACT

Additional Class A,B,C...	26 inmates
Additional Class D,E.....	2.7 inmates

Subtotal.....	28.7 inmates
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Projected to Year 2010 (add 55%)	43.3 inmates
Minus prisoners diverted to state .....	-4.5 inmates

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NET INMATES, Year 2010 Peaked (10%) Classified (20%)	+38.8 inmates
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TOTAL ADDITIONAL BEDS YEAR 2010	+51.2 beds
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SUMMARY OF LONG-TERM BEDSPACE NEEDS, YEAR 2010

County bedspace needs.....	227 beds
Additional diverted from State.....	51

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TOTAL PROJECTED NEEDS.....	278 BEDS
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## D. PROBLEM ANALYSIS

Concurrent with the projection of future needs, the Jail Committee examined several documents and toured the jail to identify problems. Members quickly concluded that Cumberland County has many serious problems with its jail and that solutions must be developed and implemented as soon as possible.

Members examined jail inspection reports from the Maine Department of Corrections and subsequent responses from county officials. They applauded efforts to improve operations and interim repair and renovation of the 1964 structure but noted that these efforts were not enough to solve the full range of deficiencies. The Jail Committee quickly concluded that major physical deficiencies remain, and long-term planning must offer reasonable and efficient solutions.

Near the end of the initial planning process, members were asked to identify and prioritize jail problems. The resulting list of problems affirmed the need to make physical improvements, but also underscored the need to examine jail operations, management, and administration in a comprehensive approach to jail improvements.

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### Table III: Summary of Problems

Crowding

Jail Facility, Condition, Design and Environmental  
Conditions, and Lack of Security

Failure to Comply with Standards and the Resulting  
Liability

Inmate Idleness

Prisoner Programs-- lack of chemical dependency treatment,  
mental health and forensic services, programs for  
female prisoners

Policies and Procedures (lack of, lack of operational  
compliance with them)

Staff Training, Professionalism, and Burnout

Facility Operations, Management and Administration, and the  
Roles of Elected Officials

Lack of "Systems" Coordination

Lack of Public Awareness of Problems

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Members quickly noted that only some of these problems would be addressed by major physical improvements and worried that placing too much emphasis on physical plant issues might distract the county from much-needed operational and administrative improvements.

Conversely, members also suggested that vigorous efforts to solve physical problems can generate public support for comprehensive improvements and can improve staff motivation and morale necessary for implementing and maintaining improvements.

Finally, the Committee compared current jail facilities and operations with the "mission statement" developed at the beginning of the planning process. Members found that most of the principles embodied in the mission statement are not met, or are not fully met, in the current facility and operations.

Many members believe that failure to achieve the "mission" of the jail, and its full potential in the broader system, is the most serious deficiency of all and represents a tragic lost opportunity.

## **E. ALTERNATIVE SOLUTIONS CONSIDERED**

The Jail Committee considered a broad range of facility options, ranging from the minimal "do nothing" solution to the complete replacement of the current facility. Several variations were also considered. All of these "solution sets" responded to the same set of problems and needs. Table IV, below, outlines the major solutions that were evaluated by the Committee.

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Table IV: Range of Alternatives Considered

A. No change refers to operating the existing jail with the completion of current renovations and expansion. It assumes that the use of the Portland Police Department lockup for long-term prisoners will be discontinued and that all excess prisoners will be transported and housed in other counties (after using 100% of state-approved jail capacity).

B. Renovation/Expansion involves construction of an additional seven stories (70,000 square feet) on top of the current jail, followed by a complete renovation of the existing facility. Resulting facility spaces are comparable to all new construction on a new site, as is capacity.

C. All New construction, on a new site, provides 100,300 square feet of space, on a site that is assumed to be without constraint with regard to the design. Locations-- the all-new option is based on an urban site, with variations for suburban (5-mile) and rural (10-mile) sites.

(Table IV, Continued)

Variations.....

C1- Separate Intake/Holding at Current Site involves the operation of the entire short-term holding and intake function at the current jail, following extensive renovation and assuming a "dependent" relationship to the jail with regard to support services.

C2- Separate Residential Facility(ies)- involves relocating 45 community custody beds into one or two separate residential facilities, assuming new construction and independent operation.

C3- Intake/Holding/Residential- involves renovating the current jail for both of the C1 and C2 options, offering operational efficiencies.

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In addition to the solutions outlined in Table IV, the Jail Committee examined several additional variations, such as the acquisition and conversion of the Portland Police Department building. The results of a detailed comparative analysis follow.

## F. LIFE CYCLE COST ANALYSIS

A cornerstone for evaluating alternative solutions requires the comparative analysis of the costs associated with each option. As suggested in the Mission Statement, the Jail Committee was not only concerned with initial costs but also with long-term costs. Therefore, "life cycle" cost principles and methods were applied by the consultant, providing an important decision-making tool, comparing the solutions from a fiscal perspective. A life cycle cost analysis estimates all costs associated with an option (construction, financing, and operations) over a 30-year period.

As instructed by the Jail Committee, the analysis incorporated the following assumptions: annual inflation was factored at a rate of 4%; serial bond rates were based on an average annual rate of 6.8%; occupancy of the new facility was assumed to be 100% for the purpose of calculating operating costs, while occupancy demands for the no-change option were based on actual projected detention days for each year.

The initial life-cycle cost analysis yielded dramatic results, as the total 30-year costs for each major option show:

Total 30-Year Costs for Each Major Option

A- No Change.....	\$345,863,913
B- Renovate/Expand.....	\$314,825,560
C- All New Construction.....	\$255,488,834 PLUS site acquisition

Analysis of the three "variations" initially identified revealed additional long-term costs:

VARIATIONS.....

C1- Leave Intake/Holding at Old Jail--	ADD	\$12,300,000
C2- Separate Residential Facility(ies)		
Two Facilities--	ADD	\$ 20,861,281
OR		
One Facility--	ADD	\$ 7,793,000
C3- Intake/Holding/ and Residential at the Old Jail--	ADD	\$ 12,000,000

Additional calculations were provided to the Committee, addressing the transportation effort associated with moving the jail from its current location. A 10-mile move would require an estimated 164,000 additional miles of inmate transportation from the point of arrest to the jail and from the jail to arraignment each year. Other calculations compared the results of this analysis to comparable situations throughout the United States--verifying the accuracy of this analysis.

Table V: Summary of Life Cycle Cost Calculations

	OPTION.....		
	A. No Change	B. Ren/Add	C. All New
Capacity	112 beds board out rest	278 beds	278 beds
CONSTRUCTION			
Area	None	Ren 30,000 sf Add 70,000 sf	100,300 sf
Cost	None	\$ 25,500,000	\$ 17,250,100
FINANCE COSTS	None	\$ 17,850,000	\$ 11,795,070
STAFFING			
FTE	111	147.2	116
Annual Cost	\$ 2,703,960	\$ 3,585,792	\$ 2,825,760
30-Year TOTALS	\$160,209,630	\$212,458,176	\$167,426,280
BOARD COSTS	\$160,100,000	\$ 0	\$ 0
OPERATING COSTS			
Annual	\$ 431,296	\$ 996,074	\$ 996,074
30-year TOTALS	\$ 25,554,288	\$ 59,017,384	\$ 59,017,384
30-YEAR TOTALS.....	\$345,863,918	\$314,825,560	\$255,488,834 PLUS SITE COSTS

## G. EVALUATION OF ALTERNATIVES

While the life-cycle cost analysis provided one resource for evaluating each alternative solution, the Jail Committee applied a much broader set of criteria to each. The chart below describes the results of a comprehensive "rating" of each alternative with regard to the principles articulated in the Mission Statement.

Table VI: Rating of Options vs. Mission Statement

Criteria From Mission Statement	Option:							
	A No Change	B Ren/ Add	C New Jail Urban	C-1 Sep I-II	C-2 Sep Res	C-3 III + Res	Sub- urban Site	Rural Site
<b>SAFETY</b>								
Community	-	+	+				-	-
Staff	-	0	+				-	-
Inmates	-	0	+					
Proactive Management of the System (1)	+	0	0				+	+
For City/Town Police...								
Travel Time	+	+	?				-	-
Process Time	-	+	+					
Available Space	-	+	+					
Standards compliance, classification and constitutional rights	-	+	+					
Inmate Programs								
Generally	-	+	+		+		0	-
Work Release	-	+	+		+		0	-
Industries	-	0	+					
Substance Abuse	-	+	+		+		0	-
Flexibility of Design	-	0	+					
Future Expansion	-	-	+					
Life Cycle Costs	-	0	+	-	-	-		

**KEY:**

- A No change, involves renovating current space, closing PSB lockup and boarding out excess prisoners
- B Ren/add, involves renovating current jail and adding several stories
- C New- Urban, involves an all new facility downtown
- C-1 Build new facility, keep intake/holding in current jail
- C-2 Build new facility, put residential beds in separate site
- C-3 Build new facility, put residential and intake/hold in current jail
- Suburban- is a new jail on a suburban site (5 miles distant from current)
- Rural- is a new jail on a rural site (10 miles distant from current)

Note: The current jail is a tool for managing the population because many decision-makers in the criminal justice system are hesitant to use it; the further a new jail is moved from Portland, the less likely Portland PD will be to use it, thereby reducing jail admissions

As the preceding chart indicates, the "all new construction" option not only offers the lowest long-term costs but also achieves the highest level of compliance with the pertinent elements of the Mission Statement.



# III. RECOMMENDATIONS

The Jail Committee submits the following recommendations to the Cumberland County Commissioners and the County Sheriff.

## A. JAIL FACILITIES

The Jail Committee recommends the construction of a new jail on a new site.

### 1. Location and Site Criteria

The new jail should be located as close as possible to the county courthouse; proximity should be measured by both physical distance and travel time. The new site should: (a) encompass at least ten acres; (b) be accessible to public transportation; (c) have city/town sewer available; (d) have suitable soils and topography; and (e) be able to gain city/town approval for use as a jail. Additional site criteria should be developed during a broad-based search for appropriate sites.

### 2. Size

At this point, the Committee recommends the provision of 278 long-term bedspaces, and a distinct short-term holding area. In addition, the county should allocate funds to secure beds in the community for the treatment of appropriate pretrial and sentenced inmates, as an alternative to jail, or following a period of jail confinement.

The composition of the bedspaces should correspond to the recommendations outlined in Section II-C (Table IV) of this report. Ideally, further research and analysis will identify methods to reduce projected needs in the coming months.

### 3. Design Considerations

Special consideration is suggested for the following components of the facility:

- (a) all spaces should incorporate the principles outlined in the Mission Statement (page 3), requiring careful and creative design;
- (b) some minimum-security bedspaces should be constructed as residential settings, physically and operationally distinct from the rest of the jail population;
- (c) a small juvenile detention facility should be constructed on the same site as the new jail but as a separate and distinct unit;
- (d) space should be provided to conduct judicial proceedings; and
- (e) space for the Sheriff's Department law enforcement and civil process activities should be provided on the site, in a separate, or attached, "office" complex;

#### 4. Financing and Costs

The Committee recommends that the County Commissioners seek voter approval for bonds to finance the construction of the proposed facilities in November, 1989. It is hoped that total costs will be less than \$20,000,000.

#### 5. Disposition of Current Jail

The Committee does not offer suggestions for use of the existing jail after it is replaced. This issue will be addressed by the Committee in the next phase of work, if requested by the County Commissioners.

### **B. USE OF RESOURCES TO REDUCE JAIL NEEDS**

The Committee recommends that the County Commissioners create a Jail Population Management Task Force, composed of representatives of key agencies and participants in the criminal justice system. This Task Force should be asked to develop, implement, and monitor appropriate activities that result in reduced needs for secure confinement, consistent with consideration of public safety. The Commissioners are urged to support this Task Force with staff resources.

The Committee also recommends that a "Systems/Alternatives Subcommittee" be formed by the Jail Committee in the next phase of planning, to evaluate methods to reduce future needs for jail space and to assist in the development of appropriate alternatives.

### **C. JAIL OPERATIONS**

Jail operations must continue to be improved. The Jail Committee offers its assistance in this effort through the creation of a "Jail Operations Subcommittee" in the next phase of planning.

### **D. PLANNING AND DEVELOPMENT STEPS**

The Committee offers to assist the County to implement these recommendations through a continuing planning initiative. A proposed approach for the next phase of planning is offered in the following section, and a detailed architect selection process is described in Appendix C.

TIME FRAME

COUNTY COMMISSIONERS

JAIL COMMITTEE

February	Reference checks for finalists	Interview finalists/ recommend selection
March, 1989	Receive site proposals	Review proposals with architects and recom- mend finalists
	Approve site finalists	Evaluate finalist sites in detail
April	Approve site; secure option to purchase	Recommend site to commissioners
	Secure legislative approval for refer- endum in November	Systems/altern. sub- committee recommends revised bedspace needs
May		Activate Public Infor- mation Subcommittee
June	Review preliminary design	Begin preliminary design for Jail
		Public Information Outline submitted
July	Review preliminary design	Preliminary Design completed
		Public Information Plan draft submitted
August	Approve design	Refine Prelim. Design
		Finalize Public Infor. Plan
		Adopt recommended de- sign and support materials
		Develop presentation materials and support documents
		Develop all needed aids and materials for public info. initiative

TIME FRAME

COUNTY COMMISSIONERS

JAIL COMMITTEE

		Finalize presentation schedule
		Develop comprehensive "Briefing Book"
September, 1989	Launch public info. initiative and participate	Implement public information initiative
November	Certify results of county-wide referendum	
	Determine role of Jail Committee in "Phase 3"	

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## B. PROPOSED ROLES FOR ARCHITECTS AND CONSULTANTS

The preceding outline describes the proposed overall sequence of events during the second phase of planning. This phase will require extensive professional assistance, including the architectural services.

### 1. Architectural Services

Appendix C presents a proposed "Request for Proposals" for the selection of architects, including a description of the specific services needed. The Jail Committee suggests that the following services will be needed prior to the county-wide referendum in November, 1989.

#### a. Site Selection

- (1) Outline initial criteria for identifying potential sites.
- (2) Work with the Jail Committee to identify potential sites for the project.
- (3) Conduct a preliminary evaluation, with the Jail Committee, of all sites presented for consideration.
- (4) Execute a more detailed evaluation of up to five sites selected by the Jail Committee as finalists.
- (5) Assist with the negotiations for acquisition of the selected site.



- b. Preliminary Design (to be started concurrent with the site selection process)
- (1) Visit several jail facilities in other counties, with members of the Jail Committee.
  - (2) Develop an architectural program for the facility, based on the projected needs, mission statement, and principles presented in the Phase One Planning Report, and including extensive input from a subcommittee and jail personnel.
  - (3) Develop a functional relationship diagram, consistent with the input and guidance received from the subcommittee.
  - (4) Estimate costs for the project at several points in Stage 1 (following the adoption of the architectural program, site selection, and preliminary design).
  - (5) Create a preliminary design for a jail that satisfies the architectural program and functional relationships developed earlier in Stage One. It is expected that several plans will be developed, reflecting a variety of approaches, for evaluation by the subcommittee.
- c. Presentations and Supporting Materials
- (1) Develop a series of drawings that describe the preliminary plan, to include floorplans, elevations, site plan, and two perspective drawings. Two sets of colored drawings, mounted and wrapped, must be provided. Slides of these drawings are also required (two sets).
  - (2) Assemble supporting documentation concerning the preliminary plan in a report, including the architectural program, functional relationships, key design concepts, and cost estimates. A model may be requested.
  - (3) Prepare a concise "briefing paper" for Jail Committee members, to be used in their efforts to educate the public prior to the November vote.
  - (4) Participate in up to five presentations to county officials and other groups to describe the preliminary plan.

## 2. Roles/Tasks for Correctional Consultants

The Jail Committee recommends that CRS continue to provide services for this project, under a continuing contract with Cumberland County. Specifically, the following roles are suggested:

### a. Committee Support

- (1) Assist Cumberland County in the organization and support of the Jail Committee and the four proposed subcommittees;
- (2) Have primary responsibility for supporting the efforts of the "Alternatives/Systems," "Jail Operations/Programs," and "Public Information" subcommittees;
- (3) Work with the architect to support the "Architectural Subcommittee;" and
- (4) Provide services that include the development and presentation of briefing documents and materials, research and analysis, and coordination of meetings with each chair.

### b. Planning and Design Services

- (1) Assist the Committee in its work with the architect, providing a correctional operations perspective;
- (2) Conduct a staffing analysis for each plan developed by the architect and develop operational cost estimates; and
- (3) Provide "design review" services at each step in the process, analyzing all plans and documents developed by the architect and offering comments.

### c. Referendum

- (1) Work with the Public Information Subcommittee to develop a detailed public information strategy and plan;
- (2) Develop a series of informational documents and tools, to include a comprehensive "briefing book," fliers, presentation scripts and aids (slides, flipcharts, transparencies), and media releases; and
- (3) Work closely with the Committee and county officials to implement a successful public information initiative prior to the referendum vote.



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON

73 Oak Street  
Portland, ME 04101  
207/772-3846

April 10, 1989

L. Daniel Boisot, Chairman  
Cumberland County Jail Committee  
142 Federal Street  
Portland, Maine 04101

Re: Site Selection Process

Dear Dan:

At the Committee's request SMRT has prepared a summary of site issues for sites A and B at the Upper Fore River Transportation Park.

SMRT hereby presents this Summary for your review.

We will present this Summary in greater detail at the Architectural Sub-Committee meeting of April 10.

Sincerely,

STEVENS MORTON ROSE AND THOMPSON, INC.

A handwritten signature in black ink, appearing to read 'Theo Holtwijk', written in a cursive style.

Theo Holtwijk, APA, ASLA

enc.

PROPOSALS: COMMUNITY-BASED SOLUTIONS TO JAIL CROWDING

4

Submitted to: Cumberland County Commissioners

By: Systems/Alternatives Subcommittee  
Cumberland County Jail Committee

April 10, 1989

INTRODUCTION

The Systems/Alternatives Subcommittee was formed by the Cumberland County Commissioners and the Jail Committee in January, 1989. On March 27, the Subcommittee asked for permission to develop specific proposals concerning jail crowding; the county commissioners supported the development of proposals for weekend OUI programs, community residential facilities, and enhanced pretrial diversion. The Sheriff's Department has assumed responsibility for developing and implementing an "OUI Weekend" in early May. The following proposals address the pretrial and residential concepts.

A. ENHANCED PRETRIAL DIVERSION

The Subcommittee recommends that \$12,600 be appropriated to the Cumberland County Bail Project to increase staff efforts to implement pretrial diversion programs.

The Bail Project would hire a full-time staff member, enabling several objectives to be accomplished during a 7.5 month pilot project, to begin May 15, 1989.

Based on recent research at the Jail, the following objectives for this Pilot Program are proposed for the trial period:

1. Increase the number of clients served by the Bail Project by 25% (intake has stopped because current staff are at their caseload capacity);
2. Decrease by 1/3 the average length of time required to secure release of a client to the Bail Project;
3. Increase supervision for all Bail Project clients; and
4. Explore additional services that may be effective to reduce pretrial detention at the Cumberland County Jail.

Jail Impact. The Subcommittee estimates that on an average day, the Bail Project would reduce jail detention needs by 6.9 beds (3.4 beds for 25% increase in client load, 3.5 beds for reduced length of intake). The Bail Project would measure the impact of the enhanced services to ascertain the actual reduction of detention at the Jail during the pilot period.

"Sunset" Provision. The Subcommittee recommends that funds be appropriated to the Bail Project on an experimental basis. During the 7.5 month pilot period, the Project must demonstrate achievement of objectives or lose continuing funding for 1990.

#### B. COMMUNITY RESIDENTIAL FACILITY

The Subcommittee recommends that the County Commissioners authorize efforts to secure at least one site to house up to 30 inmates in a Work-Release Center.

Currently, many of the inmates housed at the Portland Public Safety Building could be safely, and more effectively, housed in a community residential setting. This approach has been recommended a long-term solution by the Jail Committee. The Subcommittee believes that this is an excellent time to secure such bedspaces because:

1. There are many eligible inmates who are being housed in a more secure setting than necessary;
2. The Jail is experiencing extreme overcrowding and relocation of 30 inmates would ease problems;
3. Such a facility might be secured in a matter of weeks, rather than the many months that will be required for other crowding solutions being considered; and
4. Community residential services can be provided at a lower cost than current jail operations and would cost substantially less than building and operating such bedspaces in the proposed new jail.

Jail Impact. The Subcommittee estimates that on an average day, a Work-Release Center could reduce jail detention needs by an estimated 30 beds. This has been verified by Jail officials and staff.

Costs. Initial estimates for a 30-bed residential center, including 24-hour staffing, debt service, and all operating costs, are \$162,000/year. This translates to a daily cost of \$28/resident. Residents would be expected to pay a percentage of their earnings toward their costs of confinement, generating an estimated \$87,000 or more to offset county costs (at \$8/day).

Policy Decisions Needed. To proceed with securing this much-needed resource, the Subcommittee asks direction from the county commissioners concerning: (1) whether private operation of the facility would be considered; (2) if the facility should be rented, lease/purchased, or purchased outright; (3) recommendations concerning siting and public input; and (4) designation of person(s) authorized to develop this on behalf of the County.



NOTES FROM APRIL 10 MEETINGARCHITECTURAL SUBCOMMITTEE  
CUMBERLAND COUNTY JAIL COMMITTEE5:30 - 7:00 P.M.  
Commissioners Conference Room  
County CourthousePresent:

Members:  
L. Daniel Boisot  
Stev Parker  
Peter Manning  
Bill McLaughlin  
Stephen Johnson  
Ed Googins  
Paul Coleman  
Brad Buck

Staff/Consultants:  
  
Arthur Thompson, SMRT  
Theo Holtwijk, SMRT  
  
Rod Miller, CRS

1. SITE REPORT

Dan Boisot summarized the presentation to the county commissioners and distributed copies of the report from the architects (attached). The commissioners will advise the Subcommittee if further site evaluation efforts are needed.

2. OPERATIONS SUBCOMMITTEE REPORT

Copies of the initial report from the Operations Subcommittee were distributed and discussed. The work of the Operations group was not completed, and members ask that it be continued, for submission at the next meeting (April 24).

During discussions of the Operations report, members commented on emerging caselaw regarding prisoner rights to a "smoke-free" environment, and updated legislative work on juvenile detention.

Peter Manning urged members to tour the soon-to-be opened housing unit at the Maine Correctional Center, calling it a real "eye opener" and he expressed pride in the design of the facility. A field trip was initially scheduled for Monday, April 17---but MCC staff asked that it be rescheduled to a different date. A NEW DATE WILL BE ESTABLISHED AT THE APRIL 24 MEETING.

Further discussions focussed on the need to identify actual numbers of bedspaces to be planned for each of the classification categories described in the Operations report, and on specific aspects of the Operations Subcommittee conclusions and recommendations.

Next Meeting: Monday, April 24  
5:30 p.m.  
County Commissioners Conference Room  
Courthouse, Portland

INITIAL REPORT: OPERATIONS SUBCOMMITTEE  
Cumberland County Jail Committee

6

April 10, 1989

Members: Bill McLaughlin, Stephen Johnson, Nancy Grayson, Brad Buck, Ralph Nichols, George Panankas, Dick McCallum. Staff: Rod Miller

1. PROCESS AND FORMAT

The following format was adopted for developing an operational and architectural program for the new jail.

a. Foundation Decisions and Policies:

1. Define classifications of inmates--
2. Describe degree(s) of separation between the groups described above:
3. Management Policies and Approaches (e.g. central vs. decentralized, functional unit management) consider "proximity" of inmate to decisions that are made about him/her
4. Define Supervision Styles and Approaches
5. Determine if Privileges Are a Management Tool.
6. Discuss Security principles (barriers, technology, movement)
7. Discuss Standards
8. Consider Out-of-Cell Time
9. Prepare a Chart-- How a prisoner spends an average day.

b. Format

The Operations Subcommittee attempted to initially consider each of the following perspectives:

1. Function and Policy. Purpose, general operational approach
2. Operational Outline. General procedures and scenarios for each functional area, highlighting variations for relevant classifications
3. Staffing Implications.
4. Users and Abusers.

5. Range of Behaviors Expected
6. How the Space Can/Should Shape User Behavior/Response
7. Design Implications (imperatives, concepts) What is needed to function, qualities of spaces re: light, natural light, color, etc.

The Architectural Subcommittee will continue the process, considering the following:

8. Design Requirements
9. Space Needs
10. Access and Adjacencies
11. Equipment Needs

c. Proposed Organization of Topics

The Subcommittee recommends that the following outline be used to organize programming efforts.

OUTLINE/TABLE OF CONTENTS

- 1.000 PUBLIC LOBBY/RECEPTION
- 2.000 CORRECTIONS ADMINISTRATION
- 3.000 STAFF SUPPORT/TRAINING
- 4.000 CUSTODY ADMINISTRATION/CENTRAL CONTROL
- 5.000 INMATE VISITATION
  - 5.100 Contact
  - 5.200 Non-Contact
  - 5.300 Attorney
  - 5.400 Other (e.g. professional)
- 6.000 INMATE RECEIVING, ADMISSION, RELEASE
- 7.000 SHORT-TERM DETENTION
  - 7.100 Reception/Booking
  - 7.200 Detoxification
  - 7.300 Short-Term Holding
- 8.000 INMATE HOUSING
  - 8.100 Max/Close
  - 8.200 Medium
  - 8.300 (Reserved)
  - 8.400 Minimum
  - 8.500 Community
  - 8.600 Female
  - 8.700 Segregation

- 9.000 MEDICAL AND MENTAL HEALTH SERVICES
  - 9.100 Clinic/Exam
  - 9.200 Infirmary
  - 9.300 Mental Health Unit
- 10.000 INMATE PROGAMS AND SERVICES
  - 10.100 Library
  - 10.200 Counseling
  - 10.300 Religious
  - 10.400 Vocational
  - 10.500 Educational
  - 10.600 Commissary
- 11.000 EXERCISE AND RECREATION
- 12.000 JAIL INDUSTRIES AND WORK PROGRAMS
- 13.000 FOOD SERVICE AND DINING
- 14.000 LAUNDRY
- 15.000 FACILITY MAINTENANCE/WAREHOUSE/MECHANICAL
- 16.000 TRANSPORTATION SERVICES
- 17.000 PERIMETER
  - 17.100 Security
  - 17.200 Parking
- 18.000 COURT SERVICES
- 19.000 JUVENILE DETENTION FACILITY
- 20.000 LAW ENFORCEMENT/CIVIL PROCESS

2. LESSONS FROM THE MISSION STATEMENT.

The first step required review of the Jail Committee's Mission Statement from Phase One. Several important principles were identified as being pertinent to this subcommittee's tasks, including:

- inmates should leave in no worse condition than when they are received
- the jail should offer opportunities for improvement
- inmates should be diverted to appropriate settings
- meet constitutional and state standards
- facility design considerations (flexibility, light, avoid dreariness, use colors...)
- promote positive staff/inmate interactions

### 3. CLASSIFICATION CATEGORIES.

After some discussion, the following distinct classifications were identified (based on a detailed "Classification Levels--Operational Definitions" document developed by jail personnel with the assistance of the Department of Corrections):

- a. Minimum-- to be housed within the facility perimeter, may include pretrial and sentenced inmates;
- b. Medium-- perhaps the widest range of inmates, who might best be characterized as being "between minimum and maximum;"
- c. Maximum-- volatile inmates with a high potential for violence;
- d. Special Management-- inmates requiring "special" physical and operational arrangements, for varied reasons including medical/mental health needs, psychiatric problems, protective custody, administrative or disciplinary segregation;
- e. Short-Term Detention-- pretrial inmates who are being confined for short periods (up to 72 hours), including those needing detention during booking, prior to arraignment and those needing detoxification under supervision, and short-term sentenced offenders;
- f. Pre-Release-- inmates who are eligible to participate in work and education programs in the community, including inmates participating in structured pre-release programs; and
- g. Community Custody-- inmates who have been released from the jail to participate in residential programs in the community (e.g. halfway houses).

### 4. SEPARATIONS.

Based on the preceding definitions of classification categories, the Subcommittee discussed the corresponding needs for separating inmates. After lengthy discussion, several of the separations that members initially thought were "absolute" were re-evaluated. Key separations that emerged were:

Violent from non-violent (predator/prey)

Males from females IN HOUSING UNITS (can mix under supervision in other areas)

Classification categories, providing the primary basis for separating in housing areas, but separations are not absolute outside of housing



Juveniles (addressed by Jail Committee in their recommendation for completely separate facility)

Pre-Release from all in-house inmates.

Additional considerations for separating inmates included smoking/non-smoking and pretrial/sentenced.

Members acknowledged the evolving definitions in this area, and underscored the costs associated with separating inmates. For example, emerging caselaw is defining the need for parity between the conditions of confinement for females and males; therefore, a decision to "absolutely" separate males from females would require duplication of many programs and services.

The concept of separating "motivated" from "non-motivated" inmates was discussed. This was examined during a trip to Strafford County, New Hampshire; there, motivated inmates (evidenced by program participation, daily behavior and program participation) are provided with more privileges. Separation is necessary to allow differentiation of privileges.

#### 5. MANAGEMENT POLICIES AND APPROACHES.

Discussion under this topic heading focussed primarily on the desirability of "centralized vs. decentralized" programs, services and activities. Most members favored the decentralized approach, as it suggested less movement of inmates throughout the facility; however, in later discussion (e.g. visiting) members concluded that it would be safer to move prisoners than to allow public penetration into the facility.

A new approach to this issue is offered by the American Correctional Association through the revision of their professional standards. The rationale for limiting facility size, under this new rationale, involves the need to have key decisions about an inmate (such as visiting, services, classification, discipline, and privileges) to be made "as close as possible" to the inmate. This suggests the need to structure the organization so that staff who work closely with each inmate participate in such decisions.

Movement of inmates was discussed at length. Members agreed that the degree of "freedom" to move in the facility should be directly related to the level of classification--the higher the security classification, the less movement.

Scheduled use of common facilities, such as indoor exercise areas, should be used to accomplish separation, rather than duplicating expensive spaces.

#### 6. SUPERVISION STYLES AND APPROACHES.

Initially, some members spoke of having a "work area" for staff members to use, with a view of inmates. Eventually, members

adopted the principles of "direct supervision" as indicated in the Mission Statement. This involves direct, barrier-free interaction between staff and inmates--preferably continuous in housing areas (intermittent in smaller units). Staff-to-inmate ratios in a medium security "pod" were suggested to be 1-to-20 as a frame of reference.

#### 7. SECURITY PRINCIPLES.

Discussion was not completed on this topic, except to note that some skepticism was expressed about the "high-tech" approach to security. Many members noted that staff provide security.

#### 8. STANDARDS.

The Mission Statement calls for compliance with constitutional "standards" and with State standards. Members discussed whether professional standards (American Correctional Association) should be used when they exceed State standards. Also, new research has been conducted on conditions of confinement; this is being incorporated into new ACA standards. There seemed to be agreement that ACA standards should be considered in the process.

The Department of Corrections does not have standards for "halfway houses" (community residential facilities). Some jail standards are applied, and the Department of Human Services assists with inspecting such facilities. In combination, these standards generally address security, staffing and physical plant issues. Members agreed to consider ACA standards that address additional considerations such as administration, management, and programming.

#### 9. OUT-OF-CELL TIME.

Members generally agreed that most inmates will be allowed out of their cells for 16 hours daily. There seemed to be agreement that inmates would be allowed to go back into their cells during the day, although this would be a privilege to be controlled based on behavior.

#### 10. CHART--HOW INMATES WOULD SPEND AN AVERAGE DAY

Members made an initial attempt to allocate 24-hours to specific activities during an average day. Their initial assignment is described below, in order of construction:

- 1 hr Constitutional level of recreation/exercise
- 2 hrs Food service/dining
- 1 hr Cleaning housing areas
- 1 hr Visiting

- 1 hr Counseling
- 2 hrs Education
- 1 hr Life Skills training
- 1 hr Group programs/library access
  
- 1 hr Security procedures (counts)
  
- 2 hrs Leisure time (additional rec, exercise, TV, etc.)
  
- 3 hrs Work/Industries (or additional education)
  
- 8 hrs Sleep

Through this exercise, members realized that a new facility, coupled with new approaches, would allow many more opportunities to keep inmates occupied. They were surprised at how quickly available hours were used, and were encouraged by the prospects of reducing idleness.

Initially, members thought that time would be needed to allow for staff dining and breaks. After examining all of the competing demands for inmate time, they concluded that staffing levels and assignment should ensure that breaks are provided without disrupting ongoing activities in the facility.

#### 11. SAMPLE OF ANALYSIS FOR EACH FUNCTIONAL AREA

Although the Subcommittee met for nearly 10 hours, there was not sufficient time to complete its assignment. A sample section was developed for one component of the outline--inmate visiting.

##### SECTION 5. INMATE VISITING

###### 5.100 Contact Visiting

Function and Policy/Approach. Contact visiting is a privilege, to be allowed consistent with security classification. Concerns about contraband require vigilance in conducting this activity. Variations: maximum security would not be allowed these visits; community custody would have visits in a residential setting outside of the jail perimeter.

Operational Outline. Visitors should be brought into contact visiting areas as directly as possible, with minimum penetration into the security perimeter. Each inmate will have the opportunity to participate in 3 hours of visiting each week.

Staffing Implications. Staff will be needed to--  
 process visitors in/out  
 move inmates to/from visits  
 supervise visiting (no more than 50 persons  
 in one space)  
 search inmates after visits

Users and Abusers. Users/abusers will include inmates, staff, and visitors (remember you will have elderly, young and other special types of visitors).

Range of Behaviors. Conversation, arguments, touching, attempts to do lots of touching, attempts to pass contraband, escape attempts.

Design Implications. Soft spaces, good acoustics, attend to relationship between noise and distance, provisions for children, comfortable, privacy, readily observed by staff without obvious intrusion, secure (quietly), no waterbeds, "normative" with moveable furnishings, resilient and durable materials. Three kinds of visiting areas should be developed: secure (absolute separation of visitor and inmate), non-contact (separation of visitor and inmate by a physical barrier of distance, such as a specially designed table) and contact.

Flexibility. A space should be provided in or near each housing area, in which visiting might be accomplished.

Proximity. Special management inmates should not have to move through other housing areas to reach the visiting area.

Short-Term. Most persons who will "visit" short-term inmates will be professional (e.g. bail commissioner, attorney). Visiting should be accommodated in the intake/holding area for these purposes (both secure and contact).

## 12. OUTLINE OF CLASSIFICATION "f"--PRE-RELEASE

As the Subcommittee ran out of time to complete its work, a different approach was adopted. The group focussed on specific classification categories, highlighting key considerations for each.

### Definition of Pre-Release

This classification of inmates is envisioned to be comprised of sentenced inmates who have served time in the jail, and who have been classified for supervised work in the community. Ideally, all inmates will participate in a structured pre-release program in this unit prior to discharge. Although some work-release inmates might be housed in this unit, ideally, they would be housed in separate community-based residential facilities.

This unit would be separated from the more-secure components of the jail. Although one means of entering the jail would be provided (for staff access, backup purposes, food service), inmates in this unit would never enter the security perimeter of the jail.

Inmates housed in this unit would assume increased responsibility for their daily welfare. "Chores" would be assigned on a rotating basis to all inmates, such as laundry, clean-up, meal service and even vehicle maintenance. The intent would be to increasingly approximate the duties associated with life on the outside.

Implications/Notes for Selected Functional Components  
of the New Jail

- 5.00 VISITATION. To be accomplished in the unit.
- 6.00 RELEASE. Inmates would be released after processing in the jail's intake and release unit (the only time such inmates would re-enter the jail).
- 9.00 MEDICAL. Medications would be brought to the unit by medical staff. A minor medical area would be provided in the unit.
- 10.00 PROGRAMS AND SERVICES. Library services would be provided on order from the jail's library, and/or from the public library. Commissary services would be delivered from the jail. Programs would be provided in the unit, or in the community with supervision.
- 11.00 EXERCISE AND RECREATION. Outdoor recreation area(s) could be shared through scheduling with the jail population. A separate indoor exercise area should be provided for the unit.
- 12.00 JAIL INDUSTRIES AND WORK PROGRAMS. Primary activities would be in the community, for public works projects; however, it is necessary to provide ample space in or near the unit for work projects (community service and private sector).
- 13.00 FOOD SERVICE. Food would be delivered to the unit from the jail kitchen in bulk. Inmates would serve themselves cafeteria-style, and would dine together.
- 14.00 LAUNDRY. Inmates would wear street clothes, and would be responsible for their own laundry.
- 15.00 FACILITY MAINTENANCE. The unit would be substantially self-sufficient, with inmates performing continuing maintenance chores as part of their programming.
- 16.00 TRANSPORTATION. Assign at least two vans to this unit. Inmates would provide routine maintenance.
- 17.00 PERIMETER. This unit would likely be secured by a fence, allowing the structure to be more residential in nature.



### 13. OUTLINE OF CLASSIFICATION "e"--SHORT-TERM

#### Definition of Short-Term

This classification of inmates comprises two distinct groups--pretrial detainees and sentenced offenders. All incoming inmates will spend some time in the short-term unit, during which time they will be processed, observed and classified. No inmate will leave the short-term unit until he/she is classified (unless released). Nearly 70% of all incoming inmates will be released from this unit, never having spent time in other units of the jail. As such, the unit provides essential "shock-absorbing" service for short-term peak populations, and keeps the longer-term population more stable and insulated from daily fluctuations. This unit would be separated from the longer-term population.

#### Implications/Notes for Selected Functional Components of the New Jail

- 5.00 VISITATION. To be accomplished in the unit. Visitors would enter the public lobby, and if approved, would use a non-secure corridor to move to the edge of the intake/holding unit. Secure visits would be conducted "straddling" the perimeter. Non-secure visits would take place immediately inside the perimeter.
- 6.00 RELEASE. Inmates would be released after processing from this unit.
- 7.00 SHORT-TERM DETENTION. All short-term detainees (up to 72 hours) and all incoming inmates, until classified, will be housed in this unit.
- 8.00 HOUSING. Several types of spaces are required, including: (a) short-term holding--4-hour, both secure and non-secure; (b) up to 72-hour holding; (c) observation and detoxification; and (d) short-term sentenced areas.
- 9.00 MEDICAL. Medications would be brought to the unit by medical staff. A minor medical area would be provided in the unit. The central medical component should be located in the vicinity.
- 10.00 PROGRAMS AND SERVICES. Few services will be needed by this population. One or more small multi-purpose rooms should be provided (for attorney visits, clergy, etc.)
- 11.00 EXERCISE AND RECREATION. Inmates in this unit will not generally be eligible for, nor require, exercise. It is possible that some short-term sentenced inmates may be allowed to exercise, in which case both indoor and outdoor areas should be located in the vicinity.

12.00 JAIL INDUSTRIES AND WORK PROGRAMS.  
Generally, these activities would not be available for short-term inmates. It is possible that sentenced inmates might be allowed to work.

13.00 FOOD SERVICE. Inmates will eat in their cells.

14.00 LAUNDRY. Inmates would be issued jail clothing during processing.

#### 14. CONCLUSIONS

The Subcommittee attempted to complete its assignment on time, but found that there were too many issues and too much detail to be covered. The preceding report offers a starting point for the Architectural Subcommittee.

If requested, and if time allows, the Operations Subcommittee could continue its efforts.

## **alternatives subcommittee 4/5/89 meeting notes**

members in attendance:

Judge Peter Goranites, Russ Immerigeon, Stev Parker, Richard Romanow  
Keith Peaco, Dori Bishop, Rod Miller, and Pierre Shevenell.

The meeting was devoted to the review and approval of the subcommittee's proposals to be placed before the County Commissioners on April 10th.

### pretrial release

The Bail Project's proposal for an additional staff would add 25% more cases, make the screening process 33% faster, and investigate other appropriate areas for pretrial release. The proposal has sunset clause that hinges on its effectiveness. The proposal was presented by Rod (who needed the practice to get ready for the Commissioners). He stressed the need to provide ongoing evaluation and documentation of the program's effect. The proposal showed clear costs savings of upto five dollars for every dollar spent. If approved, it could begin May 15 with a 1989 cost of \$12,000+ and a cost benefit ratio as great as 1 to 5. The committee gave formal approval to the proposal.

### 2. Residential treatment/work release/community service facility.

The committee discussed the costs and savings surrounding a proposed 20 to 30 bed facility. A private housing provider has offered to lodge and feed eligible inmates for a cost of \$ 28 to \$ 33 / day. The committee was encouraged by this offer and voted to present to the Commissioner's as a viable option in order to solicit the Commissioner's will in regard off-site housing of inmates. Richard Romanow was volunteered to make the presentation to the Commissioners.

### 3. The diversion of first time OUI offenders

UPDATE: The Sheriff's department has retained Bill Tanner to set up the programming for the SMVTI-housed OUI offenders. The committee was pleased to have played a role by bringing the jail staff and the Kennebec county people together.

The next two meetings are April 12 and 26 at 3:30 p.m. in the Probation and Parole conference room on the second floor at 175 Lancaster Street.

## Interim Report: Alternatives Subcommittee

Cumberland County Jail Committee

April 19, 1989  
(Draft)

### History:

The Systems/ Alternatives Subcommittee was formed by the Cumberland County Commissioners and the Cumberland County Jail Committee in January 1989. During the first phase of the jail planning process, the Jail Committee estimated that Cumberland County would need a jail for housing approximately 278 prisoners. Certain community corrections options or resources not currently available were needed to assure that this projected population figure was feasible. In addition, the Jail Committee agreed that other community programs could potentially reduce the projected population estimate even further. The Jail Committee also agreed that broader participation by key criminal justice and corrections officials was vital to the successful development and implementation of such community options. Thus, a subcommittee was established to describe the types of programs and/ or resources that were needed to assure the feasibility or even reduce the size of the 278 population estimate for the new jail. A 17-member committee was organized with representatives from the courts, probation, the district attorney's office, victims' groups, and community-based agencies.

### Members:

Pierre Shevenell, Russ Immarigeon, co-chairs  
Cathy Ansheles, Nancy Grayson, Dick McCallum, Stev Parker, Dori Bishop, Joan Gauche, Marilyn Robb, Keith Peaco, Richard Romanow, Laurence Gardner, Judge Peter Goranites, Judge Stephen Perkins, Lucky Hollander, Larry Mahoney, Kathi Fields

### Process:

The Subcommittee met on a weekly basis for -- weeks in the conference room at the Portland office of the Division of Probation and Parole. The Subcommittee outlined its concerns, reviewed statistical data on jailed offenders, surveyed subcommittee members to assess agency or organization interests vis-a-vis alternative sanctions, and mapped some program proposals.

### Achievements to Date:

On April 10, 1989, the Subcommittee asked the County Commissioners to appropriate \$12,600 to increase the staff capacity of the Cumberland County Bail Project to implement supervised pretrial diversion services, and to authorize at least

one 30-bed work release center in the community. These proposals could save the county approximately 37 beds. The county commissioners approved the enhanced pretrial services proposal, and referred the work release center proposal to the Sheriff to assure that any such facility functioned with the approval, cooperation and support of the Sheriff.

The committee also provided technical assistance to jail staff who have been developing an OUI program similar to one started in 1986 by Sheriff Frank Hackett in Kennebec County. Sheriff Hackett addressed one subcommittee meeting, and provided some extremely helpful information about what to do and what not to do in the program design and implementation process.

#### Future Objectives:

The future work of the committee needs to examine the criminal justice system in light of the jail committee's mission statement searching for increased use of community options, to review different programs proposed by single agencies within the system, and to provide a method of reducing and forestalling jail crowding.

#### Objectives

- Short-Term - (1) create criminal justice coordinating council  
(2) define coordinating council membership/ duties  
(3) define coordinating council tasks  
    - planning alternatives to incarceration  
    - research and evaluation  
    - program acceptance criteria  
    - system monitoring and coordination  
(4) describe sentencing practices in the county  
(5) conduct female prisoner study  
(6) present viable 30-bed housing proposal to county commissioners;
- Mid-Term - (1) staff criminal justice coordinating council  
(2) design county sentencing options program  
(3) describe fiscal resources needed  
(4) develop local legislation  
(5) design alternative programs for women;  
(6) design prosecution diversion programs;  
(7) implement operation of work release facility
- Long-Term - (1) implement sentencing options program  
(2) implement female offender diversion options  
(3) further enhance pre-trial release services  
(4) implement prosecution diversion programs



CUMBERLAND COUNTY JAIL COMMITTEE  
c/o County Commissioners  
142 Federal Street Portland, ME 04101  
(207) 871-8380

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ENCLOSURES/ATTACHMENTS: APRIL 19, 1989

1. Meeting Schedule (below)
  2. Alternative Subcommittee Meeting Notes.
- 

MEETING SCHEDULE: (As of April 19, 1989)

NEXT FULL COMMITTEE MEETING

Thursday, April 27, 1989

7:00 - 9:00 p.m. Training Room (Main Building)  
Maine Youth Center, So. Portland

ADDITIONAL FULL COMMITTEE MEETING DATES (Evenings)

Thursday, May 18, 1989

Thursday, June 1

Thursday, June 29

---

ARCHITECTURAL SUBCOMMITTEE MEETINGS:

MEETINGS-- Commissioners Mtg. Rm., County Courthouse

Monday, April 24, 1989 5:30 p.m.

Monday, May 8, 1989 5:30 p.m.

Monday, June 5, 1989 5:30 p.m.

Monday, June 19, 1989 5:30 p.m.

Monday, July 17, 1989 5:30 p.m.

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OPERATIONS SUBCOMMITTEE:

Work group to meet 4/14

Work group to meet 4/21

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SYSTEMS/ALTERNATIVES

Meetings held at Probation/Parole Office

175 Lancaster Street, Second Floor

Wednesday, April 26 3:30 p.m.

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## **alternatives subcommittee 4/12/89 meeting notes**

members in attendance:

Stev Parker, Keith Peaco, Dorl Bishop, Rod Miller, Pierre Shevenell and a tardy) Russ Immarigeon.

### 1. Report on the proposals to the county commissioners

At their April 10th meeting, the County Commissioners voted \$ 12,600 to be allocated to the Cumberland County Bail Project for the hiring of an additional staff person to begin work on May 15th. This additional person will enable the Bail Project to increase its caseload by 25%, cut down the waiting time for program admittance by 33% and thus save the county 6.9 beds at the jail by the end of 1989. The program has a sunset clause that hinges refunding on the program's effectiveness in meeting this objective.

### 2. Ideas for the interim report to the jail committee (due april 27)

Russ was volunteered to write an interim report to be presented to the jail committee on April 27th. It is hoped that a draft report can be circulated with these minutes via the regular mailing on April 19. This would allow commentary and finalization at this committee's April 26th meeting.

### 3. Possible next phase for the committee

Discussion of the committee's next phase centered on the need for:

- \* continued program development
  - off site residential for targetted populations
  - county/federally funded pilot
  - focussed treatment for these populations
  - alternative sentencing options and resource development
- \* on-going program monitoring and evaluations
  - developing a research capability that allows programming to be monitored and evaluated for its effectiveness in meeting the criteria established by policies of the county commissioners through the jail committee.
- \* a more direct relationship with the county commissioners
  - becoming a system management task force with a special focus on program development which reports directly to the commissioners and functions as a representative of the coordinated efforts of all the system agents.
- \* the enhancement of the committee's role as a focal point for continuing cooperation and coordination of the many agencies

directly and indirectly involved with the criminal justice system.

#### 4. Methods for evaluating/monitoring committee projects/programs

The focussed on ways it could monitor and evaluate the effectiveness of both the OUI first offenders program and the staffing increase of the Cumberland County Bail Project.

##### OUI first offenders program

The committee will contact member Marilyn Robb of MADD to help formulate an evaluation process that could include the use of trained volunteers for onsite monitoring, staff and defendant exit surveys, and analysis of recidivism rates.

Nancy also pointed out the need for prescreening of program participants for their ability to speak, read, and write English. It will be necessary to establish contact with the Refugee Resettlement Center and other sources of translators in order to provide effective programming for non-English speaking offenders.

##### Bail Project

The Project staff have begun planning a research and evaluation component for the Bail Project, to be put into effect in mid-May. It will look at recidivism, bed saving, client characteristics, resource limitations, the effect of program participation on a participant's sentencing, failure's to appear, pretrial crime rate for different groups of defendants. Any other suggestions are welcome. Call Stev at 774-1501.

#### 5. Strategies for setting up the off-site residential facility

The County Commissioner's received the committee's proposal to explore options for off-site residential placement of work release or similar inmates. They referred the proposal to the Sheriff in order to be assured that any such facility functioned with the approval, cooperation, and support of the Sheriff.

In the matter of policy decisions, they left open the options of private operation of the facility; rent, lease, or purchase options; and siting options. They noted that siting is a difficult and politically charged endeavor. They also were clear in their wish to have the sheriff overseeing any proposals concerning the housing of inmates.

In light of commissioners' actions the committee will write a letter to Sheriff Joyce requesting his overall support of the committee's efforts to establish off-site, programmed residential alternatives. The letter will specifically ask his approval for the committee to develop program and operational criteria, outline the staffing requirements, locate sites (through the assignment of Richard McCallum to the committee), and coordinate this effort with the jail administrative staff. Assuming the Sheriff's support, the committee hopes to provide him and the commissioners with a viable option within 2 to 3 weeks.

Rod brought to the committee's attention the results of the architectural firms look into halfway house zoning requirement. They strongly suggest that we locate already existing high density housing in an R-6 zone. This would allow us to proceed without the need for zoning board approval. We're all for that!

6. Possible committee involvement in offering a programming focus for the temporary off-site jail housing under consideration by the jail administrator and the county commissioners.

Rod also made note of the fact that the City of Portland planning department and zoning laws were looking on the placement of 'temporary' housing units on the present jail property as being subject to the same scrutiny as permanent structures. This will most likely exclude this as a relief for overcrowding. Since the beds still need to be built, the city has suggested the county look at I 2 zones for proper sites. This offsite housing of minimum security inmates provides a opportunity for, even necessitates, programming for this whatever facility is built or converted.

A strong option would be to use the Industrial Zone as an incentive to establish a prison industries program immediately at the site. The committee will consider its involvement in such an effort at a later meeting.

**The next meeting is on April 26 at 3:30 p.m. in the Probation and Parole conference room on the second floor at 175 Lancaster St.  
WE NEED YOUR PRESENCE AT THIS IMPORTANT MEETING**

March 13 Cumberland Co. Jail

- Attachment - see Theo's rept.

A & B - railroad/water

C off ocean (almost in Falmouth)  
no sewer

~~D Riverside Industrial Pt 2 lots  
warehousing / Spruwell School~~

~~E Canco Road.~~

~~F Allen Ave~~

~~G Stroudwater Kennedy.~~

~~H? Off Riverside. NEW.~~



JAIL 2-27

278 beds (maybe phases)

100,000 sq ft

functions: various security zones: sentencing/arrestment etc.  
∴ separate areas

residential

recreational

drop off - secure

Several structures a possibility

Portland Police

3673 criminal, traffic ≈ 7000 no.  
crunch.

City involved in site selection?

Police planning

Prison - Chair of Committee

Memphis

Ind. Pks

Eminent Domain to be used by County?

10 acres

Zoning Restrictions: Municipal Use

CITY OF PORTLAND, MAINE  
M E M O R A N D U M

TO: Joe Gray, Director of Planning and Urban Development  
Alex Jaegerman, Chief Planner  
Mark Adelson, Community Development Director

FROM: Phil Meyer, Urban Designer *PM*

DATE: February 22, 1989

SUBJECT: Meeting regarding County Jail site selection

I have scheduled a meeting with Theo Holtjwik of SMRT for Monday, February 27, 1989, at 1:00 to discuss site selection issues for the proposed new Cumberland County jail. SMRT has been selected by the County as architects for the site selection process.

They are interested in getting information from the City on the following:

1. General City concerns regarding possible locations.
2. Process and time expectations for City review.
3. Zoning issues when considering site selection.

The County has issued an RFP for property owners in the City who might be interested in locating such a facility on their land. Criteria stated in the RFP include:

## County starts search for potential jail site

By DENNIS HOEY  
Staff Writer

Faced with inmate overcrowding and serious structural deficiencies at the Cumberland County Jail, county commissioners have begun to accept proposals for potential sites where a new \$20 million county jail would be constructed.

Maps and drawings showing site location and boundaries, as well as proposed acquisition costs, are due in Cumberland County Clerk Elvira Ridlon's office by March 9. Ridlon said her office has sent a "blind mailing" of requests for proposals to area real estate firms.

Rod Miller, a private consultant who was hired to guide the county through the planning and public information process, said it was the intent of commissioners to ask voters during a special county-wide referen-

dum Nov. 7 to approve a jail bond construction issue.

Miller said an advisory panel known as the Cumberland County Jail Committee determined that costs of designing and constructing a new county jail should not exceed \$20 million.

It was this committee, which consists of 28 county residents and was formed in January of 1988, that recommended construction of a new jail. Commissioners voted last month to adopt the committee's recommendations.

Miller, who is president of CRS Inc. in Kents Hill, said that once proposals have been received and evaluated, the location of potential sites for the new jail would be made public.

See JAIL  
Page 28

County has focused on three

al Park below St. John's

ustrial I-1 zone off

needs, the City (Ganley

st in locating such a

se, recognizing that

ing jail facility. I

a retention facility

ases, but will be built

any as 100 beds. There also

ow difficult it would be to locate the

at odds with an apparant requirement that the

in the County seat.



3-16-89 Bill Sivony - Theo Holtwijk

Site C

R3 - Municipal use vs B-4 Governmental use  
City vs County

ZBA interpretation -- allowable in R3?  
yes no

text amendment allowing govern. use in R3  
/zone change request

Site A/B

(doesn't specifically disallow jails)

F3 may be allowed: jail - dwelling not allowed  
jail vs dwelling

would a jail be considered a dwelling unit (probably yes)

ZBA - interpretation appeal - jail - dwelling  
text amendment / zone change request

REQUEST FOR PROPOSALS:  
POTENTIAL SITES FOR A NEW CUMBERLAND COUNTY JAIL

January, 1989

EXTENDED TO MARCH 9, 1989

The Cumberland County Commissioners wish to identify potential sites for the construction of a new county jail, as recommended by their Jail Committee in December, 1988. Proposals are due no later than 1:00 p.m., ~~Friday, February 24, 1989~~ must be submitted to Elvira Ridlon, Cumberland County Clerk, 142 Federal Street, Portland, ME 04101 (phone 871-8380).

GUIDELINES FOR EVALUATING POTENTIAL SITES

The Commissioners have established the following guidelines to be used to evaluate potential sites, and have asked the Jail Committee to develop more detailed evaluative criteria:

1. The site should encompass at least 10 acres.
2. The site should be accessible to city water and sewer.
3. The site should be as close as possible to the current Cumberland County Courthouse, preferably in the City of Portland.
4. The site should be accessible to public transportation.
5. The site should have suitable soils and topography.
6. The site should be able to gain city approval for use as a jail.
7. The site must be available for option by April 1, 1989, and for purchase by January 1, 1990.

PROPOSAL CONTENTS

Interested parties should submit information that addresses each of the following criteria. In addition, proposals must include:

- a. Maps and drawings that show the location of the site and site boundaries; and
- b. Proposed costs for an option on the site (from April 1 through December 31, 1989) and for the purchase of the site.

QUESTIONS

Interested parties may address their questions to Elvira Ridlon, Cumberland County Clerk, 142 Federal Street, Portland, ME 04101 (phone 871-8380).

Next Meeting  
3-27 - 5:30 meeting  
7:30 - ~~11:00~~ Public Comments  
4-3 5-5-80

## NEW CUMBERLAND COUNTY JAIL

### LIST OF POTENTIALLY AFFECTED INTERESTS

State  
Maine Department of Environmental Protection  
Maine Department of Transportation  
Maine Historic Preservation Commission

Municipal  
Portland Planning Department  
Portland Police Department  
Portland Traffic Engineer  
Portland Economic Development Director  
Portland City Manager  
Portland Fire Department  
Town of Falmouth  
City of Westbrook

Local Institutions  
Spurwink School  
Portland Regional Vocational Technical Center  
Portland Landmarks  
Maine Medical Center

Local Businesses  
Central Maine Power  
Portland Water District  
Guilford Transportation Industries

Local Residents





# CUMBERLAND COUNTY JAIL COMMITTEE

L. Daniel Boisot, Chairman  
telephone 207/879-4000

Cushman Anthony  
Edward M. Bonney  
Brad Buck  
Richard N. Bryant  
A. L. Carlisle  
Donnell Carroll  
Michael Chitwood  
Paul Coleman  
James Conley  
Gary C. Cooper  
Lyle B. Cramer  
G. William Diamond  
John Dovinsky  
E. Paul Eggert  
John Flaherty  
Joan Gauche  
Edward Googins  
Hamilton Grant  
Nancy Grayson  
Virginia Hildreth  
Alan Hybers  
Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

## ENCLOSURES/ATTACHMENTS: May 12, 1989

1. Meeting Schedule (below)
2. Subcommittee Membership Roster
3. Notes from Architectural Subcommittee Meeting, 5/8/89

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## MEETING SCHEDULE: (As of May 12, 1989)

### NEXT FULL COMMITTEE MEETING Thursday, May 18, 1989

7:00 - 9:00 p.m. Training Room  
(Main Building)  
Maine Youth Center, So. Portland

### ADDITIONAL FULL COMMITTEE MEETING DATES (Evenings)

Thursday, June 1  
Thursday, June 29

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## ARCHITECTURAL SUBCOMMITTEE MEETINGS:

MEETINGS-- Commissioners Meeting Room  
County Courthouse

Monday, May 15, 1989, 5:30 p.m. (newly scheduled)  
Monday, June 5, 1989 5:30 p.m.  
Monday, June 19, 1989 5:30 p.m.  
Monday, July 17, 1989 5:30 p.m.

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## OPERATIONS SUBCOMMITTEE:

Subcommittee has completed its  
assignment

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## SYSTEMS/ALTERNATIVES

Meetings to be relocated.....  
Dates to be announced.

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## PUBLIC INFORMATION SUBCOMMITTEE

First Meeting!

Tuesday, May 16, 1989

3:00 p.m.

97 State Street

Portland (Paul Eggert's Office)

SUBCOMMITTEE MEMBERSHIP AS OF MAY 12, 1989

a. Systems/Alternatives --Continuing Subcommittee

Co-Chairs-- Russ Immarigeon and Pierre Shevenell  
Members--

Stev Parker  
Dori Bishop  
Joan Gauche  
Nancy Grayson  
Cathy Ansheles  
Lucky Hollander  
Kathi Fields  
Keith Peaco  
Rev. Marilyn Robb  
Laurence Gardner  
Richard B. Romanow  
Richard McCallum  
Hon Peter Goranites  
Justice Stephen L. Perkins

b. Public Information

Members--

Paul Eggert  
Peter Manning  
Ed Bonney  
Paul McCarthy  
Cushman Anthony  
Linda B. Johnson  
Alan Caron

c. Architectural. Members--

Bill Jordan  
Bill McLaughlin  
Brad Buck  
Paul Eggert  
Dan Boisot  
Paul Coleman  
Stev Parker  
Peter Manning  
Stephen Johnson  
Lt. Edward Googins  
Virginia Hildreth



**PROPOSED SITES**  
**CUMBERLAND COUNTY JAIL**

**March 13, 1989**

**STEVENS MORTON ROSE & THOMPSON**  
**Architecture Engineering Survey**

**73 Oak Street**  
**P.O. Box 618**  
**Portland, Maine 04104**  
**207.772.3846**



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON

73 Oak Street  
Portland, ME 04101  
207/772-3846

March 13, 1989

L. Daniel Boisot, Chairman  
Cumberland County Jail Committee  
c/o 142 Federal Street  
Portland, Maine 04101

Re: Proposed Jail Sites

Dear Dan:

As of March 9 seven sites have been submitted in response to the Request For Proposals for Potential Sites for the New Cumberland County Jail. This brings us at the start of the evaluation process to determine which of these sites is the most suitable for the new jail.

SMRT reviewed all proposals and prepared attached comparative summary. The location of the proposed sites and anticipated travel routes to the County Courthouse have been outlined on the Portland Zoning Map. A reduced location map is enclosed in this package.

All seven sites were visited by SMRT. Photographs have been taken to help orient the Committee as to location, abutting land uses and general features of each of the sites.

We propose that the Architectural Sub-Committee at its March 13 meeting:

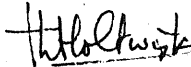
1. review the summary chart and discuss which of proposed sites to delete from further scrutiny;
2. discuss how to involve the public at large and other potentially affected interests in the site selection process;
3. discuss which other criteria to include in the evaluation of the proposed sites;
4. discuss the relative importance of each of the identified criteria through a weighting system;
5. discuss the process and schedule through which the preferred

site will be determined and presented to the County Commissioners.

I look forward to your comments and to working with the Subcommittee in evaluating the proposed sites. This is an important and exciting part of the entire planning process for the new jail.

Sincerely,

STEVENS MORTON ROSE AND THOMPSON, INC.



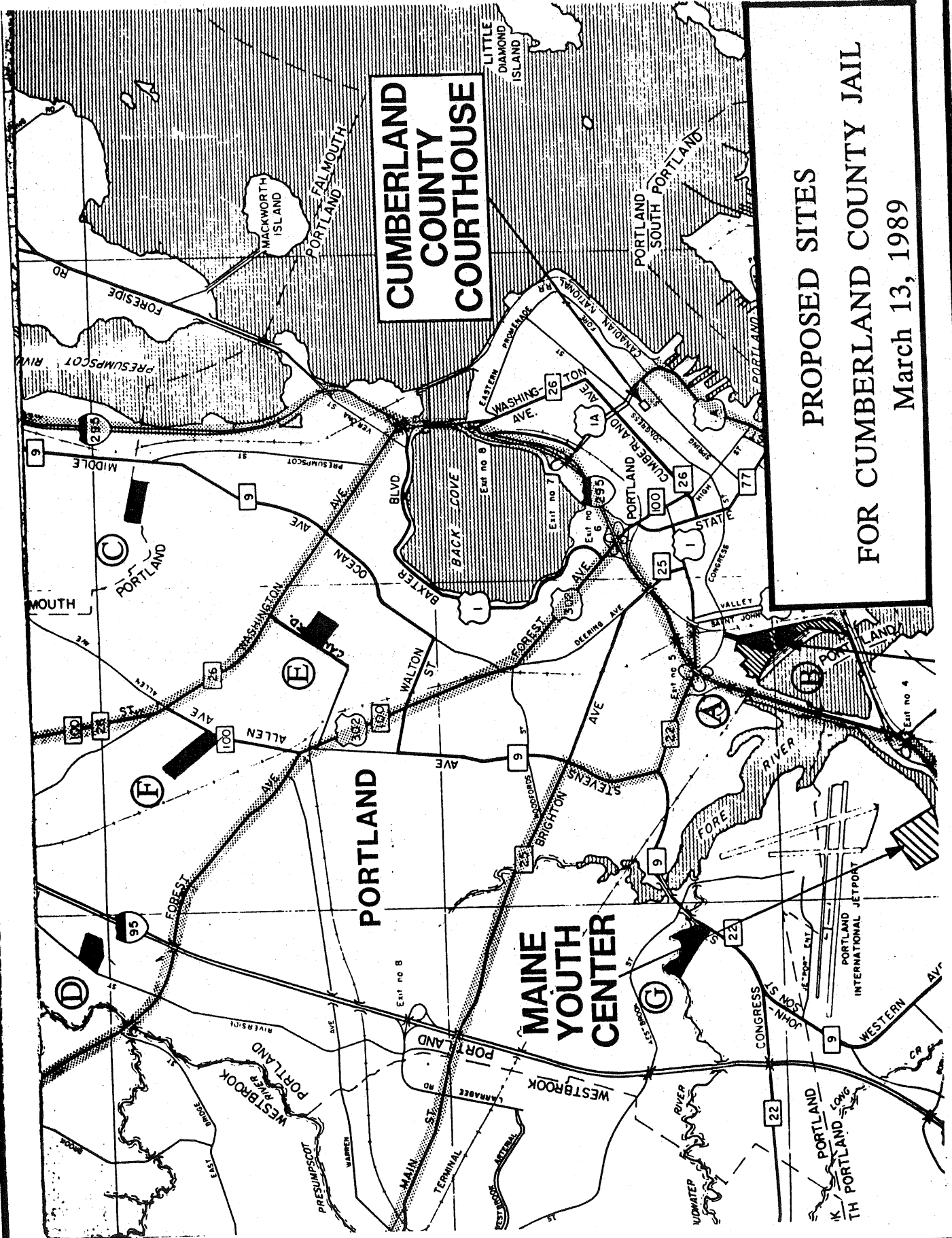
Theo Holtwijk, APA, ASLA

enclosure



**CUMBERLAND  
COUNTY  
COURTHOUSE**

**PROPOSED SITES  
FOR CUMBERLAND COUNTY JAIL  
March 13, 1989**



<u>Site</u>	<u>Size</u>	<u>Location</u>	<u>Acquisition Cost</u>	<u>Acquisition Cost Per Acre</u>	<u>Option Cost April - Dec.</u>	<u>Contact</u>
A	10-15 Ac.	Upper Fore River Transportation Park Ogdensburg Street (Off Congress Street)	\$1,250,000 (10 Ac.) \$2,000,000 (15 Ac.)	\$125,000/Ac. (10 Ac.) \$133,333/Ac. (15 Ac.)	10% Purchase Price = \$125,000 (10 Ac.) \$200,000 (15 Ac.)	P.D. Merrill Portland Cargo Associates P.O. Box 739 Portland, ME 04104 761-2416
B	10 Ac.	Upper Fore River Transportation Park Ogdensburg Street (Off Congress Street)	\$1,500,000	\$150,000/Ac.	10% Purchase Price = \$150,000	P.D. Merrill Portland Cargo Associates P.O. Box 739 Portland, ME 04104 761-2416
C	10+ Ac.	Ledgewood Drive (Off Ocean Ave./ Allen Ave. Ext.)	\$ 300,000	\$ 30,000/Ac.±	\$ 20,000	John P. Paris Sun Properties, Inc. 100 Middle Street Portland, ME 04101 775-6100
D	11.79 Ac.	Turnpike Ind. Park Lots 12 and 13 (Off Forest Avenue)	\$1,179,000	\$100,000/Ac.	1% purchase price/ month = \$106,110 (Apply to Purchase Price)	Richard J. McGoldrick Commercial Properties 100 Silver Street Portland, ME 04101 774-1885
E	10 or 21 Ac.	Canco Road (Off Washington Ave.)	\$2,100,000 (21 ac.) \$1,200,000 (10 ac.)	\$100,000/Ac. (21 ac.) \$ 120,000 (10 ac.)	1% purchase price/ month = \$189,000 (21 ac.) \$108,000 (10 ac.) (Apply to Purchase Price)	Richard J. McGoldrick Commercial Properties 100 Silver Street Portland, ME 04101 774-1885
F	10-26.4 Ac.	Allen Avenue (Adjacent PRVTC)	\$1,800,000 (26.4 ac.) Owner will consider any offer	\$ 68,182/Ac.±	No Information Provided	Robert D. Brewer Prime Commercial Real Estate 477 Congress Street Portland, ME 04101 773-7002
G.	10-27 Ac.	Outer Congress St. (Stroudwater Area)	\$2,000,000 (27 ac.) \$ 750,000 (10 ac.)	\$ 75,000/Ac.±	\$ 8,000 Mo. = \$72,000 (27 ac.)	William B. Holmes Holmes and Kennedy 101 King Street Chappaqua, N.Y. 10514 (914)238-3988

<u>Site</u>	<u>Proximity To Courthouse</u>	<u>Utilities</u>	<u>Public Transportation</u>	<u>Sites and Topography</u>
A.	2.5 miles	Water: At Site Sewer: At Site Electrical: At Site Gas: St. John Street	Metro Bus: Passes Site Overland Bus: St. John St.	Testpits and Borings Available Site contains demolition debris of Union Station Flat Site
B.	2.6 miles	Water: At Site Sewer: At Site Electric: At Site Gas: St. John Street	Metro Bus: Congress St. Overland Bus: St. John St.	Portion of site has been tested for 1000 lbs./ s.f. floor load. Fairly deep deposits of undisturbed marine clays.
C.	3.4 miles	Water: To Site Sewer: 9/10 mile from site Electric: At Site	Metro Bus: Washington Ave. (1.4 mi.)	No information provided.
D.	5.3 miles	Water: At Site Sewer: At Site Electric: At Site Gas: At Site	Metro Bus: Forest Ave. (1,000 ft.)	Owner knows of no serious soil problems.
E.	3.3 miles	Water: At Site Sewer: At Site Electric: At Site	Metro Bus: Washington Ave. (1,600 ft.)	Superficial Soils Analysis performed. Owner knows of no serious soil problems.
F.	3.9 miles	Water: At Site Sewer: At Site Electrical: At Site	Metro Bus: Passes site	Test pits and soils analysis performed. Presence of wetlands and bedrock.
G.	3.8 miles	Water: At Site Sewer: At Site Electrical: At Site	Metro Bus: Passes site	No information provided. Undulating site.

*Map*

*Sewer lines*

*6.75*

*H*

S.M.R.T. Preliminary Evaluation

Additional Information

Abutting Land Uses

Site

Zoning

Good Location  
Need to find out more about  
Soil Conditions

D.E.P. approved Industrial Park  
Ogdensburg Street and utilities  
have not yet been installed

Trucking companies/warehousing  
Guilford Industries (Railroad)  
Fore River

A Industrial I-2

Past archeological interest  
(ancient tree stumps)

Ogdensburg Street and utilities  
have not yet been installed

Trucking companies, warehousing  
Guilford Transportation Inds.  
Fore River

B Industrial I-2  
(90%)  
Shoreland  
(10%)

Awkward sight distance situation  
Long distance from sewer  
Presence of ledge on site

Wooded parcel with ledge

Low density residential  
Undeveloped land  
Gravel pit

C Residential R-3

Long distance to Courthouse  
Close proximity to Spurwink School

Part of partially occupied  
Industrial Park

Warehousing  
Spurwink School—  
Low/Residential Density

D Industrial I-1

Some residential areas nearby  
A lot of ledge across the street

Wooded Site

E Residential R-3

Residential  
Underdeveloped Land  
Warehousing  
Industrial (C.M.P.)

Wetlands and bedrock areas  
Medium density residential  
neighborhood  
Long narrow parcel

Site comes with 7 bedroom  
colonial house

Residential  
Portland Regional Vocational  
Technical Center

F Residential R-5  
(40%)  
Residential R-3  
(60%)

Traffic situation is bad  
Historic/residential/shoreland/  
easement areas are red flags.

Site is approved for 29  
residences.  
Owner desires brick  
colonial architecture.  
Site is traversed by  
several easements.

G Residential R-2  
(25%)

Residential (Historic)  
Stroudwater River  
Shoreland  
(25%)

NOTES FROM THE ARCHITECTURAL SUBCOMMITTEE

Cumberland County Jail Committee

Meeting, May 8, 1989  
5:30 - 7:15 p.m.

Present:

Daniel Boisot	Arthur Thompson
Brad ("Bars") Buck	Phil Kaminsky
Paul Eggert	
Stev Parker	Rod Miller
Bill Jordan	
Paul Coleman	
Peter Manning	
Alan Caron	
(regrets- Ed Googins)	

1. Site Search.

Dan Boisot announced that site proposals will be opened at 3:00 p.m. on Wednesday, May 10. He believe that several interesting sites will be offered at that time.

2. City of Portland.

Members of the City Council, City administrators and staff, have been invited to a 1:00 p.m. meeting with the county commissioners on May 10. At this time, they will be asked to provide their opinions about appropriate siting for the proposed new jail.

NOTE: The meeting was held as scheduled. Four councilors, four police officials (including Chief Chitwood), the Deputy City Manager, and several others met with Commissioners Hewes and Mazziotti. It was agreed that the City would spearhead another effort to secure permission to use a portion of the Maine Youth Center site for a new jail; failing this, city representatives expressed general support for keeping the jail in Portland, and for the site which has been recommended by the Jail Committee (transportation park).

3. Field Trip/Conference.

Paul Eggert, Peter Manning, Stev Parker and Arthur Thompson reported briefly on their recent trip to the American Jail Association Annual Conference in Florida. They will provide more detailed reports at subsequent meetings. Overall, each expressed satisfaction that the trip was worthwhile.



#### 4. Architectural Programming.

Arthur Thompson and Phil Kaminsky continued with the architectural programming process.

Law enforcement space was discussed at length. Eventually, it was:

Moved by Paul Eggert and seconded by Paul Coleman, that--

**Sheriff Department law enforcement and civil process services should be housed in a separate building.**

The separation of law enforcement was recommended for several reasons, including: (1) ability to construct space at less expense as offices; (2) appropriate operational separations between detention and law enforcement; and, (3) increased flexibility for designing, siting and expanding/shrinking space based on uncertain future of rural patrol.

Organization of the proposed detention/corrections division was discussed. Dan Boisot described his thoughts about an appropriate organization chart; he and Paul Eggert agreed to find a copy of the chart they developed last year when they attended a PONI 2 session at the National Academy of Corrections.

Staff Spaces. Arthur stressed the importance of providing adequate spaces. A lengthy discussion followed, assessing the need for different types of spaces, and appropriate locations for them.

Court Spaces. It was suggested that two areas be provided for use as video arraignment (could be multi-purpose areas). These should be designed to be used for other court proceedings (such as high-security trials), as well.

The meeting adjourned at 7:15 p.m.

An additional meeting was scheduled for May 15, at 5:30 p.m.



# CUMBERLAND COUNTY JAIL COMMITTEE

L. Daniel Boisot, Chairman  
telephone 207/879-4000

Cushman Anthony  
Edward M. Bonney  
Brad Buck  
Richard N. Bryant  
A. L. Carlisle  
Donnell Carroll  
Michael Chitwood  
Paul Coleman  
James Conley  
Gary C. Cooper  
Lyle B. Cramer  
G. William Diamond  
John Dovinsky  
E. Paul Eggert  
John Flaherty  
Joan Gauche  
Edward Googins  
Hamilton Grant  
Nancy Grayson  
Virginia Hildreth  
Alan Hybers  
Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

## ENCLOSURES/ATTACHMENTS: May 23, 1989

1. Meeting Schedule (below)
2. Agenda, Full Committee Meeting, 5/18/1989
3. Notes from Full Committee Meeting, 5/18/89
4. Notes from Architectural Subcommittee Meeting, 5/15/89  
(Includes Architect's Report on New Sites)
5. Notes from Public Information Subcommittee, 5/16/89

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## MEETING SCHEDULE: (As of May 23, 1989)

### NEXT FULL COMMITTEE MEETING

Thursday, June 1, 1989  
7:00 - 9:00 p.m. Training Room  
(Main Building)  
Maine Youth Center, So. Portland

ADDITIONAL FULL COMMITTEE MEETING DATES  
(Evenings)  
Thursday, June 29

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### ARCHITECTURAL SUBCOMMITTEE MEETINGS:

MEETINGS-- Commissioners Meeting Room  
County Courthouse

Wednesday, 5/31, 1989, 5:30 p.m. (newly scheduled)  
Monday, June 5, 1989 5:30 p.m.  
Monday, June 19, 1989 5:30 p.m.  
Monday, July 17, 1989 5:30 p.m.

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### SYSTEMS/ALTERNATIVES

At Rick Romanow's Office-- 465 Congress Street

Wednesday, May 24, 1989 4:00 p.m.  
Wednesday, May 31, 1989 4:00 p.m.

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### PUBLIC INFORMATION SUBCOMMITTEE

Tuesday, June 6, 1989  
3:00 p.m.  
97 State Street  
Portland (Paul Eggert's Office)



## CUMBERLAND COUNTY JAIL COMMITTEE

L. Daniel Boisot, Chairman  
telephone 207/879-4000

Cushman Anthony  
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John Flaherty  
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Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

### AGENDA

Cumberland County Jail Committee

May 18, 1989

1. Subcommittee Reports
  - a. Architectural Subcommittee
    - (1) Site Selection Activities
    - (2) Architectural Programming
  - b. Systems/Alternatives Subcommittee
  - c. Operations Subcommittee
    - (1) Jail industries???
2. Sagadahoc County  
Discussion with delegation from Sagadahoc  
County Corrections Committee
3. Other Related Jail Activities and Issues
  - a. Interim housing efforts
4. Legislative Report
5. Other Business

CUMBERLAND COUNTY JAIL COMMITTEE  
c/o County Commissioners  
142 Federal Street  
Portland, ME 04101  
(207) 871-8380

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NOTES FROM May 18, 1989, FULL COMMITTEE MEETING

Present:

Dan Boisot, Chair	A.L. Carlisle
Hamilton Grant	Paul Eggert
Brad Buck	Paul Coleman
Stephen Johnson	Barbara Strout
Linda B. Johnson	
Nancy Grayson	Phil Kaminsky (SMRT)
Ed Bonney	Arthur Thompson (SMRT- Architect)
Peter Manning	Rod Miller, CRS
Bill Jordan	

Guests (Sagadahoc County)

Tom Cashman  
Crispin Connery  
Fred Kahrl

1. Tour of Youth Center Grounds.

Dan Boisot showed members the area that was examined for a potential jail site on the grounds of the Youth Center at a meeting of city, county and state officials earlier in the day. Although the Youth Center encompasses nearly 300 acres, there are only two possible sites for a facility such as the jail. State officials will consider a specific proposal as soon as it is offered by the county.

2. Subcommittee Reports.

a. Architectural Subcommittee

Several new sites have been offered for consideration (see notes from subcommittee meeting and attached description of sites.) City of Portland officials have pursued acquisition of a site at the Maine Youth Center, leading to a large meeting earlier in the day. It is still uncertain whether the State will offer a site at the Youth Center.

Arthur Thompson reported briefly on initial efforts to develop a detailed architectural program for the new facility.

b. Systems/Alternatives

No report; subcommittee has not met since last Full Committee meeting.

### c. Operations Subcommittee

The subcommittee has formally finished its assignment; however, several members toured jail industry programs in Laconia and Dover, New Hampshire, on Wednesday. They are optimistic that in-house industry programs can be developed now at the jail. Members expressed strong support for this concept.

### d. Public Information Subcommittee

The first meeting was held earlier in the week. An outline of proposed public information strategies will be developed at the next subcommittee meeting (June 6). While members expressed support for the subcommittee's proposed development of video aids, they seemed a bit hesitant about a proposed "rap" video featuring Ed Bonney....

## 3. Interim Housing Efforts

No substantial progress was reported since the last meeting. Some confusion seems to have developed concerning the numbers and types of prisoners that might be eligible for alternative housing arrangements. The Systems/Alternatives subcommittee has offered its assistance to Sheriff Joyce, in the event that he determines that alternatives should be explored.

## 4. Sagadahoc County

Representatives from the Sagadahoc County Corrections Committee asked for an opportunity to meet with the Full Committee. Tom Cashman (Chairman) introduced his colleagues, Cripin Connery (Vice Chairman) and Fred Kahrl. He described the planning process and the difficult situation facing the county (the only county that has no jail).

Tom stated that their intent in meeting with the Committee is to introduce themselves as "neighbors to the north" and to discuss whether there were any common efforts that might be mutually beneficial. He focused both on current needs (which Cumberland members noted were in short supply here as well) and on longer term arrangements.

Paul Eggert asked about the time frame for Sagadahoc County, and Tom responded that they are about one year behind in Cumberland in the planning process, with an initial report due in October to be followed by a final report in February, 1990.

Tom Cashman stressed that his Committee is early enough in the process that "...no is is sure we even need a jail."

A discussion of L.D. 1189 followed, during which several members offered their opinions about proposed state assumption of jail operations. Tom noted that Sagadahoc County is proceeding at full speed, rather than awaiting the outcome of the legislation.



A. L. Carlisle expressed concern about adding beds to Cumberland's proposed facility, or signing a contract for beds with Sagadahoc, noting that "...we have little leeway" in our projections and could need the space sooner than expected.

Rod outlined a scenario in which: (1) Sagadahoc would study its needs until the Fall; (2) Cumberland would take its proposal to the voters in November; (3) after the election, Sagadahoc might offer to construct additional bedspaces at the Cumberland County Jail, using them for a period of years (paying operating costs) and turning them over to Cumberland County at the end of a specified period. Such an approach would increase bedspaces at the new Cumberland County Jail, rather than tying up proposed spaces with contracts. Fred Kahrl suggested that such an approach would help Sagadahoc by "buying time" before a separate jail would be needed. He stated that "...right-thinking people can find within that formula a mutuality."

Crispin Connery asked if Cumberland County might be interested in a joint-venture to develop a halfway house to serve the Bath-Brunswick region. Members expressed a great deal of interest, noting that its location would serve a segment of the Cumberland County population better than a facility in Portland.

Ed Bonney expressed concerns that the timing was difficult, but suggested that there was also a "neighborly obligation" to work together if possible. He reminded Cumberland members that "...we have a jail to build." Steve Johnson also expressed concerns that collaboration might detract from current efforts.

After further discussion, Bill Jordan moved and it was seconded that:

- (1) The Jail Committee would consider a proposal for collaboration with Sagadahoc County after the November referendum, and (2) a joint effort to develop halfway house bedspaces in the Bath-Brunswick area should be pursued immediately.

The motion carried unanimously. Dan Boisot assigned the halfway house project to the Systems/Alternatives subcommittee.

## 5. Other Business

Peter Manning raised concerns about the adequacy of the projected jail size (278). He cited several reasons to believe that it is too low; several other members also voiced their concerns. Dan Boisot stressed that even the Systems/Alternatives concluded that the 278-bed figure would be feasible only if all alternatives were fully implemented. It was moved by A.L. Carlisle, seconded by Bill Jordan that:

The Jail Committee should evaluate the adequacy of the projected facility size at its next meeting, using the latest data available. The motion passed unanimously.

The meeting adjourned at 8:45 p.m.

NOTES FROM THE ARCHITECTURAL SUBCOMMITTEE

Cumberland County Jail Committee

Meeting, May 15, 1989

5:30 - 7:15 p.m.

Present:

Daniel Boisot	Arthur Thompson
Brad Buck	Theo Holtwijk
Paul Eggert	
Stev Parker	Rod Miller
Bill Jordan	
Ed Googins	

1. City/County Meeting.

The results of a meeting between City of Portland and county officials were discussed. As a result of the meeting, the City is spearheading an effort to secure a site for the jail on the grounds of the Maine Youth Center. If that initiative fails, City officials and staff informally indicated that the jail should be located in the Portland, and expressed support for the Transportation Park location.

2. Additional Sites.

Theo described additional sites offered for consideration, distributing copies of a report entitled "Proposed Sites, 2nd Series" (copy attached). Members discussed each site, and instructed the architects to assemble consistent levels of information for each.

3. Architectural Program.

Arthur Thompson distributed a draft outline of spaces for several functional areas within the proposed jails. Members reviewed this document and offered their initial comments. Rod stated that analysis of classification data suggests that the 278 bed facility be divided as follows:

	Max Sec	Med Sec	Min Sec	Pre- Release	
Females	1	8	8	-	
Special Needs (male)	5	25	25	-	
Males, general pop.	12	98	58	40	
TOTALS.....	18	131	91	40	(278)

The meeting adjourned at 7:15 p.m.



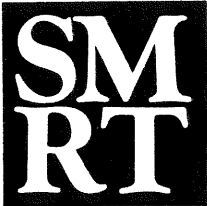
Proposed Sites  
2nd Series

CUMBERLAND COUNTY JAIL

May 15, 1989

STEVENS MORTON ROSE & THOMPSON  
Architecture Engineering Survey

39 Forest Avenue  
P.O. Box 618  
Portland, Maine 04104  
207.772.3846



ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON

73 Oak Street  
Portland, ME 04101  
207/772-3846

May 15, 1989

L. Daniel Boisot, Chairman  
Cumberland County Jail Committee  
142 Federal Street  
Portland, Maine 04101

Re: Site Selection Process

Dear Dan:

As of May 11 seven sites have been submitted in response to the second Request For Proposals for Potential Sites for the Cumberland County Jail.

SMRT reviewed all proposals and prepared for each site the following for Committee review:

- a. Location maps;
- b. Location description, size, distance to County Courthouse, acquisition cost, option cost and contact;
- c. Property site plan.

Also available for Committee review are the complete proposal packages.

Based on direction from the Committee at its May 15 meeting SMRT is prepared to further evaluate any or all of these sites.

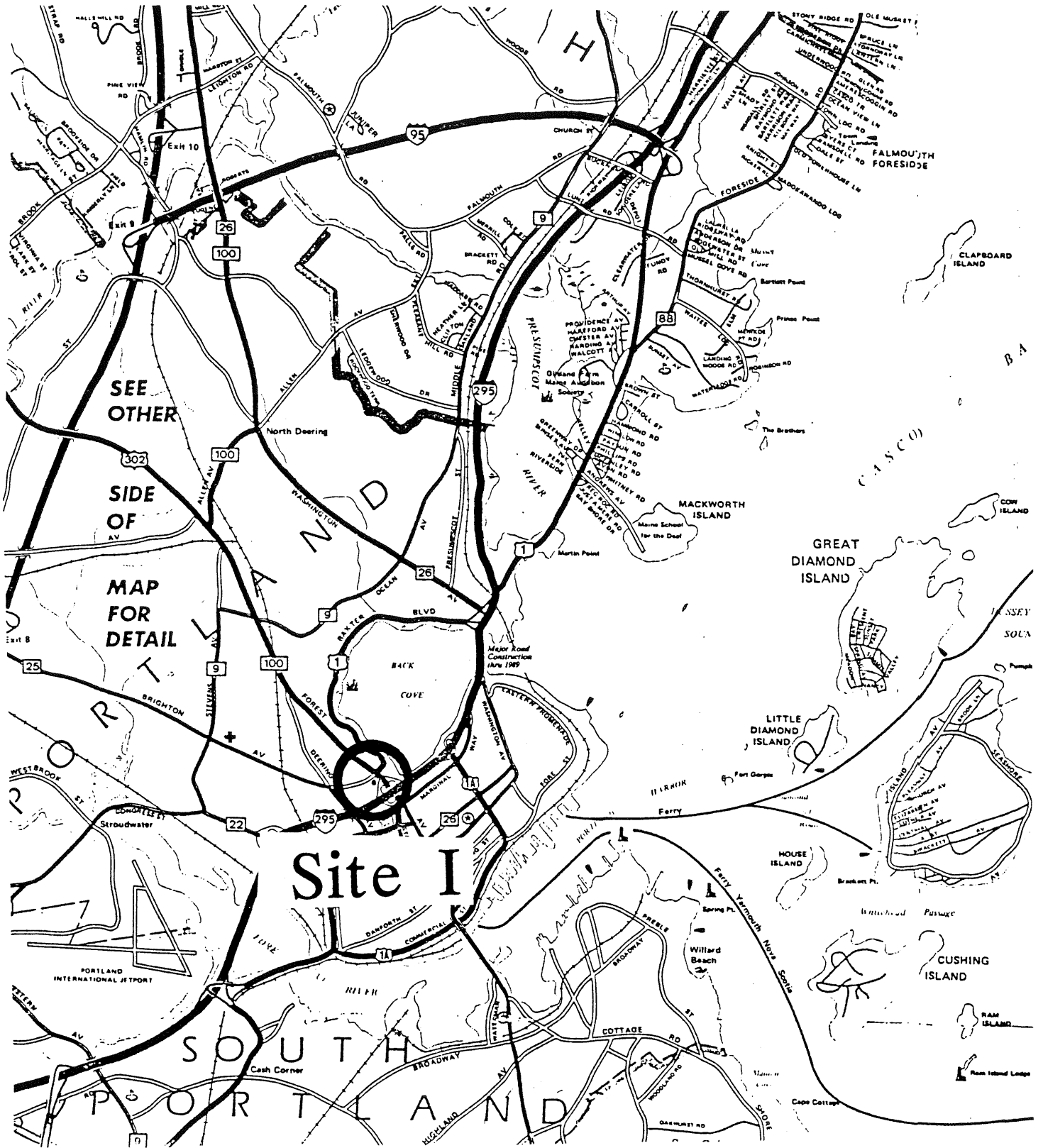
Sincerely,

STEVENS MORTON ROSE AND THOMPSON, INC.

A handwritten signature in black ink, appearing to read 'Theo Holtwijk', is written over a horizontal line. The signature is stylized and cursive.

Theo Holtwijk, APA, ASLA

enclosure



Proposed Sites 2nd Series  
 CUMBERLAND COUNTY JAIL



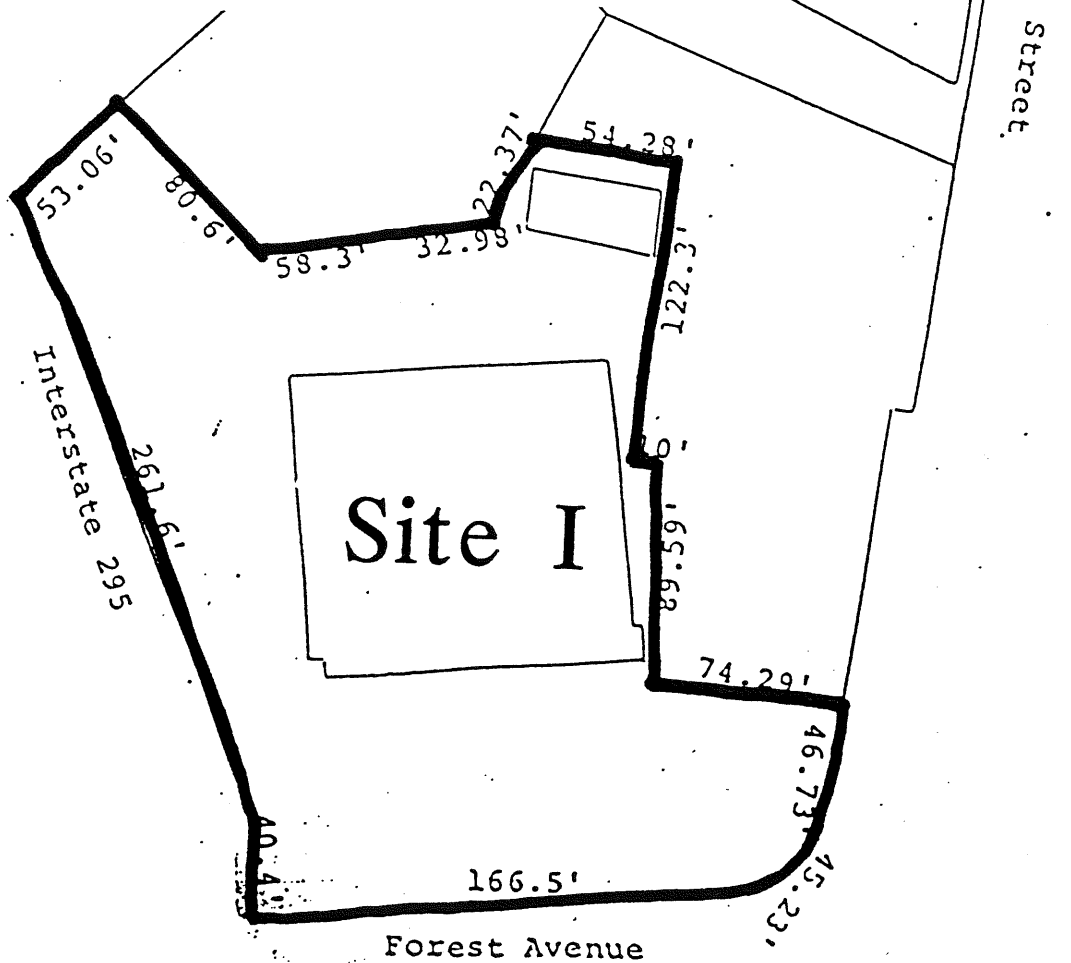


SITE I

NABISCO BUILDING  
FOREST AVENUE/BEDFORD STREET  
PORTLAND

Size: 1.4 acres  
Distance to Courthouse: 1.4 mile  
Cost: \$ 5,000,000  
Option: ?

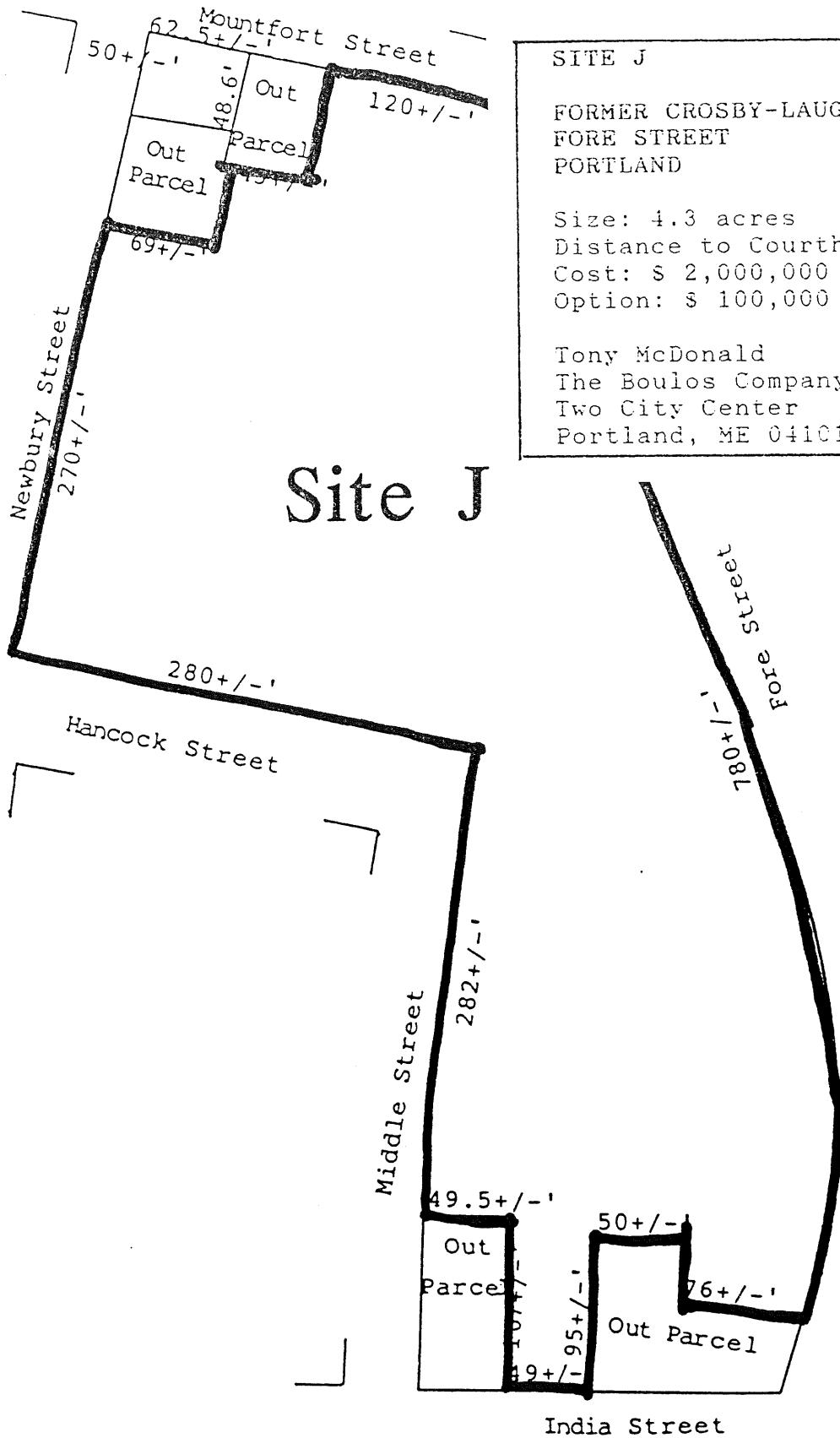
William R. Gorham  
Shamrock Realty  
P.O.Box 482 DTS  
Portland, ME 04112  
761-4546



Proposed Sites 2nd Series  
CUMBERLAND COUNTY JAIL







**SITE J**

FORMER CROSBY-LAUGHLIN PLANT  
 FORE STREET  
 PORTLAND

Size: 4.3 acres  
 Distance to Courthouse: 0.3 mile  
 Cost: \$ 2,000,000  
 Option: \$ 100,000

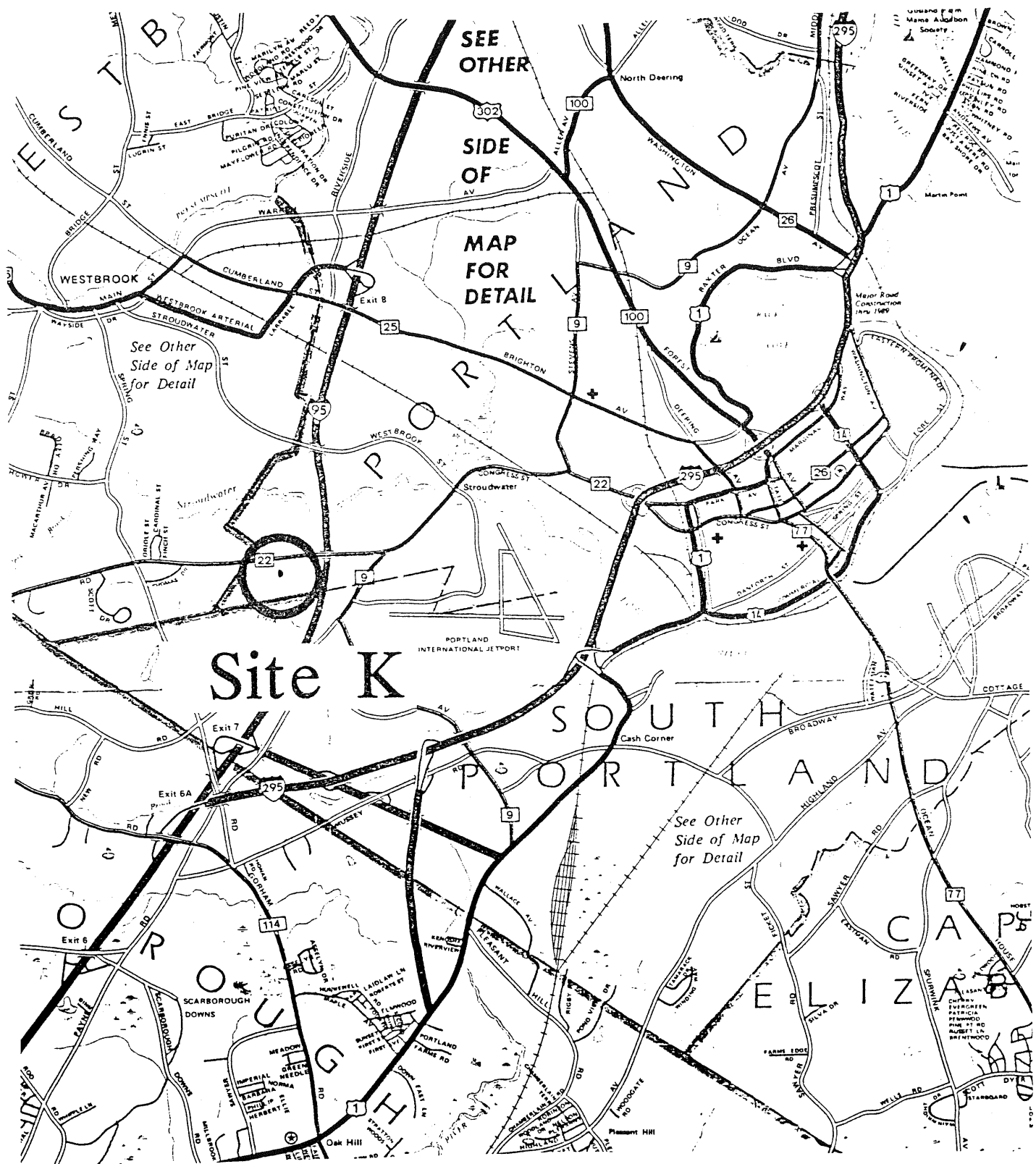
Tony McDonald  
 The Boulos Company  
 Two City Center  
 Portland, ME 04101

Site J

Proposed Sites 2nd Series

CUMBERLAND COUNTY JAIL





Proposed Sites 2nd Series  
 CUMBERLAND COUNTY JAIL



SITE K

OUTER CONGRESS STREET  
PORTLAND

Size: 8 acres  
Distance to Courthouse: 5.4 miles  
Cost: \$ 742,000  
Option: \$ 36,000

R. Brent Cote  
15 Maple Circle  
Scarborough, ME 04074

Airport Runway  
Approach

and

Site K

Congress St.

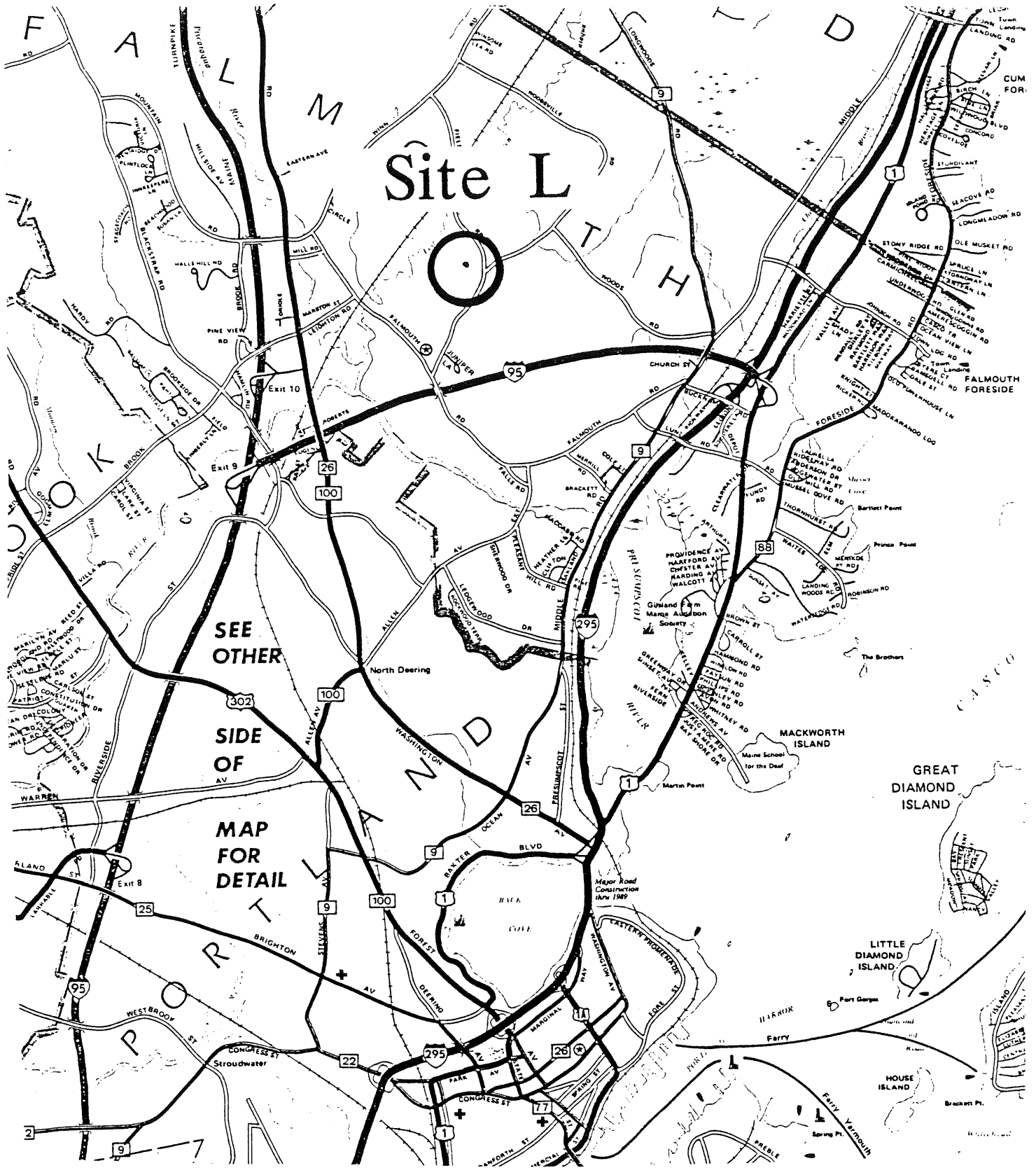
NORTH

Proposed Sites 2nd Series

CUMBERLAND COUNTY JAIL







Proposed Sites 2nd Series  
 CUMBERLAND COUNTY JAIL



SITE L

WOODVILLE/FIELD ROADS  
FALMOUTH

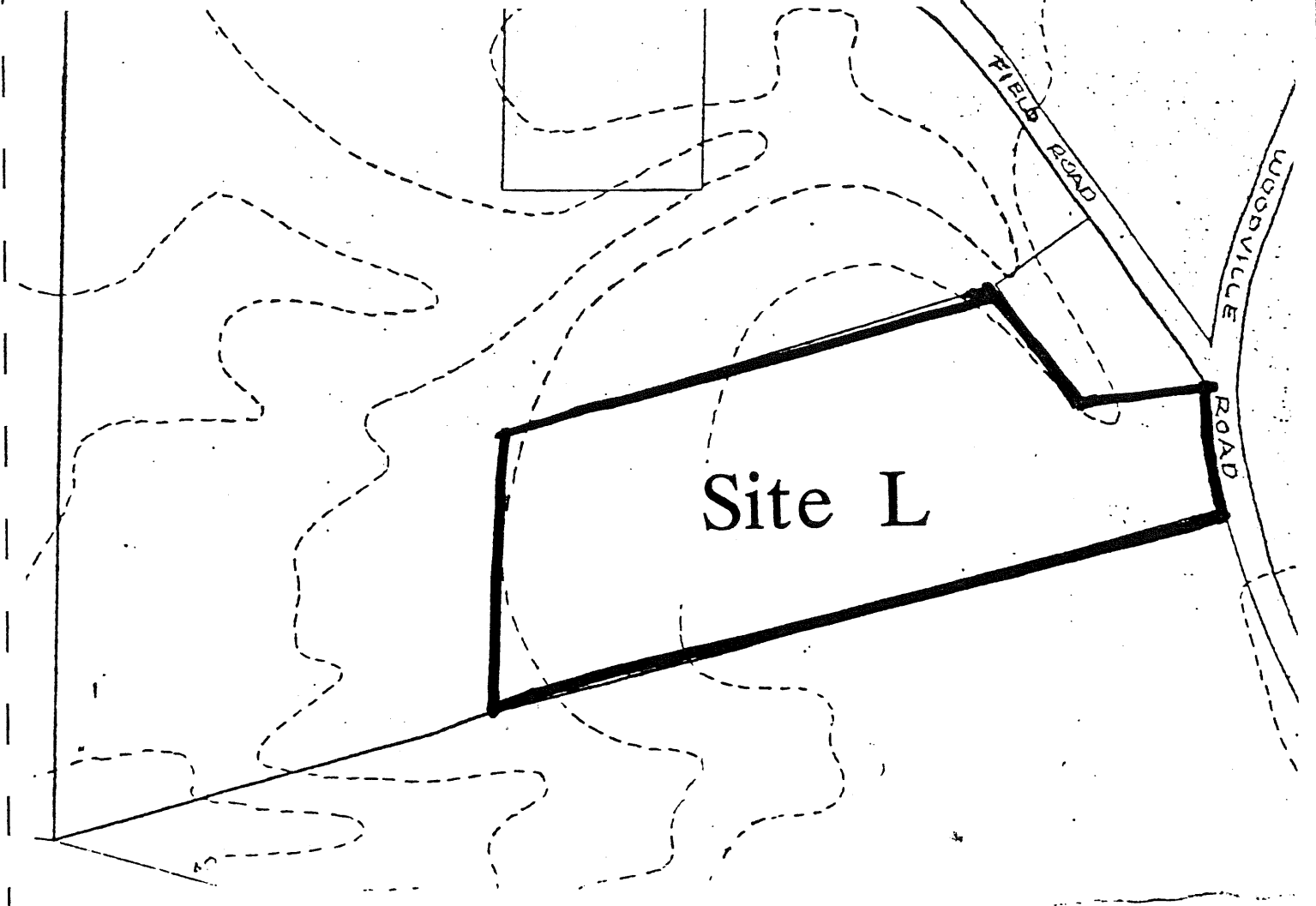
Size: 10 acres (more available in 60 acre plot)

Distance to Courthouse: 8.5 miles

Cost: \$ 600,000

Option: \$ 10,000

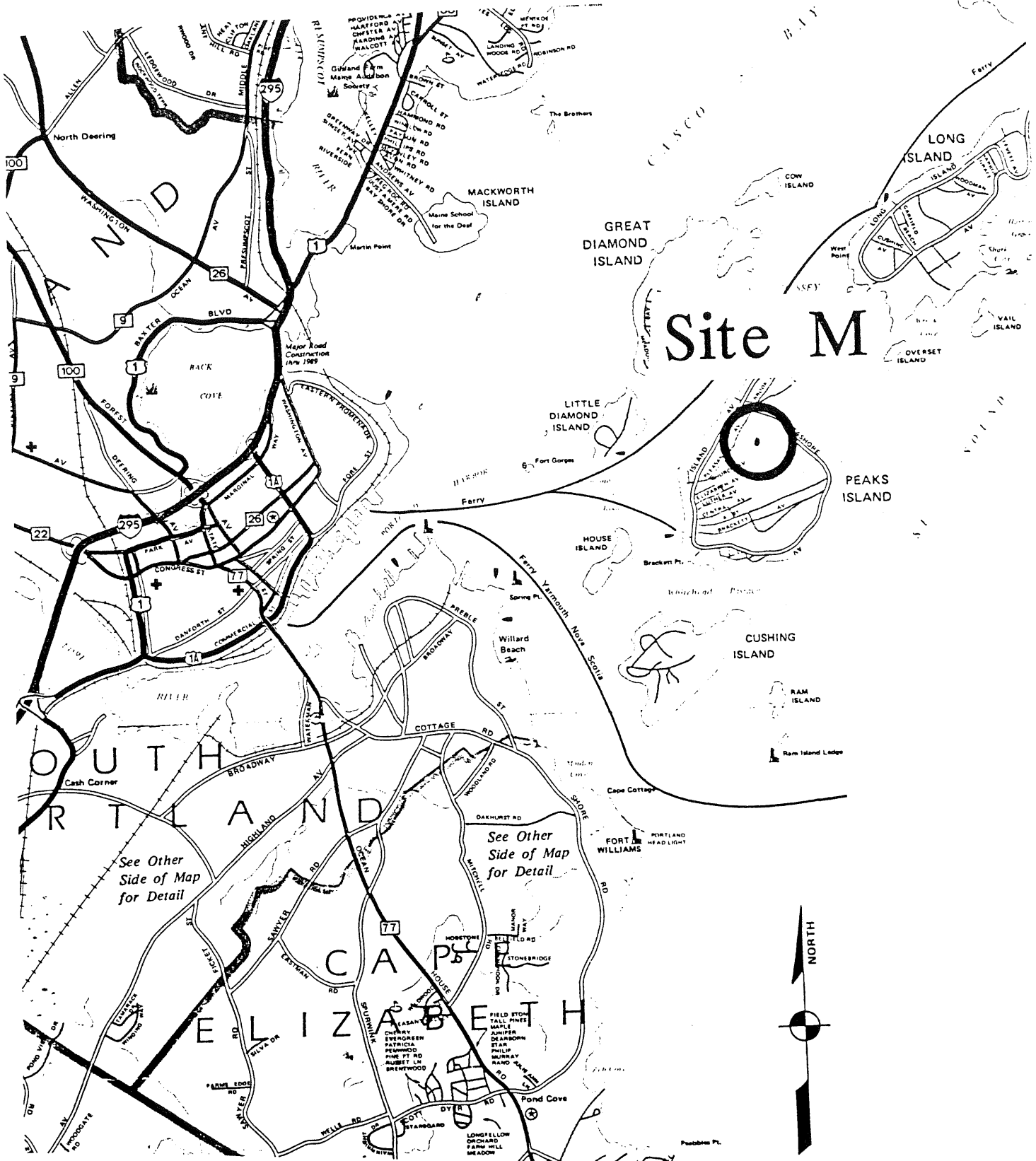
David G. Merrill  
100 Woodville Road  
Falmouth, ME 04105



Proposed Sites 2nd Series

CUMBERLAND COUNTY JAIL



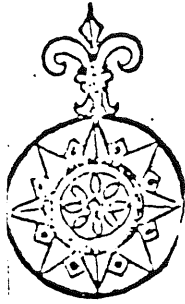


Proposed Sites 2nd Series  
 CUMBERLAND COUNTY JAIL



# PEAKS ISLAND

PORTLAND, MAINE



ITY  
POINT

Fire Station  
Library  
Grocery Store  
Post Office

FERRY  
HARF  
FOREST  
CITY  
MAPING

RACKETT  
POINT

1940  
EVERGREEN  
LANDING

ONE-TIME  
TREFETHEN  
LANDING

JOSIAHS  
COVE

Bernstein  
acreage

ELM TREE  
COVE

SPAR  
COVE

WHARF  
COVE

Site M

SITE M

PEAKS ISLAND  
PORTLAND

Size: 11.8 acres  
Distance to Courthouse: 2.5 miles  
Cost: \$ 100,000  
Option: \$ 3,500

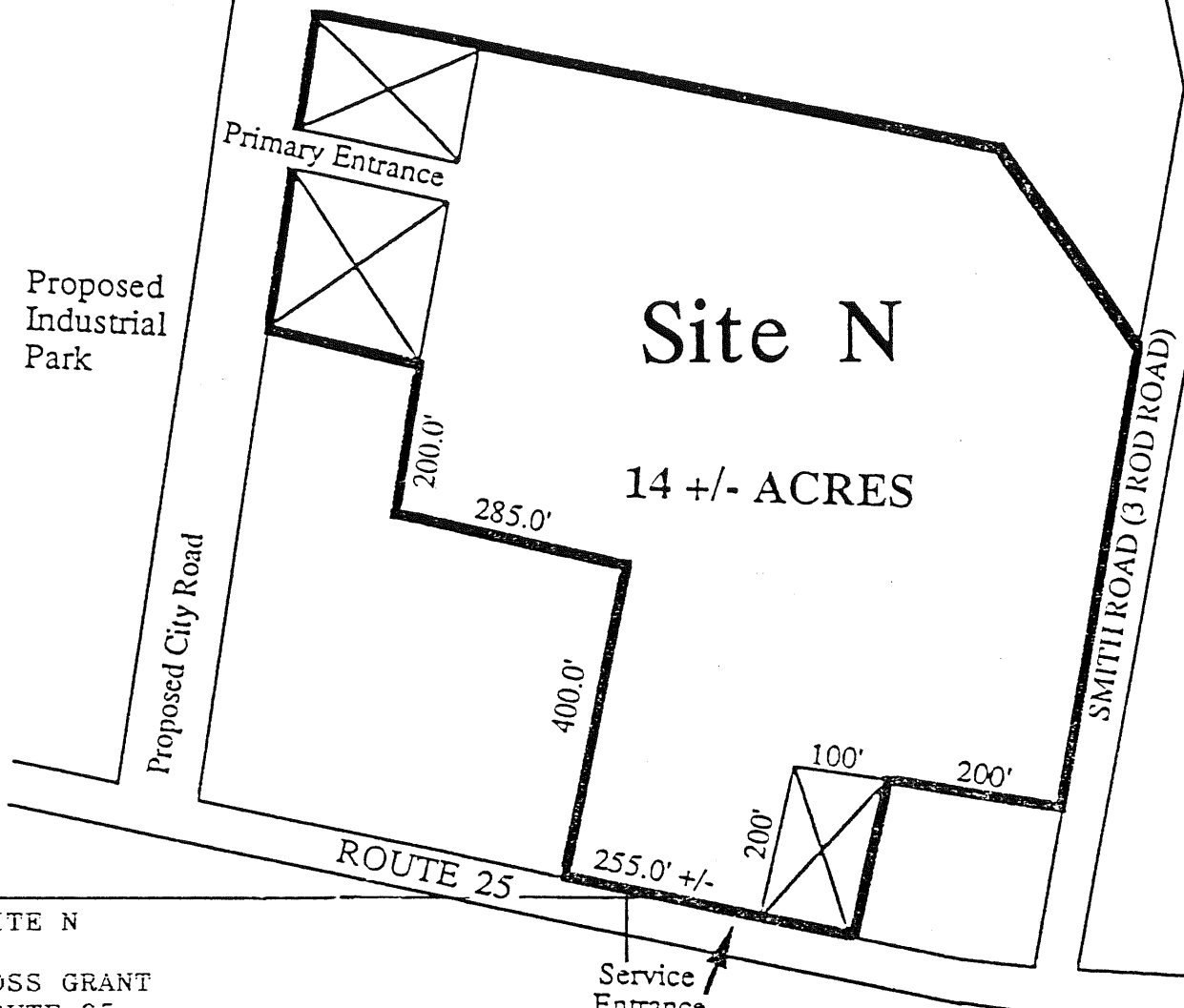
Alan Bernstein  
7 Champion Road  
Cape Elizabeth, ME 04107  
767-2314

Proposed Sites 2nd Series

CUMBERLAND COUNTY JAIL



REGIONAL WASTE SYSTEMS



SITE N  
ROSS GRANT  
ROUTE 25  
GORHAM

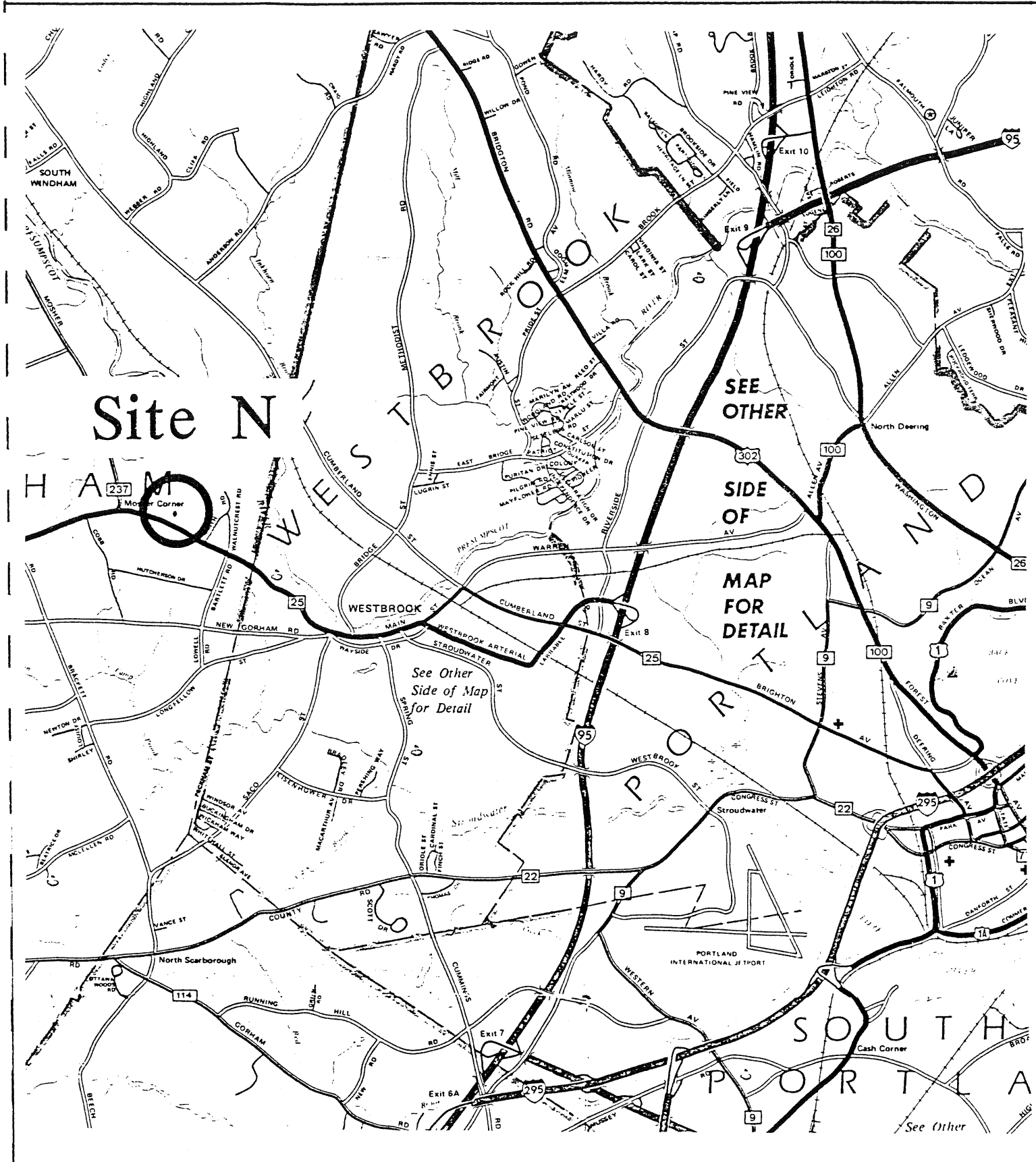
Size: 14 acres  
Distance to Courthouse: 8.5 miles  
Cost: \$1,300,000  
Option: negotiable

Thomas B. Dunham  
The Ross Grant  
P.O.Box 400  
Gorham, ME 04038  
773-7100

Proposed Sites 2nd Series  
CUMBERLAND COUNTY JAIL







Proposed Sites 2nd Series  
 CUMBERLAND COUNTY JAIL



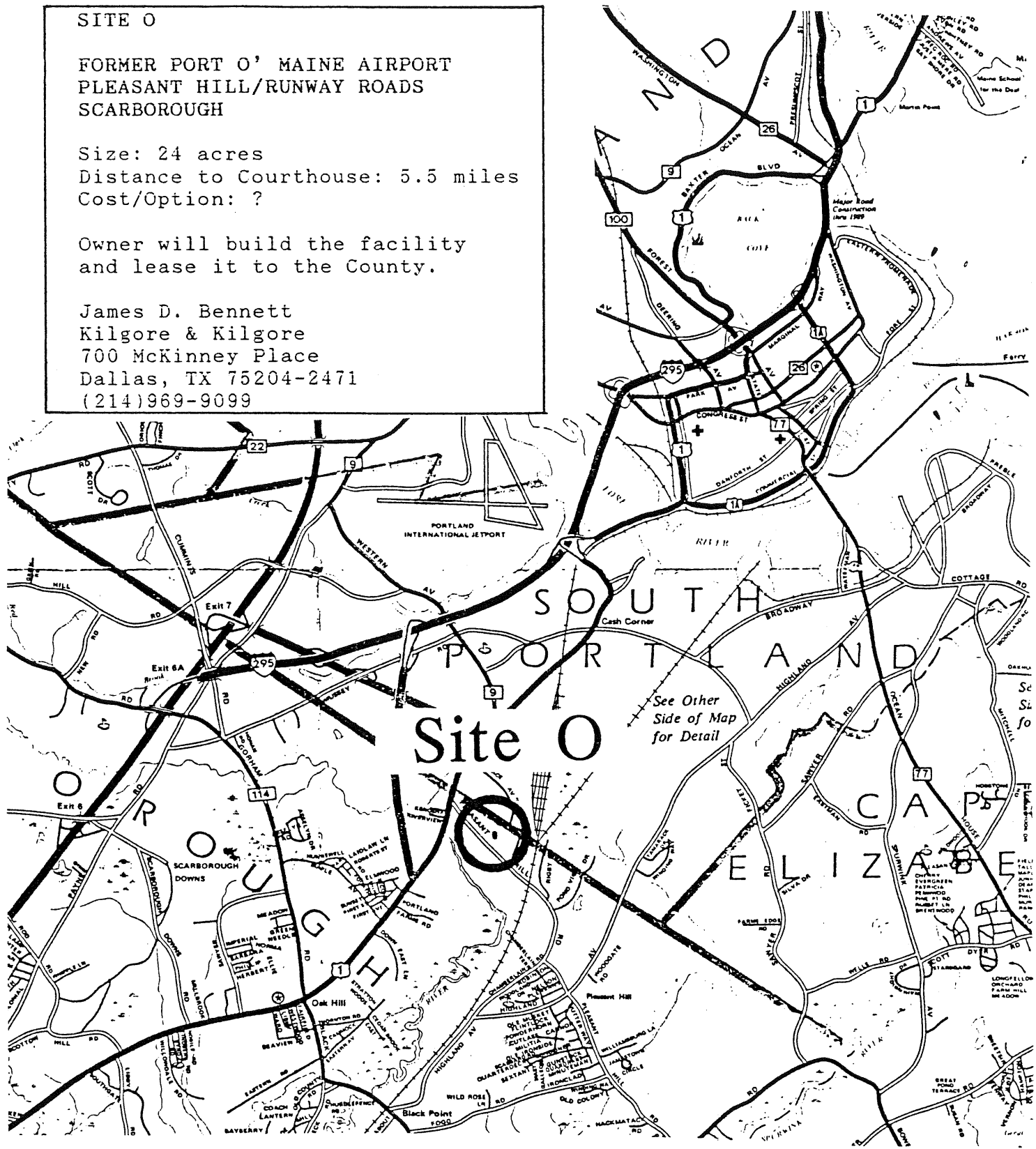
SITE O

FORMER PORT O' MAINE AIRPORT  
PLEASANT HILL/RUNWAY ROADS  
SCARBOROUGH

Size: 24 acres  
Distance to Courthouse: 5.5 miles  
Cost/Option: ?

Owner will build the facility  
and lease it to the County.

James D. Bennett  
Kilgore & Kilgore  
700 McKinney Place  
Dallas, TX 75204-2471  
(214)969-9099



Proposed Sites 2nd Series  
CUMBERLAND COUNTY JAIL



NOTES FROM THE PUBLIC INFORMATION SUBCOMMITTEE  
Cumberland County Jail Committee

Meeting, May 16, 1989  
3:00 - 5:00 p.m.

Present:

Paul Eggert	Anne Finlayson (SMRT)
Linda B. Johnson	Rod Miller (CRS)
Ed Bonney	Ed Hershey (CRS)

1. Materials Distributed Prior to the Meeting.

Members had received, and reviewed a variety of materials assembled by CRS for the Subcommittee, including:

1. Penobscot County Public Information Subcommittee Report, October, 1984
2. "Issues to Discuss...", Piscataquis County August 14, 1989
3. Collection of Androscoggin County Press Releases and Other Related Documents, 1987
4. Knox County Telephone Survey, August, 1988
5. Excerpts, Knox County Sourcebook, 1988
6. Two issues of the Detention Reporter-- articles on page 3 address public relations strategies

2. Introductions.

Anne Finlayson was introduced to the members; her role with the architectural firm (SMRT) was viewed as pertinent to this Subcommittee and she was invited to participate. Rod Miller introduced Ed Hershey, who will be assisting the Subcommittee through an agreement with CRS, Inc. Ed is a member of the Kennebec County Jail Committee, currently directs public affairs for Colby College, and served six years as a deputy director for public affairs for the New York City Department of Corrections.

3. Initial Discussion.

In a broad-ranging discussion, members and staff identified key issues, appropriate strategies, potential opponents, and appropriate methods to disseminate information. One significant variation from previous jail referendum efforts was the Subcommittee's support for developing video resource materials. Rod and Ed will translate the content of this discussion into a broad outline for a public information initiative for the next meeting (June 6).



# CUMBERLAND COUNTY JAIL COMMITTEE

L. Daniel Boisot, Chairman  
telephone 207/879-4000

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James Conley  
Gary C. Cooper  
Lyle B. Cramer  
G. William Diamond  
John Dovinsky  
E. Paul Eggert  
John Flaherty  
Joan Gauche  
Edward Googins  
Hamilton Grant  
Nancy Grayson  
Virginia Hildreth  
Alan Hybers  
Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

**MEETING SCHEDULE AS OF: May 30, 1989**

## NEXT FULL COMMITTEE MEETING

**Thursday, June 1, 1989**

7:00 - 9:00 p.m. Training Room  
(Main Building)  
Maine Youth Center, So. Portland

## ADDITIONAL FULL COMMITTEE MEETING DATES (Evenings)

Thursday, June 29

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## ARCHITECTURAL SUBCOMMITTEE MEETINGS:

MEETINGS-- Commissioners Meeting Room  
County Courthouse

**Wednesday, 5/31, 1989, 5:30 p.m.** (newly scheduled)  
Monday, June 5, 1989 5:30 p.m.  
Monday, June 19, 1989 5:30 p.m.  
Monday, July 17, 1989 5:30 p.m.

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## SYSTEMS/ALTERNATIVES

At Rick Romanow's Office-- 465 Congress Street

Wednesday, May 24, 1989 4:00 p.m.  
Wednesday, May 31, 1989 4:00 p.m.

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## PUBLIC INFORMATION SUBCOMMITTEE

**Tuesday, June 6, 1989**

3:00 p.m.  
97 State Street  
Portland (Paul Eggert's Office)

CUMBERLAND COUNTY JAIL COMMITTEE

MAILING of June 14, 1989

The following items are enclosed (coded in the upper right-hand corner of the first page of each document):

- A. HELP! A request for assistance from the Public Information Subcommittee (please complete and return immediately).
- B. SCHEDULE AND CALENDAR. A summary of all upcoming meetings and a calendar.
- C. NOTES FROM JUNE 1 FULL COMMITTEE MEETING.
- D. PUBLIC INFORMATION SUBCOMMITTEE. Notes from June 6 meeting, proposed comprehensive plan, initial chart of activities.
- E. ARCHITECTURAL SUBCOMMITTEE. Notes from May 31 and June 5 meetings.
- F. CITY COUNCIL SITE TOURS. Excerpts from materials used during tour of Merrill and outer Congress Street sites with Portland City Council members, June 11.
- G. MEMO TO COUNTY COMMISSIONERS. Excerpts concerning budget and services.



# Help!

# A

We need your help! The Public Information Subcommittee is designing a comprehensive initiative that will inform county voters prior to the jail referendum. This will require commitment from all members, and from others than can be recruited to help. Please complete this form AS SOON AS POSSIBLE, and return it to: Rod Miller, P.O. Box 234, Kents Hill, ME 04349

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Name: \_\_\_\_\_ Phone: Work \_\_\_\_\_  
Home \_\_\_\_\_

1. **Volunteer to....** Please check all of the activities that you can help with during our public information effort:

- Make presentations to groups
- Call persons to discuss the jail proposal
- Distribute literature
- Staff a booth at public events, providing jail info.

2. **Affiliations.** Please list all of the organizations of which you are a member (service clubs, churches, unions, etc.) Place a checkmark (✓) by those that you think should be contacted during the public information effort.

3. **Referrals.** In addition to the groups listed above, what other groups/organizations should we be sure to contact? If possible, provide a contact person for each.

4. **Other Resources.** Are there other persons or organizations that we should contact who may be recruited to assist with this effort? List below:

Please return immediately to: Rod Miller, CRS Inc.  
P.O. Box 234, Kents Hill 04349



# CUMBERLAND COUNTY JAIL COMMITTEE

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

L. Daniel Boisot, Chairman  
telephone 207/879-4000  
Cushman Anthony  
Edward M. Bonney  
Brad Buck  
Richard N. Bryant  
A. L. Carlisle  
Donnell Carroll  
Michael Chitwood  
Paul Coleman  
James Conley  
Gary C. Cooper  
Lyle B. Cramer  
G. William Diamond  
John Dovinsky  
E. Paul Eggert  
John Flaherty  
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Alan Hybers  
Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

MEETING SCHEDULE AS OF: **June 14, 1989**

NEXT FULL COMMITTEE MEETING

**Thursday, June 29, 1989**

7:00 - 9:00 p.m. Training Room  
(Main Building)  
Maine Youth Center, So. Portland

ADDITIONAL FULL COMMITTEE MEETING DATES  
(Evenings)  
To Be Announced

## ARCHITECTURAL SUBCOMMITTEE MEETINGS:

MEETINGS-- Commissioners Meeting Room  
County Courthouse

Monday, June 19, 1989 5:30 p.m.  
Monday, July 17, 1989 5:30 p.m.

## SYSTEMS/ALTERNATIVES

At Rick Romanow's Office-- 465 Congress Street

Wednesday, June 21, 3:30 p.m.  
Wednesday, July 12, 3:30 p.m.  
Wednesday, August 2, 3:30 p.m.  
Wednesday, August 30, 3:30 p.m.

## PUBLIC INFORMATION SUBCOMMITTEE

**Tuesday, June 20, 1989**  
3:00 p.m.  
97 State Street  
Portland (Paul Eggert's Office)

● **CANCELLED** ● (TO BE RESCHEDULED LATER IN SUMMER)

Jail Industry Conference  
Tentatively Announced for June 22-3

**NEW!!!!** See attached Summary Calendar.....

**SUMMARY CALENDAR: Cumberland County Jail Committee**

As of June 13, 1989

Sun	Mon	Tues	Wed	Thurs	Fri	Sat
JUNE 18	19  Arch Sub 5:30	20  Pub Inf 3:00	21  Systems 3:30	22  Zoning Bd Appeals 9:00 p.m.	23	24
25	26  Commissrs	27	28	29  Full Comm 7:00	30	1
JULY 2	3	4	5	6	7	8
9	10	11	12  Systems 3:30	13	14	15
16	17  Archl. Sub 5:30 p.m.	18	19	20	21	22
23	24	25	26	27	28	29
30	31	1	2  Systems 3:30 p.m.	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	25
27	28	29	30  Systems 3:30 p.m.	31	1	2

C

CUMBERLAND COUNTY JAIL COMMITTEE  
c/o County Commissioners  
142 Federal Street  
Portland, ME 04101  
(207) 871-8380

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NOTES FROM June 1, 1989, FULL COMMITTEE MEETING

Present:

Dan Boisot, Chair	Peter Manning
A.L. Carlisle	Ed Bonney
Paul Coleman	Pierre Shevenell
Stev Parker	
Bill Jordan	Dana Morton (SMRT)
Hamilton Grant	Phil Kaminsky (SMRT)
Brad Boutilier	Arthur Thompson (SMRT- Architect)
Linda B. Johnson	Rod Miller, CRS
Paul Eggert	

AGENDA

Cumberland County Jail Committee

June 1, 1989

1. Subcommittee Reports
  - a. Architectural Subcommittee
    - (1) Site Selection Activities
    - (2) Architectural Programming
  - b. Systems/Alternatives Subcommittee
  - c. Public Information Subcommittee
2. Other Related Jail Activities and Issues
  - a. Interim housing efforts
  - b. Halfway House
3. Bedspace Needs--Revisited
4. Legislative Report
  - a. Community Corrections Act
  - b. L.D. 1189 and Implications
  - c. Juveniles
  - d. Referendum
5. Other Business

## 1. SUBCOMMITTEE REPORTS

### a. Architectural Subcommittee

Maine Youth Center Site. Members reported on recent efforts to evaluate (for a second time) the Maine Youth Center as a potential site for the proposed new jail. SMRT conducted an initial site evaluation and presented a report at the meeting. They identified several potential locations for a jail on the MYC site, eliminating all but one because of topography, airport or other constraints. The final location also posed problems. SMRT described sewer and storm water separation problems in this part of South Portland and underscored other utility constraints that would be encountered at the MYC site--terming these "not insurmountable, but expensive and time-consuming." Although members were not asked to vote on this potential site, most expressed serious reservations about it.

"Round Two" Site Review. Dan Boisot summarized the rankings assigned to the seven sites offered for consideration in response to a second Request for Proposals. The ranking, as determined by the Subcommittee was:

1. Ross Grant, Gorham
2. Outer Congress Street (would be #1 if additional acreage could be acquired)
3. Pleasant Hill, Scarborough
4. Woodfield Road, Falmouth
5. Crosby Laughlin Plant, Portland
6. Old Nabisco Building/Johnson Supply, Portland
7. Peaks Island

Ed Bonney voiced concerns about transportation costs associated with the Gorham site. Rod noted that a site 10 miles west of the current jail would require an additional 96,000 "inmate miles" of transportation per year; the Gorham site is 8.4 miles away.

[NOTE: A report was submitted to the County Commissioners at a workshop meeting on June 5, along with a formal response from the Department of Corrections. The Department stated that it was unwilling to offer a site for the jail at the Youth Center for three reasons. At their meeting on June 12, the Commissioners voted to accept the Jail Committee's recommendations concerning sites (#1 Merrill Transportation Park, #2 Outer Congress Street--if additional acreage is available, #3 Ross Grant in Gorham).]

Architectural Program. Arthur Thompson described recent Subcommittee efforts, suggesting that the size of the facility has increased to nearly 120,000 square feet; this, coupled with higher possible site costs, makes the \$20 million target less feasible [later in the meeting the capacity was increased, making the total nearly 140,000 square feet]. He presented an organizational chart for the proposed facility (attached), described housing unit configurations (attached).



The architects presented a summary chart describing estimated program (space) needs for the new jail. This is shown below [NOTE, the chart below is a revised version reflecting the increased capacity of nearly 350 beds]:

Cumberland County Jail Program Summary

FUNCTIONAL AREA	NET AREA	NET/GROSS FACTOR	GROSS SQ FT
Public Lobby	1130	1.25	1413
Administration	3275	1.33	4356
Staff	3960	1.25	4950
Control	410	1.33	545
Visitation	1770	1.33	2354
Inmate Receiving	2925	1.54	4505
Short Term Housing	2669	1.70	4537
Medical	1115	1.70	1896
Programs	3045	1.54	4689
Exercise and Recreation	5500	1.30	7150
Industries	2210	1.25	2763
Food Service	3120	1.40	4368
Laundry	1010	1.25	1263
Mech/Maint/Storage	6860	1.20	8232
Perimeter Security	300	1.33	399
Court Services	1970	1.33	2620
Law Enforcement	5360	1.33	7129
Special Needs Housing	8920	1.70	15164
Medium Security Housing	14970	1.70	25449
Minimum Security Housing	14720	1.70	25024
Pre-Release Housing	6060	1.70	10302

Total NSF.....91,299

Average Multiplier..... 1.52

Total GSF.....139,108

The configuration of the various types of bedspaces was described as follows:

Type of Inmate	Security Level			
	Max	Med	Min	Pre-Release
Special Needs	5	25	25	-
Males	12	98	58	40
Females	1	8	8	-
TOTALS.....	18	131	91	40 (278)

Arthur also relayed the Subcommittee's recommendation that 15 short-term holding spaces be added to the Special Needs unit, to be constructed for either short- or long-term housing. This suggestion was adopted, increasing the capacity of the proposed jail to 293 beds.

Peter Manning asked about expansion provisions. Arthur stated that it was the designers' intent to develop plans for a 600-bed or even larger facility--but to build only 293 beds as the first phase of construction. Later, this maximum capacity was increased.

#### **b. Systems Subcommittee**

Pierre reported that the Subcommittee had not met since the last Jail Committee meeting. He noted that members were encouraged by the recent OUI weekend program at SMVTI and that they are preparing to work with Sagadahoc County to develop a halfway house in the Bath/Brunswick area.

Pierre also reported that the Subcommittee has written to Sheriff Joyce, offering assistance with the development of a 20-bed halfway house in the Portland area. Although Bill McLaughlin had confirmed the need for such beds in prior meetings, Sheriff Joyce has not yet responded.

#### **c. Public Information Subcommittee**

Rod reported that the Committee will be meeting in a few days to develop an overall approach for the public information initiative. This will be distributed to all members for review and comment.

### **2. OTHER RELATED JAIL ACTIVITIES AND ISSUES**

Interim Housing Efforts. The county is still exploring methods to construct additional bedspace (temporary) on the jail site. [An application for permission to construct a 36-bed jail addition was submitted to the Zoning Board of Appeals on June 12.] Halfway house efforts were described by the Systems Subcommittee.

### **3. BEDSPACE NEEDS--REVISITED**

At the beginning of this discussion, Rod shared updated data and information with the Committee (as requested at the last meeting):

In 1986, average daily populations reached 169--indicating a 7%/year rate of growth since then (consistent with projections);

This is the first year in which the 1986 Community Corrections Act fully impacts the jail population--an increase is expected; and

In today's count, there are 20 to 25 inmates who should be housed in community facilities, according to the Committee's recommendations.

The Architectural Subcommittee suggested that crowding be "anticipated" by designing some medium and minimum security cells for eventual double-occupancy. Paul Eggert endorsed this approach, which would provide additional bedspaces during crowding situations. The Subcommittee recommended a 20% increase in medium and minimum security bedspaces through this method (approximately 50 more beds). Construction costs for such an approach would be minimal.

Peter urged members to increase the capacity of the jail, worrying that four years from now we would be opening a full, or even crowded, facility. He suggested a 100 bed increase. Ed Bonney stated that the "key" was the design of the facility for future expansion. Paul Eggert suggested that the 293-bed jail was a "starter" and should not be considered, nor "sold" as the end-all. Rod asked if a financial contingency could be considered, rather than increasing the number of beds now.

A. L. noted that the 293-bed capacity is "contingent on the implementation of community programs," and that if the jails are given to the Department of Corrections, the Department will not be doing community programs in the near future because there is no money for this. She urged that the period preceding the opening of the new jail be used by the County to aggressively develop alternatives.

Pierre argued that the Committee worked hard to get to the 293 bed figure and there should be a commitment to stay with it. He noted that alternatives are difficult to accomplish, but that we have not tried hard enough yet. Paul suggested that keeping the number of beds down is the only way to force community programs to be developed and maintained.

Paul Coleman stated that the trend was toward longer sentences and more violent crimes. Peter Manning echoed this, noting that the Legislature is getting tougher with sentencing.

It was eventually moved by A.L. Carlisle, and seconded by Linda Johnson:

"(1) The capacity of the proposed jail should be increased from 293 to approximately 350 by adding another housing unit; (2) an additional 50 "contingency" bedspaces should be added by making provisions for double-celling in 20% of all medium and minimum security areas; and (3) the design of the facility should accomodate further future expansion with necessary core spaces and support capabilities."

The motion passed by a vote of 9 to 3, with Paul Eggert, Pierre Shevenell and Stev Parker dissenting.

#### 4. LEGISLATIVE REPORT

Community Corrections Act. Several revisions are being held until the state takeover of jails is decided. These would provide for increased flexibility for use of community corrections funds, and for direct reimbursement of capital expenses.

L.D. 1189-- State Takeover of Jails. This bill is likely to pass. It would provide for state operation of county jails beginning January, 1991. Members expressed support for continuing with planning and with the referendum if this passes.

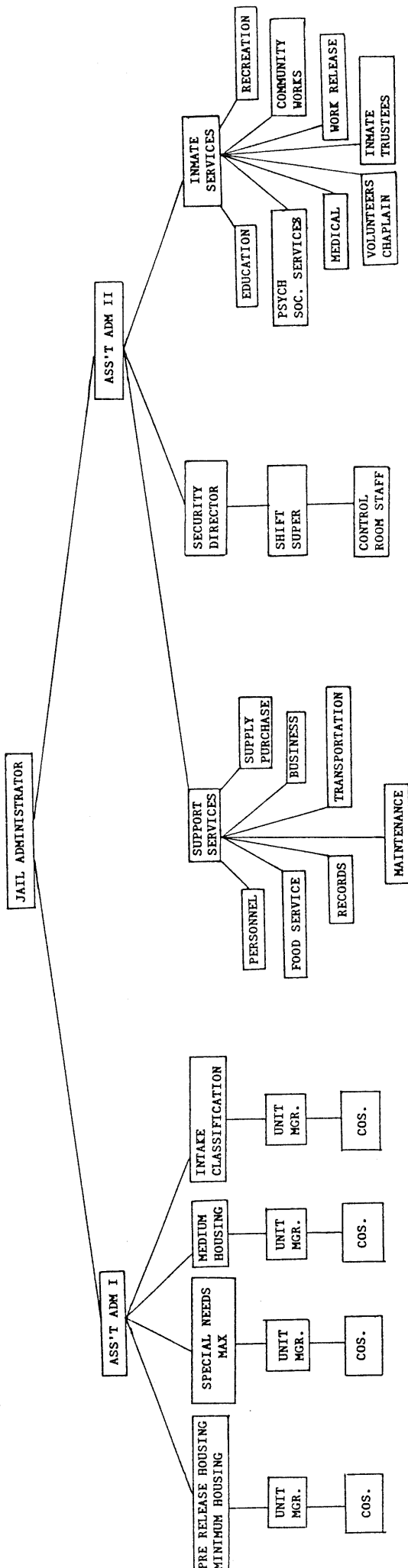
Juveniles. The status of juvenile detention has not yet been changes, although legislation has been offered to remove juveniles from county control.

Referendum. Peter will seek introduction of a bill authorizing a county-wide referendum. [NOTE: He drafted a bill that provided for the commissioners to choose between a Portland or Gorham location, 90 days prior to the referendum, establishing the cost at \$25,000,000.]

The meeting adjourned at 9:30 p.m.

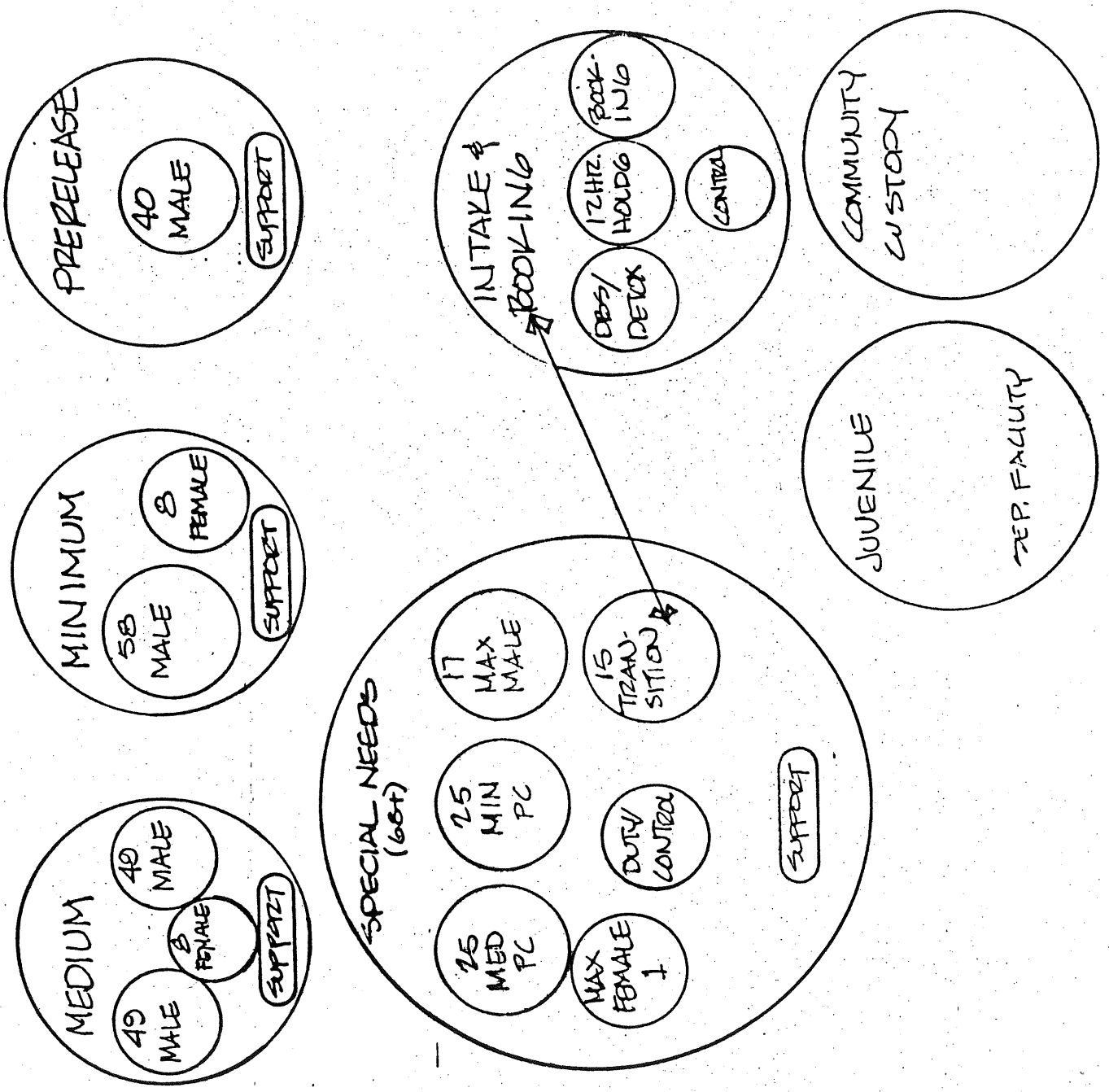
Attachments: Proposed organizational chart

Housing unit configurations diagram





# HOUSING UNIT CONFIGURATION 6 6/15/83



PUBLIC INFORMATION SUBCOMMITTEE  
Cumberland County Jail Committee

June 6, 1989  
3:00 - 5:00 p.m.

NOTES FROM SECOND MEETING.

Present: Ed Bonney, Linda Johnson, Paul Eggert, Ed Hershey, Dan Boisot, Rod Miller, Anne Finlayson.

The members reviewed a concept paper distributed by Rod and Ed; the text has been updated to incorporate the members' comments and changes, and follows.

I. CONCEPTUAL OUTLINE FOR PUBLIC INFORMATION INITIATIVE

A. Speak with "One Voice." It is imperative that the county be perceived as having one common voice concerning the jail referendum. To accomplish this it will be necessary to:

- o prepare key documents and aids that will be used by all persons involved with public activities ("Sourcebook," handouts, videos, etc.)
- o enlist the support of all Committee members and county officials/staff to follow a clearly-established protocol for media and public relations

B. Enlist Editorial Board Support. Key editorial personnel should be approached at two points:

1. immediately following final legislative action concerning jails and the Cumberland County bond issue; and
2. immediately prior to the public release of jail "plans" and proposals (just before Labor Day), providing a sneak preview and full briefing on the proposal.

This concept was broadened by the Subcommittee, suggesting that additionally specific overtures should be made to: county chairs of both political parties; police chiefs association; Council of Governments; and other groups that might be viewed as pivotal.

C. Make a Presentation at a Public Meeting in Each City/Town. A delegation (Committee members and county official) should secure time on the agenda of a public meeting in each town, providing an opportunity to present the jail proposal to officials and citizens. Handouts and visual aids will enhance this effort.

D. Present the Jail Proposal to Wide Range of Civic Groups. A team (Committee member and county official) should visit as many organizations as possible, providing a jail presentation and distributing materials.

Groups should include:

- o Jaycees
- o Lions
- o VFW
- o Grange
- o League of Women Voters
- o Chamber of Commerce
- o Rotary
- o Kiwanis
- o Senior Citizens
- o Chiefs of Police
- o SMVTI law enforcement program

Ed Bonney expressed concern that the Committee would not have enough human resources to present to all interested groups; he suggested that a master list should be assembled, and the Subcommittee should then prioritize those that should be addressed.

E. Mail "Targeted" Messages to Special Groups. Supportive materials (e.g. flier) should accompany a specially-designed letter to each of several key groups throughout the County, to include:

- o churches (clergy)
- o law enforcement/public safety
- o educators
- o service providers
- o elected town officials
- o planning boards
- o labor unions
- o construction trades
- o employers (for employee newsletters)

These mailings should be followed up with a phone call to ensure that the material/information is being disseminated. A second letter should be sent, immediately prior to the referendum.

F. Media "Events." The Committee should organize several media events, beginning with a Commissioners' meeting at which they will establish the date for the referendum. In September, a grand "unveiling" of the proposal occur after Labor Day (at which key supporters will be present). At least three more events will be scheduled prior to the referendum vote; each will feature a special perspective on the proposal, and/or introduce a new supporter(s) for the proposal.

G. Press Releases. The Committee will issue a series of carefully-structured press releases, probably on a weekly basis. Each will focus on a specific aspect of the jail proposal, and will announce or highlight support voiced by one or more group/community. The series of releases should build steadily towards the referendum date, coordinating with the media events previously identified.

Topics might include:

1. Coalition Announces Support for Jail Proposal
2. Chiefs Stress Public Safety Benefits of Proposed Jail
3. Educators Schedule "Jail Awareness" Events
4. Inmate Advocates Underscore Need for Jail Improvements
5. Service-Providers Urge Improved Facilities
6. Town Officials Support Jail Proposal as "Cost Effective"
7. Bar Association Stresses Liability in Old Jail
8. Brad Buck Endorses Use of Glass Instead of Bars
9. Department of Corrections Cites Deficiencies of Old Jail, Praises Innovative Plan

Each release will be accompanied by a Committee "schedule" that identifies upcoming events/speaking engagement, and underscoring efforts already completed.

H. Display of "Boards," Distribution of Fliers, Display of Model. A special display board will be created by the architects, describing the project on one 24" x 36" sheet; fliers will be attached for pick-up. These will be moved daily to locations throughout the County (e.g. banks, public buildings, schools). Literature will be placed at strategic locations throughout the county, and could even be cooperatively distributed through efforts with:

- o legislators' constituent mailings
- o supermarket grocery bag stuffing
- o scouts going door-to-door
- o employee newsletters

A model will be provided by the architects (Rod will check to be sure that funds have been allocated). Display of this will also be scheduled at central public locations.

I. Media "Talk Shows." Committee members and county officials should participate in every public call-in and talk show that reaches county residents.

J. Special Media Features. All media sources should be encouraged (compelled) to provide special coverage of the jail and the jail proposal. For example, Channel 13 will be going to a 1-hour news format in September--offering many opportunities for expanded coverage. Media can be invited to spend time in the jail, to "experience" the jail as a resident, and should be offered ample access to key officials and Committee members.

K. Presence at Public Events/Fairs. The Committee should secure space and staff a booth at a variety of public events, such as fairs. A continuous-loop videotape, presentation boards, and handouts will be useful.

L. Progress Reports to Selected Mailing List. Members decided to develop a special mailing list (town officials, legislators, others) that will be used to distribute a series of progress reports on the project. These will start in early July.

## II. QUESTIONS TO CONSIDER

The Subcommittee considered several questions posed by Rod and Ed and concluded that:

- o progress reports will be mailed to a selected mailing list (see L on previous page)
- o placemats will not be distributed
- o direct mail efforts will not be undertaken, although legislators will be asked to include a flier in their constituent mailings, and other similar "piggy-back" efforts will be explored
- o newspaper inserts will not be used
- o advertising will be used only as a "last resort" if it appears that the overall voter turnout might be too low--decision to be made around October 1.

## III. IDENTIFICATION OF KEY "PRODUCTS"

Members reviewed a list of specific documents and other aids that will be necessary to implement the preceding plan. They concurred with the following list:

- Video (two or three versions)
  - continuous loop
  - presentation
  - school/feature
- Sourcebook
- Flier
- Boards--
  - All-in-one
  - Multiples
- Model
- Photographs for releases
- Press Releases
- Mailing Lists
- Presentation Outline(s)
- Mail and Phone Lists
- Master Schedule

## IV. INITIAL OUTLINE, TIMING AND ASSIGNMENT OF KEY TASKS ASSOCIATED WITH STRATEGY

The following pages provide an initial "action plan" that identifies specific tasks, establishes a deadline for completion and/or execution, and indicates primary responsibility (Rod Miller, Ed Hershey, or CC--county commissioners' staff).

Weeks have been coded as indicated in the chart at the top of the following page.



CODES-- WEEKS LEADING TO REFERENDUM

Code Number	Week Beginning Monday--
1	June 12, 1989
2	June 19
3	June 26
4	July 3
5	July 10
6	July 17
7	July 24
8	July 31
9	August 7
10	August 14
11	August 21
12	August 28
13	Sept 4
14	Sept 11
15	Sept 18
16	Sept 25
17	Oct 2
18	Oct 9
19	Oct 16
20	Oct 23
21	Oct 30
22	Nov 6 (Election is November 7)

INITIAL ACTION AGENDA.....

	Deadline	Respons.	Involved
<b>A. Speak with "One Voice"</b>			
1. Develop public information protocols	2	Rod	Sub.
2. Enlist support of all key actors			
a. Identify all volunteers	3	Rod	Comm.
b. Specify roles/respons/limitations	5	Rod	Sub.
3. Develop/distribute Sourcebook	12	Rod	Comm.
4. Develop flier	9	Ed	Sub.
5. Develop video resources	9	Ed	Sub.
6. Develop "boards"	11	Archs.	Sub.
7. Develop model	11	Archs.	Sub.
<b>B. Enlist Editorial Board Support</b>			
1. Identify editors to contact.	2	Rod	Sub.
2. Schedule meetings	2	Rod	Sub.
3. Meet and follow-up	3	Rod	Sub.

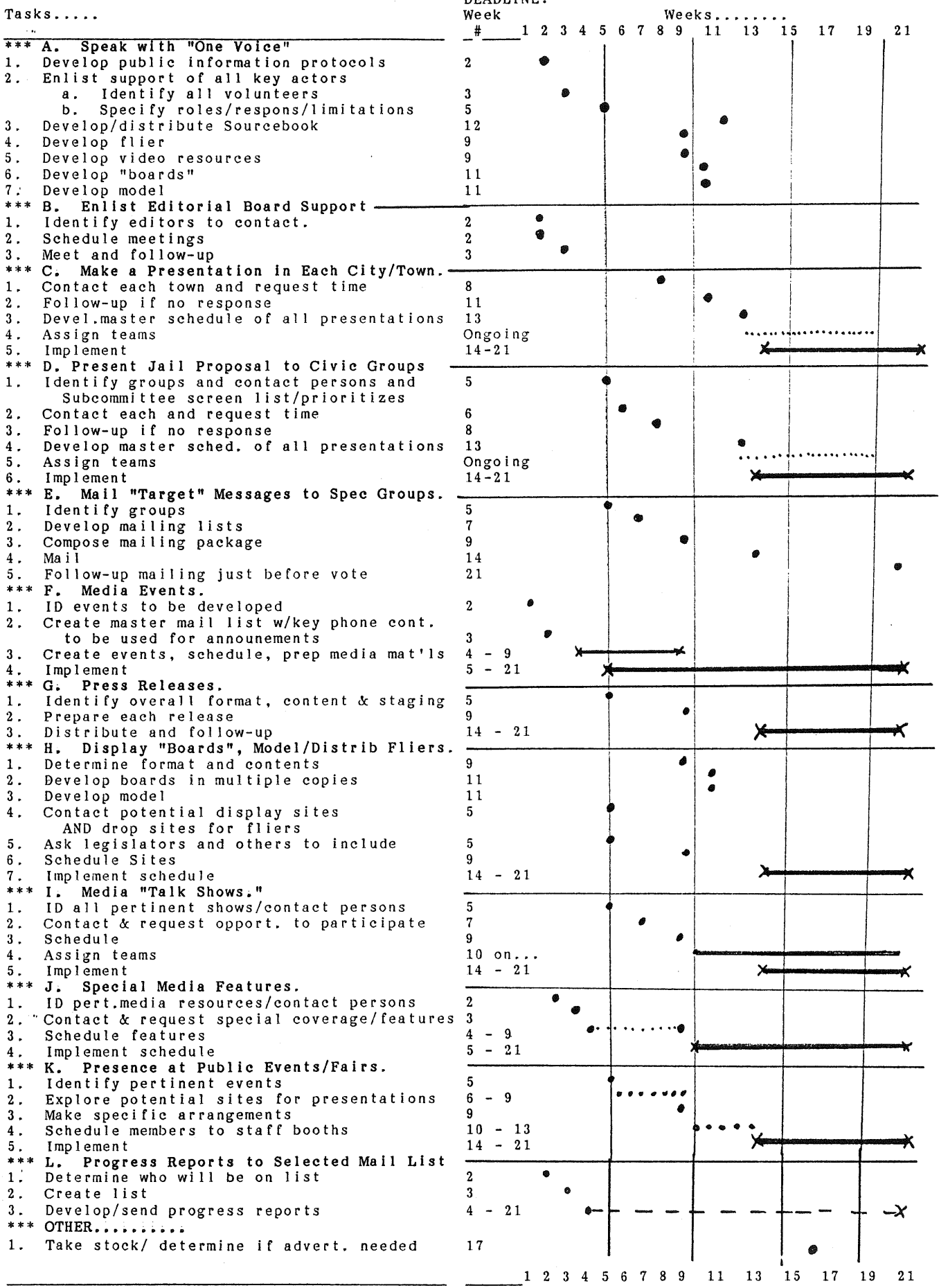
ACTION AGENDA (cont.)

	Deadline	Respons.	Involved
<b>C. Make a Presentation in Each City/Town.</b>			
1. Contact each town and request time	8	Comr	Sub.
2. Follow-up if no response	11	Comr	
3. Devel. master schedule of all presentations	13	Comr	Sub.
4. Assign teams	Ongoing	Comr	Sub.
5. Implement	14-21	Teams	Sub.
<b>D. Present the Jail Proposal to Civic Groups</b>			
1. Identify groups and contact persons and Subcommittee screen list/prioritizes	5	Comr.	Sub.
2. Contact each and request time	6	Comr.	Sub.
3. Follow-up if no response	8	Comr	Sub.
4. Develop master sched. of all presentations	13	Comr	Sub.
5. Assign teams	Ongoing	Comr	Sub.
6. Implement	14-21	Teams	Sub.
<b>E. Mail "Targeted" Messages to Special Groups.</b>			
1. Identify groups	5	Rod	Sub
2. Develop mailing lists	7	Comr	Sub
3. Compose mailing package	9	Rod	Sub
4. Mail	14	Comr	Sub
5. Follow-up mailing just before vote	21	Comr	Sub
<b>F. Media Events.</b>			
1. ID events to be developed	2	Rod	Sub
2. Create master mail list w/key phone cont. to be used for announcements	3	Rod	Sub
3. Create events, schedule, prep media mat'ls	4 - 9	Rod	Sub
4. Implement	5 - 21	Rod	Sub
<b>G. Press Releases.</b>			
1. Identify overall format, content & staging	5	Ed	Sub
2. Prepare each release	9	Ed	Sub
3. Distribute and follow-up	14 - 21	Comr	Sub

ACTION AGENDA (cont.)

	Deadline	Respons.	Involved
<b>H. Display of "Boards"/Distribution of Fliers.</b>			
1. Determine format and contents	9	Rod	Sub
2. Develop boards in multiple copies	11	Archs/	Sub
3. Develop model	11	Archs	Sub
4. Contact potential display sites AND drop sites for fliers	5	Comr	Sub
5. Ask legislators and others to include	5	Rod	Sub
6. Schedule sites	9	Comr	Sub
7. Implement schedule	14 - 21	Comr	Sub
<b>I. Media "Talk Shows."</b>			
1. ID all pertinent shows/contact persons	5	Rod	Sub
2. Contact & request oport. to participate	7	Rod	Sub
3. Schedule	9	Comr	Sub
4. Assign teams	10 on...	Rod	Sub
5. Implement	14 - 21	Teams	Sub
<b>J. Special Media Features.</b>			
1. ID pert.media resources/contact persons	2	Rod	Sub
2. Contact & request special coverage/features	3	Rod	Sub
3. Schedule features	4 - 9	Comr	Sub
4. Implement schedule	5 - 21	Rod	Sub
<b>K. Presence at Public Events/Fairs.</b>			
1. Identify pertinent events	5	Rod	Sub
2. Explore potential sites for presentations	6 - 9	Rod	Sub
3. Make specific arrangements	9	Comr	Sub
4. Schedule members to staff booths	10 - 13	Comr	Sub
5. Implement	14 - 21	Comr	Sub
<b>L. Progress Reports to Selected Mail List</b>			
1. Determine who will be on list	2	Sub	Sub
2. Create list	3	Rod	Sub
3. Develop/send progress reports	4 - 21	Rod/comr	Sub
<b>OTHER.....</b>			
1. Take stock/ determine if advert. needed	17	Sub	Sub

**CHART OF ACTION AGENDA DEADLINES**



E

NOTES FROM THE ARCHITECTURAL SUBCOMMITTEE  
Cumberland County Jail Committee

Meeting, May 31, 1989  
5:30 - 7:30 p.m.

Present:

Daniel Boisot	Arthur Thompson
Steve Johnson	Phil Kaminsky
Stev Parker	
Paul Eggert	
Paul Coleman	Rod Miller
Brad Buck	
Ed Googins	
Bill McLaughlin	

1. Site Report/Ranking.

Arthur presented the results of an analysis of the Maine Youth Center site. A letter from the City of South Portland highlighted utility concerns (sewer, sanitation). The report will be submitted to the Department of Corrections and a response is expected by June 5. Members ranked to seven new sites that were offered in response to the second Request for Proposals. This ranking will be described to the Full Committee tomorrow.

2. Organizational Chart.

A revised organizational chart was offered for consideration, reflecting work that Arthur and Rod and completed regarding the concept of "unit management." The chart was approved.

3. Architectural Program.

Arthur Thompson distributed a draft outline of spaces for several functional areas within the proposed jail. Members reviewed this document and offered their initial comments. There was a lengthy discussion of housing unit configuration and themes.

After additional discussion, the Subcommittee concluded that female inmates should be decentralized, to be housed throughout the facility in respective units according to their security classification. This will provide more parity of programs and services, and will provide more flexibility for using available bedspace.

The Subcommittee also decided to recommend that approximately 20% of all medium and minimum-security cells be designed for potential double-bunking, to be used in crowding periods. These would be slightly larger than a single (80 square feet vs. 70) and corresponding dayroom spaces would be enlarged. This would increase the capacity of the jail by about 50 beds during official periods of crowding (contingency plans).

The meeting adjourned at 7:30 p.m.



NOTES FROM THE ARCHITECTURAL SUBCOMMITTEE  
Cumberland County Jail Committee

Meeting, June 5, 1989  
5:30 - 7:15 p.m.

Present:

Daniel Boisot	Arthur Thompson
Bill Jordan	Phil Kaminsky
Stev Parker	
Paul Coleman	Rod Miller
Brad Buck	
Paul Eggert	

1. Site Report.

At a meeting with the County Commissioners earlier today, the Department of Corrections removed the Maine Youth Center site from consideration for three reasons:

- a jail would interfere with the State's plans for expansion and would limit future options
- the jail would be too close to the Youth Center and would interfere with the operations physically, visually and acoustically
- locating an adult-serving jail on the grounds would be inconsistent with the provisions of the federal Juvenile Justice and Delinquency Prevention Act (JJJPA), which the Department administers in Maine.

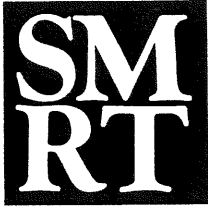
2. Architectural Programming.

The balance of the meeting addressed programming efforts for housing areas, including short-term holding and special needs.

3. Conclusions.

The organizational chart, female "integration" and several other recommendations will be taken to the Full Committee for consideration and ratification.

The meeting adjourned at 7:15 p.m.



F

ARCHITECTURE ENGINEERING SURVEY

STEVENS MORTON ROSE & THOMPSON  
39 Forest Avenue P.O. Box 618  
Portland, Maine 04104  
Tel 207/772-3846 Fax 207/772-1070

June 11, 1989  
Project No. 89006

City Council Members  
City of Portland  
389 Congress Street  
Portland, Maine 04101

*Re: Proposed Site Walkthrough, Cumberland County Jail Facility*

To the Members of the Council,

Thank you for your time and consideration today in our walkthrough of these three proposed sites for the new Cumberland County Jail. To give you a synopsis of the site selection process, initially, the Cumberland County Jail Committee and Stevens Morton Rose & Thompson received a total of seven sites for consideration. After review of these proposals, the Site Selection Committee recommended that the County Commissioners narrow their choice to three sites; Sites A and B are at the Upper Fore River Transportation Park and Site C is on Ledgewood Drive. After considering these three sites in detail, and receiving comments from public hearings, Site C was eliminated due to access and a second Request for Proposals was advertised, with seven additional sites in response.

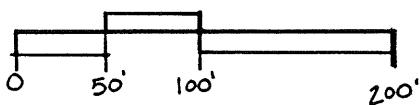
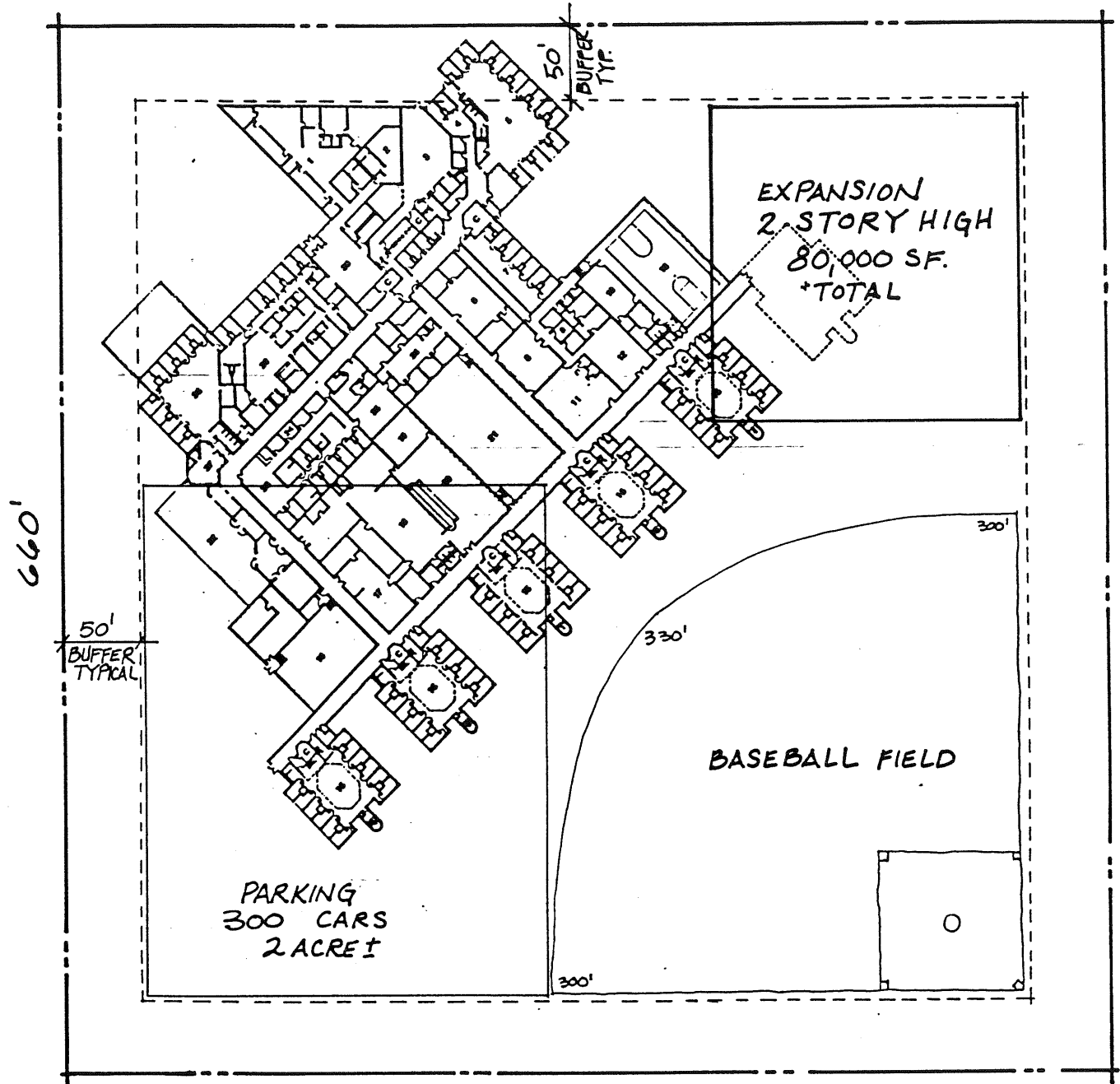
The two sites we will be viewing today are Sites A and B, the Upper Fore River Transportation Park from the first RFP and Site K, on Outer Congress Street, from the second RFP. The enclosed materials are from previous analyses on these sites and include location maps, purchase price, option price and other supporting information. The sites are summarized on the table on the following page.

Thank you for your time today. Please feel free to contact either Dan Boisot, Chairman of the Cumberland County Jail Committee, Rod Miller of CRS, Inc., the Jail Planning Consultant, or myself if you have additional questions.

Respectfully Submitted,

STEVENS MORTON ROSE & THOMPSON, INC.

  
Arthur P. Thompson, AIA  
Principal/Project Architect



660'  
10 ACRES = 435,600 SF

STEVENS MORTON ROSE & THOMPSON  
Architecture Engineering Survey

39 Forest Avenue, P.O. Box 618  
Portland, Maine 04104

telephone 207/772.3846  
telecopier 207/772.1070

### SITE SELECTION COMPARISON

	<u>SITE A</u>	<u>SITE B</u>	<u>SITE K</u>
<i>Size:</i>	10 acres 15 20 acres	10 acres	8 acres
<i>Purchase Price:</i>	\$1,250,000 \$2,000,000	\$1,500,000	\$742,000
<i>Option Price:</i>	\$125,000 \$200,000	\$150,000	\$36,000
<i>Distance to Courthouse</i>	2.5 miles	2.6 miles	5.4 miles

G

June 5, 1989

TO: Cumberland County Commissioners

FROM: Rod Miller, President  
CRS, Inc. 685-9090

RE: 1. Financial Update--Jail Projects  
2. Proposal for Agreement with CRS, Inc.  
3. Invoices for CRS Services and Expenses

1. Financial Update

Attached is an updated "balance sheet" that provides revised information for your consideration. The first balance sheet was submitted on March 31, 1989.

As the analysis indicates, costs for jail projects total an estimated \$959,000; the cost of an option for the selected site must be added. Financial resources total an estimated \$1,127,000--most of which are "correctional improvement funds" derived from Maine Department of Corrections reimbursements under the provisions of the Community Corrections Act. I believe that the estimates for Department of Corrections income for 1989 are still a bit conservative, based on the first bill submitted by the County.

2. Proposed Agreement with CRS, Inc.

In March, I submitted an outline of services and corresponding costs, suggesting that an upset fee agreement of \$57,840. The services and corresponding costs have been reviewed by the Jail Committee and have been endorsed. The enclosed brief proposal provides an vehicle for your review, and if acceptable, for your acceptance through a letter of agreement.

As with similar projects in other counties, I propose allocating funds from the bond issue (if successful) to sponsor CRS services after the referendum in November; these are legitimately considered an integral component of the jail construction process.

3. Invoices for CRS Services and Expenses

Enclosed are two invoices for CRS services and expenses, as follows:

- a. Expenses paid by CRS for Committee travel  
to American Jail Association Conference....\$ 2,424.28
- b. Invoice for CRS Services--Phase Two  
Services and partial expenses to 5/15/89...\$ 20,683.50

I have also submitted an invoice for services and expenses associated with the juvenile detention case to Bob Mittel, in the amount of \$2,870.80 for the period beginning 9/1/88 and ending 5/1/89 (copy attached).



**UPDATED "BALANCE SHEET"**  
**Cumberland County Jail Standards Compliance/Jail Improvements**  
 June 5, 1989

Introduction. This updated document was prepared by Rod Miller, Planning Consultant, in an effort to provide County officials with an updated overview of the projected expenditures associated with several jail projects and corresponding financial resources that may be available to fund these projects. Figures remain somewhat tentative, but the degree of accuracy of estimates is much higher than in the initial document provided in late March, 1989.

**A. REVIEW OF PROJECTS AND ESTIMATED COSTS**

<u>1. Jail Repairs for Standards Compliance</u>	
a. Construction estimate	\$250,000
b. Architectural/engin. fees	30,000
SUB-TOTAL.....	\$280,000
<u>2. Jail Planning and Referendum</u>	
a. Architects (SMRT)	\$ 60,000
b. Design Consultants (CPA)	15,000
c. Planning Consultants/P.I.(CRS)	60,000
d. Committee expenses	13,000
e. Public Information costs	10,000
f. Ballots	8,000
g. Phase One Costs (completed)	35,000
h. Option on Land	
SUB-TOTAL.....	\$201,000
	PLUS OPTION on land
<u>3. Interim Expansion of Jail Space</u>	
Proposed addition to jail.....	\$300,000
<u>4. Juvenile Detention Facility</u>	
Addition to jail (estimated at \$600,000 but delayed by commissioners)	\$ 0
<u>5. Other Corrections Improvement Fund Expend.</u>	
Uniforms, Training, Miscell.....	\$ 5,000
Salaries/Expenses in 1989 Budget.	\$173,000
SUB-TOTAL.....	\$178,000
TOTAL ESTIMATED EXPENDITURES.....	
	\$959,000
	PLUS LAND OPTION

**B. FINANCIAL RESOURCES**

1. 1988 Budget, expenditures from commissioners' budget toward above costs.....	\$ 35,000
2. Balance in Jail Improvement Fund.....	\$372,000
3. Estimated 1989 Income, Jail Improv. Fund..	\$720,000

TOTAL ESTIMATED RESOURCES.....\$1,127,000

CUMBERLAND COUNTY JAIL COMMITTEE

MAILING of July 5, 1989

The following items are enclosed (coded in the upper right-hand corner of the first page of each document):

- A. SCHEDULE AND CALENDAR. A summary of all upcoming meetings and a calendar.
- B. NOTES FROM FULL COMMITTEE MEETING, June 29, 1989

NEWS.....

The Legislature has adjourned! The jail "takeover" bill did not pass during this session; it has been tabled and might be considered during a special session in August.

The County's jail referendum bill has been signed by the Governor.

MEETING SCHEDULE AS OF: June 26, 1989

NEXT FULL COMMITTEE MEETING

Thursday, July 20, 1989

7:00 - 9:00 p.m. Training Room  
(Main Building)  
Maine Youth Center, So. Portland

ADDITIONAL FULL COMMITTEE MEETING DATES  
(Evenings)  
To Be Announced

ARCHITECTURAL SUBCOMMITTEE MEETINGS:

MEETINGS-- Commissioners Meeting Room  
County Courthouse

Monday, July 17, 1989 5:30 p.m.

SYSTEMS/ALTERNATIVES

At Rick Romanow's Office-- 465 Congress Street

➔ Wednesday, July ~~18~~<sup>19</sup>, 3:30 p.m. Rescheduled to 7/19!  
Wednesday, August 2, 3:30 p.m.  
Wednesday, August 30, 3:30 p.m.

PUBLIC INFORMATION SUBCOMMITTEE

Tuesday, July 11, 1989  
3:00 p.m.  
97 State Street  
Portland (Paul Eggert's Office)

RESCHEDULED

Jail Industry Conference  
August 30, 1989  
All day, in Portland

See also....attached Summary Calendar.....

SUMMARY CALENDAR: Cumberland County Jail Committee

As of July 5, 1989

Sun	Mon	Tues	Wed	Thurs	Fri	Sat
JULY 2	3	4	5	6	7	8
9	10	11 Pub. Inf 3:00 p.m.	12 <del>Systems 3:30</del>	13	14	15
16	17 Archl. Sub 5:30 p.m.	18	19 Systems 3:30 p.m.	20 Full Comm. 7:00 p.m.	21	22
23	24	25	26	27	28	29
30	31	1 AUGUST	2 Systems 3:30 p.m.	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	25
27	28	29	30 Systems 3:30 p.m. JAIL INDUS. WORKSHOP-- all day	31	1	2

CUMBERLAND COUNTY JAIL COMMITTEE  
c/o County Commissioners  
142 Federal Street  
Portland, ME 04101  
(207) 871-8380

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NOTES FROM June 29, 1989, FULL COMMITTEE MEETING

Present:

Dan Boisot, Chair	Cushman Anthony
Gary Plummer	Lyle Kramer
Stev Parker	Pierre Shevenell
Ed Bonney	
Paul Eggert	
Steve Johnson	Phil Kaminsky (SMRT)
Bill Jordan	Arthur Thompson (SMRT- Architect)
Linda B. Johnson	Rod Miller, CRS
Paul Coleman	

AGENDA

Cumberland County Jail Committee  
June 29, 1989

1. Subcommittee Reports
  - a. Architectural Subcommittee
    - (1) Site Selection Activities
    - (2) Architectural Programming
  - b. Systems/Alternatives Subcommittee
  - c. Public Information Subcommittee
2. Other Related Jail Activities and Issues
  - a. Interim housing efforts
  - b. Halfway House
3. Legislative Report
  - a. Community Corrections Act
  - b. L.D. 1189 and Implications
  - c. Juveniles
  - d. Referendum
  - e. Jail Industries
4. Other Business
  - a. Baltimore Field Trip?
  - b. Jail Industries Workshop
  - c. Penobscot Opening
  - d. Substance Abuse Programs



## 1. SUBCOMMITTEE REPORTS

### a. Architectural Subcommittee

(1). Site. The County is negotiating for an option on the Committee's first choice (Merrill Transportation Park). This selection has received strong endorsements from City officials and staff.

(2). Design. Arthur Thompson attempted to review the schematic diagrams that were distributed with the Subcommittee's notes; he was asked to respond to questions, rather than making a presentation. Nancy Grayson sent a comment in through Paul Coleman, indicating that the proposed "closed" library will require a full-time staff member and noting that a room, or rooms, will be needed for inmate testing. Linda Johnson asked if we are using any particular facility as a "model;" Arthur responded that there is no single facility that seems to respond to our needs, although many are being closely studied.

### b. Systems Subcommittee

Pierre directed attention to the Subcommittee's notes that were recently mailed. He has met with Sagadahoc County personnel and will be actively exploring a joint halfway-house effort next week. Russ is preparing specifications for the proposed Criminal Justice Task Force, to be submitted to the County Commissioners.

### c. Public Information Subcommittee

Rod underscored the need for members to submit their "profiles" to the Subcommittee, indicating their interests, aptitudes and contacts. The proposed P.I. plan was discussed briefly. Ed Bonney suggested that the "briefing book" will be a key document to enable the Committee to "speak with one voice." Gary suggested the need to focus attention on current conditions. Cush suggested that key community leaders and media should be given special tours of the current facility. Gary suggested that local weekly papers should not be forgotten. Rod closed by asking members to study Public Information Subcommittee mailings closely, providing feedback and suggestions as plans evolve.

## 2. RELATED ACTIVITIES AND ISSUES

### a. Interim Housing

Linda reported on the Portland Zoning Board of Appeals meeting last week. Linda and several others presented testimony in support of the County's application for permission to expand the existing jail. After a lengthy presentation, approval was granted. Arthur stated that plan review will be conducted by planning staff, and will not require Planning Board review. Members applauded the efforts of attorney Bill Dale, who organized and orchestrated the County's presentation.

b. Halfway House

Rod noted that, with the approval of the interim expansion, the County will be closer to compliance with its rated capacity. If a 20-bed halfway house is developed in Portland, compliance will be further enhanced. He expressed optimism that the Sheriff's Department will want to support these efforts in the near future.

3. LEGISLATIVE REPORTS

a. Community Corrections Act

Changes are pending approval by the Appropriations Committee. One provision would offer nearly \$3,000,000 as a reimbursement for new construction in Cumberland County.

b. L.D. 1189 (Jail Takeover)

The bill is caught between conflicting versions in the House and Senate. [The bill was subsequently tabled for an upcoming session.]

c. Juveniles

Cush Anthony expressed uncertainty about current legislation that would substantially change the County's role in juvenile detention. All present agreed that eventually the County will not have responsibility for juveniles.

d. Referendum

The bill that authorizes the County Commissioners to hold a county-wide referendum has passed. Copies were provided in the previous mailing.

e. Jail Industries

An act to create a Jail Industries Authority has been passed and signed by the Governor. This innovative legislation is the first in the nation, and has already sparked national interest.

4. OTHER BUSINESS

Baltimore. Members were asked if they had interest in touring facilities in/around Baltimore during the American Correctional Association conference in August. Someone suggested that this trip should be mandatory for all who went to Florida in May.

Industries. A one-day symposium on Jail Industries will be held in Portland on August 30.

Penobscot County. The expanded/renovated jail was dedicated on Tuesday; the ribbon was cut by the Jail Committee Chair.

The meeting adjourned at 8:30 p.m.

Planning & Urban Development

Joseph E. Gray Jr.  
Director



CITY OF PORTLAND

February 28, 1991

Mr. Richard A. Spencer  
245 Commercial Street  
Portland, ME 04101

Dear Dick:

Attached is a site plan for the proposed Cumberland County Jail off of Congress Street. During our long hike last year from Stroudwater to Commercial Street, we walked through this property as a shortcut to the Western Promenade. Although the actual site plan has been somewhat revised since this concept plan was developed, it does show the opportunity for a trail, perhaps along the far property line to connect into the Union Station office parking lot.

I may not be able to make the next Portland Trails meeting so I thought I would forward this to you in advance. If there is interest in pursuing this, please let me know as soon as possible. We expect that the County will be coming before a Planning Board workshop possibly March 26th with a public hearing at a later date. Obviously the sooner we know there is some interest in this, the sooner we can include this in the planning process.

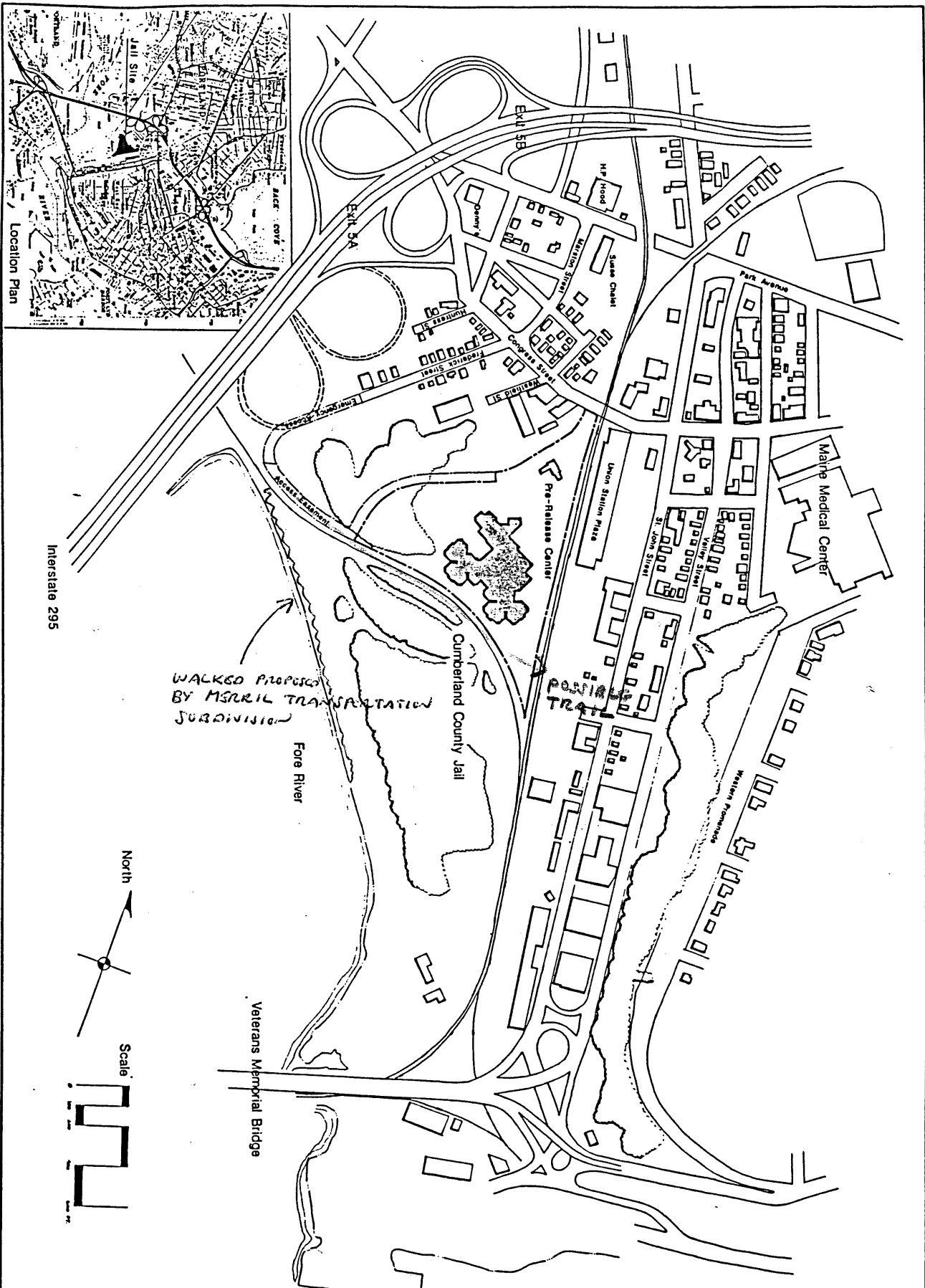
Please let me know what your ideas are concerning this.

Sincerely,

Richard Knowland  
Senior Planner

cc: Alex Jaegerman, Chief Planner  
Sarah Greene, Senior Planner

Enclosures (2)



Interstate 295

WALKED PROPOSED  
BY MERRIL TRANSPORTATION  
JURDIVISION

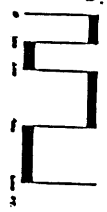
Fore River

Cumberland County Jail

Veterans Memorial Bridge



Scale



Drawing Name:

Vicinity Plan

Date: Description: Date: Project Name:

Date	Description	Date	Project Name

Cumberland County Jail  
Portland, Maine

Job No:

STEVENS MORTON ROSE & THOMPSON  
Professional Corporation  
100 South Street, Suite 200  
Portland, Maine 04101  
Tel: 603.761.1111  
Fax: 603.761.1112









# CUMBERLAND COUNTY JAIL COMMITTEE

L. Daniel Boisot, Chairman  
telephone 207/879-4000  
Cushman Anthony  
Edward M. Bonney  
Brad Buck  
Richard N. Bryant  
A. L. Carlisle  
Donnell Carroll  
Michael Chitwood  
Paul Coleman  
James Conley  
Gary C. Cooper  
Lyle B. Cramer  
G. William Diamond  
John Dovinsky  
E. Paul Eggert  
John Flaherty  
Joan Gauche  
Edward Googins  
Hamilton Grant  
Nancy Grayson  
Virginia Hildreth  
Alan Hybers  
Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

## CUMBERLAND COUNTY JAIL COMMITTEE

MAILING of September 8, 1989

The following items are enclosed (coded in the upper right-hand corner of the first page of each document):

- A. SCHEDULE AND CALENDAR. A summary of all upcoming meetings and a calendar.
- B. NOTES FROM PUBLIC INFORMATION SUBCOMMITTEE
- C. MEDIA NOTICE, Jail Industries Workshop
- D. PRESS HERALD ARTICLE, September 2, 1989
- E. MEDIA NOTICE, for September 11 Press Conference

**MEETING SCHEDULE AS OF: Sept. 8, 1989**

**A**

**NEXT FULL COMMITTEE MEETING**

**Thursday, September 14, 7:00 P.M.**  
Maine Youth Center

**→ PLEASE PLAN TO ATTEND----**THIS IS A VERY IMPORTANT MEETING TO SET THE STAGE FOR OUR BUSY FALL SCHEDULE (also, he/she who is absent is 3 times more likely to be volunteered.....)

**ARCHITECTURAL SUBCOMMITTEE MEETINGS:**

No Meetings Scheduled  
(gone fishing until November 8, 1989)

**SYSTEMS/ALTERNATIVES**

At Rick Romanow's Office-- 465 Congress Street

To Be Announced

**PUBLIC INFORMATION SUBCOMMITTEE**

**Tuesday, September 12, 1989**  
3:30 p.m.  
County Commissioners' Office  
(at 4:00 we will go to Herald/Express for  
and Editorial Board meeting)

**SUMMARY CALENDAR: Cumberland County Jail Committee**

As of September 8, 1989

Sun	Mon	Tues	Wed	Thurs	Fri	Sat
SEPT 10	11  Press Conference 4:00 p.m.	12 P.I. Sub. 3:30 p.m.	13	14 FULL Committee 7:00 p.m.	15	16

NOTES:

PUBLIC INFORMATION SUBCOMMITTEE

August 29, 1989

Present. Ed Bonney, Linda Johnson, Paul Eggert, Rod Miller

**1. Update on Site, Scheduling**

Members expressed concern when they learned that the commissioners were not yet ready to formalize an option on the Merrill site. Hopefully, a formal announcement can be made on September 25.

**2. Schedule two major "commissioner" events**

The commissioners have agreed to two "press conferences" that will be held on September 11 and September 25 at 4:00 p.m. **ALL INTERESTED JAIL COMMITTEE MEMBERS ARE INVITED TO ATTEND** (Probate Courtroom, Courthouse).

9/11 Establish date for referendum  
Unveil New Jail Administrator

9/25 Unveil Jail Model/Plans  
Confirm Site (hopefully)

**3. Schedule "editorial board" meetings for late next week.**

Express/Herald/Telegram (9/12/89)  
Times Record (to be announced)  
Channel 6 (9/19 a.m.)  
Channel 13 (9/19 p.m.)  
American Journal (they will call us...)

**4. Discuss scheduling of other speaking invitations (towns) and for mailings**

A personal letter from Dick Hewes to every selectman/councilor (approx. 130) will be mailed on September 8; this will advise them of the impending announcement of the referendum date (at 9/11 press conference). Other targeting mailings will be sent as soon as the "flier" is ready to distribute. SEE attached sample letter to town official.

**5. Edit Flier (into final draft)**

Members made final editorial changes. Rod will bring a mock-up to the 9/12 meeting, for final presentation to the full Committee on 9/14.

**6. Review and "assign" graphics for varied uses:**

Rod described a series of graphics that have been proposed by the architects for varied uses. They are:

	Brief Book	Flier	Slide Show	Press Rel.	TV Covr.	Dis Bds
<b>ARCHITECTURAL RESOURCES</b>						
Colored Isometric	X		X		X	X
Site Plan	X	?	X	X	X	X
Aerial Photo (adapted)	X		X	X		X
Perspective of Entry	X	X	X	X	X	
8.5 x 11 schematic dia.	X	X		X		
Floorplans (annotated)	X					
<b>DIAGRAMS/GRAPHS</b>						
Costs to taxpayer	X	X	X	X	X	X
Annual cost/bed compared	X	X	X	X	X	X
Jail Popul. Growth	X	X	X	X	X	X
<b>EXISTING JAIL (PHOTOS)</b>						
Exterior/site	X		X			X
Crowding	X		X			X

Members concurred with the approach as proposed, with some cautions about the types of pictures to be used.....

**4. Schedule speakers for known presentations:**

The following presentations are scheduled at the time of this mailing. Some tentative assignments have been proposed--to be confirmed.

Date	Organization	Time	Presentors
9/17	Co. Democratic Comm.	7:30 p.m.	-
9/19/	Business Women's Assoc	6:30	-
9/20	Yarmouth Chamber Comm	8 a.m.	Steve Johnson
9/20	Co. Bar Assoc.	8 a.m.	Cush Anthony Wade Sanders
9/27	Salvation Army	12:45	Linda Johnson Wade Sanders
10/6	Portland Rotary	11:45a.m.	-
10/11	Portland Chamber Comm	noon	Paul Eggert Wade Sanders
10/26	Lions, South Portland	6 p.m.	Linda Johnson Gary Plummer

**THE SUBCOMMITTEE WILL MEET AT 3:30 P.M.**

**Tuesday, September 12 at County Commrs. Office**

**REMINDER...press conference, 4:00 p.m. 9/11**

# County of Cumberland

RICHARD D. HEWES  
CHAIRMAN  
GARY E. PLUMMER  
JOSEPH R. MAZZIOTTI  
ELVIRA S. RIDLON  
COUNTY CLERK  
BRIAN S. MORRISON  
PERSONNEL DIRECTOR



142 FEDERAL STREET  
PORTLAND, ME 04101-4196  
207-871-8380

County Commissioners

- SAMPLE -

Sharon B. Benoit  
South Portland, Maine

September 8, 1989

Dear Councilor Benoit:

On Monday, September 11, my fellow county commissioners Gary Plummer, Joseph Mazziotti and I will formally place a county-wide jail referendum on the November 7 ballot. We are pleased to join with Sheriff Joyce and our dedicated Jail Committee to present a comprehensive solution to our pressing jail problems.

As an elected official, we ask for your assistance in explaining the jail proposal to your constituents. There are several ways that you can help:

1. Invite us to make a presentation to you and to the public at one of your upcoming meetings before November 7;
2. Display material that we will provide in your building so that the public may view proposed plans; and
3. Display fliers that we will provide so that citizens may take them home.

Our Jail Committee has planned an active public information initiative for the coming weeks, with the hope that all voters will be fully informed on this issue on November 7. They have organized teams of volunteers and county officials to make public presentations throughout the county. It would be very helpful if you would schedule such a presentation for an upcoming meeting--preferably as the first item on the agenda; if you could also publicize the event and encourage attendance it will be appreciated.

To arrange for a presentation, please notify Elvira Ridlon, County Clerk, of the date and time as soon as possible; she will handle all logistics. Jail Committee members will be contacting your clerk to arrange for the display and distribution of materials, which will be coordinated with the date of the presentation.

We sincerely hope that you will assist us to fully inform your constituents on this vital issue. We also hope that you will decide to support this proposal after you learn the facts.

Sincerely,

Richard D. Hewes, Chairman  
Cumberland County Commissioners





# CUMBERLAND COUNTY JAIL COMMITTEE

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

C

L. Daniel Boisot, Chairman  
telephone 207/879-4000

Cushman Anthony  
Edward M. Bonney  
Brad Buck  
Richard N. Bryant  
A. L. Carlisle  
Donnell Carroll  
Michael Chitwood  
Paul Coleman  
James Conley  
Gary C. Cooper  
Lyle B. Cramer  
G. William Diamond  
John Dovinsky  
E. Paul Eggert  
John Flaherty  
Joan Gauche  
Edward Googins  
Hamilton Grant  
Nancy Grayson  
Virginia Hildreth  
Alan Hybers  
Russ Immarigeon  
Linda B. Johnson  
Stephen Johnson  
William Jordan  
Stephen Parker  
Peter Manning  
Paul McCarthy  
William McLaughlin  
Pierre Shevenell  
Barbara Strout

SENT 8/28

**U.S. DEPARTMENT OF JUSTICE TO HOST "FIRST EVER"  
JAIL INDUSTRIES WORKSHOP IN PORTLAND 8/31/89**

For more information, contact: Rod Miller, 685-9090.

The Portland Regency Hotel will be the site of an intensive one-day "Jail Industries Workshop" on Thursday, August 31. The session will begin at 9:00 a.m. and will adjourn at 3:30 p.m.

The National Institute of Justice (NIJ), the research division of the U.S. Department of Justice, is hosting the workshop which is primarily offered to county officials in Maine and New Hampshire. Most of the 26 counties in the region are expected to be represented by commissioners, sheriffs and jail personnel and volunteers.

In addition to the Maine and New Hampshire participants, selected officials from Vermont, Massachusetts, Ohio, North Carolina, New York, South Carolina and Washington State have also been invited as participants. NIJ will pay the travel expenses and provide meals for all participants through its "Professional Conference Series" program.

The workshop is the first time that a federal agency has sponsored an event that focuses on jail industries. NIJ has assembled a distinguished team of experts to staff the seminar, and managers of pioneering jail industries from six states will serve as resource persons.

The workshop will provide interested county officials with an opportunity to learn new techniques for developing and operating jail industries. Excerpts from soon-to-be published NIJ resource documents will be distributed to participants, and authors will provide instruction.

The workshop is being held in Portland because of the strong interest that has been displayed by counties in Maine and New Hampshire. Two New Hampshire counties (Strafford and Belknap) have pioneered with their "private sector" programs in small jails. Maine counties have approved over \$40 million for jail construction/improvement in the past ten years; all new jail projects have included space provisions for jail industries. Cumberland County, which will ask voters to approve \$25 million for a new jail on November 7, has made a strong commitment to the industries concept throughout its planning process.

The workshop is also unique because it brings together officials from many key federal agencies and professional organizations, including: National Institute of Justice, National Institute of Corrections, Bureau of Justice Assistance, American Correctional Association, Correctional Industries Association, National Association of Counties. All of these groups will be represented at the workshop.

Media representatives are encouraged to attend the workshop. Materials will be provided on-site.

## Maine/Local

# Officials consider industry at jails

By PATRICIA McCARTHY  
Staff Writer

Letting inmates work at real jobs within the confines of a jail — either for wages or days off their sentences — can keep them out of trouble and help counties recoup the cost of housing them.

And it's not as difficult to arrange for on-site jobs as many people think, said corrections and community officials from around the country who took part in a conference Thursday in Portland.

That was encouraging news to local government and jail officials at the conference, who say they intend to get some kind of industry started in the near future at the Cumberland County Jail.

"By keeping inmates busy, they're not thinking of ways to beat the system," said County Commissioner Gary Plummer.

At Maine's county jails, unconvicted inmates can stay up to nine months before their trials, and convicted people can be held for 1½ years after sentencing before being moved to a state prison, jail officials said.

"We're having to ask, 'Now that we've got them for so long, what do we do with them?'" said Plummer, noting that jail jobs could help inmates prepare for life outside, as well as keeping them busy.

There are no industries yet at the Cumberland County jail. Some sentenced inmates work at jail janitorial and maintenance jobs or outside the premises on supervised community service projects, such as park and cemetery clean-ups.

Inmates don't get paid wages for these jobs. But there is an incentive: Inmates get one day

**'By keeping inmates busy, they're not thinking of ways to beat the system.'**

**— Gary Plummer,  
county commissioner**

erased from their sentence for every two days worked.

Based on results he's seen through these programs — better morale and behavior — Sgt. George Panenka said he believed an industry within the Cumberland County Jail might work.

He was convinced after visiting programs in Belknap and Strafford counties in New Hampshire.

For four years in Belknap County, for example, inmates have earned money by assembling crutches for a nearby firm, said Walter Newcomb, Belknap County Corrections Department superintendent.

With their earnings, inmates must pay room and board and fines they owe, which relieves the county of some financial burden.

"Inmates are climbing over each other to get into the program," Newcomb said, adding he hopes to expand it soon. "It's excellent. It keeps them busy. They develop good work habits, they pay Social Security, pay income tax. And they feel better. And the county benefits by

charging room and board."

Panenka said he would like to see some type of small industry begin soon at the Cumberland County Jail so that groundwork will be in place for a full-scale operation if voters approve a new jail in November.

Thursday's conference, sponsored by the U.S. Department of Justice, also was beneficial for making contacts with people who could offer advice about operating a local jail industry once it gets under way, Panenka said.

Participants also discussed ways to overcome obstacles to such programs.

One common hurdle, they said, is having enough space for an industry because of already crowded conditions.

"But there are some things you can do in areas no bigger than a closet," said Robert J. Gorski, director of the Philadelphia Prisons System. "Engraving, for instance. Start simply. You don't have to employ 500 people right off."

Other participants in counties with jail industry programs said they had to prove themselves before county commissioners provided money for more space.

Plus, they said, start-up costs can be minimal if a jail enters a partnership with a business willing to provide machinery and/or capital, such as Belknap County's Newcomb.

South Portland City Councilor Linda B. Johnson, a member of the Cumberland County Jail Planning Committee, said her group plans to include space for an industry in architectural plans for the proposed new jail.

But specifics, such as whether the operation would be assembling simple products for a local firm or a more complicated manufacturing process — haven't been discussed in detail yet, she said.



# CUMBERLAND COUNTY JAIL COMMITTEE

E

c/o Cumberland County Commissioners  
142 Federal Street  
Portland, Maine 04101

• SENT 9/6  
• Reminder Sent 9/8

- L. Daniel Boisot, Chairman
- telephone 207/879-4000
- Cushman Anthony
- Edward M. Bonney
- Brad Buck
- Richard N. Bryant
- A. L. Carlisle
- Donnell Carroll
- Michael Chitwood
- Paul Coleman
- James Conley
- Gary C. Cooper
- Lyle B. Cramer
- G. William Diamond
- John Dovinsky
- E. Paul Eggert
- John Flaherty
- Joan Gauche
- Edward Googins
- Hamilton Grant
- Nancy Grayson
- Virginia Hildreth
- Alan Hybers
- Russ Immarigeon
- Linda B. Johnson
- Stephen Johnson
- William Jordan
- Stephen Parker
- Peter Manning
- Paul McCarthy
- William McLaughlin
- Pierre Shevenell
- Barbara Strout

## Media Notice

### CUMBERLAND COUNTY COMMISSIONERS TO SET DATE FOR JAIL BOND REFERENDUM AND INTRODUCE NEW JAIL ADMINISTRATOR

Please Plan to Attend.....

Contact.....Rod Miller, 685-9090

At 4:00 p.m., Monday, September 11, the Cumberland County Commissioners will hold a brief press conference in the Probate Courtroom, Cumberland County Courthouse.

Chairman Richard Hewes will call the meeting to order and will accept a motion establishing the date and wording for a county-wide jail construction referendum. Voters will be asked to determine if \$25 million will be authorized to construct a new jail.

Mr. Hewes will introduce members of the Jail Committee, who have worked on the jail project for nearly two years, including Chairman Dan Boisot.

Sheriff Martin Joyce will introduce the county's new Jail Administrator, Wade J. Sanders. This will be Sanders first public appearance in his new position, and he will be available for interviews immediately following the press conference.

A media packet will include pertinent information about Mr. Sanders and about the proposed new jail.

Also, please mark your calendar for another press conference, September 25, at which the specific plans for the proposed new jail will be unveiled.

TO:

JIM ROBBINS

PPW

FROM:

SARAH HOPKINS  
PLANNING

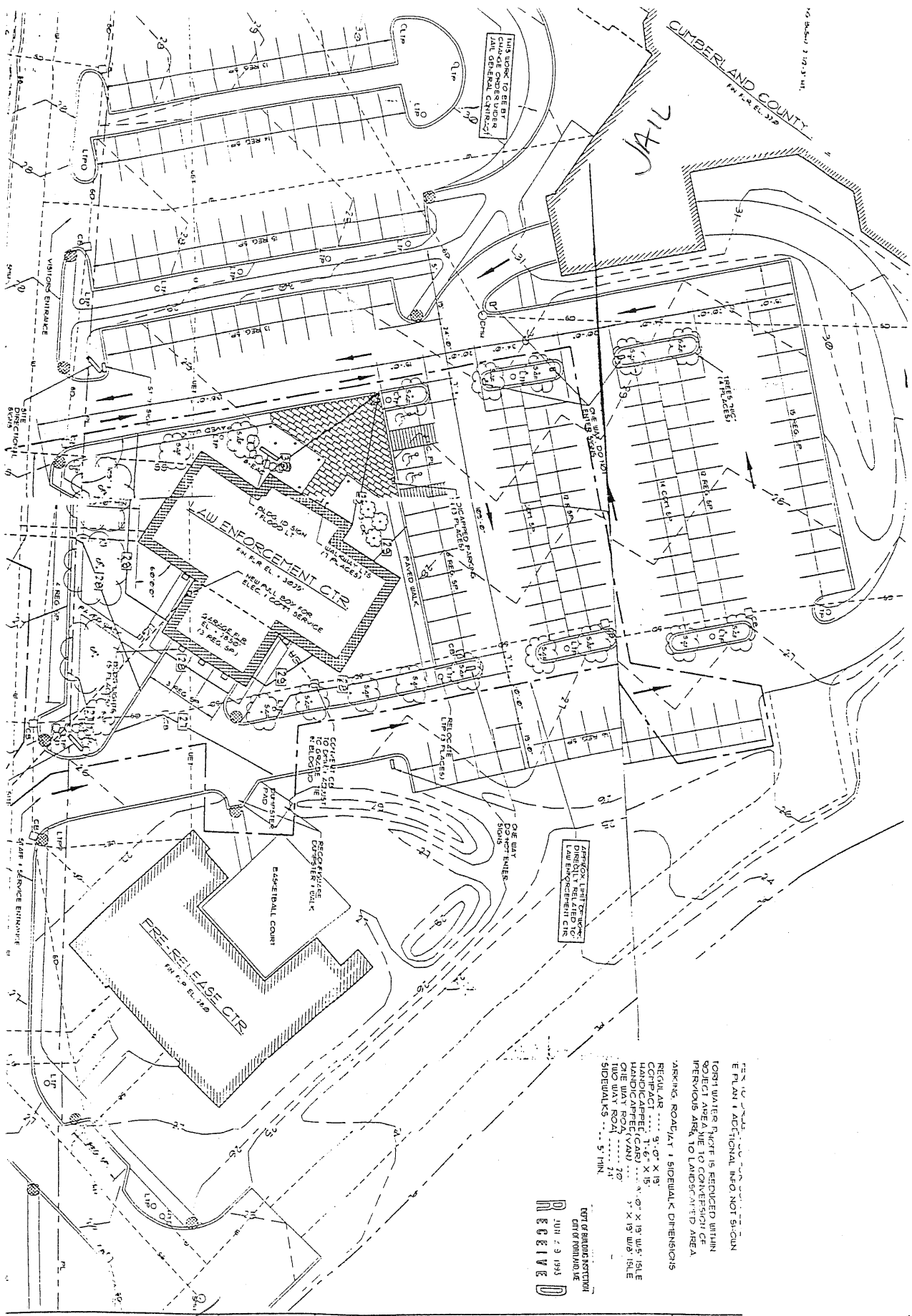
Jim -

Give me a call if you  
have any questions.

- Sarah

NEW BUILDING

ST  
6712836269



CUMBERLAND COUNTY  
JAIL

FOR THE...  
E PLAN & ADDITIONAL INFO NOT SHOWN  
TOGETHER WITH... IS REQUESTED WITHIN  
PROJECT AREA... TO CONVERSION OF  
PREVIOUS AREA TO LANDSCAPED AREA  
PARKING, ROADWAY & SIDEWALK DIMENSIONS  
REGULAR CAR... 9'-0" X 15'  
COMPACT CAR... 7'-6" X 15'  
HANDICAPPED CAR... 11'-0" X 19'-0" ISLE  
ONE WAY ROAD... 12' X 19' W/S ISLE  
TWO WAY ROAD... 12' X 19' W/S ISLE  
SIDEWALKS... 5' THIN

NOT A REPRODUCTION  
JUL 23 1985  
RECEIVED

Name: SITE PLAN

Key | Description | Date | Project Name: JAIL GENERAL CENTER

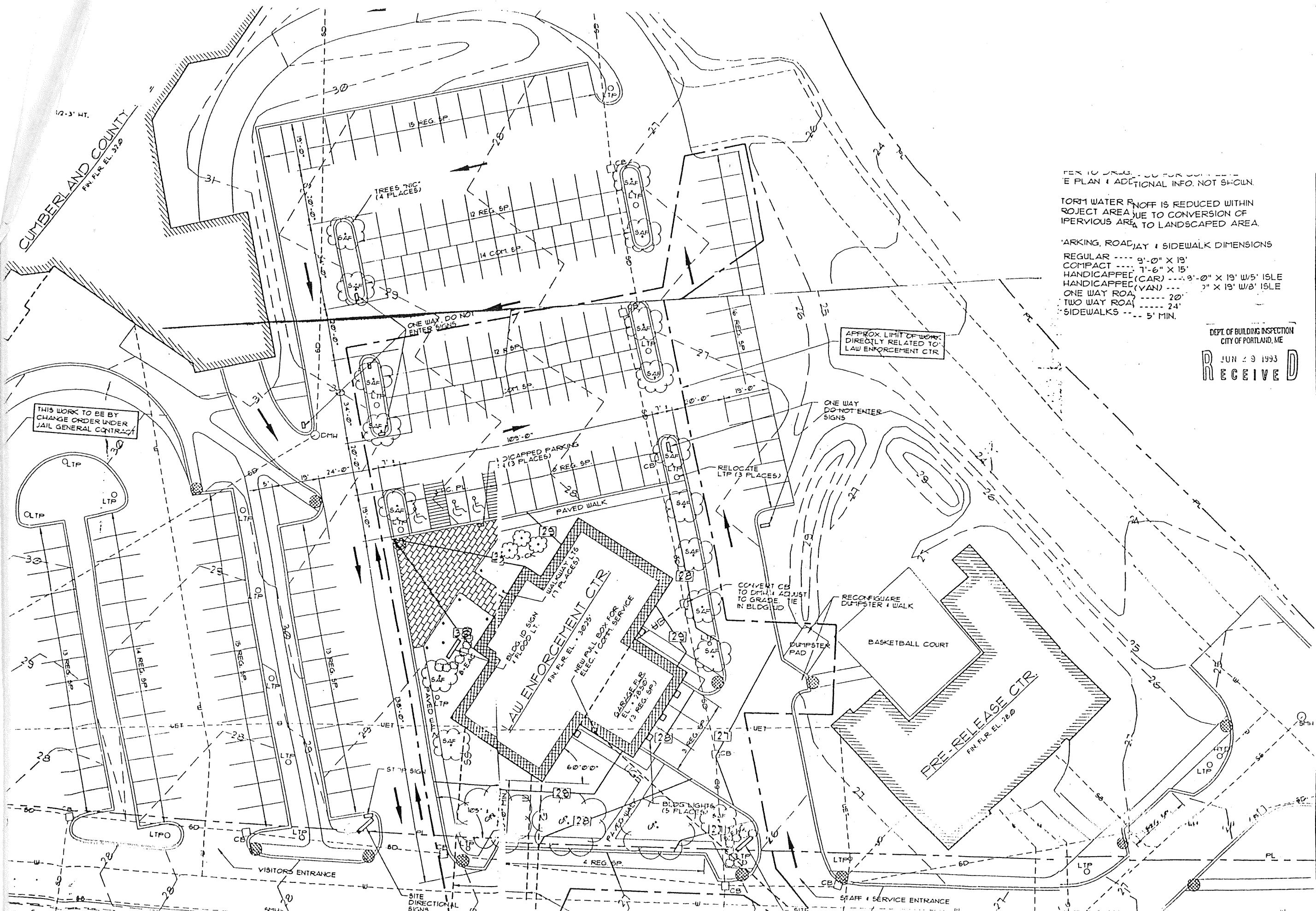
Date: 7/23/85

Job No: 6712836269

STATE OF MARYLAND  
PROFESSIONAL ENGINEER

STEWART  
Architect





PER TO DRAW...  
E PLAN & ADDITIONAL INFO. NOT SHOWN.

TORN WATER RUNOFF IS REDUCED WITHIN  
PROJECT AREA DUE TO CONVERSION OF  
IMPERVIOUS AREA TO LANDSCAPED AREA.

PARKING, ROADWAY & SIDEWALK DIMENSIONS  
REGULAR ..... 9'-0" X 19'  
COMPACT ..... 7'-6" X 15'  
HANDICAPPED (CAR) ..... 9'-0" X 19' W/5' ISLE  
HANDICAPPED (VAN) ..... 12' X 19' W/8' ISLE  
ONE WAY ROAD ..... 20'  
TWO WAY ROAD ..... 24'  
SIDEWALKS ..... 5' MIN.

DEPT. OF BUILDING INSPECTION  
CITY OF PORTLAND, ME

**R** JUN 29 1993 **D**  
**RECEIVED**

STEVEN  
ARCHITECT



PROJECT NAME:  
**LAW ENFORCEMENT CENTER  
AT CUMBERLAND COUNTY JAIL**

Job No.: 88066-7

Rev.	Description	Date

NAME:  
**SITE PLAN**

Date & Scale: **1/2" = 1'-0"**

**PLANNING BOARD REPORT #6-91**

**CUMBERLAND COUNTY JAIL  
SITE PLAN, SHORELAND ZONE REVIEW  
CUMBERLAND COUNTY COMMISSIONERS, APPLICANT**

Submitted to:

Portland Planning Board  
Portland, Maine

May 28, 1991

part

**I. Introduction**

The Cumberland County Commissioners are requesting site plan review of the proposed county jail and pre-release center to be built on Ogdensburg Street, in the Guilford Transportation Park. The site is 15.8 acres and zoned I-2 Industrial.

The jail and pre-release center will be located on a parcel within the area of what was previously approved as the Guilford Transportation Park. The industrial subdivision was never recorded, therefore this site plan is to be reviewed independently of the previously approved subdivision.

**II. Summary of Findings**

Zoning	I-2 Industrial
Land Area	15.8 Acres
Footprints	
Jail	104,000 sq. ft.
Pre-Release Center	4,500 sq. ft.
Total Square Footage; Cells	
Jail	140,000; 336 cells
Pre-Release Center	9,000; 44 cells
Parking	227 20 req'd.
Building Height	
Jail	One & Two Stories; 22 ft. Average Height
Pre-Release Center	Two Stories; 22 ft.
Land Uses	Commercial, Industrial, Residential, Recreational

26? →

**III. Staff Review**

The proposal has been reviewed for compliance with the I-2, Shoreland, and Site Plan Ordinance of the Land Use Code. The plan has been reviewed by the Building, Traffic, Fire, Public Works, and Planning Departments. The comments of these departments are contained in this report.

SITE PLAN REVIEW

**1. PARKING, CIRCULATION, AND PEDESTRIAN ACCESS**

Vehicular ccess to the site is from Congress Street, via Ogdensburg Street. An interior road will connect the jail to the pre-release center and parking area for visitors and staff. Police cars dropping off prisoners will enter into a separate "sally port" area through a controlled entrance. The plan also includes an emergency lane which connects the jail to Frederick Street. A plan of the access lane is included as Attachment 4. An abutter, Mr. Romonow, has submitted a letter (see Attachment 20) suggesting an alternate emergency access connection to Frederick Street. This option would entail the purchase of additional Guilford land--land which has not been made available to the applicant.

The entire Guilford parcel includes 67 acres. Future development within the parcel will be accessible via Ogdensburg Street.

The applicant has met with representatives from the Planning Department and groups interested in providing public access along the Fore River, including Friends of the Parks and Portland Trails. The applicant has expressed interest in working with these groups to provide a pathway to provide a valuable link along the Fore River between Thompson's Point and the Western Promenade. There are two obstacles in creating the link: the jail is located some distance away from the Fore River; and the area along the river is owned by Guilford Transportation and not controlled by the County. One proposal for a path leads from Thompson's Point, underneath the I-295 overpass, across the railroad tracks and along the emergency access lane, up to Frederick Street. A pedestrian can then walk along Congress Street, to St. John Street and south to the Western Promenade. Other options were discussed as well which traverse the Guilford property.

The Board may recall a pedestrian easement proposed by Guilford Industries, included in the original subdivision proposal. This pedestrian access was located along the river in a location southwest of the jail. This subdivision was never recorded and therefore, the approved access does not exist.

The applicant has submitted a traffic study, an excerpt of which was included in the April 30, 1991 workshop packet. (Please bring the workshop packet to the public hearing). The recommendations as made by the applicant's traffic consultant are as follows:

- That the intersection of Ogdensburg Street with Congress Street be reconstructed to provide improved definition and guidance to the motorist. The recommended design treatment includes a slightly raised (mountable) textured concrete "apron" with appropriate pavement markings and signs. The intersection is to be STOP controlled and designed to accommodate large trucks.
- Advance warning signing should be installed on the approaches to the intersection. Specifically, a "RR Crossing" Warning sign should be placed on the Ogdensburg Street approach to Congress Street. Information guide signs should be placed on the Congress Street approach well in advance of the intersection to inform motorists unfamiliar to the area of the jail site.
- Of the three options identified, it is recommended that for secondary emergency access a controlled connection to Frederick Street be implemented. It must be under controlled access and meet the requirements of the fire and police departments.
- The project proponent should encourage employees to use alternative modes of travel to and from work. Some actions that can be taken to encourage this is to publicize the availability of public transit to employees and visitors. Consideration for moving the existing Metro bus stop one block east to just past Huntress Street for both more convenience to potential users and more distance between the I-295 off-ramp and the stop. Appropriate bus stop signs should also be installed to identify the stop to potential users. A sidewalk should be provided along Ogdensburg Street to the site drive.

- To improve safety and efficiency of traffic flow through the St. John Street intersection with Park Avenue, the traffic signal controller should be upgraded and replaced with a fully actuated controller with detector loops regardless of the proposed project. Ideally, this signal should be coordinated with the signal at Congress Street and St. John Street which will require a compatible controller at that location as well. In addition, improvements to the signing on the St. John Street approach, such as electronic overhead signing to indicate lane use should be considered by the City. Other recommendations for this intersection include modifying the pavement markings for the double left turn movement from the St. John Street northbound approach and optimizing the signal timing.
- Any new landscaping at the intersection of the Site Drive with Ogdensburg Street as well as Congress Street with Ogdensburg Street should be kept low to the ground and set back so that good visibility can be maintained at the project's site drive. Also, signing for the project should be set back sufficiently so as not to impair motorist visibility.
- A clear line of sight must be maintained between Ogdensburg Street and the rail crossing just to the east of the intersection with Congress Street.

Bill Bray, Traffic Engineer, has reviewed the plans and traffic study. His comments are included as Attachment 19a.

Based on the traffic study, Mr. Bray and the applicants have agreed on the following conditions of approval:

- That the applicant contribute \$30,000 to the City's signalization fund for the traffic controller and signage of the St. John Street and Park Avenue intersection and corridor, prior to issuance of a building permit;
- That the applicant update the jail site plan to include all traffic recommendations, including signage and pavement markings, prior to issuance of a building permit;
- If a result of the Cumberland County Jail construction and operation, there is a demonstrated increase in accidents, along the Congress Street corridor between Frederick Street and St. John Street, according to Warrant 6 of the Manual on Uniform Traffic Control Devices within the first three years from the issuance of the Certificate of Occupancy, then the Portland Planning Board may require the County to contribute up to \$40,000.00 for road improvements at the Ogdensburg Street entrance to Congress Street to alleviate such problems, such improvements needing the approval of the Commissioner of the Maine Department of Transportation.
- That the applicant submit, prior to issuance of a building permit, a signage plan and landscaping plan for the entrance to



the jail. These plans shall be reviewed and approved by the Traffic Engineer and Arborist for site distances.

## 2. BULK, LOCATION, HEIGHT AND UTILITIES

The County Commissioners' proposal consists of a jail and pre-release center. The jail will contain 336 single occupancy cells with a footprint of 104,000 sq. ft. and a total square footage of 140,000. The jail will vary between one and two stories, ranging in height between 16 and 28 ft. with a facade consisting of brick and decorative masonry inserts.

The pre-release center will be visible as one enters the area from Ogdensburg Street. The building will have a footprint of 4,500 sq. ft., 9,000 total, with 44 single occupancy cells. The entrance elevation of the pre-release center contains several windows and a pitched roof with dormers. The pre-release center will visually break-up the bulk of the jail to the observer entering from Ogdensburg Street.

During the review of this project, concerns were raised regarding the visibility of the jail from various locations in the vicinity, namely I-295, the Western Promenade, and the Veterans Memorial Bridge. Because of the proposed location of the jail on the site, in relation to existing stands of trees to be preserved, the jail will hardly be visible from the southwest and northwest locations, namely I-295 and the Veterans Memorial Bridge.

The jail will be visible, however, from the Western Promenade. The building at its widest and deepest-most points measures approximately 575 x 450 ft. The majority of this structure, except for minimal areas buffered by trees, will be visible from the Prom.

Because of the one-two story massing of the building, the roof will be most readily visible. The roof will be flat and covered with light gray stones. The applicant has submitted a roof plan and rooftop appurtenance specifications which are included as Attachments 13 and 14. The plan indicates that the roof will hold:

- 5 Air Handlers measuring 15 x 6 x 6 ft. (AHU)
- 4 Kitchen Air Systems measuring 12 x 4 x 4 ft. (VF)
- 2 Cooling Towers measuring 9 x 10 x 7.5
- 14 Power Roof Ventilators measuring 2.5 x 2 x 2.5 (EF)

The Urban Designer, upon reviewing the plan, has indicated concern regarding the apparent height of some structures, namely the cooling towers and has suggested that the applicant attempt to make the rooftop structures appear integral with the architecture or as special features. Also, the applicant may try to create an interesting pattern for the massive roof by varying roof character or creating patterns with roof stones.

All utilities for the jail and pre-release center will be connected on Congress Street. Water, gas, sanitary sewer, and storm sewer will be routed down Ogdensburg Street with lines extending under the main drive. Utilities will be connected to the jail at the service dock area. Electricity will be connected overhead from an existing power pole in Congress Street.

### 3. LANDSCAPING

A landscaping plan has been submitted which indicates areas to be preserved and a schedule of plantings. The entryway to the complex will be planted with 6 Seedless Ash trees, 6 Red Maples, and a cluster of Hydrangea. The pre-release center will be surrounded with 12 Pin Oaks, 13 Austrian Pines, 6 Rhododendron shrubs, Chinese Lilacs, and 6 Burning Bush shrubs. The parking lots will be buffered with Pin Oaks and Austrian Pines and the islands will include 17 Korean Mountain Ash, 9 Bradford Pears, 11 Greenspire Lindens, 8 Golden Chain Trees and 6 European Mountain Ash. Recesses within the jail structure will be planted with 6 European Beechtrees, a Ruby Red Horsechestnut, and 5 Pin Oaks.

The utility and grading plan includes the location of snow fencing around natural areas to be preserved. The snow fencing, in addition to preservation notes should ensure the protection of existing vegetation which will buffer the jail from various vistas.

### 4. SOILS AND DRAINAGE

Ten wetland areas were located within the proposed jail site. These areas include perennial ponds, marsh areas, shrub swamp, and several streams. The consultant, Woodlot Alternatives, concluded that because of extensive filling and excavation, the site contains none of the original topography, hydrology, or soil development, yet the consultant believes that there have always been wetlands on the site.

The site presently drains in various directions through drainage channels and wetlands. A step embankment along the railroad tracks on the south border of the property serves as a drainage path for run off which finally runs into the Fore River.

Post development drainage will still flow to the boundaries of the site with surface drainage routed through piping to approximately the same drainage courses. The wetlands within the jail perimeter will be filled and stormdrains will be installed in locations similar to the original drainage paths. An excerpt from the Hydrological Study was included in the April 30, 1991 workshop packet.

The applicant proposes to install a bimodal stormwater treatment facility, instead of a stormwater detention area for the increase in runoff at the site. The treatment structure will prevent oil and sediment collected from the parking lots runoff from being washed into the Fore River. Included as Attachment 17 is a narrative and data describing this bimodal treatment facility.

Mr. Stephen Harris, Planning Engineer, has reviewed and approved the plan. His comments are included as Attachment 19b.

#### 5. EXTERIOR LIGHTING

28 Luminaire lights are proposed in the parking lots and along the main drive. Because of the design and type of jail proposed, there will be no security lights around the building. The emergency lane is not proposed to be lit.

The parking lot will be lit with approximately 20 18 ft. high, 175 watt metal halide luminaires. The main pedestrian path will be lit with 8 4 ft. high, 70 watt metal halide bollister-type luminaires. 100 watt lights will be mounted in 30-40 ft. intervals along the building. These lights will be mounted at an 85 angle to direct the light and limit spillover. Lighting cuts are included as Attachment 12.

#### 6. ZONING AMENDMENT

The proposal does not include a zoning amendment.

#### 7. FIRE SAFETY

The Fire Department has determined that there is sufficient area around the buildings and within the emergency access lane to provide access for Fire Department vehicles in the case of an emergency.

#### 8. PRELIMINARY PLAN

Since the last workshop, the applicant has submitted a roof plan with ventilation appurtenance specifications and has made revisions to the grading and utility plans.

#### 9. CITY PROJECTS

The city is currently developing a policy for the combined sewer overflow abatement as required by the Maine Department of Environmental Protection consent decree. This policy will effect the jail in reference to the 5:1 stormwater removal requirement. The city is in possession of "credits" accrued from city funded separation projects. These credits may be allotted to various developments such as the jail.

#### SHORELAND REVIEW

The applicant has included a narrative in response to the shoreland regulations. This statement is included as Attachment 15.

#### Section 14-449

##### 1. Beach construction

No beach construction is proposed.

2. Tree clearance and landscaping

No vegetation within 250 ft. of the high water mark of the Fore River will be disturbed.

3. Erosion and sedimentation control

The applicant has submitted an erosion and sedimentation control plan which incorporates the use of silt fencing, hay bales, rip rap, and temporary seeding where and when appropriate prior to and during construction.

4. Piers, Docks, Wharves, Marinas, etc.

The proposal will have no impact on fisheries and will not project into the water.

5. Road Construction

The emergency access road is located in the shoreland zone. Prior to and during construction of this gravel road, silt fencing and rip rap will be utilized to minimize sedimentation. The road will traverse a wet area of considerable slope where extensive erosion and sedimentation controls are proposed.

6. Structures

The 100 year floor elevation is 14 ft. The proposed finish floor elevation of the jail is 32.0 ft.--18 ft. above the 100 year floor elevation.

7. Water Quality Protection

The proposed bimodal stormwater treatment structure will protect the water quality of run-off entering the Fore River.

8. General Site Plan Features

"The Planning Board, Planning Authority, Public Works Authority, and Fire Department shall approve a preliminary or final site plan unless it makes one (1) or more of the following written findings with respect to a development within a shoreland area":

- a. Will result in a violation of the standards set forth in subsections 1-7;
- b. Will result in damage to spawning grounds, fish, aquatic life, bird and other wildlife habitat;
- c. Will not conserve visual points of access to waters as viewed from public facilities;
- d. Will not conserve actual points of public access to waters;
- e. Will not conserve natural beauty.

Planning & Urban Development



Joseph E. Gray Jr.  
Director

CITY OF PORTLAND

February 28, 1991

Mr. Richard A. Spencer  
245 Commercial Street  
Portland, ME 04101

Dear Dick:

Attached is a site plan for the proposed Cumberland County Jail off of Congress Street. During our long hike last year from Stroudwater to Commercial Street, we walked through this property as a shortcut to the Western Promenade. Although the actual site plan has been somewhat revised since this concept plan was developed, it does show the opportunity for a trail, perhaps along the far property line to connect into the Union Station office parking lot.

I may not be able to make the next Portland Trails meeting so I thought I would forward this to you in advance. If there is interest in pursuing this, please let me know as soon as possible. We expect that the County will be coming before a Planning Board workshop possibly March 26th with a public hearing at a later date. Obviously the sooner we know there is some interest in this, the sooner we can include this in the planning process.

Please let me know what your ideas are concerning this.

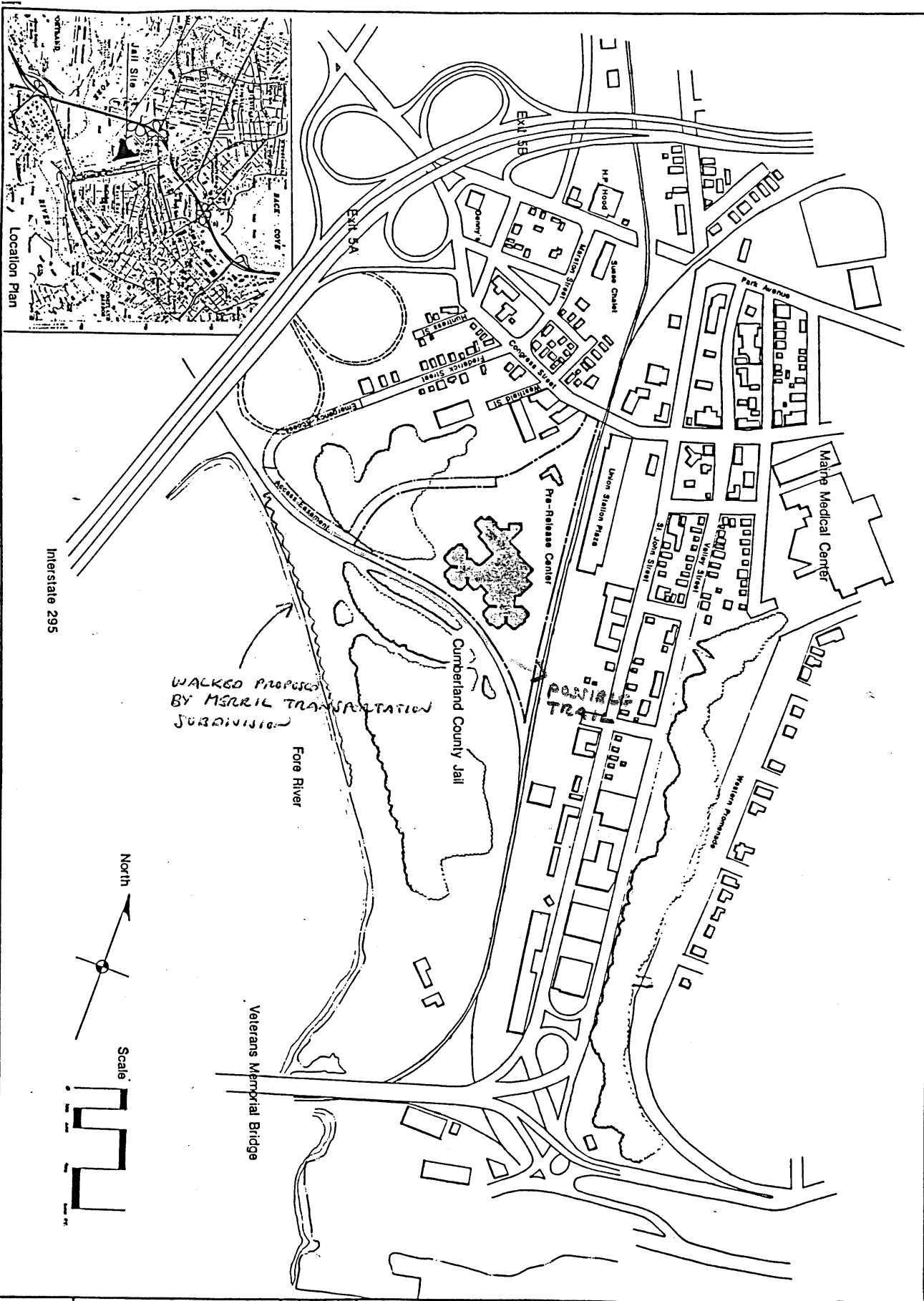
Sincerely,

Richard Knowland  
Senior Planner

cc: Alex Jaegerman, Chief Planner  
Sarah Greene, Senior Planner

Enclosures (2)





Interstate 295

WALKED PROPOSED  
BY MERRIL TRANSPORTATION  
SUBDIVISION

Fore River

Cumberland County Jail

Veterans Memorial Bridge



Scale



Revised:	By:	Drawn By:	Checked By:

Vicinity Plan

Date	Description	By	Project Number

Cumberland County Jail  
Portland, Maine

Job No.

STEVENS MORTON ROSE & THOMPSON  
Architects  
100 State Street, Portland, ME 04101  
Tel: 603-876-1100







STATE OF MAINE  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
STATE HOUSE STATION 17                      AUGUSTA, MAINE 04333

*Rick Pye*      *town*

RECEIVED

APR 0 1 1991

DEPARTMENT ORDER

IN THE MATTER OF

PORTLAND PLANNING OFFICE

MERRILL INDUSTRIES, INC.	) SITE LOCATION OF DEVELOPMENT
Portland, Maine	)
FORE RIVER BULK CARGO TERMINAL	) AMENDMENT
L-6592-26-H-A (APPROVAL)	) FINDINGS OF FACT AND ORDER

Pursuant to the provision of Title 38 M.R.S.A. Section 481 et seq., the Department of Environmental Protection has considered the application of MERRILL INDUSTRIES, INC. with its supportive data, staff summary, agency review comments, and other related materials on file and finds the following facts:

1. PROJECT DESCRIPTION:

A. History of Project: In Board Order #03/44-6592-05170, dated February 11, 1981, the Board approved the development of the Fore River Bulk Cargo Terminal. Various other additions and revisions to the Fore River Bulk Cargo Terminal since that time have been considered in 14 different Department and/or Board Orders.

In Department Order #L-14033-39-A-N, dated March 10, 1988, the Department approved the development of the Fore River Transportation Park-Phase I. The 7 lot commercial subdivision is located on a 78.8 acre parcel of land along the easterly shore of the Fore River in Portland, from U.S. Route One to Interstate 295. In Department Order #L-014032-39-B-M, dated February 9, 1989, the Department issued a modification acknowledging that lot 5 of the project was being used by Merrill Industries for bulk storage. The Department also found that this use constituted an unapproved expansion of Merrill's Fore River Bulk Cargo Terminal.

Department Order #L-014032-39-B-M also modified Special Conditions 3, 8 and 9 of Department Order #L-14033-39-A-N. Condition 3 was modified to prohibit commencement of development of the subdivision prior to submittal of an after-the-fact application for approval of the cargo terminal expansion and to prohibit construction on Lot 5 until after-the-fact approval for the expansion was obtained.

This application originally proposed the handling of shredded rubber tires. The applicant has revised the application to eliminate the proposed handling of scrap tires.

MERRILL INDUSTRIES, INC.

Portland, Maine

FORE RIVER BULK CARGO TERMINAL

L-6592-26-H-A (APPROVAL)

2 SITE LOCATION OF DEVELOPMENT

)

) AMENDMENT

) FINDINGS OF FACT AND ORDER

B. Summary: The applicant has applied for after-the-fact approval for storage of bulk materials and equipment on a portion of lot 5 of the Fore River Transportation Park (Department Order #L-14033-39-A-N). This use constitutes an expansion of the Fore River Bulk Cargo Terminal (Board Order #03/44-6592-05170, dated February 11, 1981). The applicant is also proposing to install an air supported cover that will cover 30,000 square feet. Approximately 1 acre of grading will be required as a base for this cover.

The total area of lot 5 to be used is 7.5 acres. 6 acres will be open storage. Office and warehouse facilities existed on the site prior to the applicant's use of the site. The area of lot 5 included in this approval, and all facilities are shown on one plan entitled "Proposed Site Plan, Merrill Industries Inc., Bulk Storage Facilities Improvements" drawn by T. Y. Lin International/Hunter-Ballew Associates, dated February 14, 1989, and last revised May 8, 1989. Material handled and stored at this site will be the same as those approved for the cargo terminal with the exception of scrap metal, no scrap metal is to be stored or handled on this site.

C. Current Use of Site: The existing facilities on the site include a 3800 square foot wood structure used for office space and a 6800 square foot metal and wood structure used as a warehouse and distribution facility. The site contains internal roadways, gravel areas, a one acre paved apron and a parking lot for office personnel.

2. FINANCIAL CAPACITY:

The financial capacity of the applicant to develop the transportation park was approved in Department Order #L-14033-39-A-N. The total cost of this project is considerably less than the transportation park and was included in the transportation park estimate.

3. TECHNICAL ABILITY:

The applicant has extensive experience in constructing and operating bulk cargo storage and distribution facilities. The applicant has also retained the services of T. Y. Lin International/Hunter-Ballew Associates, a professional engineering firm, to assist in the design and engineering of the project.

4. SOLID WASTE:

The existing uses generate 20 cubic yards of general office solid waste per year. No increase in solid waste generation is anticipated. All general solid wastes from the proposed project will be disposed of at Regional Waste Systems (RWS). RWS is currently in substantial compliance with the solid waste regulations of the State of Maine.

The proposed project will not generate stumps, grubblings or construction or demolition debris.

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5. WATER SUPPLY:

The existing project uses 200 gallons per day of water. Water is supplied by the Portland Water District. No increase in water usage is anticipated.

6. TRAFFIC MOVEMENT/ROADWAYS:

The proposed project is accessed via Ogdensburg Street. Ogdensburg Street is a paved, 2 lane road with 12 foot wide travel surface and 2 shoulders of 3 foot width.

The interior road will be paved with a 20 foot wide travel surface and 2 shoulders of 3 foot width. The road is approximately 2500 feet long.

No increase in traffic above existing levels is anticipated as a result of this approval.

7. NATURAL DRAINAGE WAYS:

The project site abuts the Fore River, no streams exist in the project area. The site is fairly flat gradually sloping to the Fore River. No significant changes in drainage pattern are proposed.

8. STORMWATER RUNOFF:

The applicant has submitted an analysis of stormwater based on estimates of the pre-development and post-development runoff flows for the 2, 10, and 25 year storms using the methodology outlined in "Urban Hydrology for Small Watersheds", Technical Release #55, U.S.D.A., Soil Conservation Service. No increase in stormwater is anticipated as a result of this project.

9. EROSION AND SEDIMENTATION CONTROL:

The applicant has submitted an Erosion and Sedimentation Control Plan as exhibit 20 of the application. This plan and plan sheets containing erosion control details have been reviewed by, and revised in response to the comments of the Bureau of Land Quality Control's Technical Services Unit which has found the revised plans to be in accordance with Departmental standards for erosion and sediment control.

10. SURFACE WATER QUALITY:

The proposed project is not within the watershed of a lake or great pond. No discharges to surface waters are proposed.



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11. GROUNDWATER QUALITY:

The project site is not located over a sand and gravel aquifer or a fractured bedrock aquifer. The project does not propose any withdrawal from groundwater.

Sewage will be disposed of by an existing subsurface wastewater disposal system. No problems with the operation of this septic system have been identified. No increase in wastewater flows are proposed.

12. BUFFER STRIPS:

No disturbance of natural vegetation is proposed within 100 feet of any surface water on the site.

13. HISTORIC SITES AND UNUSUAL NATURAL AREAS:

The project site has been reviewed by the Maine Historic Preservation Commission which has found that the proposed project will have no effect upon any structure or site of historic, architectural, or archaeological significance as defined by the National Historic Preservation Act of 1966.

There is no record of any known rare or unusual features on the property. This is based on a review of the Maine Natural Heritage Program data base.

14. SCENIC CHARACTER:

No unreasonable adverse impact on the scenic character of the area has been identified.

15. WILDLIFE AND FISHERIES:

The proposed project has been reviewed by the Maine Department of Inland Fisheries and Wildlife (IF&W). In its comments IF&W stated that they found no records of any known deer wintering areas, mapped wetlands, or other special wildlife habitats associated with this site. No fisheries concerns were identified.

16. SOILS:

The applicant has submitted a high intensity soil survey of the project site and a summary of soils limitations prepared by a certified soils scientist. This summary indicates that the soils on the site present no limitations to the proposed project which cannot be overcome through standard engineering practices.

17. WASTEWATER DISPOSAL:

Sewage will be disposed of by an individual subsurface wastewater disposal system. No problems with the functioning of this system have been identified.

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18. OPEN SPACE:

No unreasonable adverse impacts on open space have been identified.

19. FLOODING:

The proposed project is not located within the 100 year floodway of any river or stream and is not anticipated to cause or increase flooding or cause an unreasonable flood hazard to any structure.

20. MAINTENANCE OF COMMON FACILITIES:

No common facilities are proposed.

21. NOISE:

No scrap metal will be handled at this site. The noise impact of this project is considerably less than that of the other portions of the existing Bulk Cargo Terminal and is further from protected locations than the Cargo Terminal.

BASED on the above findings of fact, the Department makes the following conclusions pursuant to 38 M.R.S.A. Section 481 et seq.:

A. The applicant has provided adequate evidence of financial capacity and technical ability to develop the project in a manner consistent with state environmental standards.

B. The applicant has made adequate provision for traffic movement of all types into, out of or within the development area. Any traffic increase attributable to the proposed development will not result in unreasonable congestion or unsafe conditions on a road in the vicinity of the proposed development.

C. The applicant has made adequate provision for fitting the development harmoniously into the existing natural environment and the development will not adversely affect existing uses, scenic character, air quality, water quality or other natural resources in Portland or in neighboring municipalities.

D. The proposed development will be built on soil types which are suitable to the nature of the undertaking and will not cause unreasonable erosion of soil or sediment nor inhibit the natural transfer of soil.

E. The proposed development will not pose an unreasonable risk that a discharge to a significant groundwater aquifer will occur.

F. The applicant has made adequate provision of utilities, including water supplies, sewerage facilities and solid waste disposal, roadways and open space required for the development and the development will not have an unreasonable adverse effect on the existing or proposed utilities, roadways and open space in Portland or the area served by those services or open space.

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G. The activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties nor create an unreasonable flood hazard to any structure.

THEREFORE, the Department APPROVES WITH THE ATTACHED CONDITIONS the application of MERRILL INDUSTRIES, INC. to expand the FORE RIVER BULK CARGO TERMINAL in Portland, Maine, in accordance with the following conditions:

1. The Standard Conditions of Approval, a copy of which is attached.
2. In addition to any specific erosion control measures described in Finding 9 of this order, the applicant shall take all necessary actions to ensure that its activities or those of its agents do not result in noticeable erosion of soils on the site during the construction and operation of the project covered by this approval.

DONE AND DATED AT AUGUSTA, MAINE, THIS 18<sup>th</sup> DAY OF March 1991.

DEPARTMENT OF ENVIRONMENTAL PROTECTION

BY: Dean C. Marriott  
DEAN C. MARRIOTT, COMMISSIONER

PLEASE NOTE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

Date Of Initial Receipt of Application March 1, 1989

Date Of Application Acceptance January 31, 1991

Date filed with Board of Environmental Protection

MH:MERRILDO

