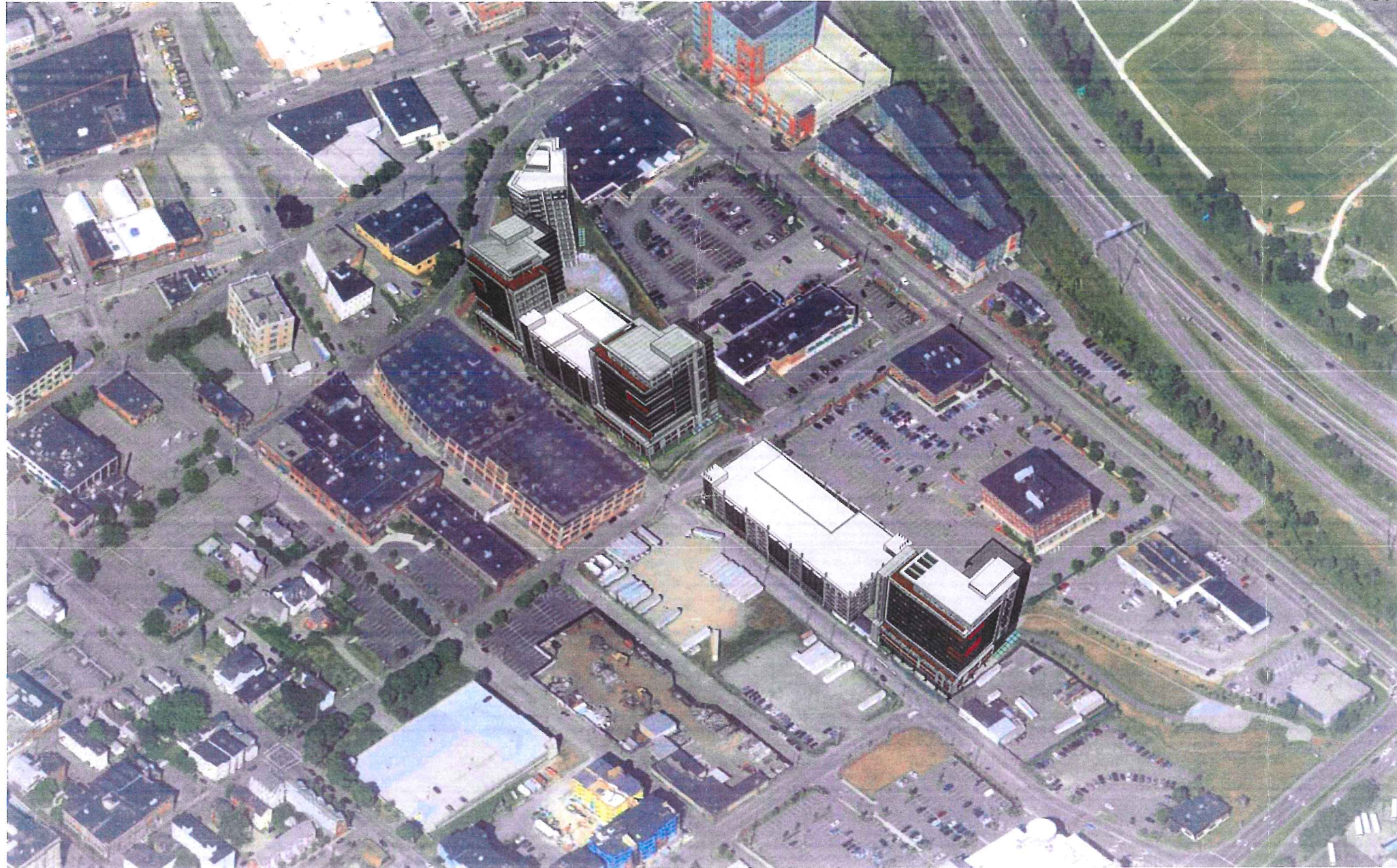


73-A-1

175 Fore River Parkway

Mercy Hospital

already on spreadsheet
add to file on G: Drive



midtown

Portland, ME

aerial view 1

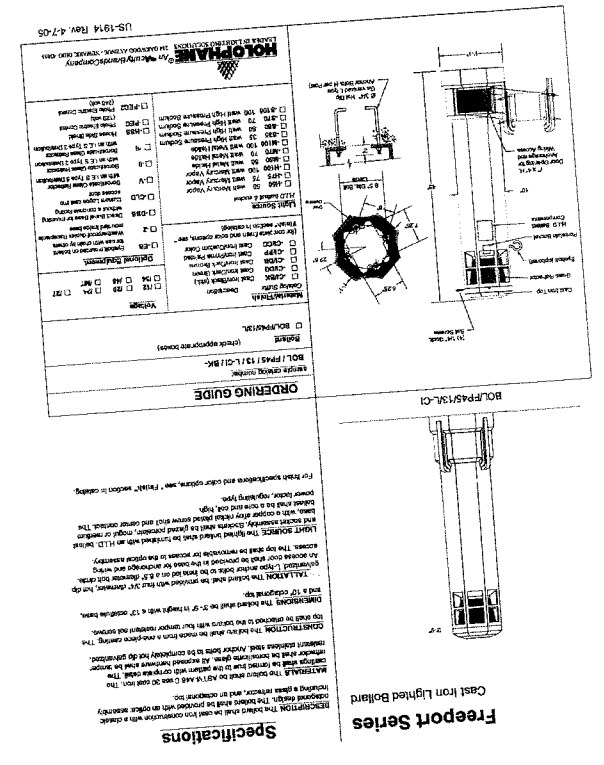
cbt



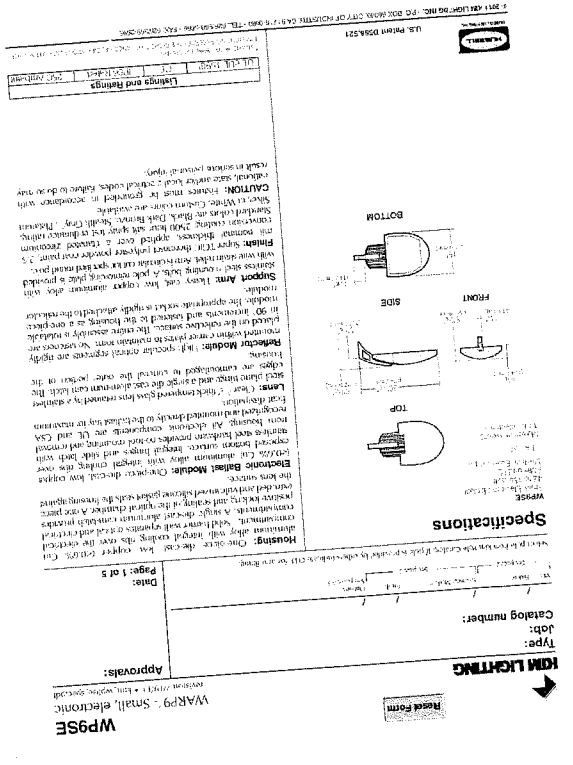
PROJECT	midtown PORTLAND, MAINE
SHEET TITLE	LIGHTING DETAILS
CLIENT	FEDERATED COMPANIES
DATE	9-17-2013
REV	DESCRIPTION
1	Per City Staff Review Comments
REVISIONS	
FILE NAME	L2.2
CHECKED	RM JOB NO.
DESIGNED	MKR/M SCALE: N.T.S.
DRAWN	MK DATE: May 23, 2013

NOT FOR CONSTRUCTION

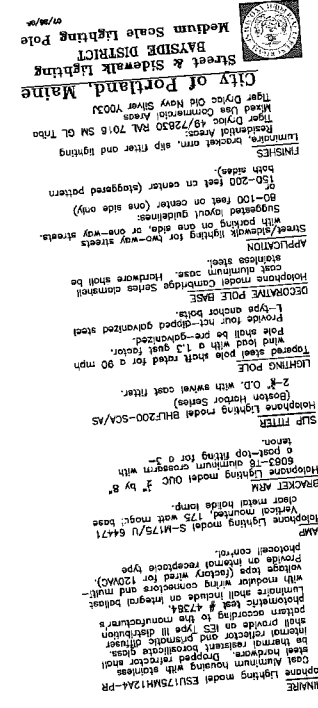
4 BOLLARD LIGHT (AT GARAGE ENTRANCE)
1/2" NOT TO SCALE



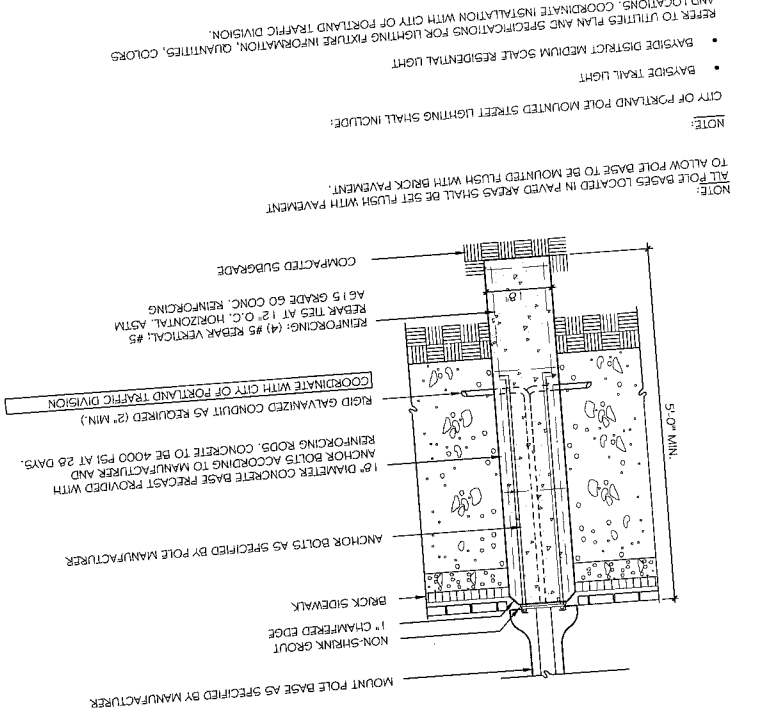
3 BAYSIDE TRAIL LIGHTING
1/2" NOT TO SCALE



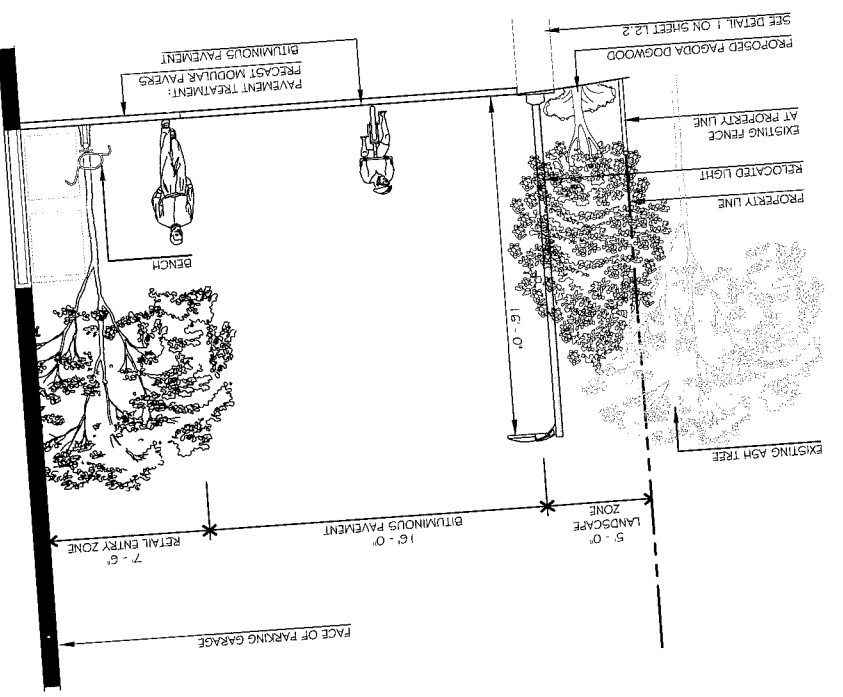
2 STREET LIGHTING
1/2" NOT TO SCALE



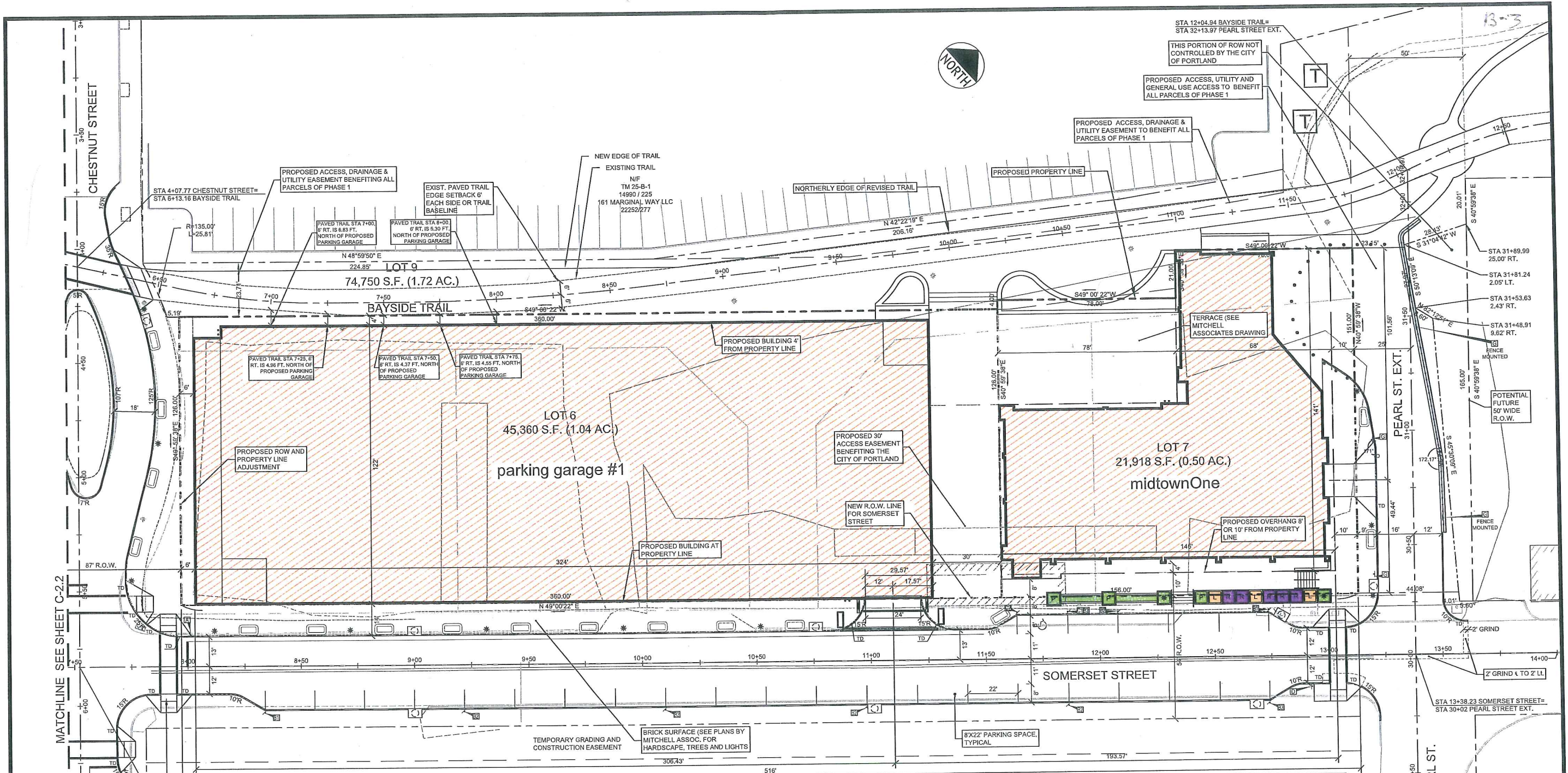
1 LIGHT POLE BASE
1/2" NOT TO SCALE



5 BAYSIDE TRAIL: TYPICAL CROSS SECTION
SCALE: 1/4" = 1'-0"



15162133 Submittal - Rev. 08/12/13 10:00 AM



MATCHLINE SEE SHEET C-2.2

NOTE:
THE LOCATION FOR A METRO BUS STOP ALONG SOMERSET STREET IS UNDER REVIEW. RESOLUTION IS ANTICIPATED PRIOR TO COMPLETING LEVEL III SITE PLANS

REFERENCE NOTES:

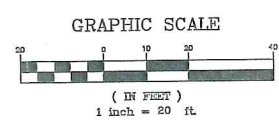
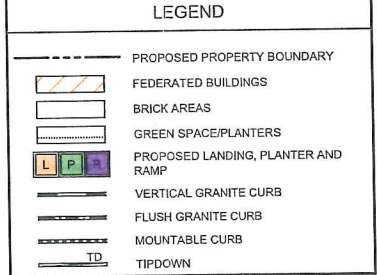
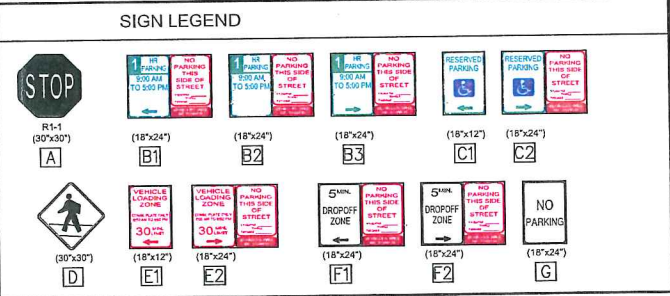
- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST, CHESTNUT ST, SOMERSET ST, AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

- AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE
- THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
- THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1, LOT 2 AND 9 REMAIN THE CITY OF PORTLAND LOTS.

NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS (LATEST REVISION).
- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES ON THE FEDERATED LOTS WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.



REV	DATE	DESCRIPTION
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND

PROFESSIONAL ENGINEER
STATE OF MAINE
WILLIAM G. HOFFMAN
LIC. #4105

PROJECT: **midtown**
PORTLAND, MAINE

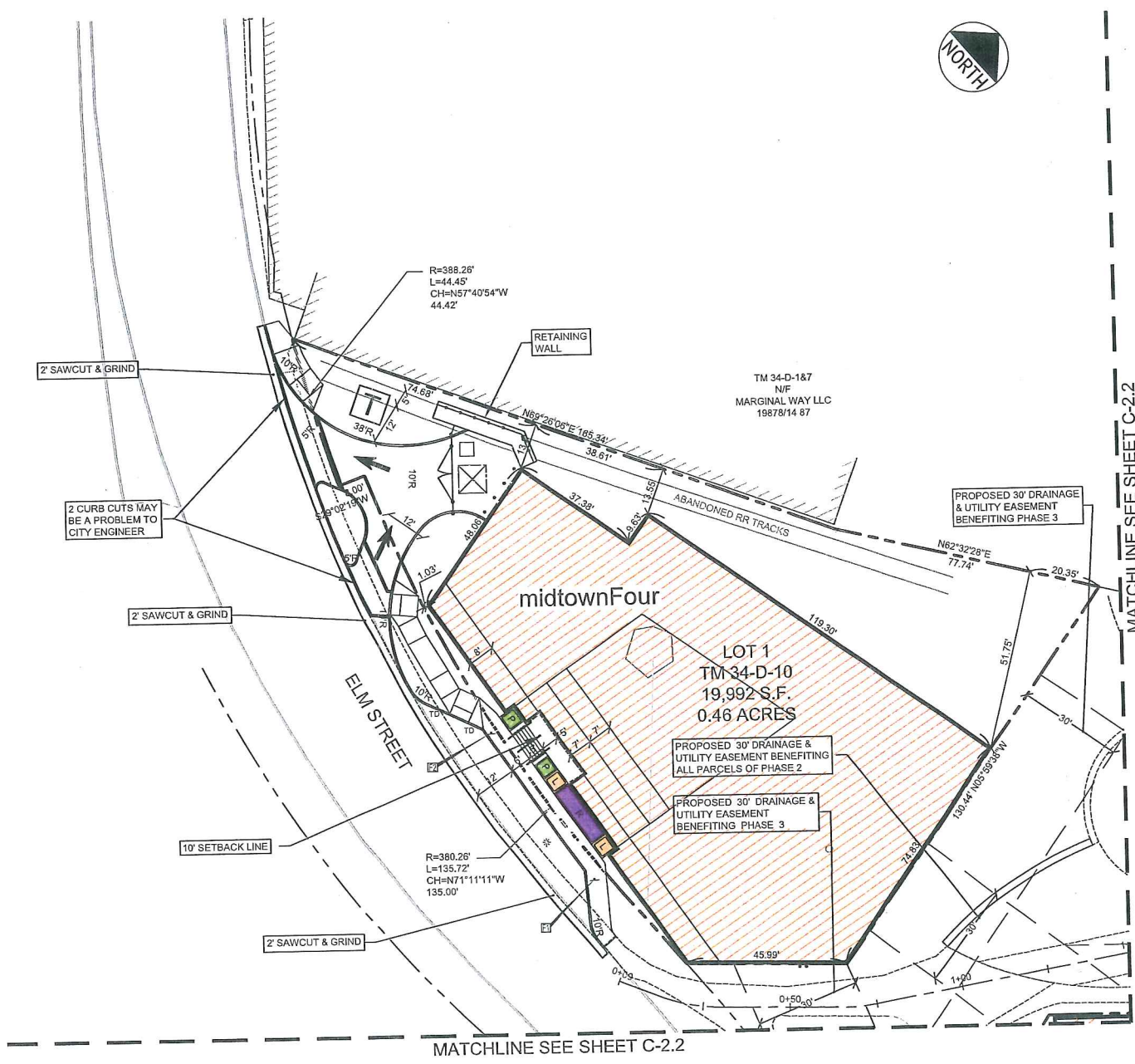
SHEET TITLE: **SITE LAYOUT PLAN - PHASE 1**

CLIENT: **THE FEDERATED COMPANIES**

DESIGNED: WGH SCALE: 1" = 20'
CHECKED: WGH JOB NO. 3062
FILE NAME: 3062-SITE
DRAWN: KEW DATE: NOV. 2012
SHEET: **C-2.1**

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 6
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

PRELIMINARY - NOT FOR CONSTRUCTION



REFERENCE NOTES:

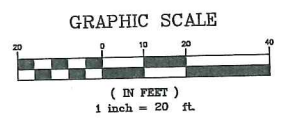
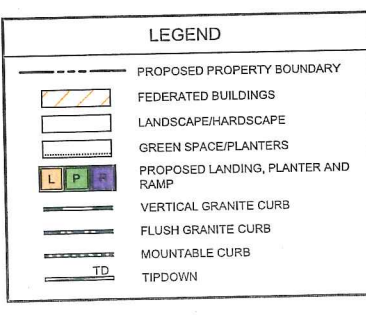
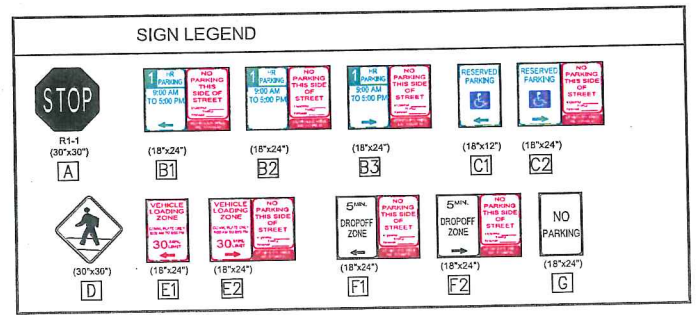
- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST., CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

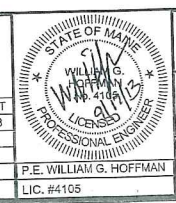
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- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
- THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.

NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.

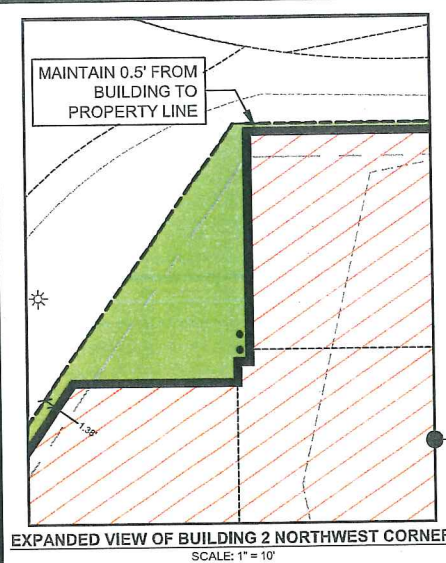


REV	DATE	DESCRIPTION
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON WICITY STAFF 08.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND



PROJECT	midtown PORTLAND, MAINE	CLIENT	THE FEDERATED COMPANIES
SHEET TITLE	SITE LAYOUT PLAN - PHASE 3		
DESIGNED BY	WGH	DATE	NOV. 2012
CHECKED BY	WGH	SCALE	1" = 20'
FILE NAME	3062-SITE	JOB NO.	3062
SHEET	C-2.3		

PRELIMINARY - NOT FOR CONSTRUCTION



PHASE 2 LOT AREA 1.46 ACRES
PHASE 2 BUILDING ENVELOPE 57,542 S.F., 1.32 ACRES

OPEN SPACE AREAS:

A. COURTYARD:	3,121 S.F.
B. 0.5' STRIP ALONG REAR	216 S.F.
C. 2.24' STRIP ALONG ELM ST.:	366 S.F.
D. 10' STRIP ALONG SOMERSET ST.:	4,298 S.F.
E. 6' STRIP ALONG CHESTNUT STREET:	840 S.F.
F. TRIANGLE REAR CORNER MIDTOWN:	392 S.F.
TOTAL OPEN SPACE AREA:	9,233 S.F.
% OPEN SPACE FOR PHASE 2	14.52 %
CUMULATIVE % OPEN SPACE (PHASE 1 AND PHASE 2)	16.70%

559 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

LOT 4
43,146 S.F. (0.99 AC.)

LOT 2
10,054 S.F. (0.40 AC.)
midtownThree

parking garage #2

LOT 3
25,760 S.F. (0.59 AC.)

midtownTwo
LOT 5
18,200 S.F. (0.42 AC.)

SIDEWALK CAFE ZONE @ 2% GRADE APPROX. 13' WIDE

MAINTAIN 0.5' FROM BUILDING TO PROPERTY LINE

GRADING AND UTILITY EASEMENT

UTILITY EASEMENT

ELM STREET

SOMERSET STREET

CHESTNUT ST.

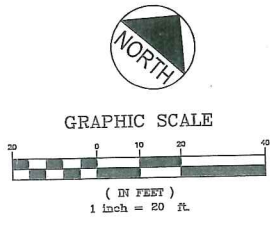
SOMERSET STREET R.O.W. BEING INCREASED IN WIDTH FROM 50' TO 54'

450 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

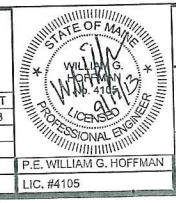
LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP

PRELIMINARY - NOT FOR CONSTRUCTION



REV	DATE	DESCRIPTION	REVISIONS
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET	
3	07.08.13	REVISIONS AGREED UPON WICITY STAFF 06.12.13	
2	05.23.13	LEVEL III SUBMISSION	
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	



PROJECT
midtown
PORTLAND, MAINE

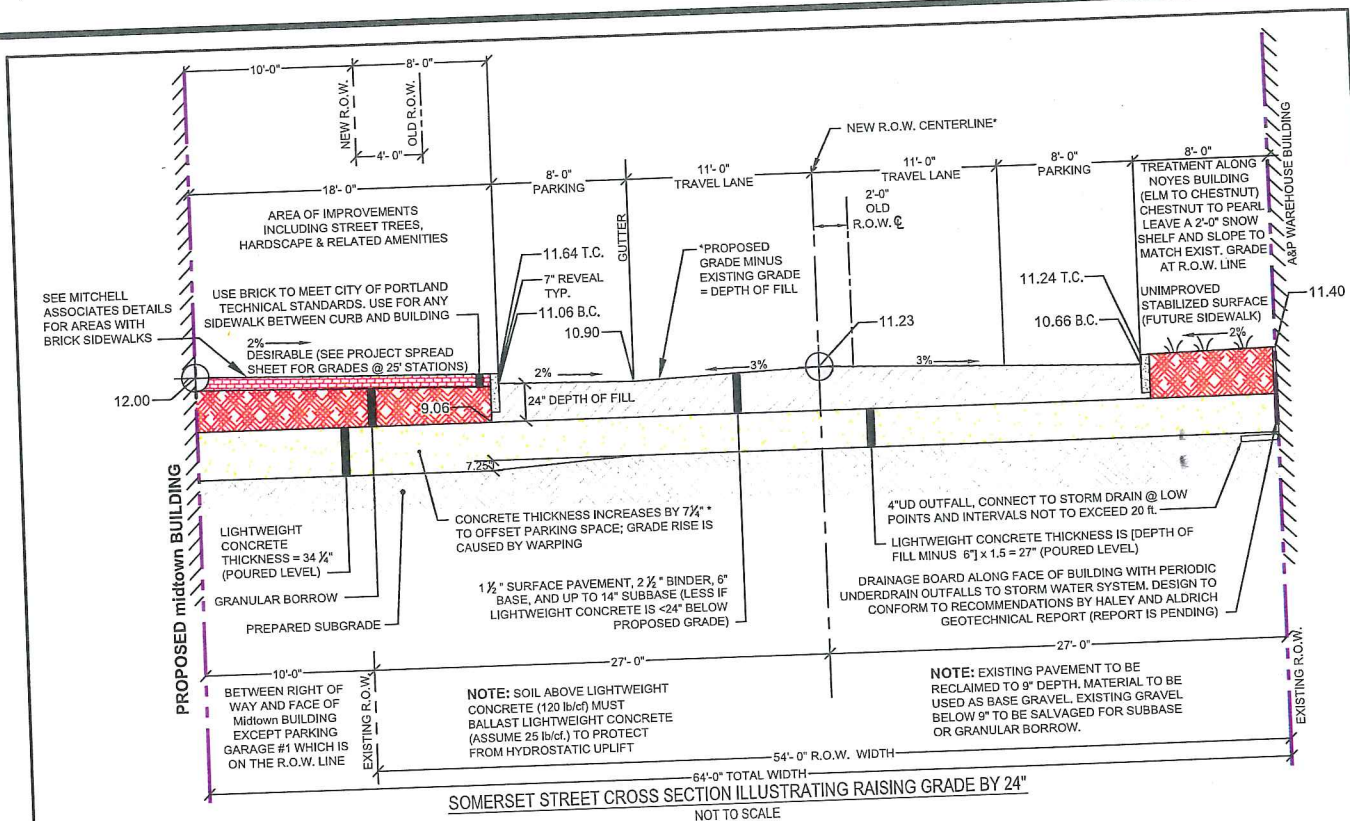
SHEET TITLE
PHASE 2 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

CLIENT
THE FEDERATED COMPANIES

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW | DATE: MARCH 2013
DESIGNED: WGH | SCALE: 1"=20'
CHECKED: WGH | JOB NO. 3062
FILE NAME: 3062-Base
SHEET C-2.5

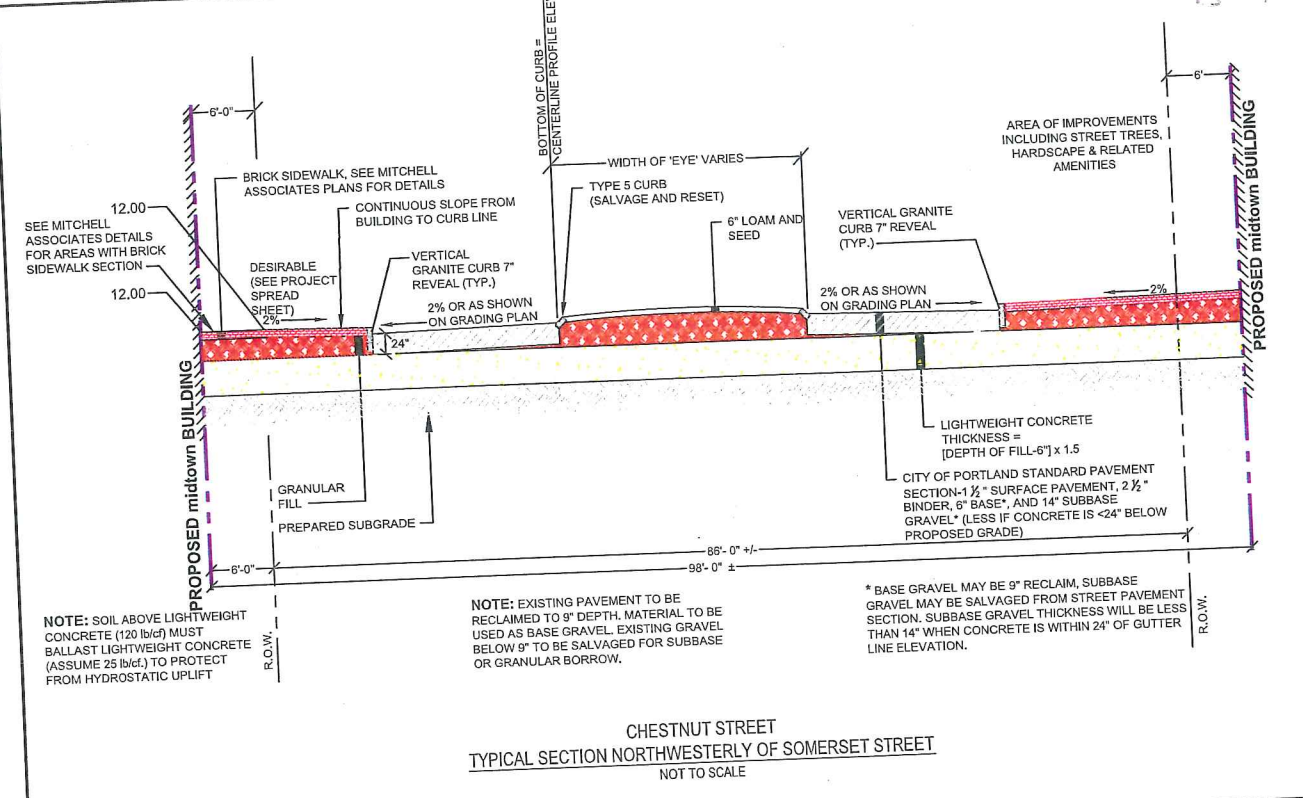
R:\3052\Cadd\Plan\Rev\3062-Base.dwg autorun_01/17/2013 2:14 PM



09.17.13 UPDATED FOR 54'-0" R.O.W. WIDTH
REVISED TO ALLOW 6" OF FILL BEFORE LIGHT WEIGHT CONCRETE IS REQUIRED PER DISCUSSION OF 03.13.13 WITH WAYNE CHADBORNE OF HALEY & ALDRICH

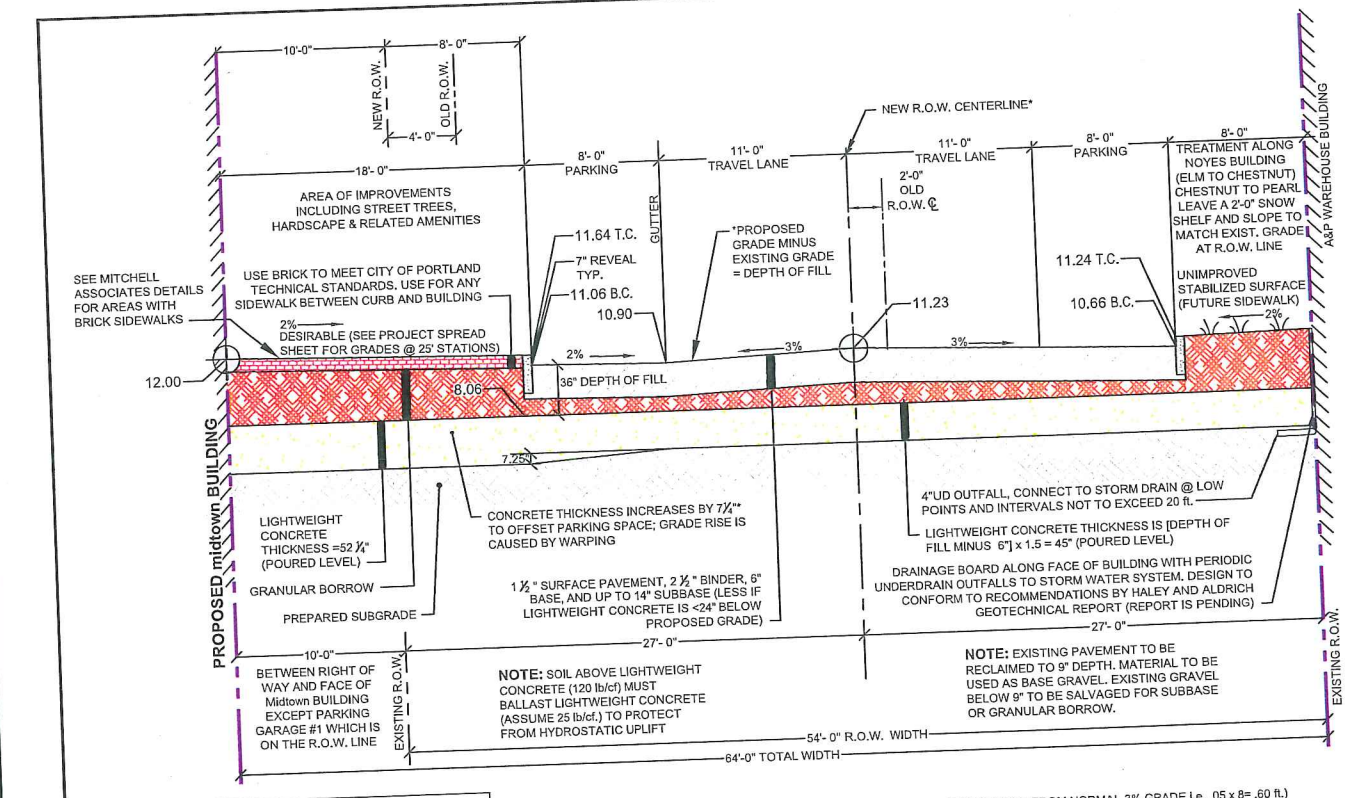
03.26.13

* THE 7/8" IS 1.5 x (THE CHANGE FROM NORMAL 3% GRADE I.E. .05 x 8 = .60 FT.)



09.17.13 REVISED TO REMOVE LANINGNS, RAMPS AND STAIRS. THE CONSTRUCTION BY midtown THIS AREA IS FOR A DRIVEWAY

03.27.13 REVISED TO SHOW LIGHT WEIGHT CONCRETE



09.17.13 REVISED TO REMOVE LANINGNS, RAMPS AND STAIRS. THE CONSTRUCTION BY midtown THIS AREA IS FOR A DRIVEWAY

03.27.13 REVISED TO SHOW LIGHT WEIGHT CONCRETE

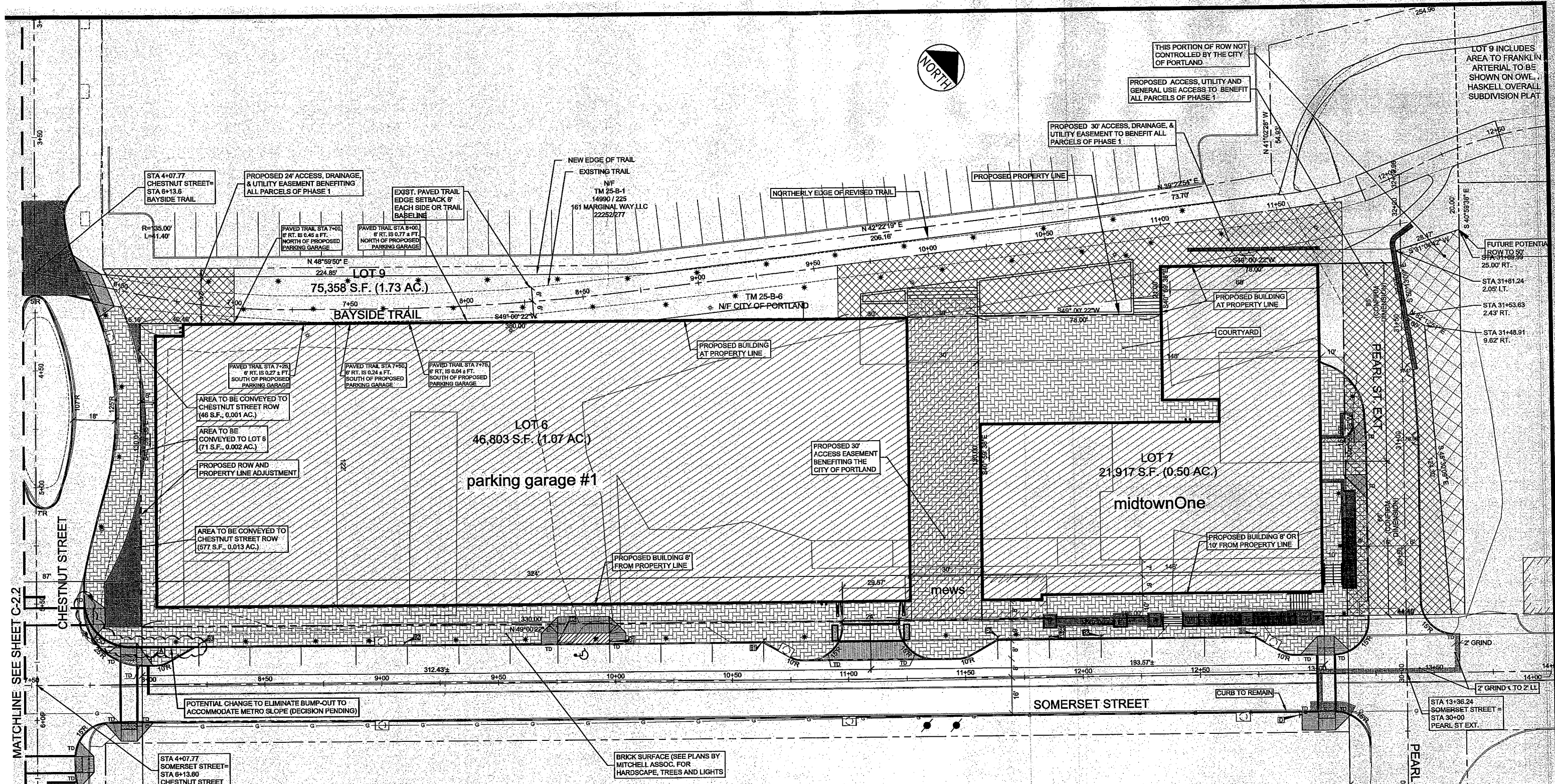
* THE 7/8" IS 1.5 x (THE CHANGE FROM NORMAL 3% GRADE I.E. .05 x 8 = .60 FT.)

NOTE: SECTIONS ARE SUBJECT TO RECEIPT AND FINAL REVIEW OF THE GEOTECHNICAL REPORT FOR THE FEDERATED COMPANIES

PRELIMINARY - NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	DeLUCA-HOFFMAN ASSOCIATES, INC. 773 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM
SHEET TITLE STREET AND DRIVEWAY CROSS SECTIONS		CLIENT THE FEDERATED COMPANIES	DRAWN: LA DATE: MAR 2013 DESIGNED: WGH SCALE: N.T.S. CHECKED: WGH JOB NO.: 3062 FILE NAME: 3062-DET SHEET C-7.0
REV 3 2 1	DATE 09.17.13 05.23.13 05.08.13	DESCRIPTION ADJUSTED SECTIONS TO REVISED R.O.W. WIDTH LEVEL III SUBMISSION SUBMITTED TO CITY OF PORTLAND	P.E. WILLIAM G. HOFFMAN LIC. #4105

Plan 1



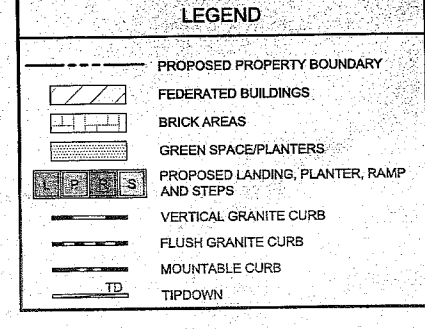
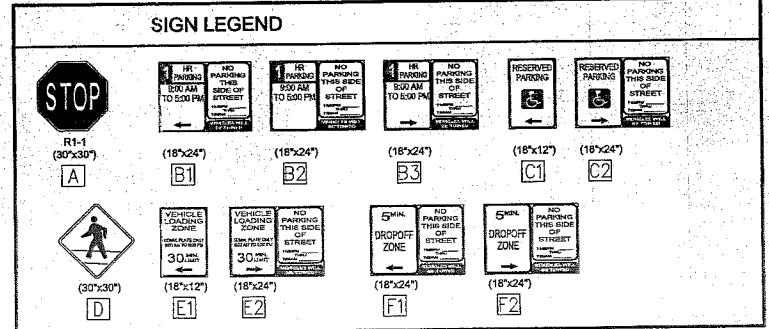
MATCHLINE SEE SHEET C-2.2

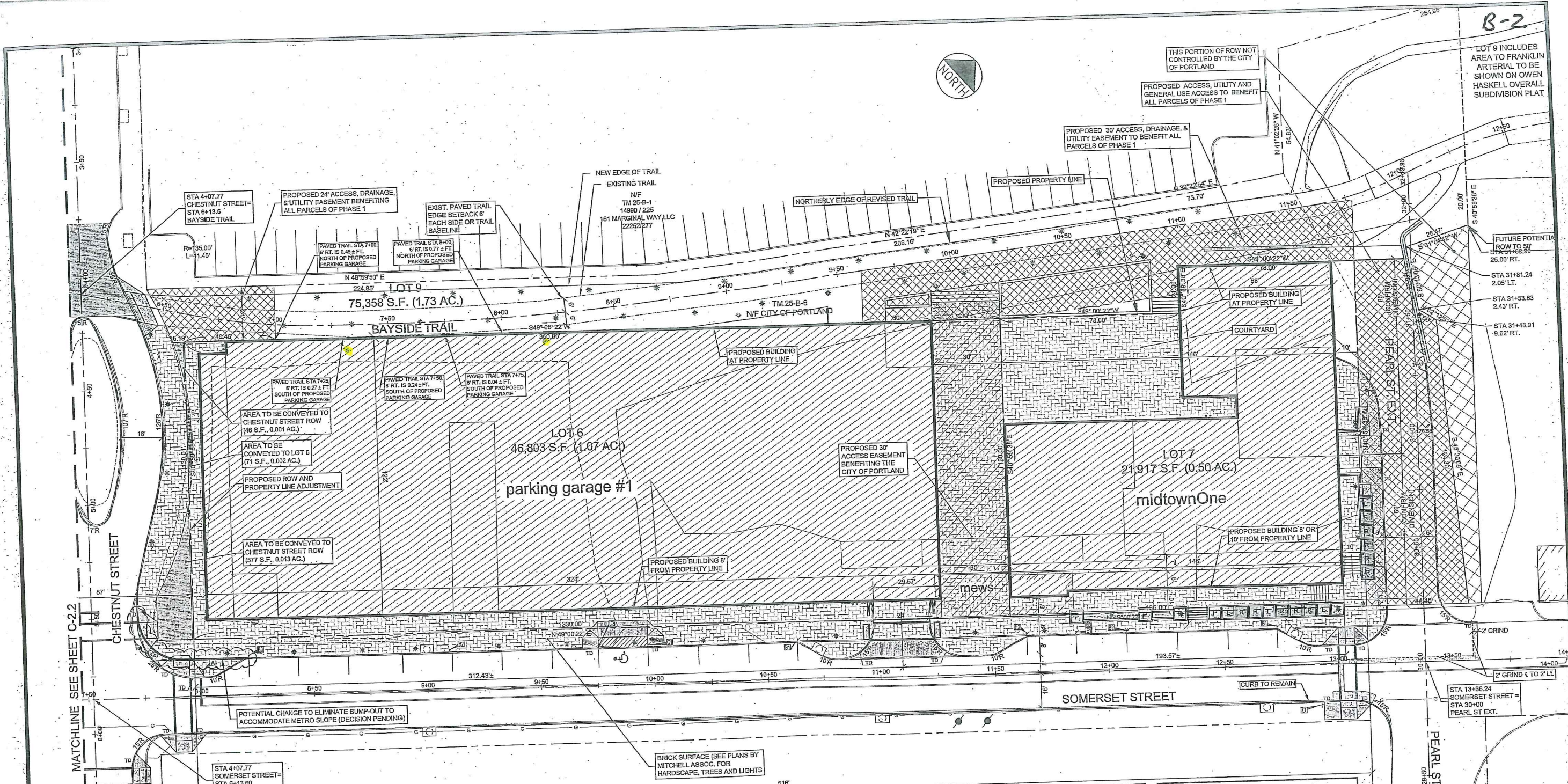
STA 4+07.77
SOMERSET STREET =
STA 6+13.60
CHESTNUT STREET

NOTE:
THE LOCATION FOR A METRO BUS STOP ALONG SOMERSET STREET IS UNDER REVIEW. RESOLUTION IS ANTICIPATED PRIOR TO COMPLETING LEVEL III SITE PLANS

REFERENCE NOTES:
1. EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST., CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND SURVEY PLAN DATED NOVEMBER 2012

- EASEMENT NOTES**
1. AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 2. AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE
 3. THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
 4. THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.
- NOTES TO SURVEYOR AND LAND USE COUNSEL**
1. FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
 2. EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
 3. THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT





MATCHLINE SEE SHEET C-2.2

NOTE:
THE LOCATION FOR A METRO BUS STOP ALONG SOMERSET STREET IS UNDER REVIEW. RESOLUTION IS ANTICIPATED PRIOR TO COMPLETING LEVEL III SITE PLANS.

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EASEMENT NOTES

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NOTES TO SURVEYOR AND LAND USE COUNSEL

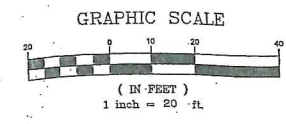
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SIGN LEGEND

R1-1 (30x30)	B1 (18x24)	B2 (18x24)	B3 (18x24)	C1 (18x24)	C2 (18x24)
D (30x30)	E1 (18x24)	E2 (18x24)	F1 (18x24)	F2 (18x24)	

LEGEND

- PROPOSED PROPERTY BOUNDARY
- FEDERATED BUILDINGS
- BRICK AREAS
- GREEN SPACE/PLANTERS
- PROPOSED LANDING, PLANTER, RAMP AND STEPS
- VERTICAL GRANITE CURB
- FLUSH GRANITE CURB
- MOUNTABLE CURB
- TIPDOWN



REV	DATE	DESCRIPTION
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND
		REVISIONS

PROJECT: midtown
PORTLAND, MAINE

SHEET TITLE: SITE LAYOUT PLAN - PHASE 1

CLIENT: THE FEDERATED COMPANIES

P.E. WILLIAM G. HOFFMAN
LIC. #4105

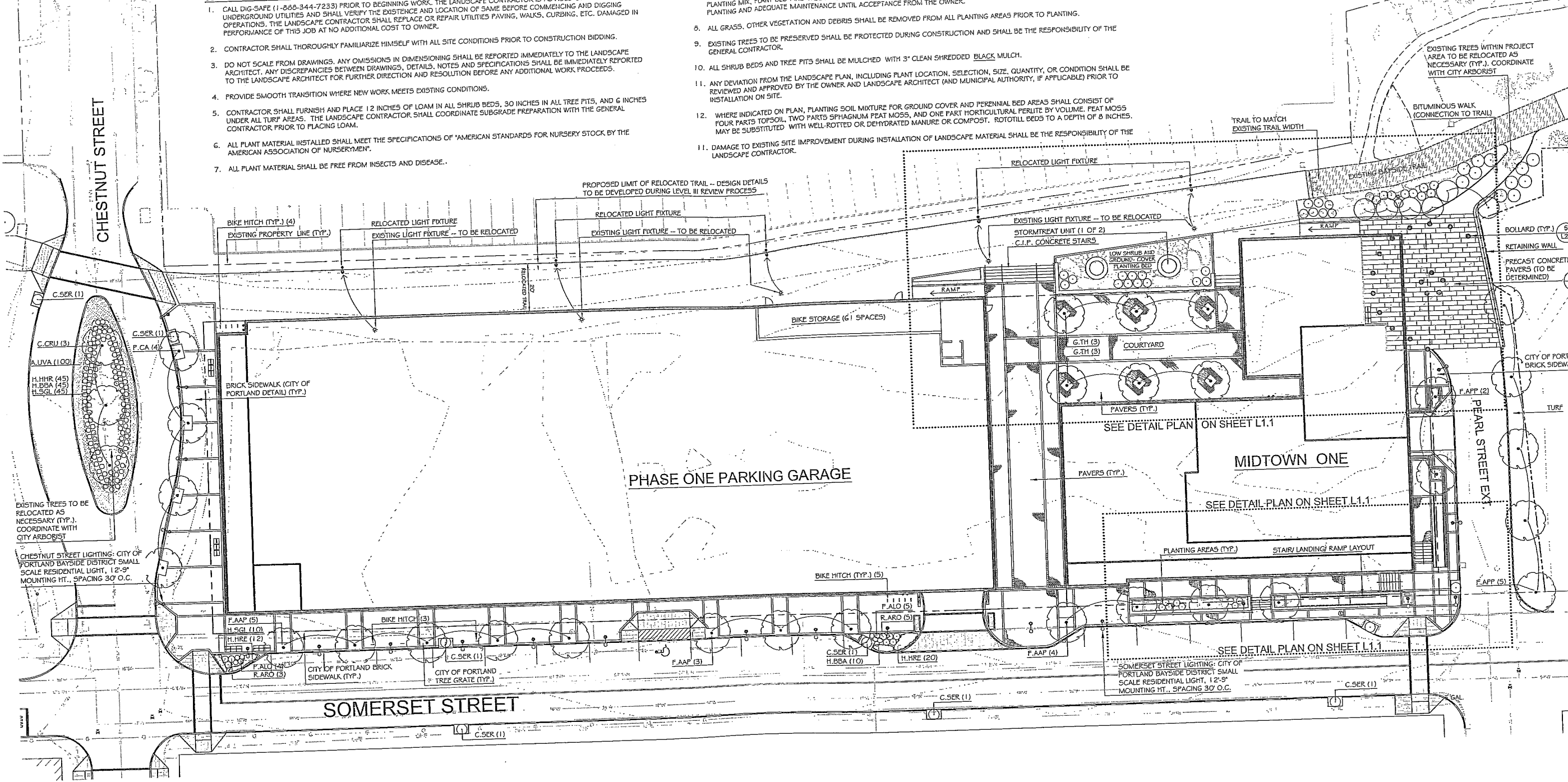
DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 6
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW DATE: NOV. 2012
DESIGNED: WGH LCH SCALE: 1" = 20'
CHECKED: WGH JOB NO. 3062
FILE NAME: 3062-SITE
SHEET: C-2.1

PRELIMINARY - NOT FOR CONSTRUCTION

GENERAL PLANTING NOTES

1. CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING ANY DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
 2. CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
 3. DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
 4. PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
 5. CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
 6. ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 7. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
7. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
 8. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
 9. EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 10. ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
 11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
 12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
 11. DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.



LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]	BRICK PAVERS	[Symbol]	[Symbol]
EASEMENT LINE	[Symbol]	T.B.D.	RETAINING WALL	[Symbol]	[Symbol]
LICENSE AREA	[Symbol]	T.B.D.	STREET LIGHT FIXTURE	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]	TRAIL LIGHT FIXTURE	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]	SEATING	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]	CURB	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]	BIKE HITCH	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]	MODULAR PAVERS	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]			

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
F.AAP	19	FRAXINUS AMERICANA 'AUTUMN PURPLE'	WHITE ASH	2 1/2" CAL	
G.TH	6	GLEDITSIA TRIACANTHUS 'HALKA'	HALKA HONEY LOCUST	2 1/2" CAL	
P.CA	4	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2 1/2" CAL	
M.SNO	6	MALLUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2 CAL	
C.GRU	3	CRATAEGUS CRUGALLI var. 'INERMIS'	THORNLESS HAWTHORN	2 1/2" CAL	
SHRUBS					
R.WIL	17	RHODODENDRON WILSONII	WILSON RHODODENDRON	5 GAL	USED AT FILTERRA UNITS
L.FON	14	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	5 GAL	
C.SER	9	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	3 GAL	
R.ARO	16	RHUS AROMATICA 'GRD-LO'	'GRD-LO' SUMAC	5 GAL	
V.LEN	11	VIBURNUM LENTAGO	NANNYBERRY	1 GAL	
A.LUVA	152	ARCTOSTAPHYLOS LIVA-URSII	BEARBERRY	1 GAL	
PERENNIALS					
H.SEM	43	HELICTITRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	
H.HRE	151	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY 'HAPPY RETURNS'	1 GAL	
H.BBA	78	HEMEROCALLIS 'BETH BARTH'	DAYLILY 'BETH BARTH'	1 GAL	
H.SGL	73	HEMEROCALLIS 'SUNDAY GLOVES'	DAYLILY 'SUNDAY GLOVES'	1 GAL	
L.SPI	150	LIROPE SPICATA	LILYTURF	1 GAL	
P.ALO	33	PENNISETUM ALOPEUROIDES	FOUNTAIN GRASS	1 GAL	USED AT STORMTREAT UNITS
I.VER	20	IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL	

NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE		Mitchell & Associates 70 Center Street Portland, Maine 04101 P: 207.474.4407 F: 207.474.2400 DESIGNED: MK/RM DATE: May 23, 2011 CHECKED: RM JOB NO. FILE NAME: SHEET L1.0	
SHEET TITLE LANDSCAPE AND LIGHTING PLAN		CLIENT FEDERATED COMPANIES			
1	REV	DATE	DESCRIPTION	REVISIONS	R.L.A. LIC. #

REFERENCE NOTES:

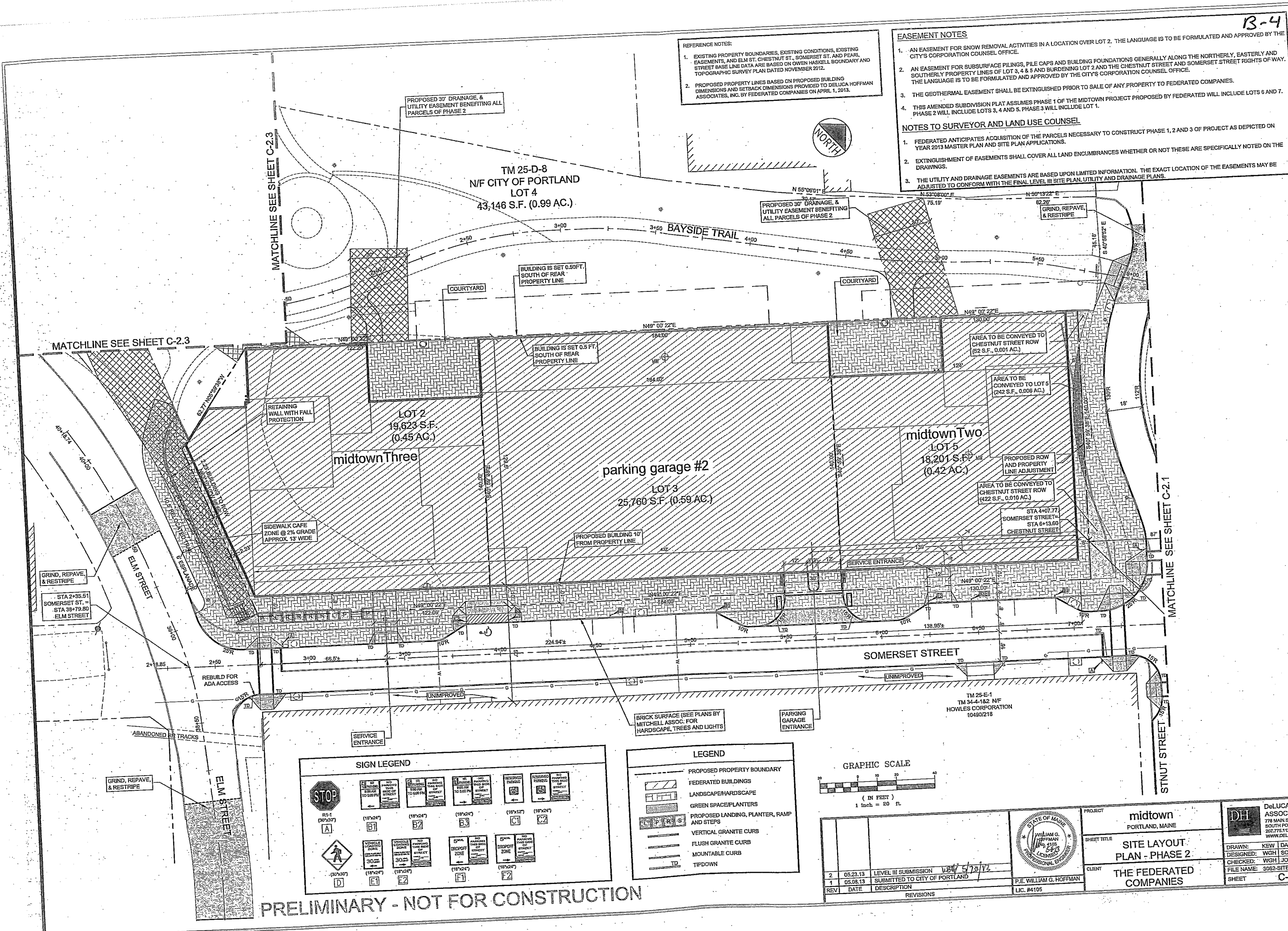
- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST, CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

- AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
- THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.

NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.

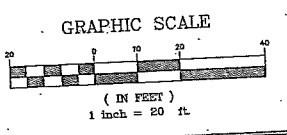


SIGN LEGEND

R1-1 (18'x24')	B1 (18'x24')	B2 (18'x24')	B3 (18'x24')	C1 (18'x24')	C2 (18'x24')
D (18'x24')	E1 (18'x24')	E2 (18'x24')	F1 (18'x24')	F2 (18'x24')	

LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER, RAMP AND STEPS
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	MOUNTABLE CURB
	TIPDOWN

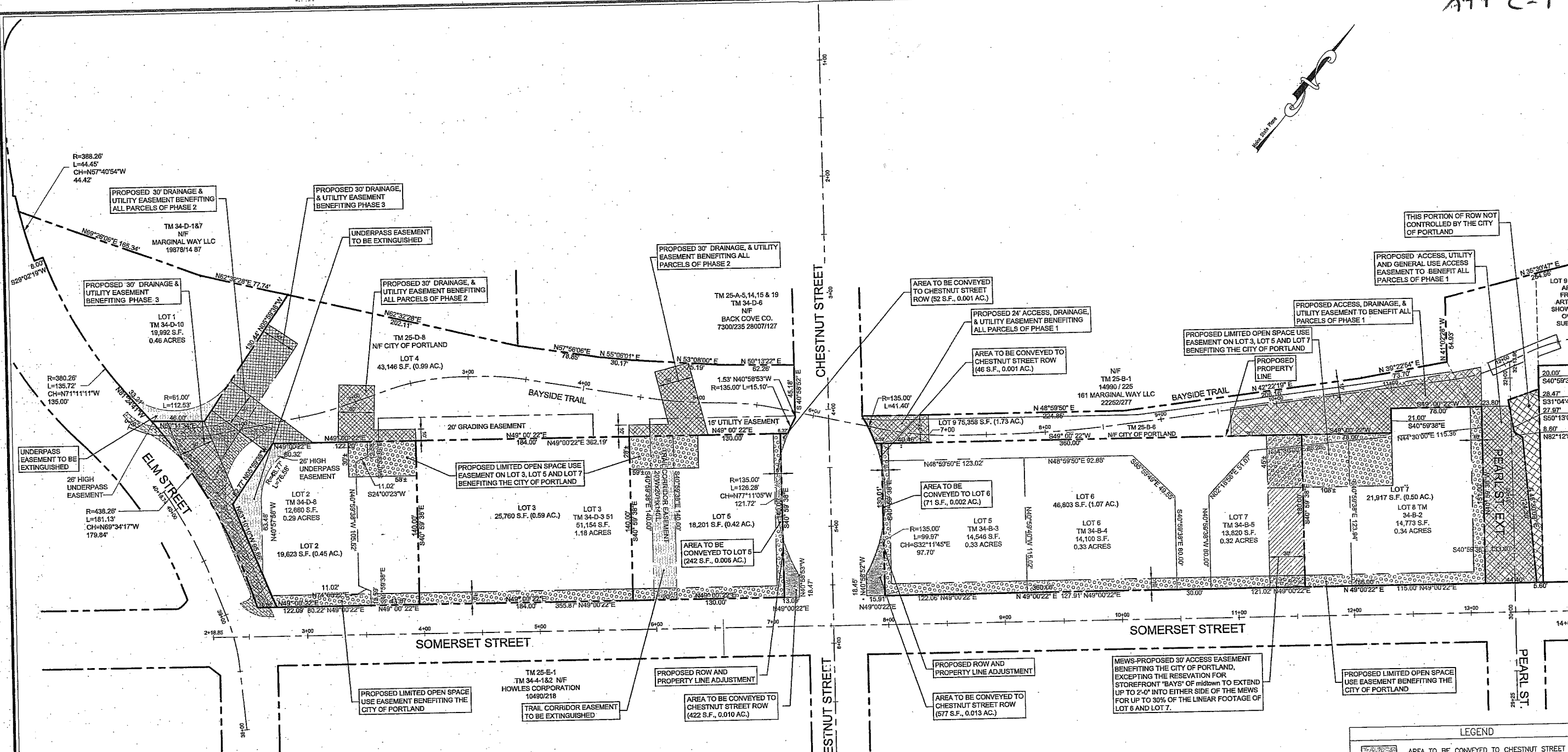
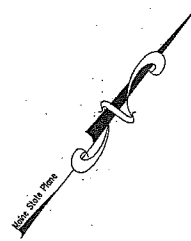


REV	DATE	DESCRIPTION	REVISIONS
2	05.23.13	LEVEL III SUBMISSION	WGH 5/23/13
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	

PROJECT	midtown PORTLAND, MAINE
SHEET TITLE	SITE LAYOUT PLAN - PHASE 2
CLIENT	THE FEDERATED COMPANIES
DESIGNED: WGH	DATE: NOV. 2012
CHECKED: WGH	SCALE: 1" = 20'
FILE NAME: 3062-SITE	JOB NO.: 3062
SHEET	C-2.2

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

PRELIMINARY - NOT FOR CONSTRUCTION



- EASEMENT NOTES**
1. AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 4 AND 9. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 2. AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 2, 3 & 5 AND BURDENING LOT 4 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 3. AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS, AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHWESTERLY AND SOUTHEASTERLY PROPERTY LINES OF THE SOMERSET RIGHT OF WAY AND LOT 9 AND BURDENING THE SOMERSET STREET AND LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 4. LOTS 4 AND 9 ARE SUBJECT TO EASEMENTS FOR CONSTRUCTION, STAGING, REPAIR AND MAINTENANCE BENEFITING THE OTHER LOTS OF THE SUBDIVISION. THIS EASEMENT REQUIRES THE REPAIR OR REPLACEMENT OF ANY FEATURES IN LOT 2 OR 9 THAT MAY BE DAMAGED BY THE ACTIVITIES ALLOWED AS PART OF THESE EASEMENTS. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 5. AN EASEMENT TO THE OWNERS OF LOTS 2 AND 7 PROVIDING THE RIGHT TO CONSTRUCT STEPS, RAMPS, AND LANDINGS IN THE AREAS OF THE ELM STREET, PEARL STREET EXTENSION, AND SOMERSET STREET RIGHTS OF WAY DEPICTED ON THE SITE PLANS FOR THE

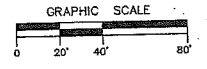
MIDTOWN PROJECT PREPARED BY DHA1 AND IDENTIFIED AS SITE PLANS C-2.1, C2.2 AND C2.3 DATED MAY 2013. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.

6. THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
7. THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 2, 3 AND 5. PHASE 3 WILL INCLUDE LOT 1.

- NOTES TO SURVEYOR AND LAND USE COUNSEL**
1. FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
 2. EXTINGUISHMENTS OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
 3. THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.

- NOTES:**
1. OWNER OF RECORD: CITY OF PORTLAND, C.C.R.D. BOOK 27870 PAGE 299.
 2. BASIS OF BEARINGS: MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE NAD83.

- SURVEY PLAN REFERENCES:**
1. "SUBDIVISION RECORDING PLAT OF PROPERTY LOCATED ON BAYSIDE RAILWAY, PORTLAND, MAINE PREPARED FOR DOWNTOWN PORTLAND CORPORATION" DATED OCTOBER 30, 2008 REV. 3 1/13/09 BY SGC ENGINEERING, LLC RECORDED IN C.C.R.D. PLAN BOOK 209 PAGE 36.
 2. "EXISTING CONDITIONS SURVEY OF PROPERTY LOCATED ON SOMERSET STREET, PORTLAND, MAINE PREPARED FOR CITY OF PORTLAND" DATED OCTOBER 30, 2008, REV. 1 10/20/11 BY SGC ENGINEERING, LLC.
 3. "STANDARD BOUNDARY SURVEY FOR BAYSIDE TRAIL & PROPOSED SOMERSET STREET EXTENSION" DATED SEPTEMBER 2012 PREPARED BY CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION.



APPROVAL - CITY OF PORTLAND PLANNING BOARD

DATE	_____
CHAIRPERSON	_____

CERTIFICATE:
OWEN HASKELL, INC. CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE _____ JOHN W. SWAN, PLS NO. 1038

LEGEND

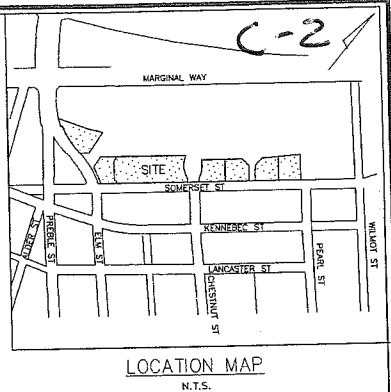
	AREA TO BE CONVEYED TO CHESTNUT STREET ROW
	MEWS - ACCESS EASEMENT BENEFITING THE CITY OF PORTLAND
	PORTION OF ROW NOT CONTROLLED BY CITY OF PORTLAND
	ACCESS, DRAINAGE AND UTILITY EASEMENT FOR PHASE 1 AND DRAINAGE AND UTILITY EASEMENT FOR PHASE 2
	TRAIL CORRIDOR EASEMENT TO BE EXTINGUISHED
	LIMITED OPEN-SPACE USE EASEMENT BENEFITING THE CITY OF PORTLAND

THE PURPOSE OF THIS PLAN IS TO AMEND THE PREVIOUS SUBDIVISION PLAN RECORDED IN C.C.R.D. PLAN BOOK 209 PAGE 36.

AMENDED SUBDIVISION/RECORDING PLAT
ON
SOMERSET STREET, PORTLAND, MAINE
MADE FOR
DELUCA HOFFMAN ASSOCIATES
MAIN STREET, SOUTH PORTLAND, MAINE

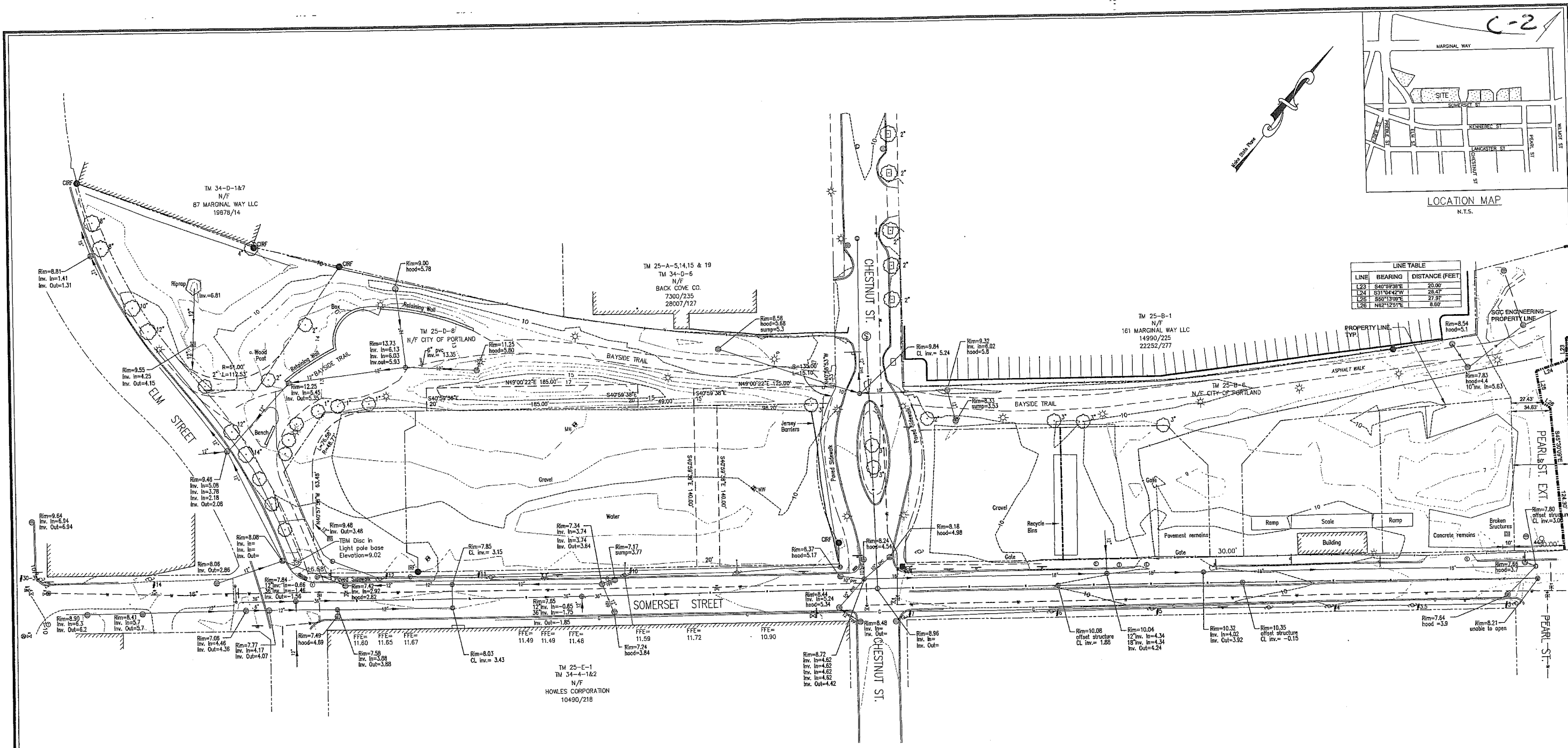
OWEN HASKELL, INC.
390 U.S. ROUTE ONE, PALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	EB	Date	APRIL 10, 2013	Job No.	12012-180 P
Trace By	JLW	Scale	1" = 40'	Drwg. No.	1.2
Check By	JWS	FILE			
Book No.	FILE				

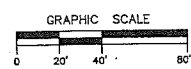
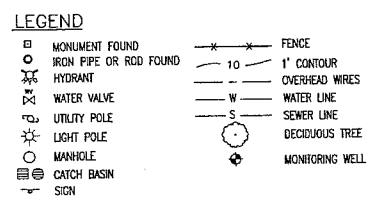


LINE TABLE

LINE	BEARING	DISTANCE (FEET)
L23	S40°59'38"E	20.00'
L24	S31°04'42"W	28.47'
L25	S50°13'09"E	27.97'
L26	N62°12'21"E	8.67'



UTILITY NOTE:
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-800-DISSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.



PLAN REFERENCES:

- "SUBDIVISION RECORDING PLAT OF PROPERTY LOCATED ON BAYSIDE RAILWAY, PORTLAND, MAINE PREPARED FOR DOWNTOWN PORTLAND CORPORATION" DATED OCTOBER 30, 2008 REV. 3/13/09 BY SGC ENGINEERING, LLC RECORDED IN C.C.R.D. PLAN BOOK 209 PAGE 35.
- "EXISTING CONDITIONS SURVEY OF PROPERTY LOCATED ON SOMERSET STREET, PORTLAND, MAINE PREPARED FOR CITY OF PORTLAND" DATED OCTOBER 30, 2008, REV. 1/10/20/11 BY SGC ENGINEERING, LLC.
- "STANDARD BOUNDARY SURVEY FOR BAYSIDE TRAIL & PROPOSED SOMERSET STREET EXTENSION" DATED SEPTEMBER 2012 PREPARED BY CITY OF PORTLAND, MAINE PUBLIC SERVICES DEPARTMENT ENGINEERING DIVISION.

NOTES:

- OWNER OF RECORD: CITY OF PORTLAND, C.C.R.D. BOOK 27870 PAGE 299.
- BASIS OF BEARINGS: MAINE STATE PLANE COORDINATE SYSTEM WEST ZONE NAD83.
- ELEVATIONS ARE BASED ON CITY DATUM. BENCH MARK: MDOT DISK "612-(1)-10 1983"
- THIS PLAN IS THE RESULT OF A FIELD SURVEY CONDUCTED BY OWEN HASKELL, INC. NOVEMBER 2012 AND DATA TAKEN FROM PLAN REFERENCE 2 AS SHOWN ABOVE.

CERTIFICATE:
OWEN HASKELL, INC. CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE _____ JOHN W. SWAN, PLS NO. 1038

ALTERED PLAN
01.14.2013
NOTE: THIS PLAN HAS BEEN ALTERED BY DELUCA-HOFFMAN ASSOCIATES, INC. TO ADD THE PROPERTY LINE WITHIN THE PEARL STREET EXTENSION AREA

BOUNDARY & TOPOGRAPHIC SURVEY
ON
SOMERSET STREET, PORTLAND, MAINE
MADE FOR
DELUCA HOFFMAN ASSOCIATES
MAIN STREET, SOUTH PORTLAND, MAINE

OWEN HASKELL, INC.
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0424
PROFESSIONAL LAND SURVEYORS

Drawn By	RS	Date	NOVEMBER 9, 2012	Job No.	12012-180 P
Trace By	JLW	Scale	1" = 40'	Drawn No.	1.4
Check By	JWS				
Book No.	FILE				

REFERENCE NOTES:

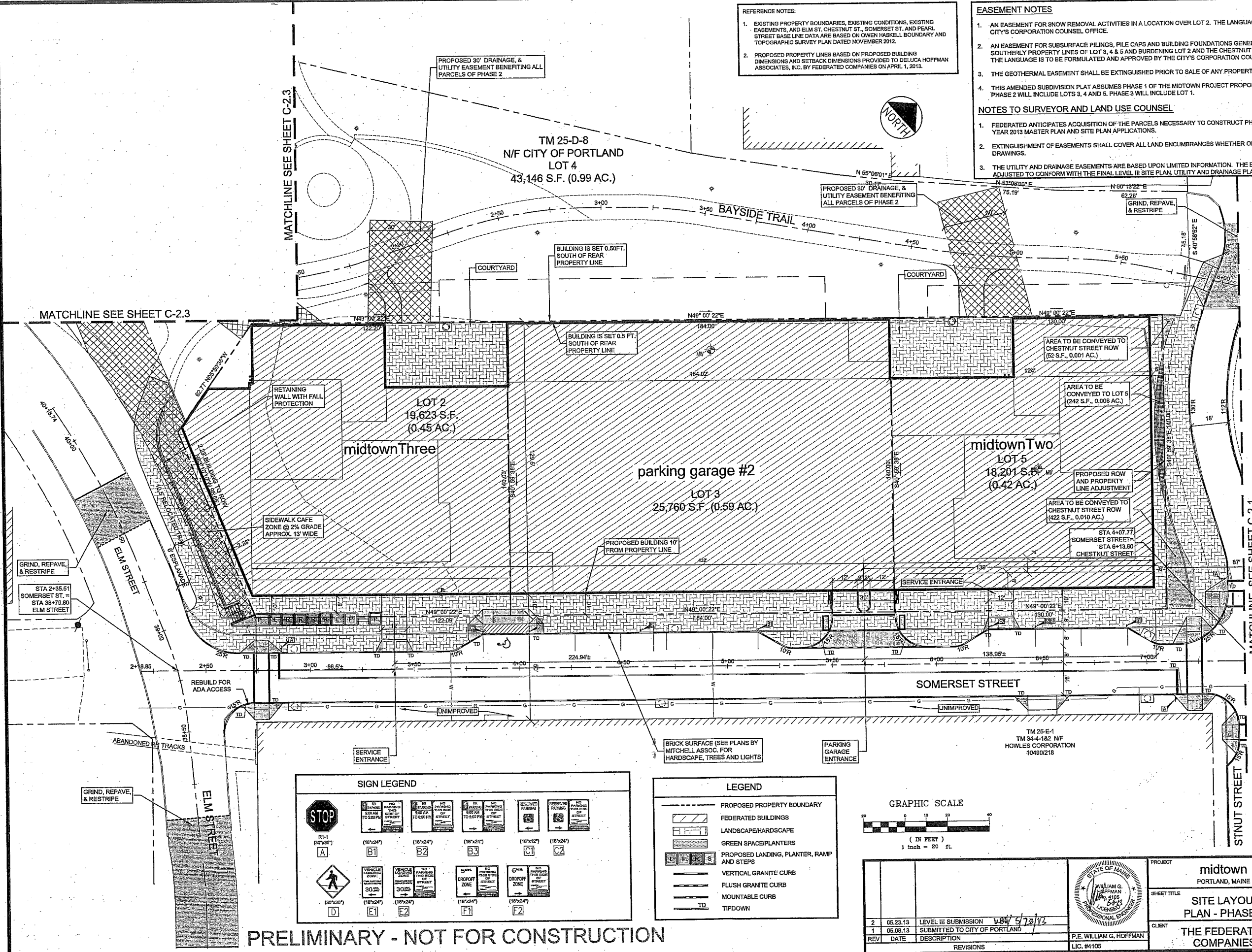
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- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

- AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
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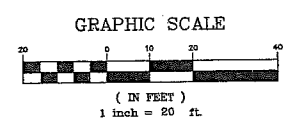


SIGN LEGEND

R1-1 (30"x30")	(18"x24")	(18"x24")	(18"x24")	(18"x12")	(18"x24")
D (30"x30")	(18"x24")	(18"x24")	(18"x24")	(18"x24")	(18"x24")

LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER, RAMP AND STEPS
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	MOUNTABLE CURB
	TIPDOWN



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	REVISIONS
2	05.23.13	LEVEL III SUBMISSION	WGH / JTH / JZ
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	

WILLIAM G. HOFFMAN
Professional Engineer
LIC. #4105

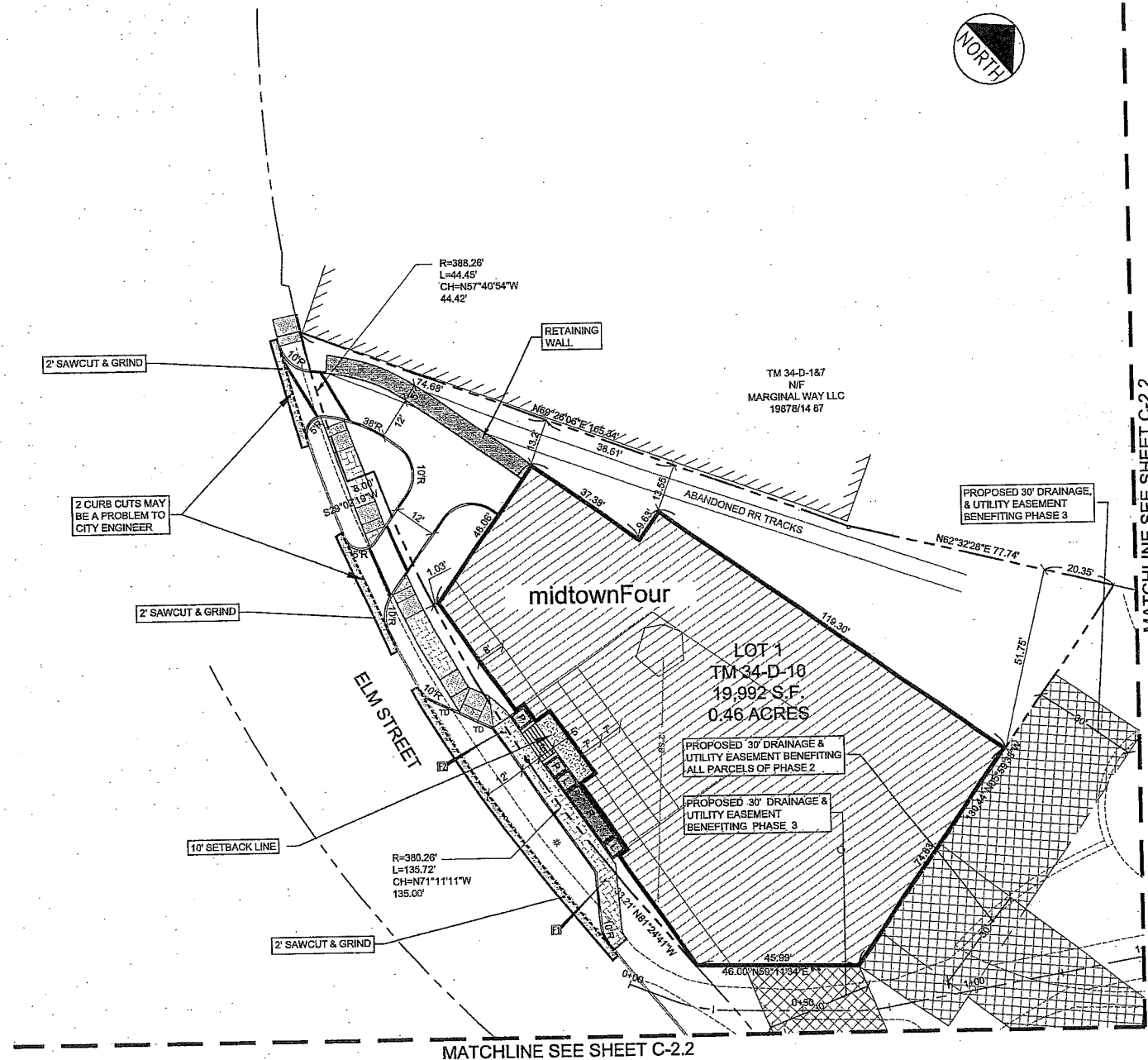
PROJECT: **midtown**
PORTLAND, MAINE

SHEET TITLE: **SITE LAYOUT PLAN - PHASE 2**

CLIENT: **THE FEDERATED COMPANIES**

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SCOTT'S PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW | DATE: NOV. 2012
DESIGNED: WGH | SCALE: 1" = 20'
CHECKED: WGH | JOB NO. 3062
FILE NAME: 3062-SITE
SHEET: **C-2.2**



MATCHLINE SEE SHEET C-2.2

MATCHLINE SEE SHEET C-2.2

REFERENCE NOTES:

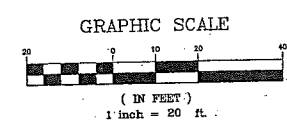
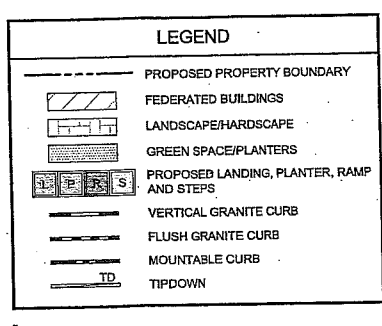
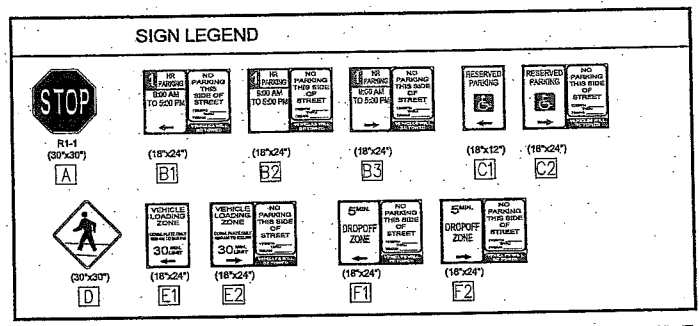
- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST., CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

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- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
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- THIS AMENDED SUBDIVISION PLAN ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.

NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.



PRELIMINARY - NOT FOR CONSTRUCTION

		<p>PROJECT midtown PORTLAND, MAINE</p>	<p>DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM</p>
<p>2 05.23.13 LEVEL III SUBMISSION <i>WGH 5/23/13</i></p> <p>1 05.08.13 SUBMITTED TO CITY OF PORTLAND</p>		<p>SHEET TITLE SITE LAYOUT PLAN - PHASE 3</p>	<p>DRAWN: KEW DATE: NOV. 2012 DESIGNED: WGH SCALE: 1" = 20' CHECKED: WGH JOB NO. 3062</p>
<p>REV DATE DESCRIPTION</p>		<p>CLIENT THE FEDERATED COMPANIES</p>	<p>FILE NAME: 3062-SITE SHEET C-2.3</p>

PHASE 1 LOT AREA 1.58 ACRES
 PHASE 1 BUILDING ENVELOPE
 54,693 S.F., 1.26 ACRES

OPEN SPACE AREAS:
 A. COURTYARD: 3,773 S.F.
 B. MEWS: 3,660 S.F.
 C. 10' STRIP ALONG PEARL ST. EXT.: 1,410 S.F.
 D. 8' - 10' STRIP ALONG SOMERSET ST.: 4,417 S.F.
 E. 6' STRIP ALONG CHESTNUT STREET: 766 S.F.
 TOTAL OPEN SPACE AREA: 14,026 S.F.
 % OPEN SPACE FOR PHASE 1 20.41%

THIS PORTION OF ROW
 NOT CONTROLLED BY
 THE CITY OF PORTLAND

PROPOSED PROPERTY LINE

FUTURE POTENTIAL
 ROW TO 50'

RAISE TRAIL IN
 THIS LOCATION

NORTHERLY EDGE
 OF RELOCATED
 TRAIL

582 S.F. TO BE DEEDED BACK
 TO THE CITY OF PORTLAND

RELOCATE TRAIL IN THIS LOCATION
 BAYSIDE TRAIL

parking garage #1
 LOT 6:
 46,803 S.F. (1.07 AC.)

LOT 7
 21,917 S.F. (0.50 AC.)
 midtownOne

mews

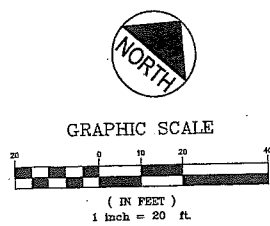
SOMERSET STREET

PEARL ST.

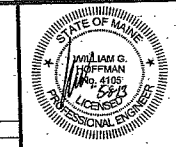
STNUT ST.

453 S.F. TO BE DEEDED BACK
 TO THE CITY OF PORTLAND

PRELIMINARY - NOT FOR CONSTRUCTION



REV	DATE	DESCRIPTION	REVISIONS
2	05.23.13	LEVEL III SUBMISSION	
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	



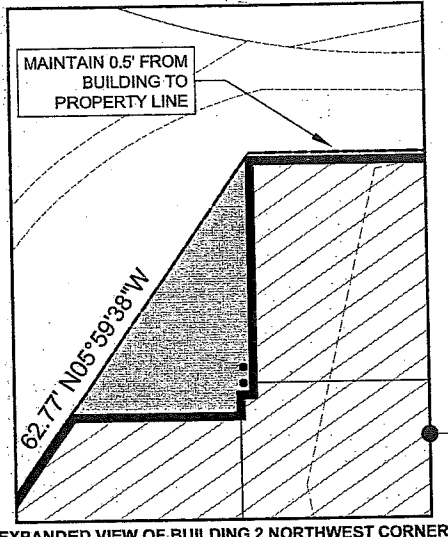
PROJECT
midtown
 PORTLAND, MAINE

SHEET TITLE
**PHASE1 BUILDING
 ENVELOPE AND OPEN
 SPACE COMPUTATIONS**

CLIENT
**THE FEDERATED
 COMPANIES**

DH DeLUCA-HOFFMAN
 ASSOCIATES, INC.
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 WWW.DELOCAHOFFMAN.COM

DRAWN: KEW | DATE: MARCH 2013
 DESIGNED: WGH | SCALE: 1"=20'
 CHECKED: WGH | JOB NO. 3062
 FILE NAME: 3062-Base
 SHEET C-2.4



EXPANDED VIEW OF BUILDING 2 NORTHWEST CORNER
SCALE: 1" = 10'

PHASE 2 LOT AREA 1.46 ACRES
PHASE 2 BUILDING ENVELOPE 54,339 S.F., 1.25 ACRES

OPEN SPACE AREAS:

A. COURTYARD:	3,364 S.F.
B. 6' STRIP ALONG REAR	216 S.F.
C. 2.23' STRIP ALONG ELM ST.:	192 S.F.
D. 10' STRIP ALONG SOMERSET ST.:	4,382 S.F.
E. 6' STRIP ALONG CHESTNUT STREET:	780 S.F.
F. TRIANGLE REAR CORNER MIDTOWN:	311 S.F.
TOTAL OPEN SPACE AREA:	9,245 S.F.
% OPEN SPACE FOR PHASE 2	14.54 %
CUMULATIVE % OPEN SPACE (PHASE 1 AND PHASE 2)	17.58%

582 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

LOT 4
43,146 S.F. (0.99 AC.)

MAINTAIN 0.5' FROM BUILDING TO PROPERTY LINE

LOT 2
19,623 S.F. (0.45 AC.)

midtown Three

parking garage #2

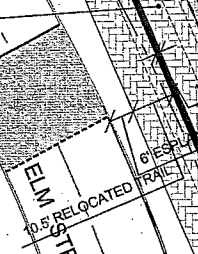
LOT 3
25,760 S.F. (0.59 AC.)

midtown Two

LOT 5
18,201 S.F. (0.42 AC.)

453 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

SIDEWALK CAFE ZONE @ 2% GRADE APPROX. 13' WIDE



ABANDONED RR TRACKS

BAYSIDE TRAIL

N49°00'22"E 125.00'

15' UTILITY EASEMENT 98.20'

49.00'

20'

431.72'

423.57' MAXIMUM LENGTH

66.50' (CONFIRM DIMENSION)

224.94' (CONFIRM DIMENSION)

138.95' (CONFIRM DIMENSION)

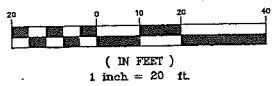
SOMERSET STREET

453 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

582 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND



GRAPHIC SCALE



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND
		REVISIONS

STATE OF MAINE
WILLIAM G. HOFFMAN
P.E. WILLIAM G. HOFFMAN
LIC. #4105

PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
PHASE 2 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

CLIENT
THE FEDERATED COMPANIES

DH DeLUCA-HOFFMAN ASSOCIATES, INC.
718 MAIN STREET, SUITE 6
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

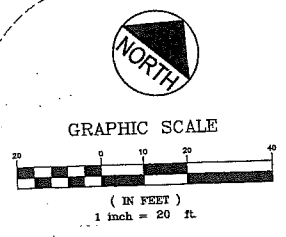
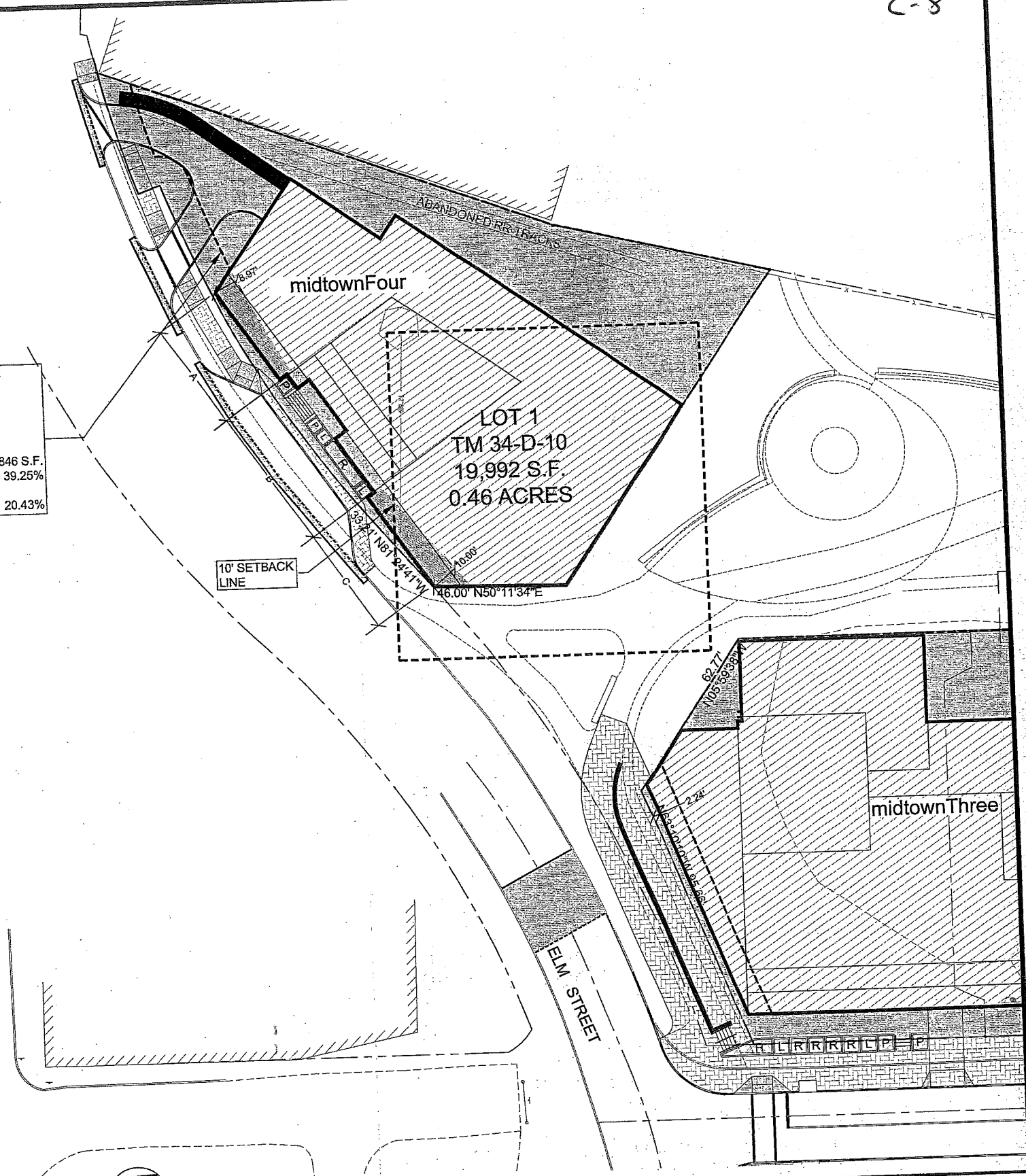
DRAWN: KEW DATE: MARCH 2013
DESIGNED: WGH SCALE: 1"=20'
CHECKED: WGH JOB NO. 3082
FILE NAME: 3062-Base
SHEET: C-2.5



EXPANDED VIEW OF BUILDINGS ABUTTING BAYSIDE TRAIL
SCALE: 1" = 10'

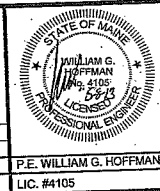
PHASE 3 LOT AREA 0.46 ACRES
 PHASE 3 BUILDING ENVELOPE
 12,146 S.F., 0.28 ACRES

OPEN SPACE AREAS:
 TOTAL OPEN SPACE AREA: 7,846 S.F. 39.25%
 % OPEN SPACE FOR PHASE 3
 CUMULATIVE % OPEN SPACE (PHASE 1,
 PHASE 2 AND PHASE 3) 20.43%



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND



PROJECT: midtown
 PORTLAND, MAINE

SHEET TITLE: PHASE 3 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

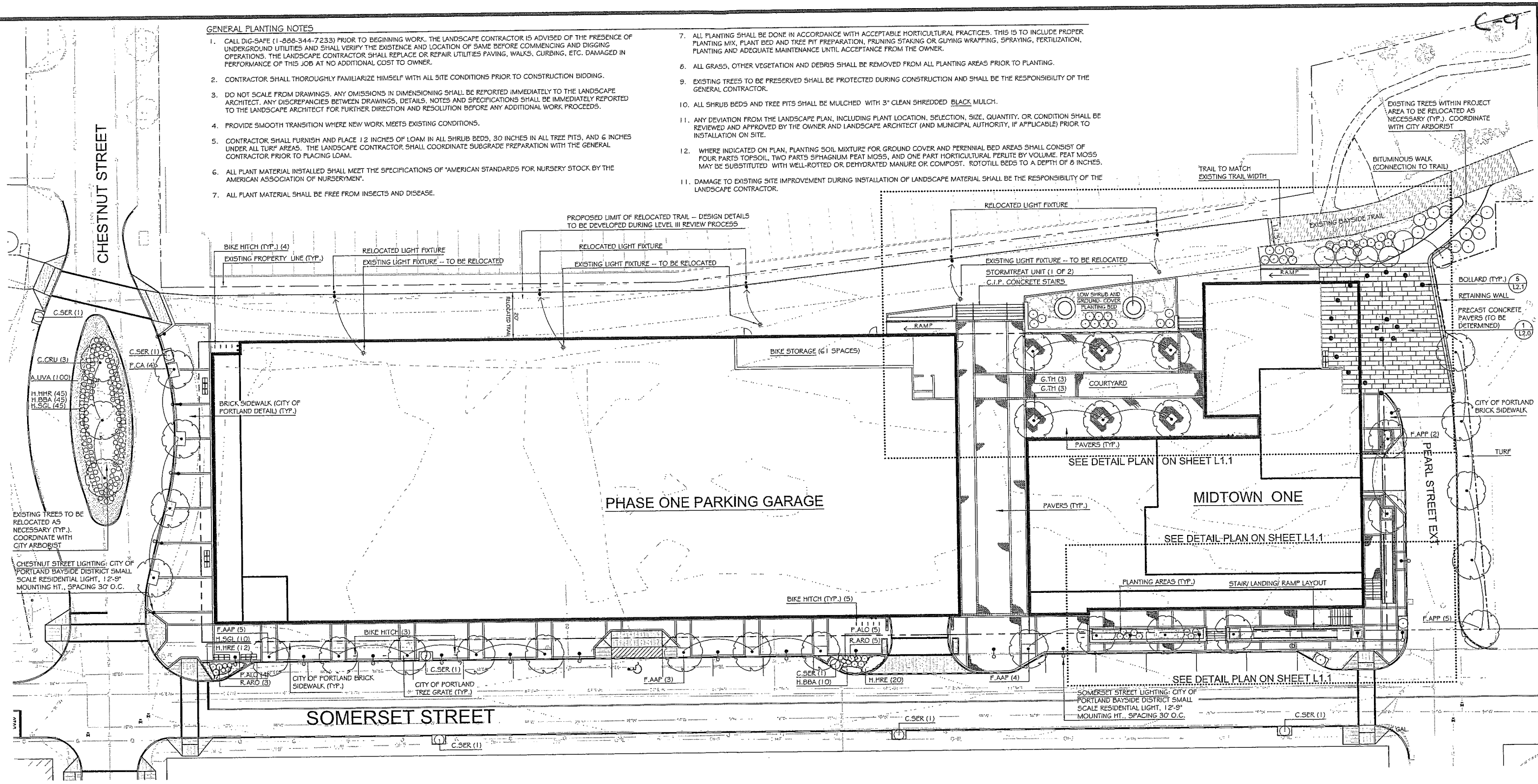
CLIENT: THE FEDERATED COMPANIES

DH DeLUCA-HOFFMAN ASSOCIATES, INC.
 718 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 WWW.DELUCAHOFFMAN.COM

DRAWN: KEW DATE: MARCH 2013
 DESIGNED: WGH SCALE: 1"=20'
 CHECKED: WGH JOB NO.: 3062
 FILE NAME: 3062-Base
 SHEET: C-2.6

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.



LEGEND

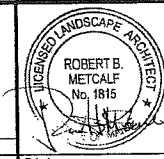
	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]	BRICK PAVERS	[Symbol]	[Symbol]
EASEMENT LINE	[Symbol]	T.B.D.	RETAINING WALL	[Symbol]	[Symbol]
LICENSE AREA	[Symbol]	T.B.D.	STREET LIGHT FIXTURE	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]	TRAIL LIGHT FIXTURE	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]	SEATING	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]	CURB	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]	BIKE HITCH	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]	MODULAR PAVERS	[Symbol]	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]			

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
F.AAP	19	FRAXINUS AMERICANA 'AUTUMN PURPLE'	WHITE ASH	2 1/2" CAL.	
G.TH	6	GLADYS TRIANCANTHUS 'HALKA'	HALKA HONEY LOCUST	2 1/2" CAL.	
F.CA	4	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2 1/2" CAL.	
M.SNO	6	MALLUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2 CAL.	
C.CRU	3	CRATAEGUS CRUSGALLI var. INERMIS	THORNLESS HAWTHORN	2 1/2" CAL.	
SHRUBS					
R.WIL	17	RHODODENDRON WILSONII	WILSON RODODENDRON	5 GAL.	
L.FON	14	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	5 GAL.	USED AT FILTERRA UNITS
C.SER	9	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL.	
R.ARO	16	RHUS AROMATICA 'GRO-LO'	'GRO-LO' SUMAC	3 GAL.	
V.LEN	11	VIBURNUM LENTAGO	NANNYBERRY	5 GAL.	
A.LUVA	152	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	1 GAL.	
PERENNIALS					
H.SEM	43	HELICTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	
H.HRE	151	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY 'HAPPY RETURNS'	1 GAL.	
H.BBA	78	HEMEROCALLIS 'BETH BARTH'	DAYLILY 'BETH BARTH'	1 GAL.	
H.SGL	73	HEMEROCALLIS 'SUNDAY GLOVES'	DAYLILY 'SUNDAY GLOVES'	1 GAL.	
L.SFI	150	LIRIOPE SPICATA	LILYTURF	1 GAL.	
F.ALO	33	PENNISETUM ALOPEUROIDES	FOUNTAIN GRASS	1 GAL.	
I.LVER	20	IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL.	USED AT STORMTREAT UNITS

NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	R.L.A.	LIC.#
1				



PROJECT	midtown PORTLAND, MAINE
SHEET TITLE	LANDSCAPE AND LIGHTING PLAN
CLIENT	FEDERATED COMPANIES

Mitchell & Associates
LANDSCAPE ARCHITECTS
70 Center Street
Portland, Maine 04101
P: 207.774.4427
F: 207.774.2452

DRAWN: MK DATE: May 23, 2013
DESIGNED: MK/RM SCALE: 1" = 20'
CHECKED: RM JOB NO.
FILE NAME:
SHEET L1.0

I:\Projects\2013\Midtown_Landscaping_Bid\04\Drawings\20130523\2013_05_23_13.dwg



THIS PORTION OF ROW NOT CONTROLLED BY THE CITY OF PORTLAND
PROPOSED ACCESS, UTILITY AND GENERAL USE ACCESS TO BENEFIT ALL PARCELS OF PHASE 1

PROPOSED 30' ACCESS, DRAINAGE, & UTILITY EASEMENT TO BENEFIT ALL PARCELS OF PHASE 1

LOT 9 INCLUDES AREA TO FRANKLIN ARTERIAL TO BE SHOWN ON OWEN HASKELL OVERALL SUBDIVISION PLAT

STA 4+07.77 CHESTNUT STREET= STA 6+13.6 BAYSIDE TRAIL
PROPOSED 24' ACCESS, DRAINAGE, & UTILITY EASEMENT BENEFITING ALL PARCELS OF PHASE 1

EXIST. PAVED TRAIL EDGE SETBACK 6' EACH SIDE OR TRAIL BASELINE

NEW EDGE OF TRAIL
EXISTING TRAIL
N/F TM 25-B-1 14990 / 225 161 MARGINAL WAY LLC 22252/277

NORTHERLY EDGE OF REVISED TRAIL

PROPOSED PROPERTY LINE

LOT 9
75,358 S.F. (1.73 AC.)
BAYSIDE TRAIL

LOT 6
46,803 S.F. (1.07 AC.)
parking garage #1

LOT 7
21,917 S.F. (0.50 AC.)
midtownOne

PAVED TRAIL STA 7+60 6' RT. IS 0.45 ± FT. NORTH OF PROPOSED PARKING GARAGE

PAVED TRAIL STA 8+00 6' RT. IS 0.77 ± FT. NORTH OF PROPOSED PARKING GARAGE

PAVED TRAIL STA 8+00 6' RT. IS 0.77 ± FT. NORTH OF PROPOSED PARKING GARAGE

PAVED TRAIL STA 7+75 6' RT. IS 0.04 ± FT. SOUTH OF PROPOSED PARKING GARAGE

AREA TO BE CONVEYED TO CHESTNUT STREET ROW (46 S.F., 0.001 AC.)

AREA TO BE CONVEYED TO LOT 6 (71 S.F., 0.002 AC.)

PROPOSED ROW AND PROPERTY LINE ADJUSTMENT

AREA TO BE CONVEYED TO CHESTNUT STREET ROW (577 S.F., 0.013 AC.)

PROPOSED BUILDING AT PROPERTY LINE

PROPOSED 30' ACCESS EASEMENT BENEFITING THE CITY OF PORTLAND

PROPOSED BUILDING 6' FROM PROPERTY LINE

PROPOSED BUILDING 6' OR 10' FROM PROPERTY LINE

POTENTIAL CHANGE TO ELIMINATE BUMP-OUT TO ACCOMMODATE METRO SLOPE (DECISION PENDING)

STA 4+07.77 SOMERSET STREET= STA 6+13.60 CHESTNUT STREET

BRICK SURFACE (SEE PLANS BY MITCHELL ASSOC. FOR HARDSCAPE, TREES AND LIGHTS)

MATCHLINE SEE SHEET C-2.2

CHESTNUT STREET

CHESTNUT STREET

SOMERSET STREET

PEARL ST.

EASEMENT NOTES

- AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
- THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.

NOTES TO SURVEYOR AND LAND USE COUNSEL

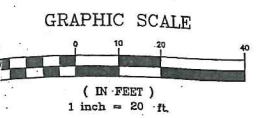
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- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.

NOTE:
THE LOCATION FOR A METRO BUS STOP ALONG SOMERSET STREET IS UNDER REVIEW. RESOLUTION IS ANTICIPATED PRIOR TO COMPLETING LEVEL III SITE PLANS

REFERENCE NOTES:
1. EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST, CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
2. PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

SIGN LEGEND

LEGEND



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	BY
2	05.23.13	LEVEL III SUBMISSION	WGH
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	WGH

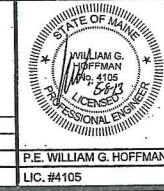
PROJECT: midtown
PORTLAND, MAINE

SHEET TITLE: SITE LAYOUT PLAN - PHASE 1

CLIENT: THE FEDERATED COMPANIES

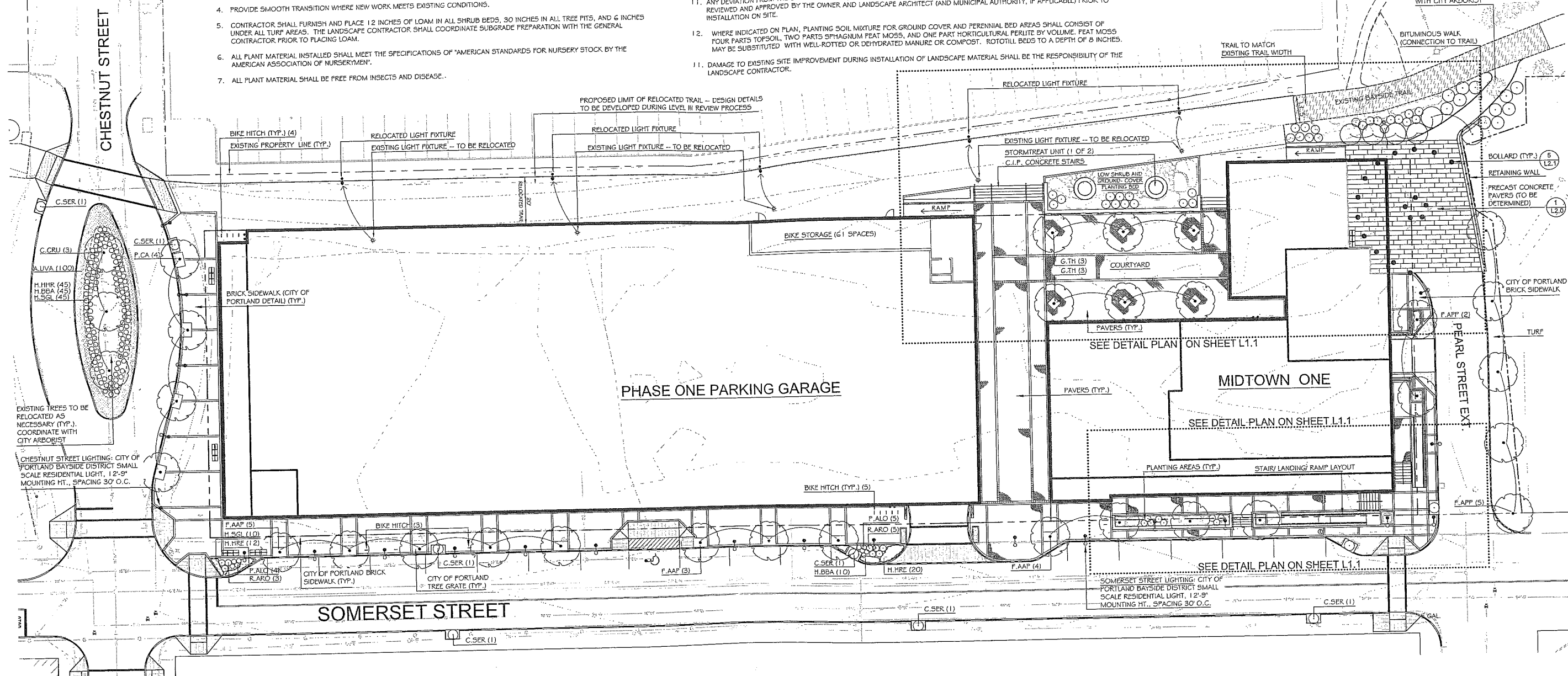
DeLUCA-HOFFMAN ASSOCIATES, INC.
775 MAIN STREET, SUITE B
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW DATE: NOV. 2012
DESIGNED: WGH SCALE: 1" = 20'
CHECKED: WGH JOB NO. 3062
FILE NAME: 3062-SITE
SHEET: C-2.1



GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
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- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPINGS, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

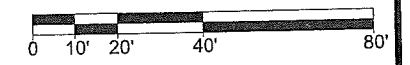


LEGEND

	EXISTING	PROPOSED	EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]	BRICK PAVERS	[Symbol]
EASEMENT LINE	[Symbol]	T.B.D.	RETAINING WALL	[Symbol]
LICENSE AREA	[Symbol]	T.B.D.	STREET LIGHT FIXTURE	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]	TRAIL LIGHT FIXTURE	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]	SEATING	[Symbol]
MANHOLE	[Symbol]	[Symbol]	CURB	[Symbol]
HYDRANT	[Symbol]	[Symbol]	BIKE HITCH	[Symbol]
WATER VALVE	[Symbol]	[Symbol]	MODULAR PAVERS	[Symbol]
UTILITY POLE	[Symbol]	[Symbol]		

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
F.AAP	19	FRAXINUS AMERICANA 'AUTUMN PURPLE'	WHITE ASH	2 1/2" CAL	
G.TH	6	GLEDITSIA TRIANCANTHUS 'HALKA'	HALSKA HONEY LOCUST	2 1/2" CAL	
P.CA	4	PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2 1/2" CAL	
M.SNO	6	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2 CAL	
C.CRU	3	CRATAEGUS CRUSGALLI var. INERMIS	THORNLESS HAWTHORN	2 1/2" CAL	
SHRUBS					
R.WIL	17	RHODODENDRON WILSONII	WILSON RODODENDRON	5 GAL	
L.FON	14	LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	5 GAL	USED AT FILTERRA UNITS
C.SER	9	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	3 GAL	
R.ARO	16	RHUS AROMATICA 'GRO-LO'	'GRO-LO' SUMAC	5 GAL	
V.LEN	11	VIBURNUM LENTAGO	NANNYBERRY	1 GAL	
A.LIVA	152	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	1 GAL	
PERENNIALS					
H.SEV	43	HELICTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL	
H.HRE	151	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY 'HAPPY RETURNS'	1 GAL	
H.BBA	78	HEMEROCALLIS 'BETH BARTH'	DAYLILY 'BETH BARTH'	1 GAL	
H.SGL	73	HEMEROCALLIS 'SUNDAY GLOVES'	DAYLILY 'SUNDAY GLOVES'	1 GAL	
L.SPI	150	LIRIOPE SPICATA	LILTURF	1 GAL	
P.ALO	33	PENNISETUM ALOPEUROIDES	FOUNTAIN GRASS	1 GAL	USED AT STORMTREAT UNITS
L.VKR	20	IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL	



NOT FOR CONSTRUCTION

	PROJECT	midtown PORTLAND, MAINE	
	SHEET TITLE	LANDSCAPE AND LIGHTING PLAN	
CLIENT	FEDERATED COMPANIES		DATE: May 23, 2013
REV	DATE	DESCRIPTION	SCALE: 1" = 20'
1			CHECKED: RM
			FILE NAME:
			SHEET L1.0

B-4

REFERENCE NOTES:

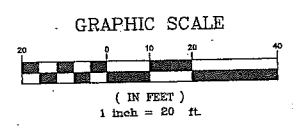
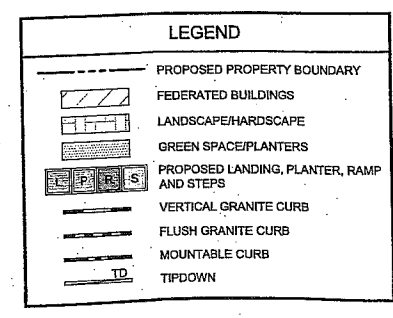
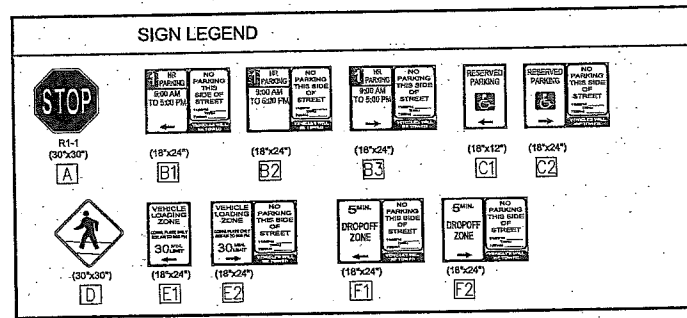
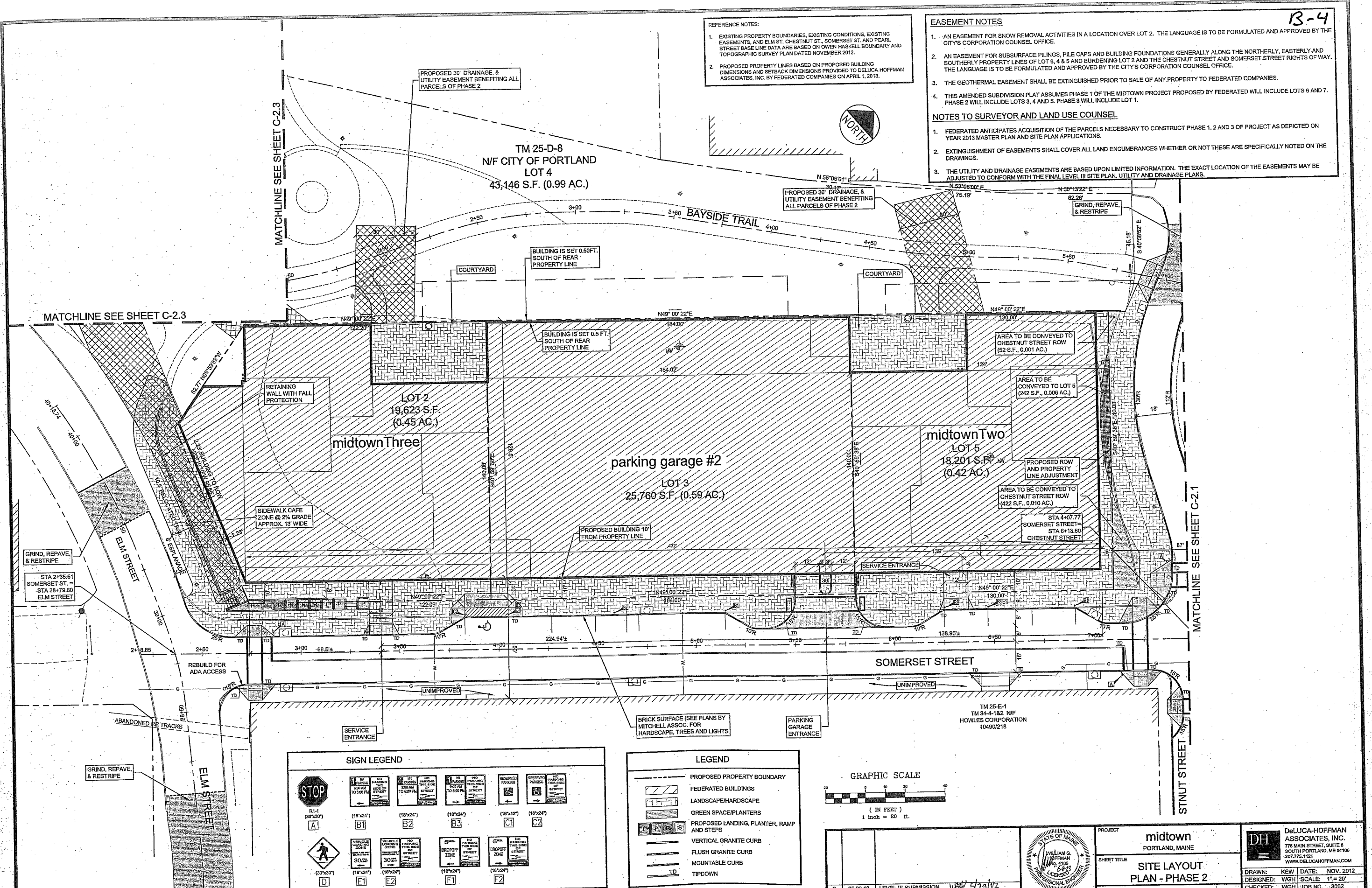
- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST., CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

- AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
- THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.

NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.

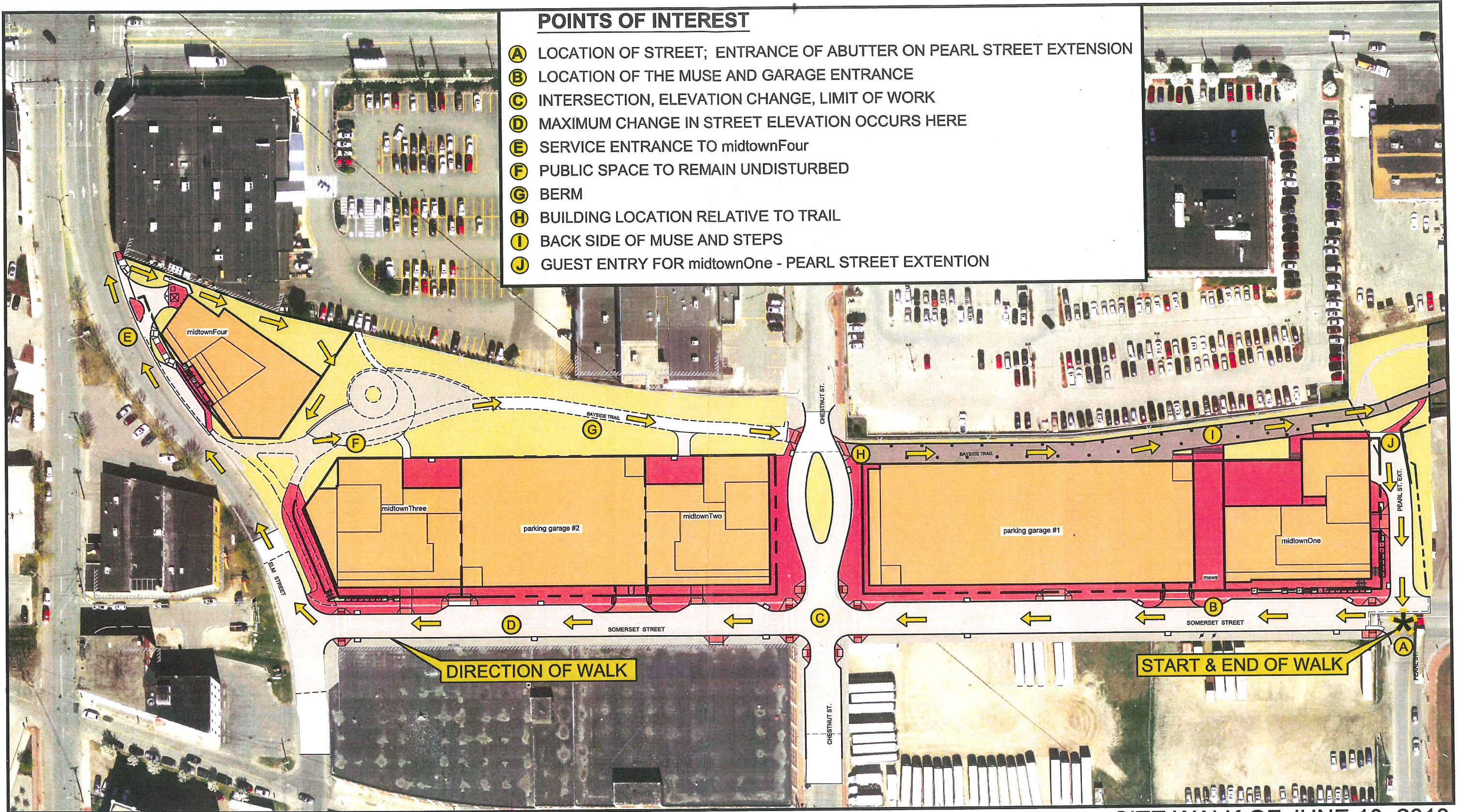


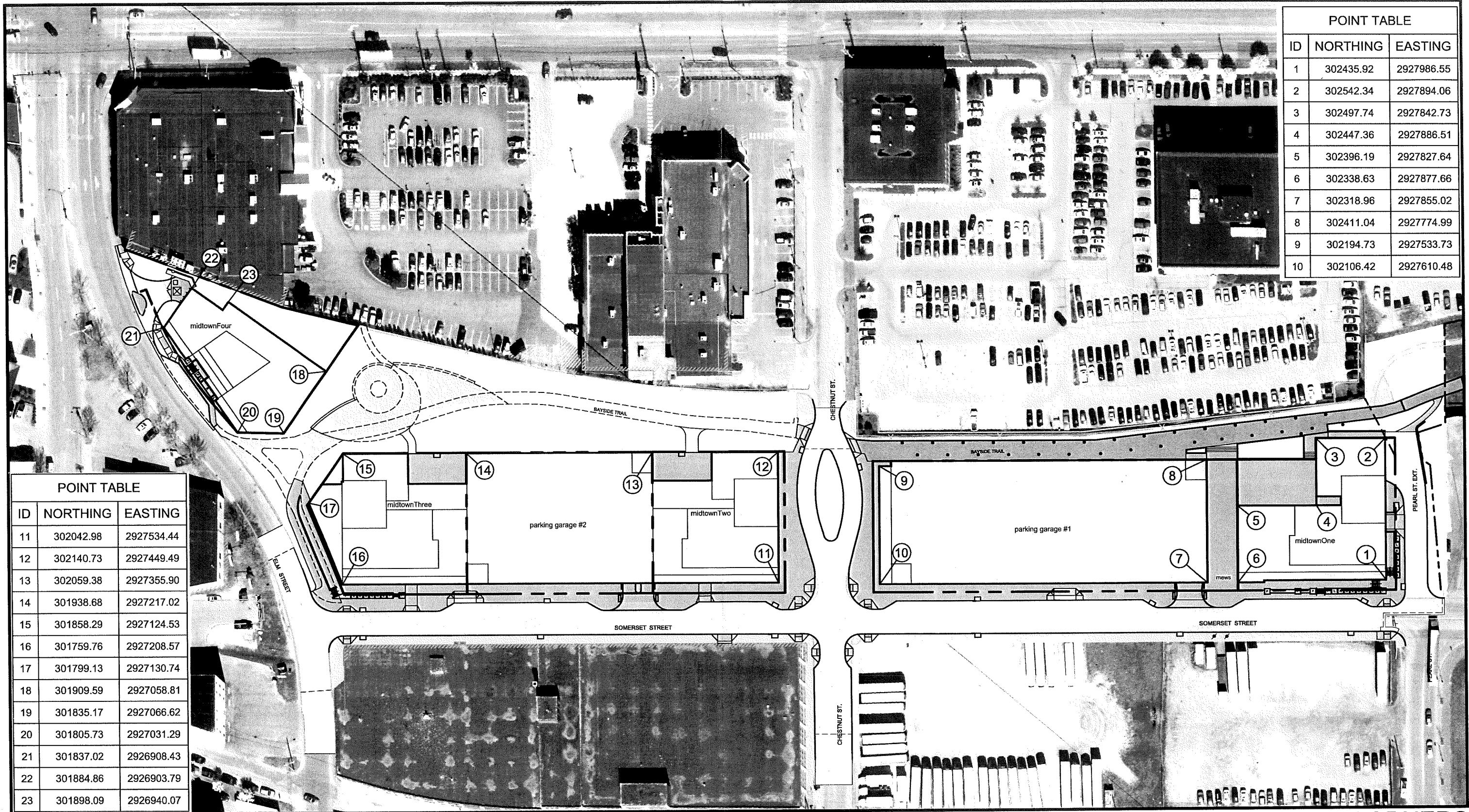
PRELIMINARY - NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	
REVISIONS		SHEET TITLE SITE LAYOUT PLAN - PHASE 2	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM
2 05.23.13 LEVEL III SUBMISSION <i>WGH 5/23/13</i>	1 05.08.13 SUBMITTED TO CITY OF PORTLAND	CLIENT THE FEDERATED COMPANIES	DRAWN: KEW DATE: NOV. 2012 DESIGNED: WGH SCALE: 1" = 20' CHECKED: WGH JOB NO.: 3062 FILE NAME: 3062-SITE SHEET: C-2.2
P.E. WILLIAM G. HOFFMAN LIC. #4105			

POINTS OF INTEREST

- (A)** LOCATION OF STREET; ENTRANCE OF ABUTTER ON PEARL STREET EXTENSION
- (B)** LOCATION OF THE MUSE AND GARAGE ENTRANCE
- (C)** INTERSECTION, ELEVATION CHANGE, LIMIT OF WORK
- (D)** MAXIMUM CHANGE IN STREET ELEVATION OCCURS HERE
- (E)** SERVICE ENTRANCE TO midtownFour
- (F)** PUBLIC SPACE TO REMAIN UNDISTURBED
- (G)** BERM
- (H)** BUILDING LOCATION RELATIVE TO TRAIL
- (I)** BACK SIDE OF MUSE AND STEPS
- (J)** GUEST ENTRY FOR midtownOne - PEARL STREET EXTENTION





POINT TABLE		
ID	NORTHING	EASTING
1	302435.92	2927986.55
2	302542.34	2927894.06
3	302497.74	2927842.73
4	302447.36	2927886.51
5	302396.19	2927827.64
6	302338.63	2927877.66
7	302318.96	2927855.02
8	302411.04	2927774.99
9	302194.73	2927533.73
10	302106.42	2927610.48

POINT TABLE		
ID	NORTHING	EASTING
11	302042.98	2927534.44
12	302140.73	2927449.49
13	302059.38	2927355.90
14	301938.68	2927217.02
15	301858.29	2927124.53
16	301759.76	2927208.57
17	301799.13	2927130.74
18	301909.59	2927058.81
19	301835.17	2927066.62
20	301805.73	2927031.29
21	301837.02	2926908.43
22	301884.86	2926903.79
23	301898.09	2926940.07

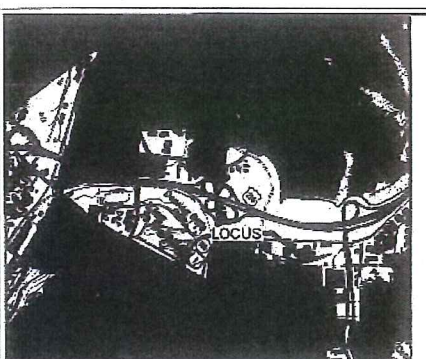
FST
formerly DHAI

NOTE:
MANY BUILDING CORNERS ARE PROPERTY
CORNERS. REFER TO STRUCTURAL DRAWINGS
FOR EXACT LAYOUT OF **PILES** AND FOUNDATIONS



BUILDING LAYOUT CORNERS
APPLICANT: FEDERATED PROPERTIES
midtown
Portland, Maine

SITE VISIT 6-11-13

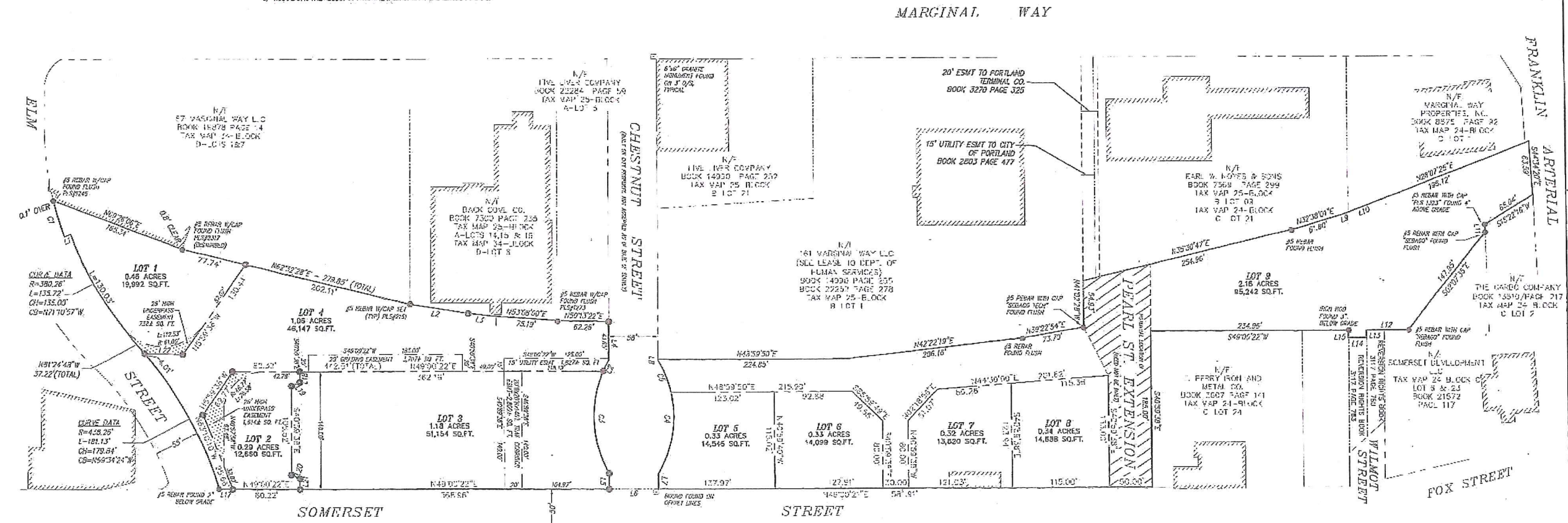
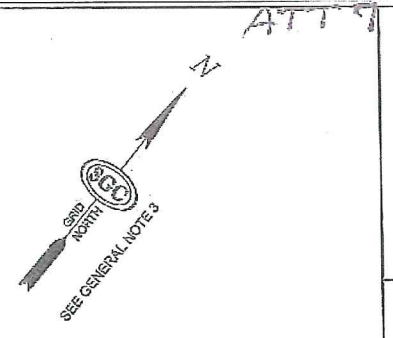


VICINITY MAP: (NOT TO SCALE)

- GENERAL NOTES:**
- 1) THIS PLAN AND ALL WORK ASSOCIATED WITH IT WAS PERFORMED BY SGC ENGINEERING, LLC PURSUANT TO A PROFESSIONAL SERVICES CONTRACT BETWEEN THE VENDOR AND CUNYAN AND SGC ENGINEERING, LLC.
 - 2) REFERENCE DEED FOR THE LOCUS PARCEL IS THE CITY OF PORTLAND TO DOWNTOWN PORTLAND CORPORATION DATED MARCH 19, 2006 AND RECORDED IN DEED BOOK 2378, PAGE 305 AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS.
 - 3) THE BUSINESS SECTION HEREON REFER TO THE MAINE STATE PLANE COORDINATE SYSTEM, WEST ZONE (MADS) AND ARE BASED ON THE CITY OF PORTLAND CONTROL NETWORK. CONTROL POINT LOCATIONS AND COORDINATE VALUES WERE SUPPLIED BY PORTLAND DEPARTMENT OF PUBLIC WORKS.
 - 4) THE LOCUS PARCEL IS COMPRISED OF THE FOLLOWING MAPS, BLOCKS AND LOTS: MAP 3-BLOCK 11, MAP 2-BLOCK 11, LOT 22 AND MAP 24-BLOCK 11, LOT 18. ALL SURVEY PROPERTY OWNER INFORMATION REFERENCED HEREON WAS TAKEN FROM THE CITY OF PORTLAND ASSESSOR'S DATA AS OF THE DATE OF THIS SURVEY.
 - 5) THE SURVEYED PREMISES ARE LOCATED IN ZONE C "AREAS OF URBAN DEVELOPMENT" AS SHOWN ON PLOTTED REGULATORY MAP FOR THE CITY OF PORTLAND, COMMUNITY-PANEL NUMBER 200301 0013 B, WITH AN EFFECTIVE DATE OF JULY 17, 1995.
 - 6) THE SURVEYED PREMISES ARE LOCATED IN THE B-7 URBAN COMMERCIAL BUSINESS DISTRICT AS SHOWN ON THE OFFICIAL ZONING MAP FOR THE CITY OF PORTLAND PREPARED JUNE 2003.
 - 7) NO SUBSURFACE INVESTIGATION HAS BEEN PERFORMED BY SGC ENGINEERING, LLC AT THE TIME OF THIS PLAN. SUB-SURFACE UTILITY INFORMATION WAS COMPILED FROM MAP REFERENCE 1 AND 3. DIG-SAFE SHOULD BE CONTACTED PRIOR TO COMMENCING ANY EXCAVATION. (888-345-7233)
 - 8) THIS PLAN IS THE RESULT OF A COMPILEXION OF MAP REFERENCES 1 THRU 3.

- MAP REFERENCES:**
- 1) A PLAN ENTITLED "MARGINAL LAND TITLE SURVEY LOCATED ON SOMERSET STREET, PORTLAND, MAINE, PREPARED FOR DOWNTOWN PORTLAND CORPORATION BY SGC ENGINEERING, LLC, DATED 08-09-06, UNRECORDED.
 - 2) A PLAN ENTITLED "BOUNDARY RETRACTION SURVEY LOCATED ON SOMERSET STREET, PORTLAND, MAINE, PREPARED FOR DOWNTOWN PORTLAND CORPORATION BY SGC ENGINEERING, LLC, DATED 08-17-06, UNRECORDED.
 - 3) A PLAN ENTITLED "BAYSIDE TRAIL EXISTING CONDITIONS PLAN - PHASE 2, PREPARED FOR THE CITY OF PORTLAND PUBLIC WORKS BY SGC ENGINEERING, LLC, DATED APRIL 2003, AND LAST REVISED BY CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, DRAWING FILE 07817.
 - 4) A PLAN ENTITLED "BAYSIDE SURVEY, FORMERLY PORTLAND TERMINAL CO. RAIL YARD, SOMERSET ST. PORTLAND, MAINE, DATED AUGUST 29, 2002, PREPARED BY SGC ASSOCIATES AND ON FILE AT THE CITY OF PORTLAND DEPARTMENT OF PUBLIC WORKS, DRAWING FILE 07817.
 - 5) A PLAN ENTITLED "181 MARGINAL WAY EXCHANGE PLAN OF CHESTNUT STREET EXT. AREA, CHESTNUT STREET, PORTLAND, MAINE, DATED JANUARY 23, 2004, PREPARED BY SGC AND TECHINCS AND RECORDED AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 265, PAGE 19.
 - 6) A PLAN ENTITLED "MARGINAL LAND TITLE SURVEY OF FOX STREET PROPERTY, FOX STREET, PORTLAND, MAINE, DATED JUNE 19, 2002, PREPARED BY SGC TECHINCS AND RECORDED AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 234, PAGE 607.

- 7) A PLAN ENTITLED "STANDARD BOUNDARY SURVEY, SITE PLAN, MARGINAL WAY, PORTLAND, MAINE, MADE FOR SATCO DATED JUNE 4, 1999, PREPARED BY TUCKER ASSOCIATES AND RECORDED AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 102, PAGE 337.
- 8) A PLAN ENTITLED "STATE AID HIGHWAY NO. 15, PORTLAND (PRELIMINARY) CLAMBERLAND COUNTY, DATED MARCH 1970, PREPARED BY STATE OF MAINE DEPARTMENT OF TRANSPORTATION AND RECORDED AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 134, PAGES 14-29.
- 9) A PLAN ENTITLED "LAND OF PORTLAND TERMINAL CO. SOUTH SIDE OF MARGINAL WAY, PORTLAND, MAINE, DATED APRIL 18, 1936 AND RECORDED AT THE CLAMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 24, PAGE 41.
- 10) A PLAN ENTITLED "CHESTNUT STREET EXTENSION, STREET CONSTRUCTION, UTILITY INSTALLATION & LANDSCAPING PLAN AND PROFILE, DATED 8-18-04, PREPARED BY CITY OF PORTLAND, DEPARTMENT OF PUBLIC WORKS, DRAWING FILE 104458.



CURVE TABLE (ALL DISTANCES IN FEET)

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	188.26'	22.46'	22.44'	N87°39'27"W
C2	135.00'	15.10'	15.02'	S84°11'03"E
C3	135.00'	196.24'	192.72'	S26°12'58"E
C4	135.00'	66.97'	62.20'	N32°11'45"W
C5	135.00'	61.45'	61.24'	N62°11'44"W

LINE TABLE

LINE	BEARING	DISTANCE (FEET)
L1	S29°32'11"W	8.00'
L2	N57°58'02"E	26.83'
L3	N55°18'01"E	38.17'
L4	S40°58'52"E	25.16'
L5	S40°58'52"E	25.17'
L6	S45°10'22"W	54.00'
L7	N45°38'52"W	38.25'
L8	N40°53'52"W	8.25'
L9	N26°18'27"E	8.77'
L10	N29°14'00"E	38.27'
L11	S41°47'12"E	2.75'
L12	S45°55'22"W	49.60'
L13	S40°47'24"E	8.00'
L14	S45°10'22"W	21.00'
L15	N40°14'24"E	3.00'
L16	N39°13'22"E	30.60'
L17	N40°13'22"E	16.68'
L18	S45°58'38"E	12.58'
L19	S24°10'23"W	11.02'
L20	N24°10'23"E	11.02'
L21	S45°58'38"E	12.58'
L22	S50°11'34"W	48.60'

- Summary of Planning Board Subdivision Conditions of Approval as Amended by the City of Portland, December 9, 2008 Approval Letter:**
- 1) The City shall be responsible for providing a minimum 100-foot along Somerset Street, along Lots 6, 7, and 8.
 - 2) The City shall be responsible for providing a minimum 100-foot along Somerset Street, along Lots 6, 7, and 8.

ADDITIONAL PROPOSED EASEMENTS:

- (NOT ALREADY SHOWN OR FULLY SHOWN ON THIS PLAN)
Easements Appurtenant to and Benefiting Lot 2:
- An easement for snow removal activities, in a location over Lot 4 as approved by the City, which shall contain terms and conditions drafted, reviewed, and approved by the City's Corporation Counsel Office.
 - An easement for subsurface pillars, pile caps and subsoil foundations generally along the roadway, existing and nearby property lines of Lot 3 and bordering Lot 4 and the Chestnut Street and Somerset Street rights-of-way which shall contain terms and conditions drafted, reviewed, and approved by the City's Corporation Counsel Office.
 - Discharge easement, bordering Lot 4, for placement of subsurface geotechnical walls and associated underpinning and equipment, with surface level marshals covers bordering Lots 1, 2 and 3 which shall contain terms and conditions drafted, reviewed, and approved by the City's Corporation Counsel Office.
- Easements Benefiting Lot 3:
- Discharge easement for public fire areas extending from the City right-of-way along Somerset Street and Chestnut Street to the edges of the alleys along the new office building and Garage as located once the buildings are constructed from construction grant of easement which shall contain terms and conditions drafted, reviewed, and approved by the City's Corporation Counsel Office.
 - Public Access, Landscaping and Utility easement of the entire and nearby side of the BaySide Garage to permit cooperation of open areas into the BaySide trail for landscaping, walking, etc. from construction grant of easement which shall contain terms and conditions drafted, reviewed, and approved by the City's Corporation Counsel Office and as shown on the Approved Site Plan.
 - Public Access Easement for a trail center 20' in width, 20' in height and 140' in length extending from Lot 4 across Lot 3 to Somerset Street in the location shown on this Plan and to be granted to the City with terms and conditions customary and approved by the City's Corporation Counsel Office.
- Easements Benefiting Lot 4 and Lot 8:
- Public easement to be granted to Portland Trails on Lot 4 and Lot 8.

APPROVED BY CITY OF PORTLAND PLANNING BOARD

CHAIR

[Signature]

[Signature]

[Signature]

DATE: DEC. 9, 2008

REGISTRY OF DEEDS
CLAMBERLAND COUNTY
RECORDED IN PLAN BOOK 265, PAGE 19
DATE: DEC. 9, 2008
FILED IN PLAN BOOK 265, PAGE 19

REVISIONS:

NO.	DATE	REVISION
1		
2		
3		

SGC ENGINEERING, LLC
Civil Design & Survey Engineering
Environmental & Regulatory Permitting
Electrical Power System Engineering

SGC

SERVING OUR CLIENTS IN THE U.S.A. & CANADA
1000 Main Street
Portland, ME 04101
Tel: 855-555-7233
Fax: 855-555-7234

DOWNTOWN PORTLAND CORPORATION
389 CONGRESS STREET, PORTLAND, MAINE 04101

DATE: 10-04-08
SCALE: 1"=60'

SHEET 1 OF 1



17 September 2013

Portland midtown preliminary design

1. aerial view 1
2. street elevations
3. aerial view 2
4. perspective view _ building a
5. building a ground floor plan
6. elevation at somerset street
7. elevation at pearl street
8. west elevation
9. elevation at bayside trail.
10. garage elevation at somerset street
11. garage elevation at bayside trail
12. garage elevation at chestnut street
13. phase two development concept
14. phase three development concept
15. signage concept
16. winds
17. rainfall
18. snow

midtown

Portland, ME

cbt





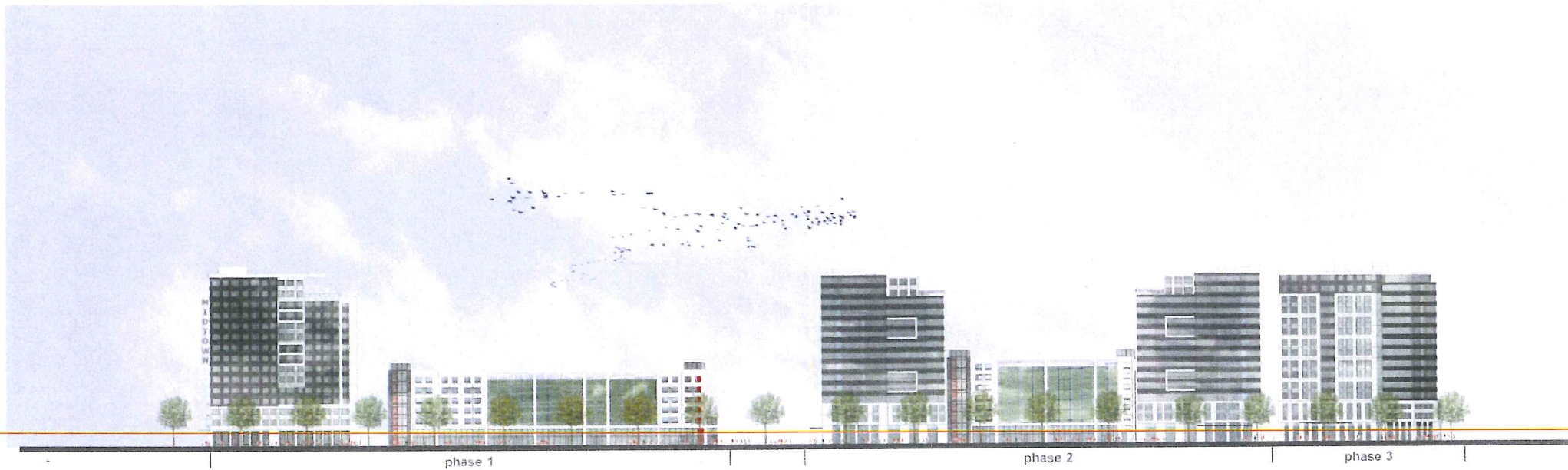
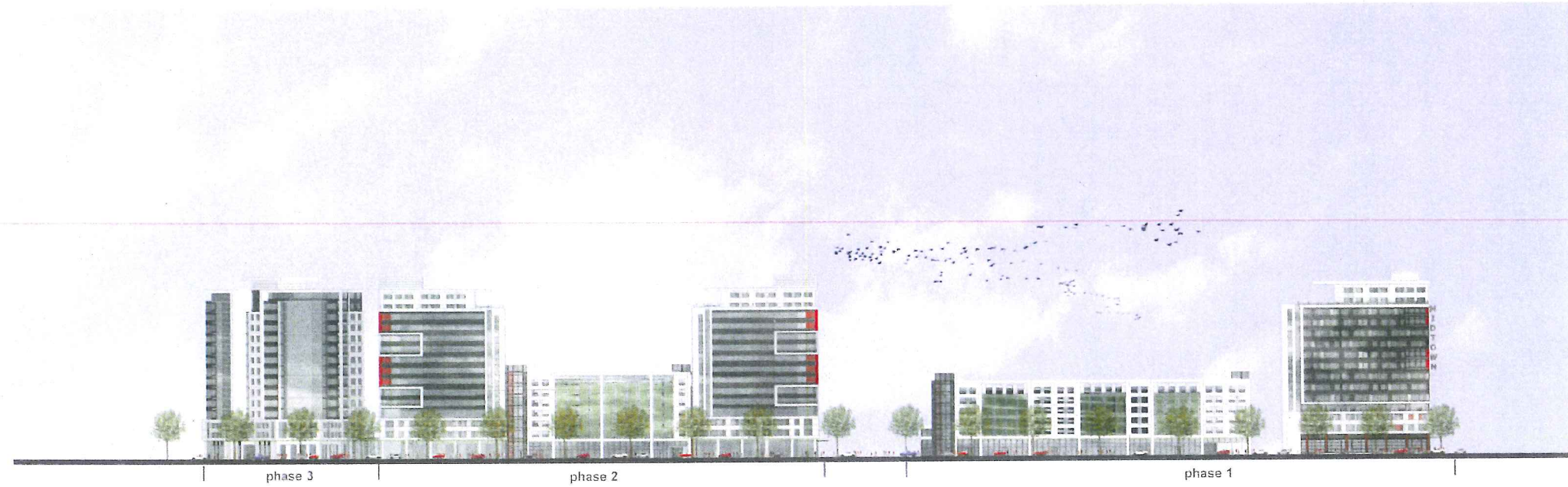
midtown

Portland, ME

aerial view 1

cbt





midtown

Portland, ME

street elevations

cbt





midtown

Portland, ME

aerial view 2

cbt





midtown

Portland, ME

perspective view

cbt





ground floor plan

Portland, ME

cbt





midtown

Portland, ME

elevation at somerset street

cbt





midtown

Portland, ME

elevation at pearl street

cbt





midtown

Portland, ME

west elevation

cbt





midtown

Portland, ME

elevation at bayside trail

cbt





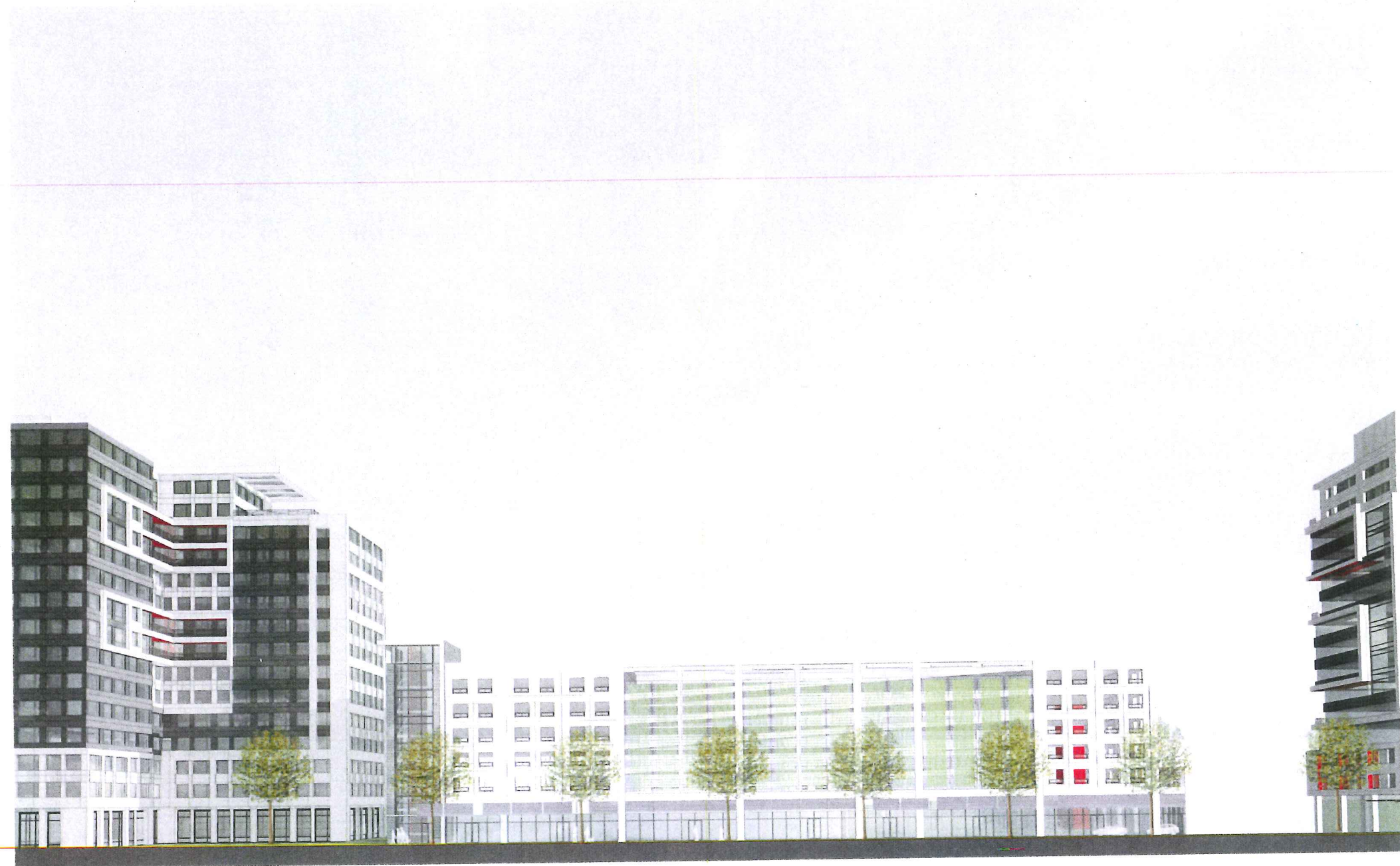
midtown

Portland, ME

garage elevation at somerset street

cbt





midtown

Portland, ME

garage elevation at bayside trail

cbt





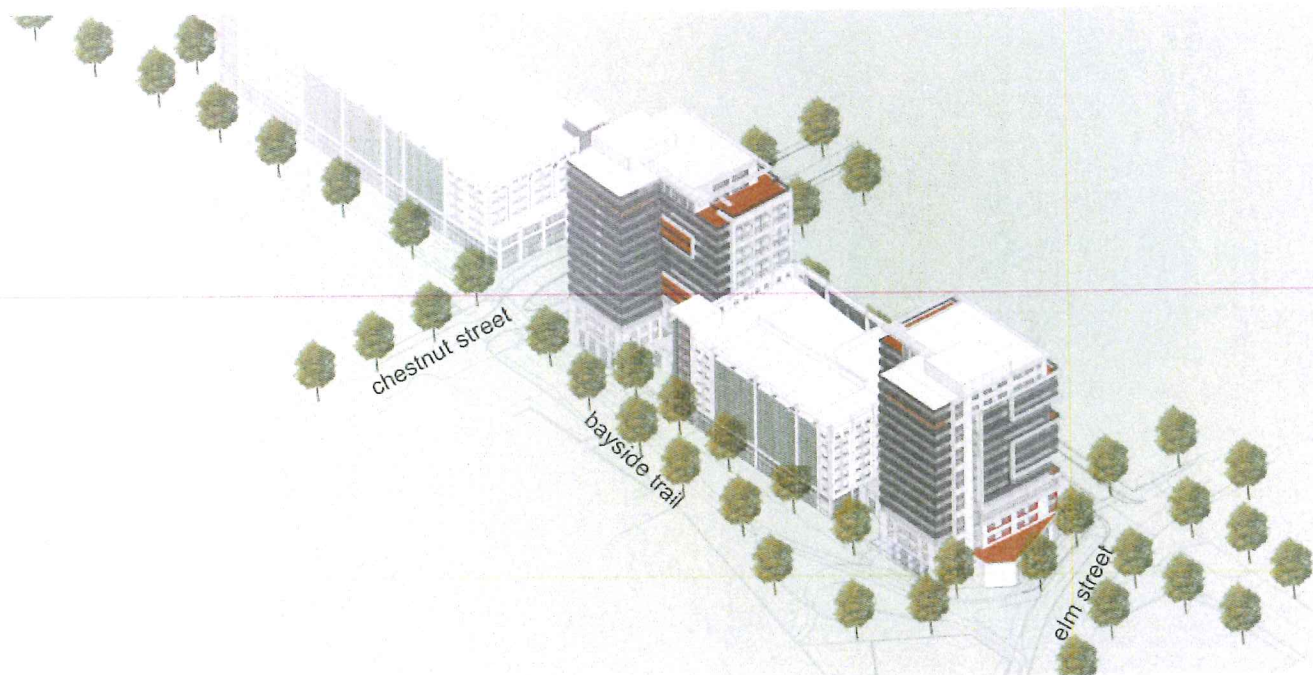
midtown

Portland, ME

garage elevation at chestnut street

cbt





elevation at bayside trail

elevation at somerset street



midtown

Portland, ME

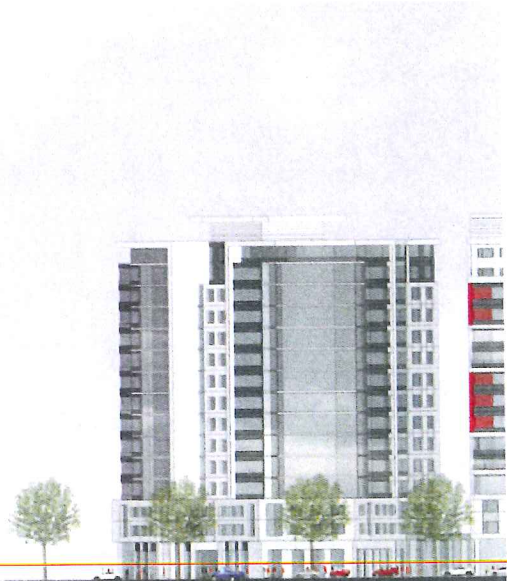
phase two development concept

cbt

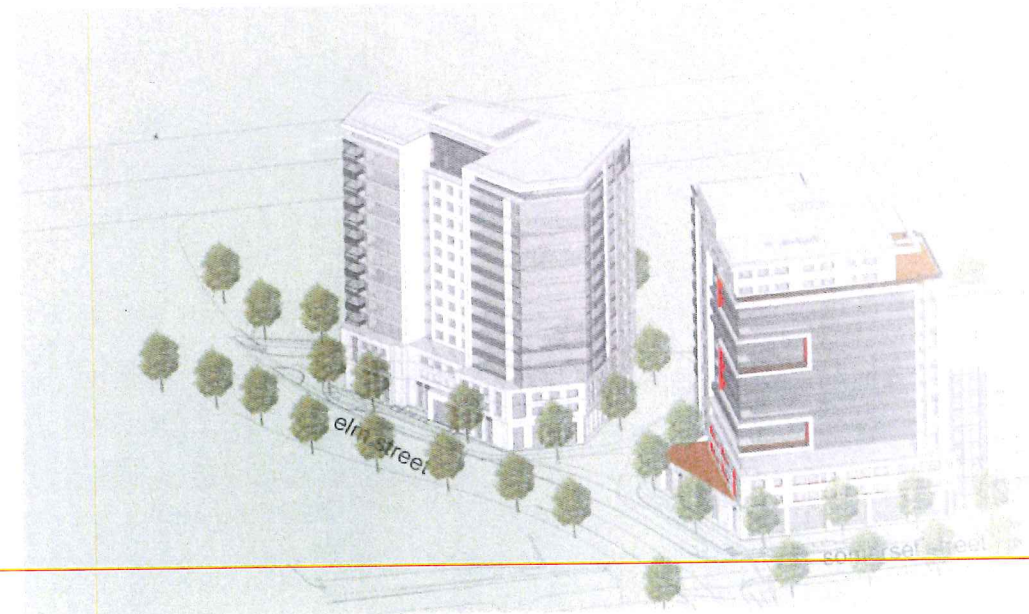




elevation at bayside trail



elevation at somerset street



midtown

Portland, ME

phase three development concept





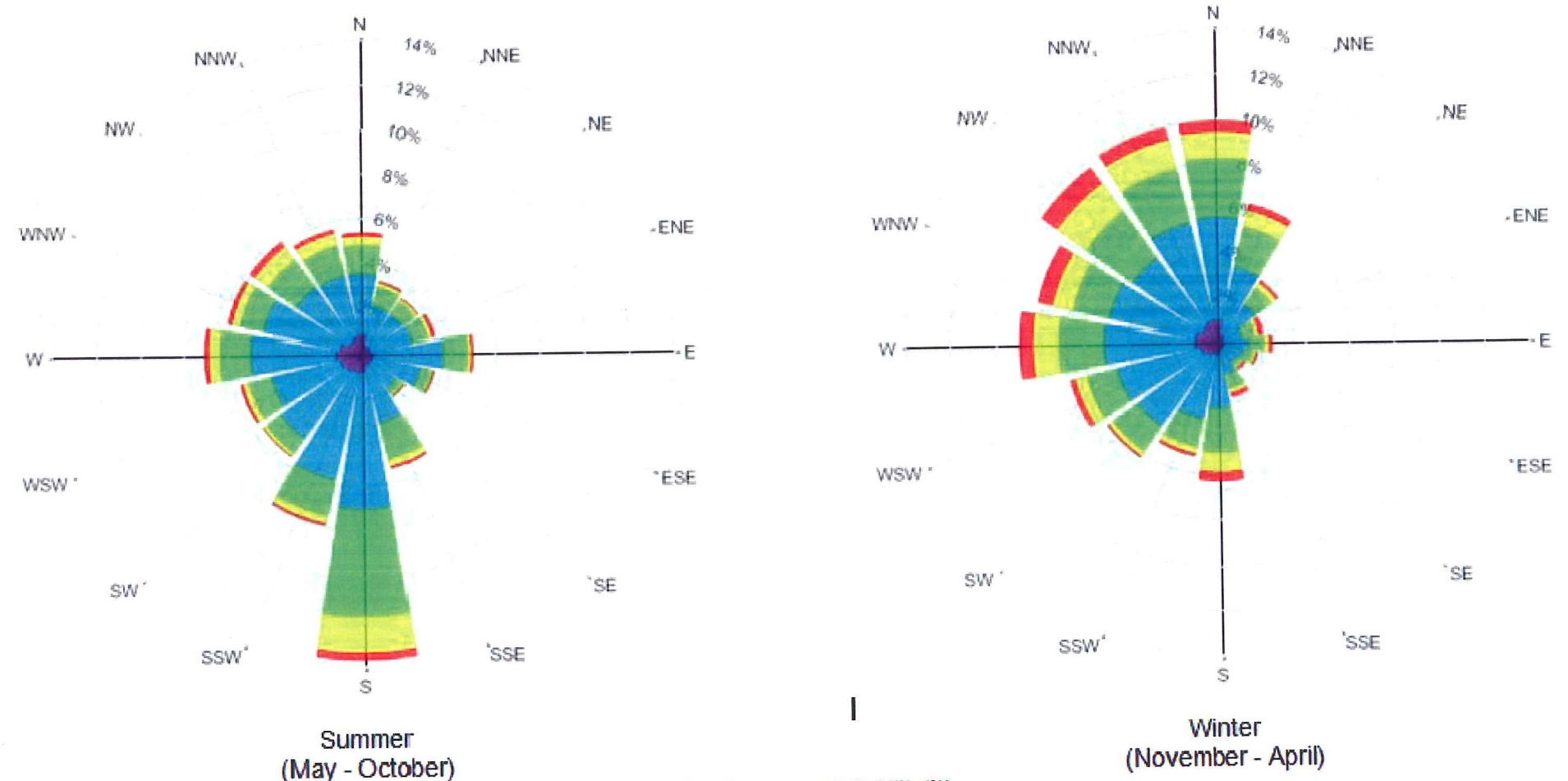
midtown

Portland, ME

signage concept

cbt





Wind Speed (mph)	Probability (%)	
	Summer	Winter
Calm	11.6	9.0
1-5	11.1	9.5
6-10	48.6	43.7
11-15	20.3	22.2
16-20	6.8	10.9
>20	1.6	4.7


Directional Distribution (%) of Winds (Blowing From)
 Portland International Airport (1973 - 2013)

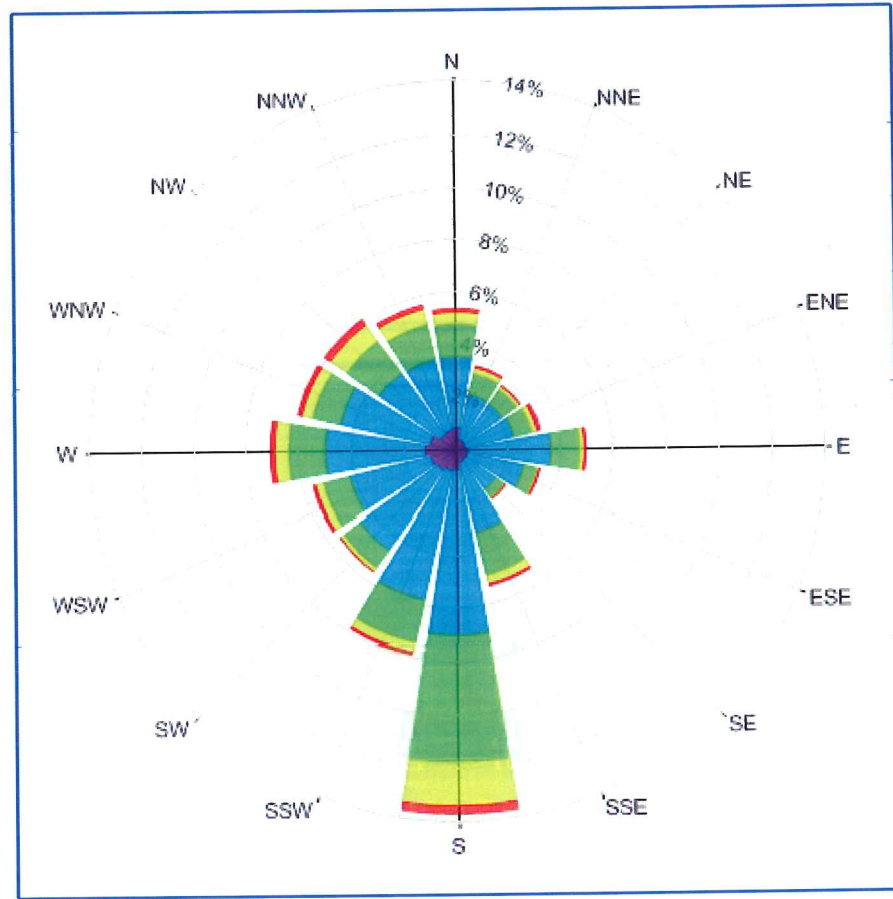
Project Name - Portland, Maine, United States of America

Figure No. 1

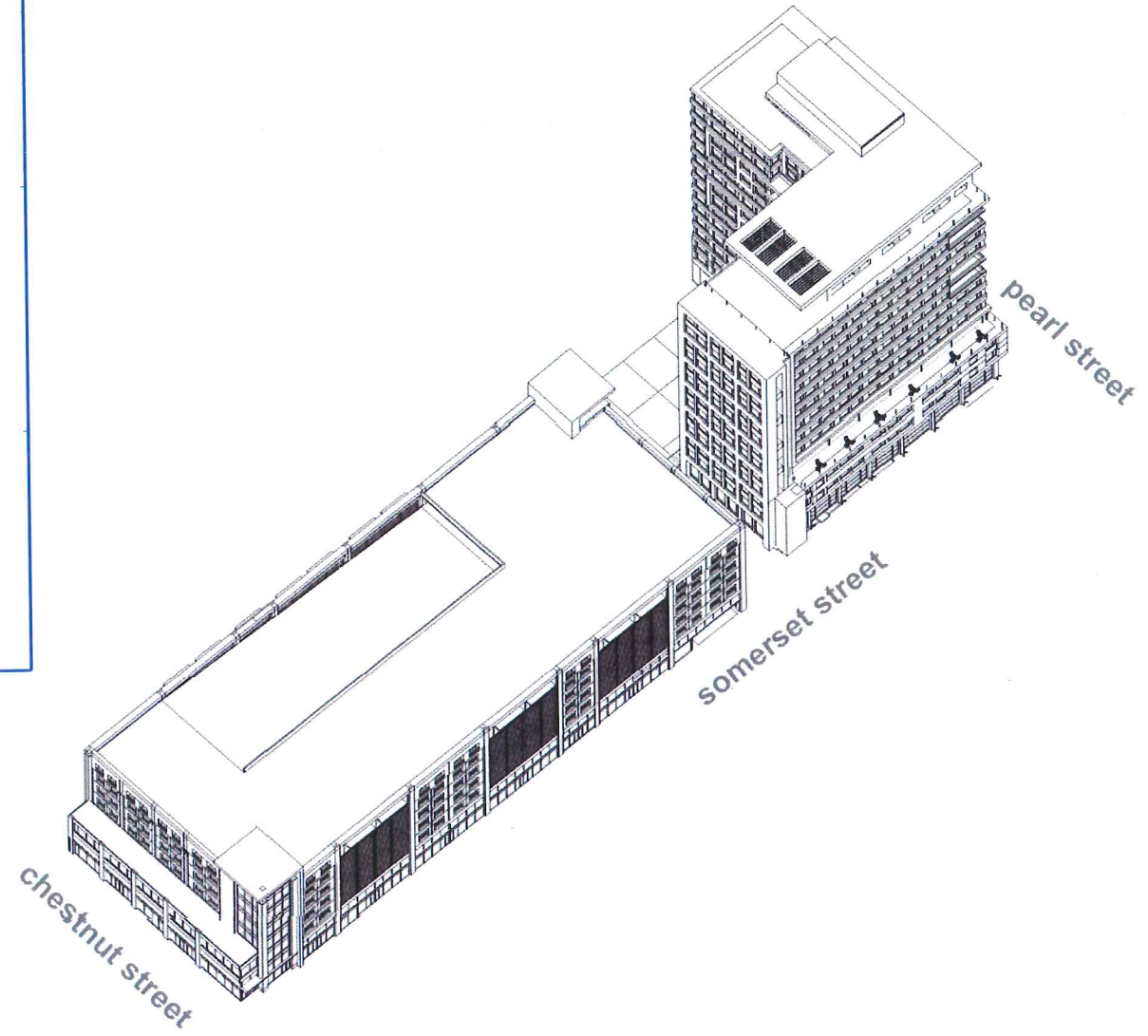
Date: September 17, 2013

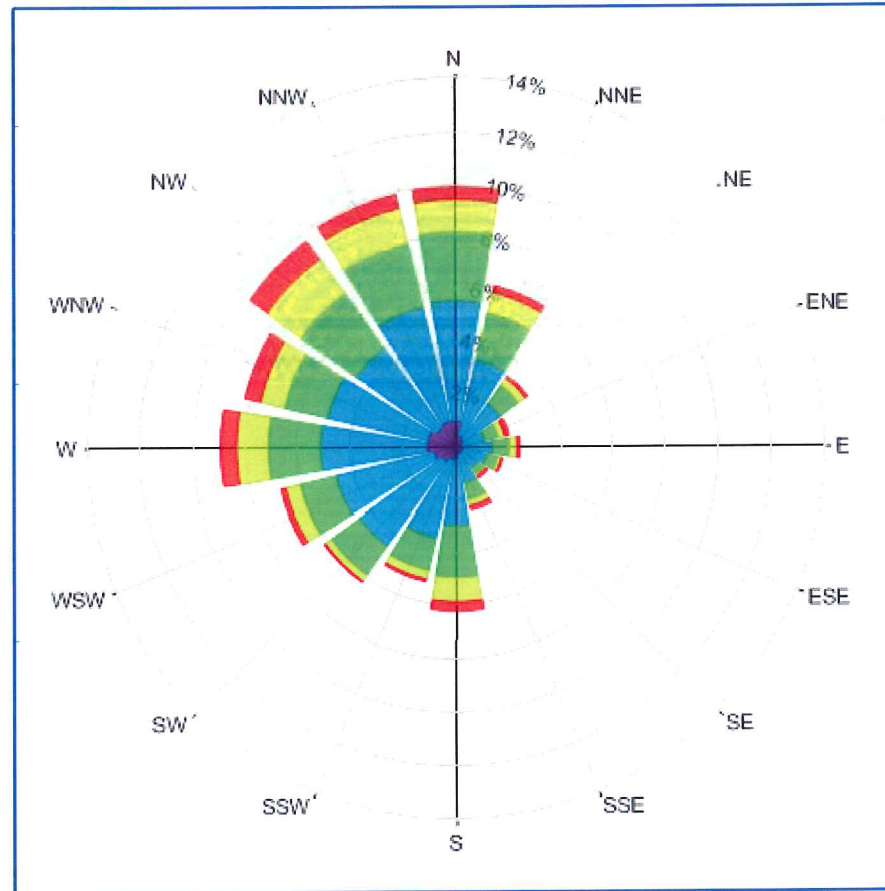
Project#1400237



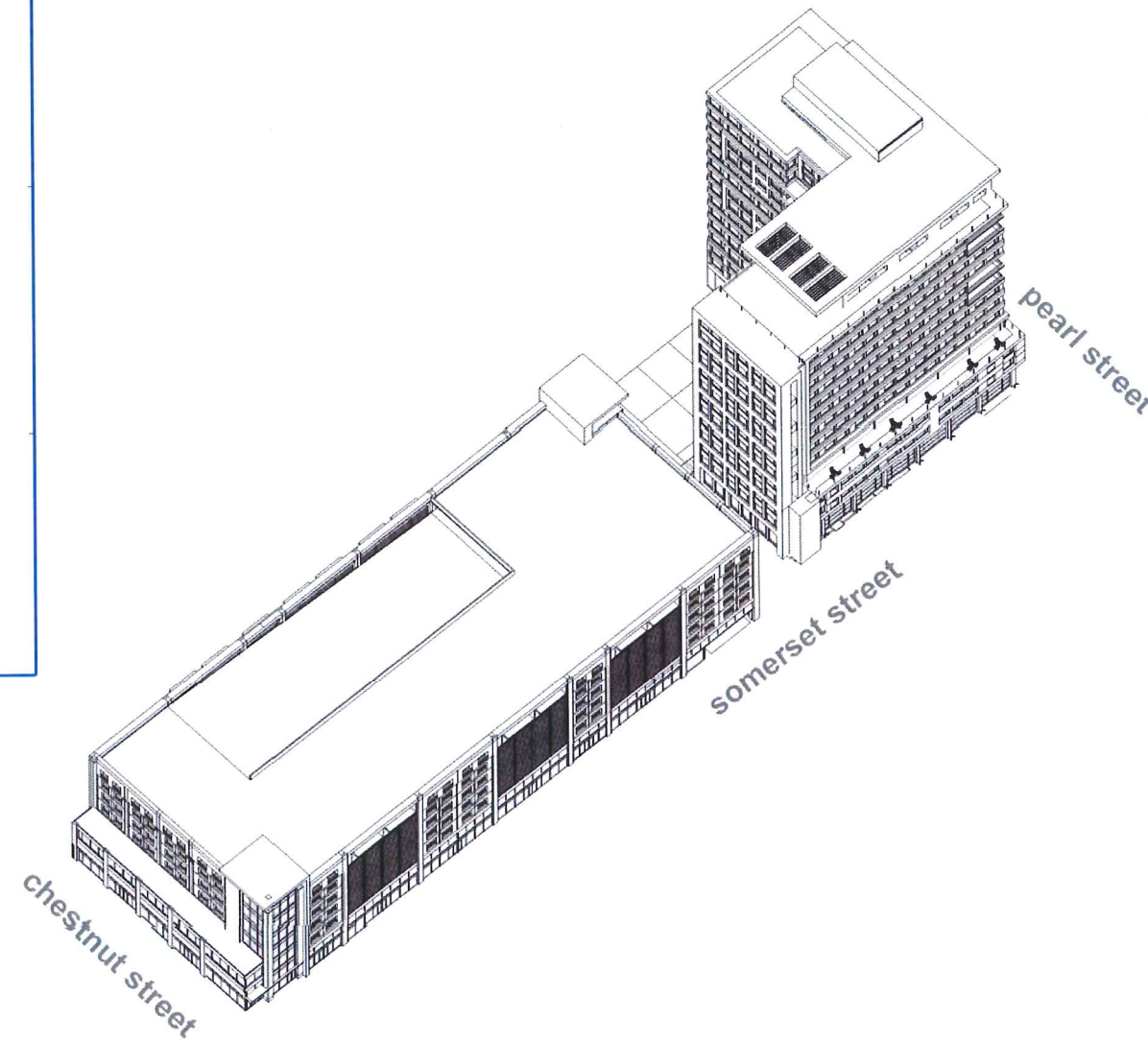


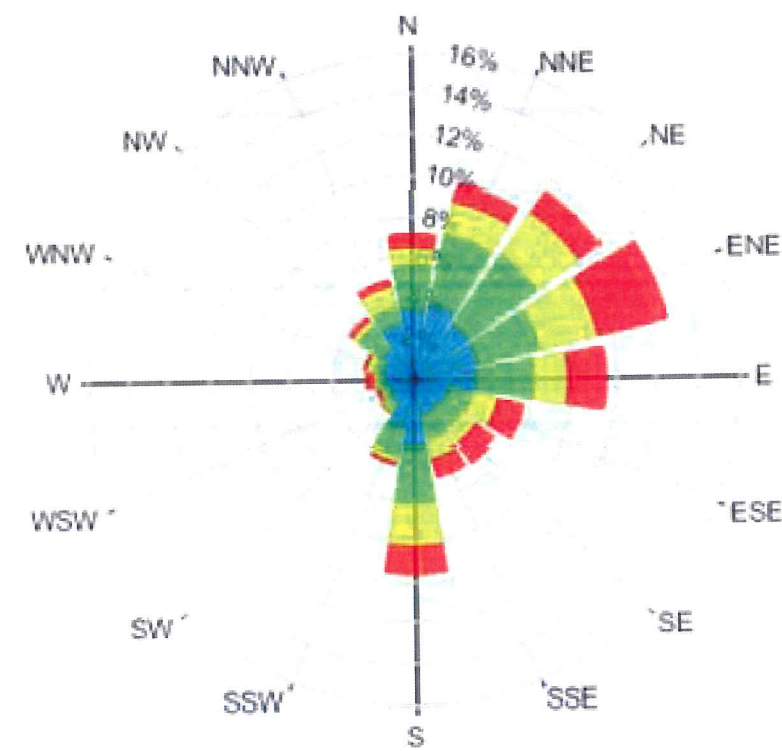
Summer Winds



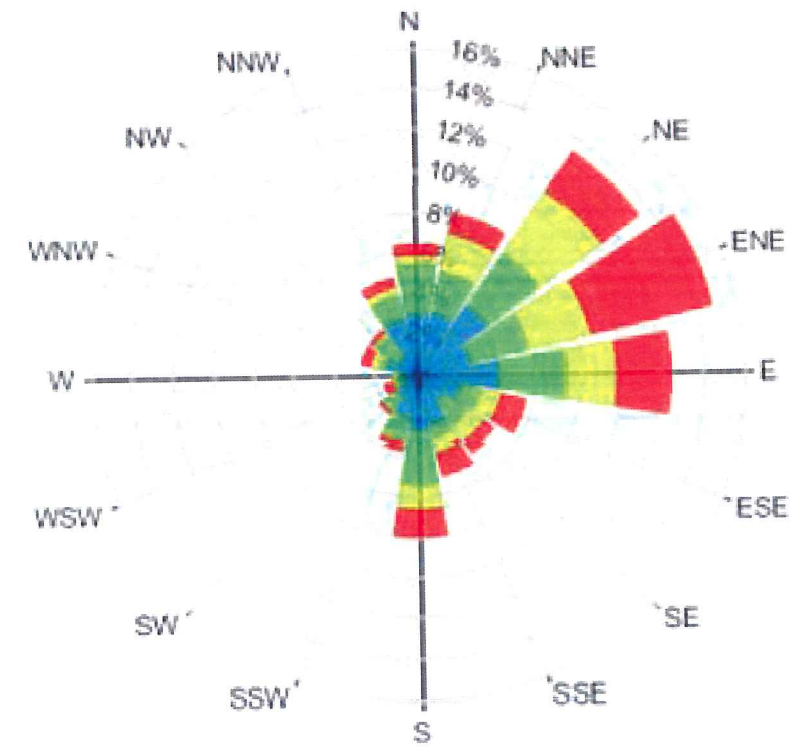


Winter Winds





Winds During Moderate Rainfall




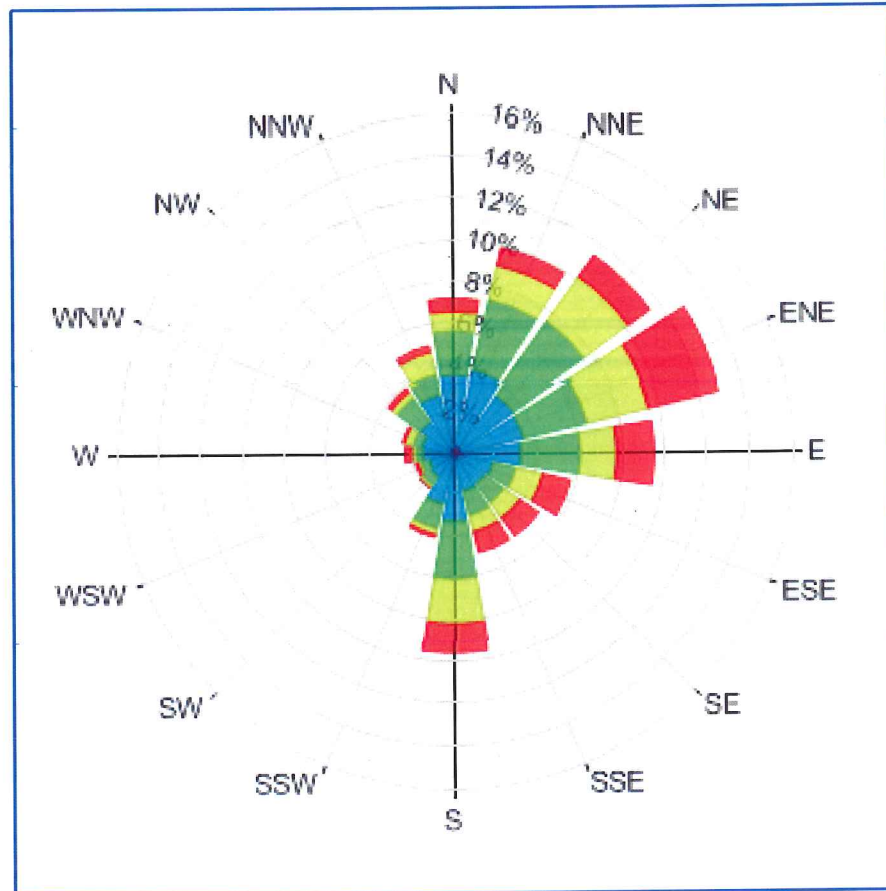
Winds During Heavy Rainfall

% Of Overall: 5.1% Calm

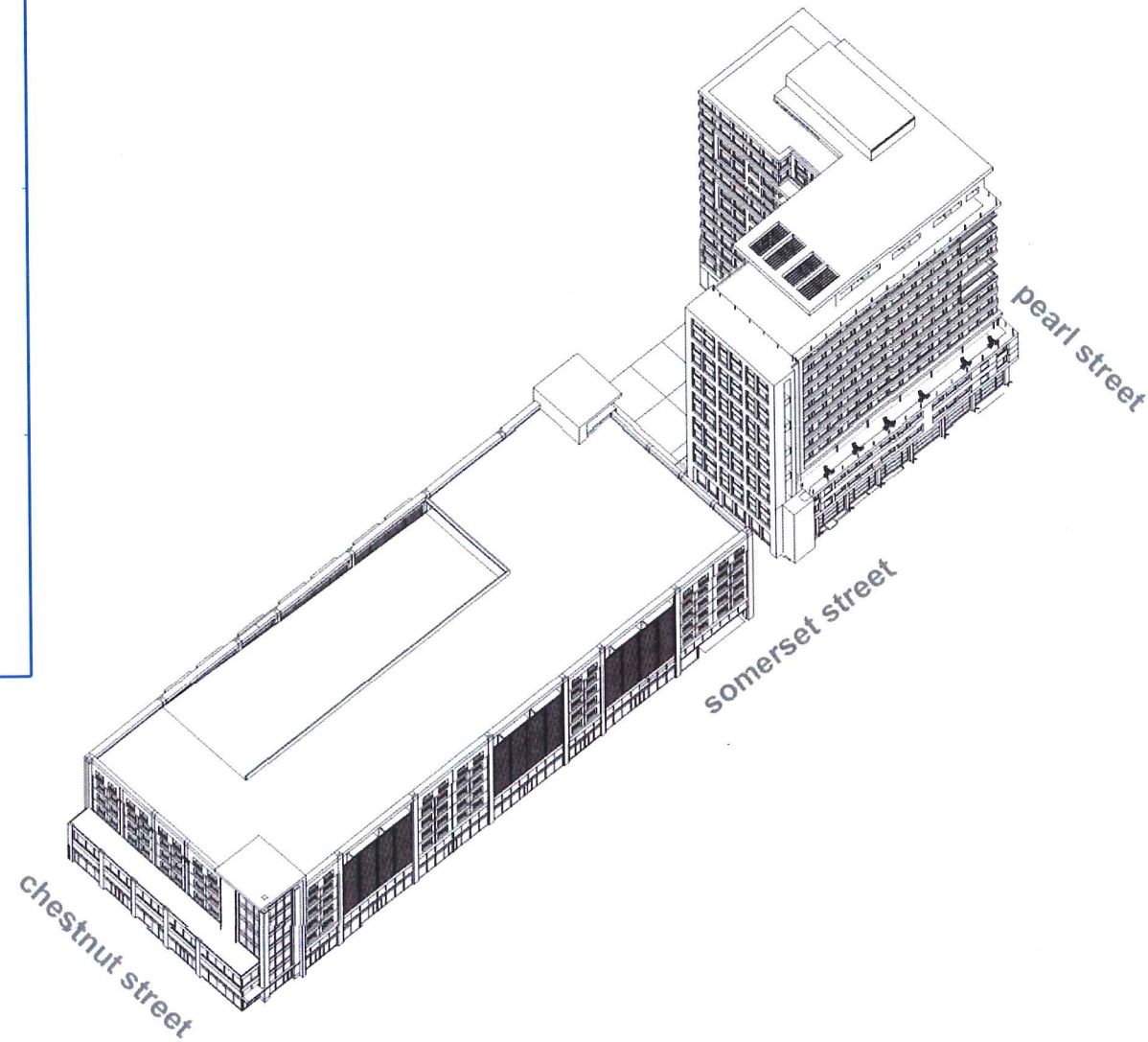
Percentage of Rain over All Winds: 9.6%

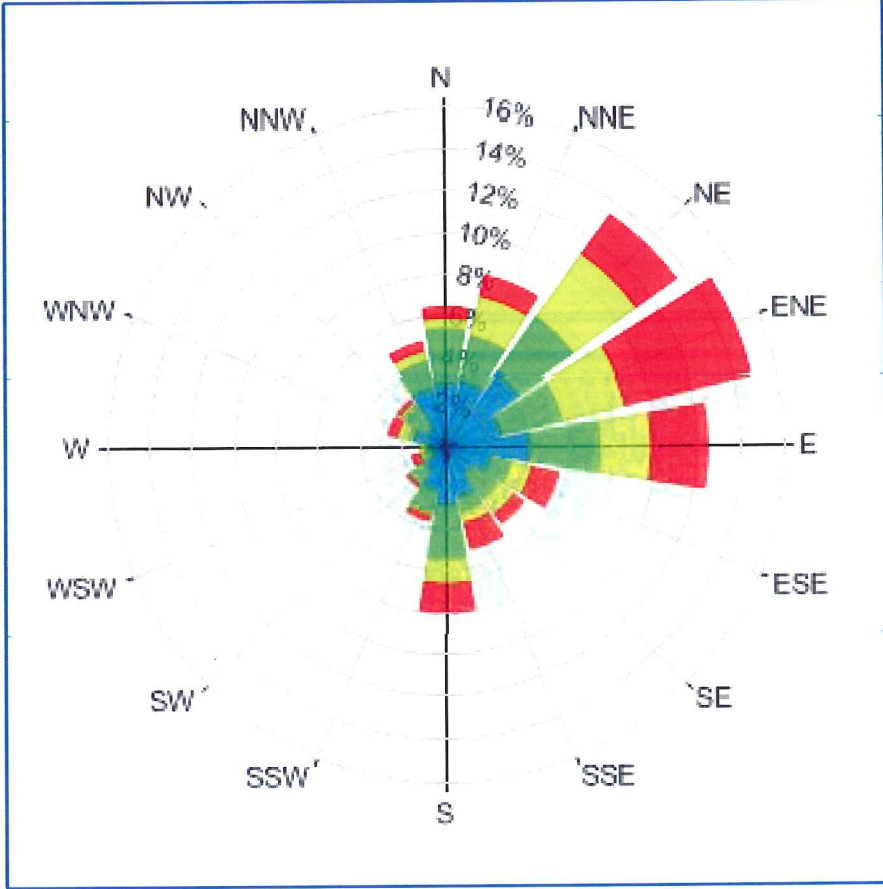
Wind Speed (mph)	Overall Probability (%)			
	All Rains	Light Rains	Moderate Rains	Heavy Rains
1-5	7.14%	6.53%	0.45%	0.16%
6-10	44.73%	39.59%	3.97%	1.16%
11-15	25.12%	21.23%	3.01%	0.88%
16-20	11.92%	9.27%	2.02%	0.63%
>20	6.04%	3.78%	1.59%	0.67%

Directional Distribution (%) of Winds (Blowing From) Portland International Airport (1973 - 2013) Project Name – Portland, Maine, United States of America	Figure No. 1	
	Date: September 17, 2013	

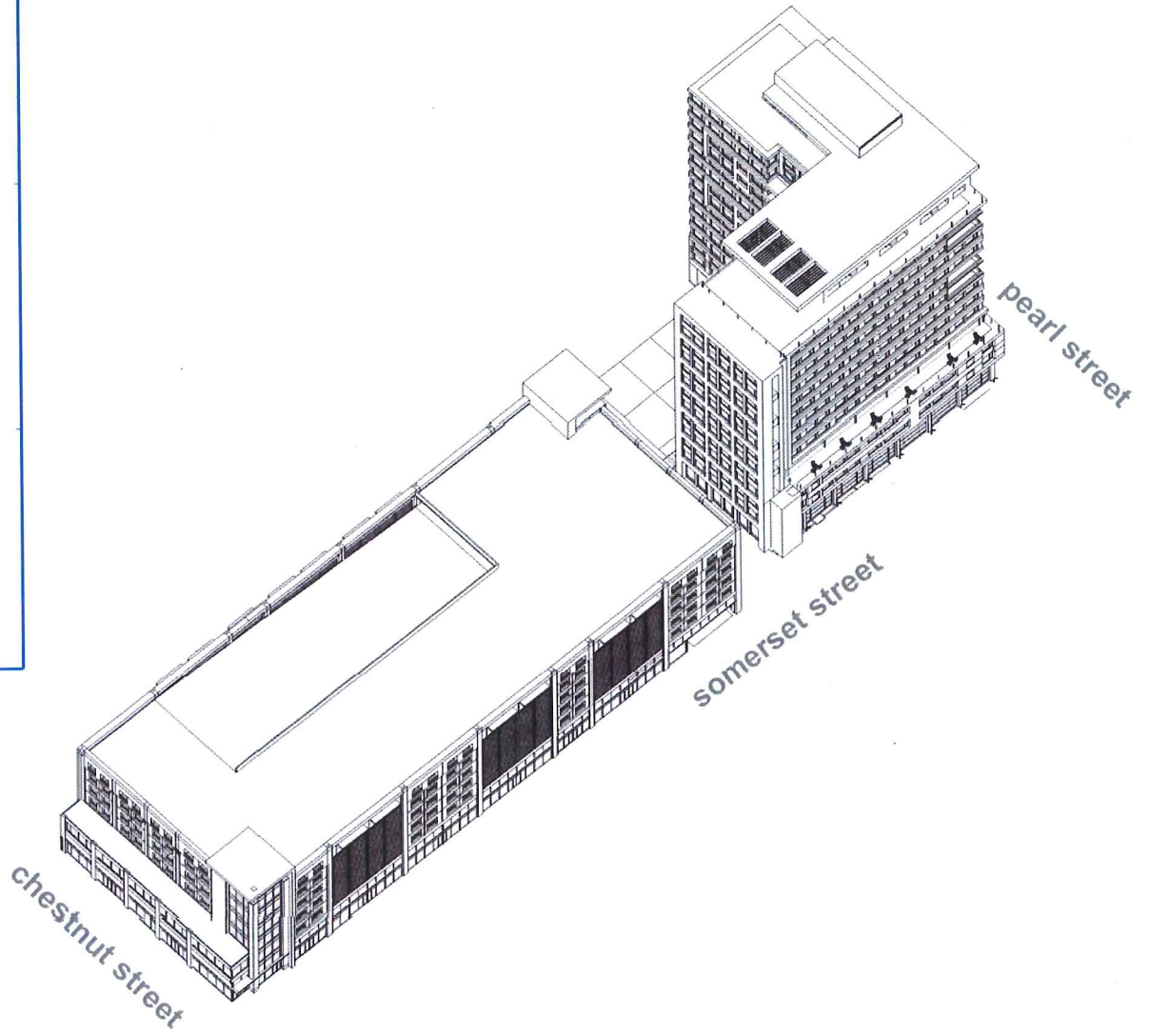


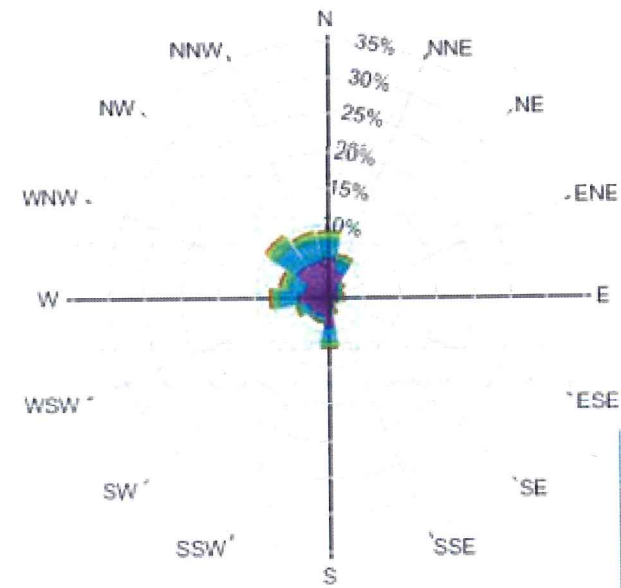
Winds during Moderate Rainfall



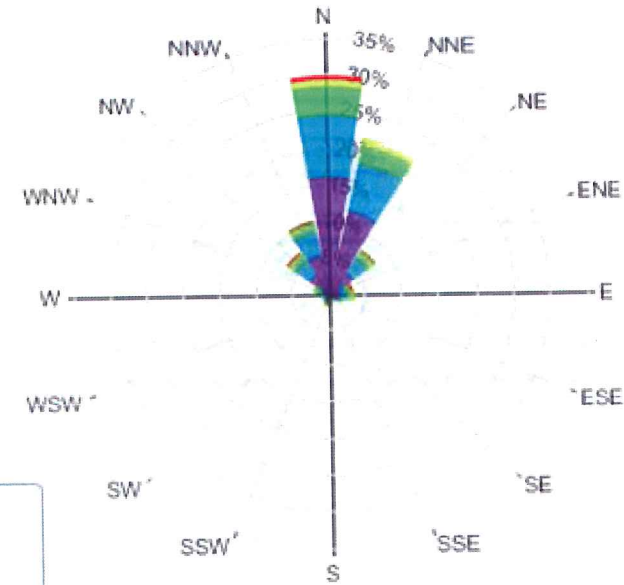


Winds during Heavy Rainfall

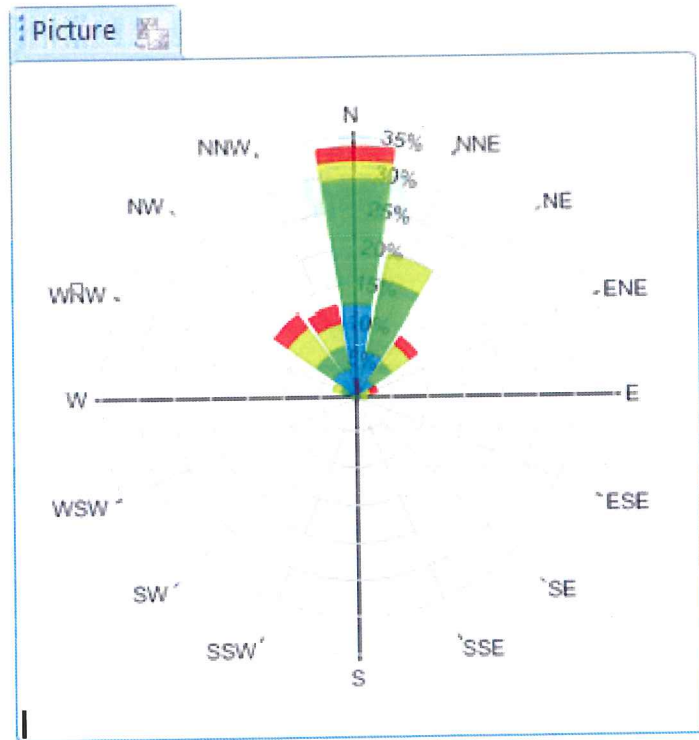




Winter Winds > 10 (mph)



Winds During Snowfall > 10 (mph)



Blowing Snow Events > 10 (mph)

Percentage of Snow over All Winds: 9.0%

Wind Speed mph	Probability (%)		
	Winter Winds	During Snowfall	Blowing Snow
11-15	58.8	53.9	5.0
16-20	28.7	29.6	28.0
21-25	9.3	11.9	37.1
26-30	2.4	3.5	21.4
>30	0.8	1.0	8.5

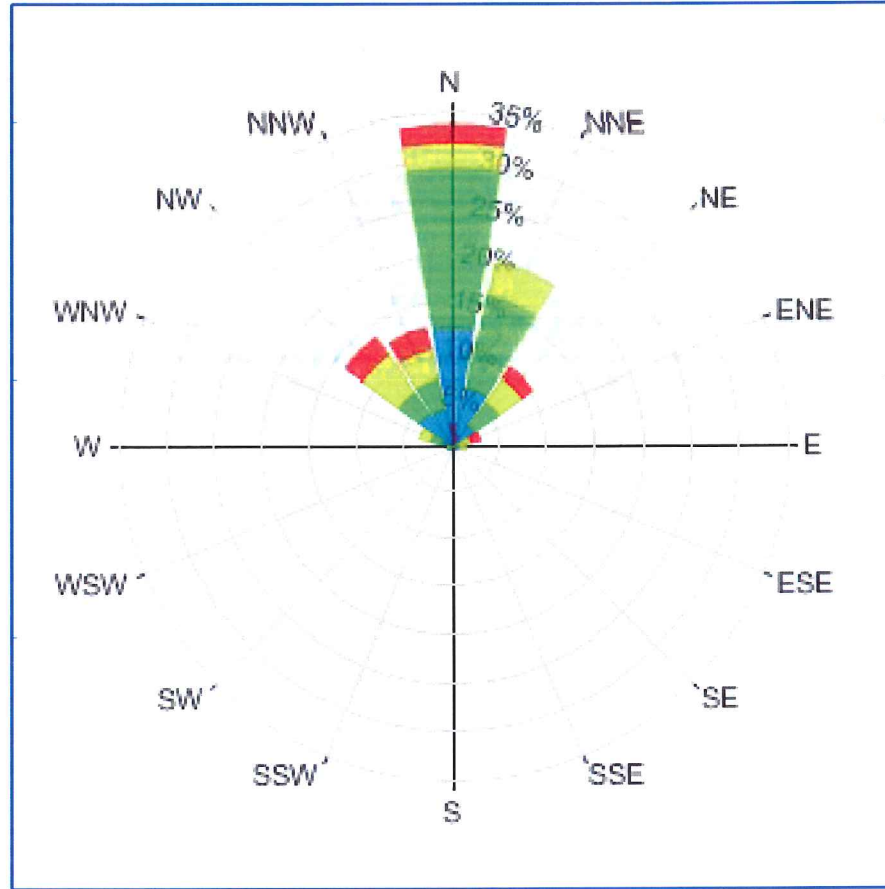
Directional Distribution (%) of Winds (Blowing From)
 Portland International Airport (1973 - 2013)
 November - April
 Project Name - Portland, Maine, United States of America

Figure No. 1

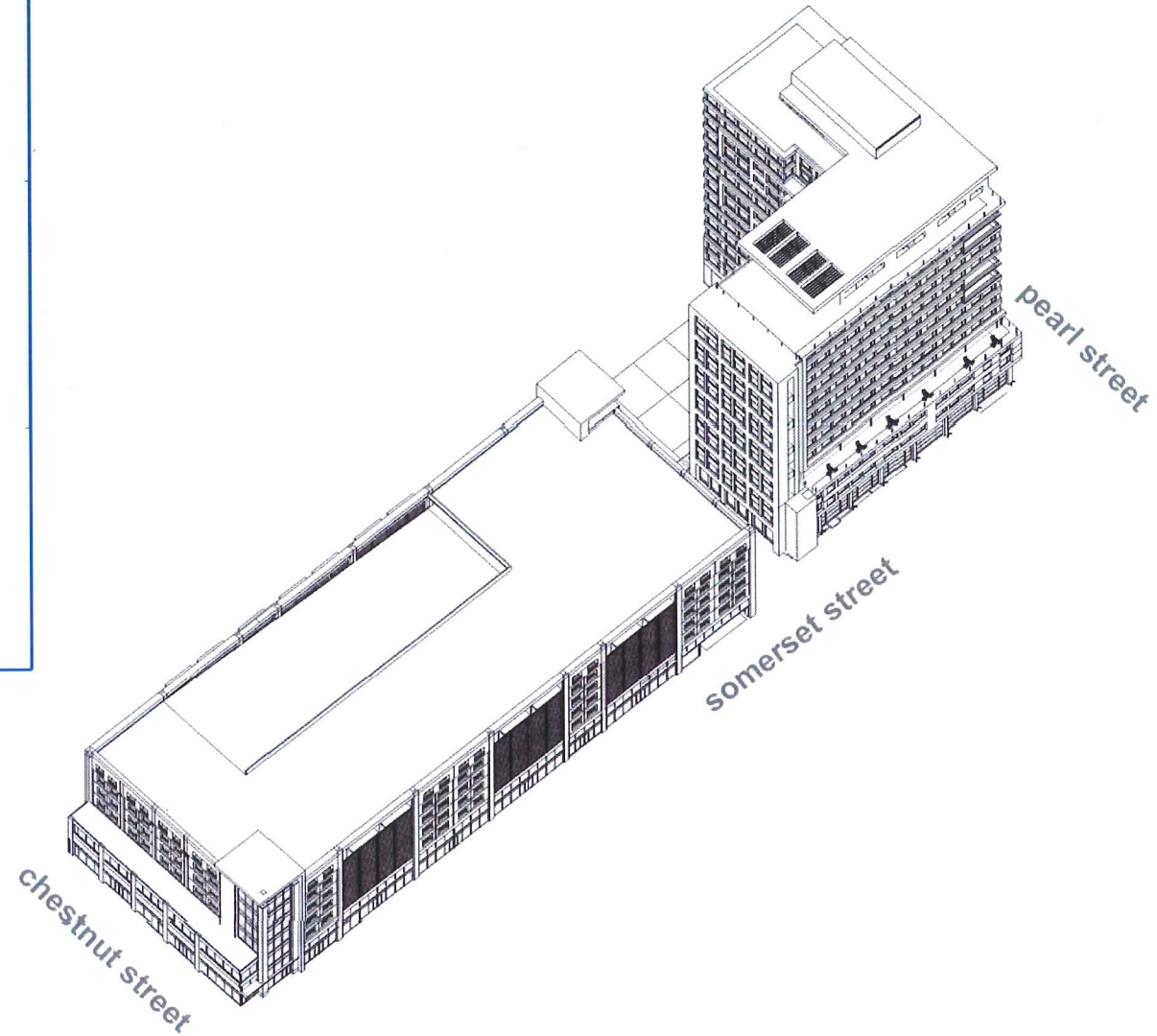


Project#1400237

Date: September 17, 2013



Blowing Snow Events





midtown

Portland, ME

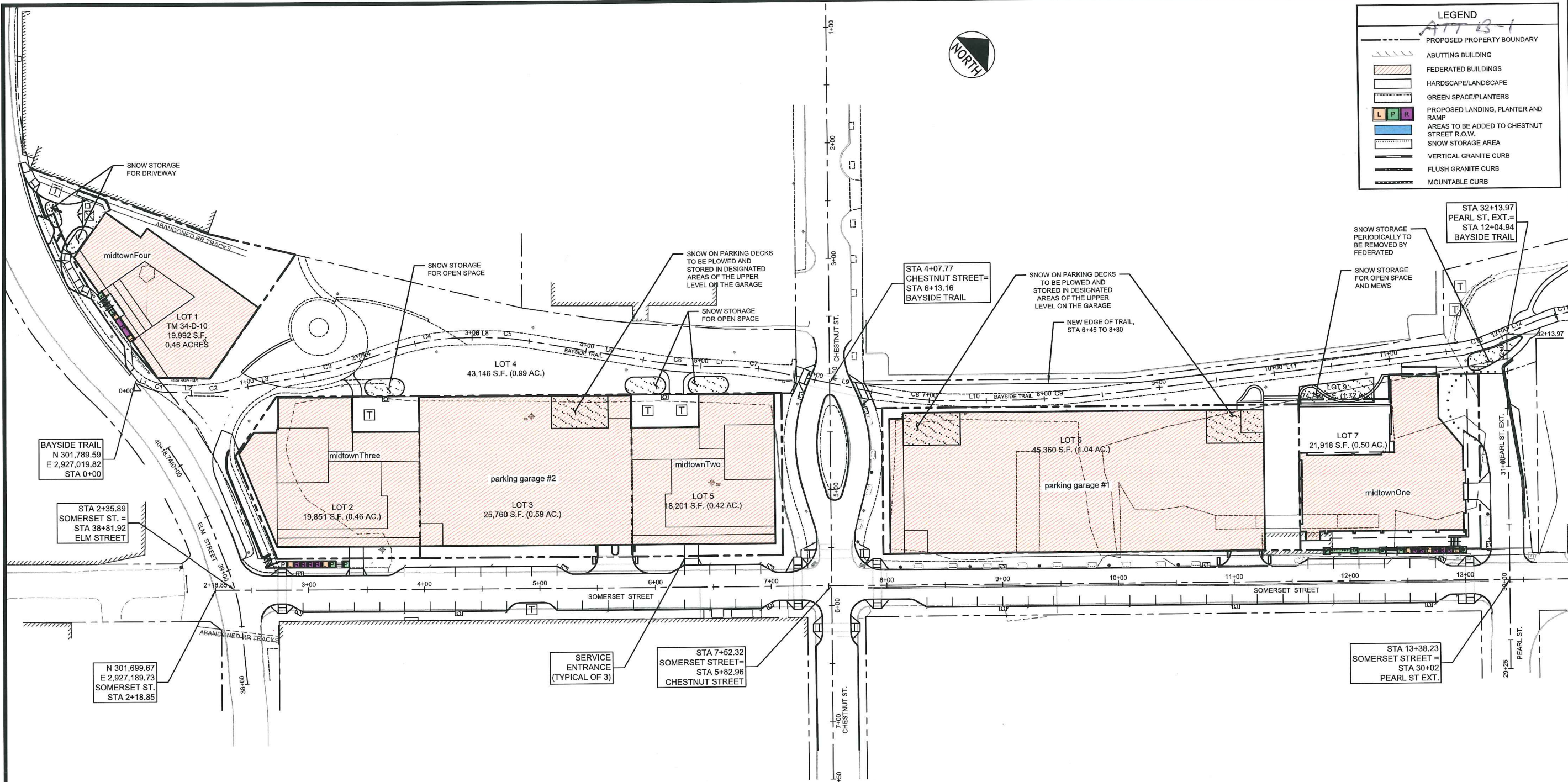
aerial view 1

cbt



LEGEND
ATT B-1

- PROPOSED PROPERTY BOUNDARY
- ▨ ABUTTING BUILDING
- ▨ FEDERATED BUILDINGS
- ▨ HARDSCAPE/LANDSCAPE
- ▨ GREEN SPACE/PLANTERS
- LP R PROPOSED LANDING, PLANTER AND RAMP
- ▨ AREAS TO BE ADDED TO CHESTNUT STREET R.O.W.
- ▨ SNOW STORAGE AREA
- ▨ VERTICAL GRANITE CURB
- ▨ FLUSH GRANITE CURB
- ▨ MOUNTABLE CURB



LINE TABLE: ALIGNMENTS

ID	LENGTH	DIRECTION
L1	11.70	N71° 04' 02.06"E
L2	34.95	N50° 11' 33.96"E
L3	82.21	N38° 43' 25.92"E
L4	44.18	N30° 40' 45.73"E
L5	20.19	N49° 00' 22.29"E
L6	106.00	N58° 43' 25.61"E
L7	21.70	N50° 49' 52.46"E
L8	20.19	N49° 00' 22.29"E
L9	95.15	N61° 14' 33.58"E
L10	32.69	N48° 56' 24.17"E
L11	284.79	N42° 26' 52.98"E
L12	13.41	N23° 46' 17.31"E
L13	50.38	N51° 49' 50.37"E

CURVE TABLE: ALIGNMENTS

ID	RADIUS	ARC LENGTH	DELTA	TANGENT	PC STATION	PT STATION
C1	50.00	18.22	020° 52'	9.21	0+11.70	0+29.91
C2	50.00	10.01	011° 28'	5.02	0+64.86	0+74.87
C3	200.00	28.08	008° 03'	14.06	1+57.08	1+85.16
C4	200.00	63.97	018° 20'	32.26	2+29.34	2+93.31
C5	200.00	33.92	009° 43'	17.00	3+13.50	3+47.42
C6	400.00	52.25	007° 29'	26.16	4+53.42	5+05.66
C7	200.00	36.34	010° 25'	18.22	5+27.37	5+63.71
C8	300.00	64.42	012° 18'	32.33	6+58.86	7+23.28
C9	1000.00	113.31	006° 30'	56.71	7+55.97	8+69.28
C10	150.00	48.90	018° 41'	24.67	11+54.07	12+02.96
C11	170.00	83.25	028° 04'	42.48	12+16.37	12+99.62

GRAPHIC SCALE
1 inch = 40 ft.

REVISIONS

REV	DATE	DESCRIPTION
5	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
4	07.08.13	REVISIONS AGREED UPON WICITY STAFF 06.12.13
3	05.23.13	LEVEL III SUBMISSION
3	05.23.13	REVISED LOT 6-7 BOUNDARY, REVISED PG #1 ENTRANCE, MISC. REVISIONS
1	05.08.13	SUBMITTED TO CITY OF PORTLAND

PROFESSIONAL ENGINEER
WILLIAM G. HOFFMAN
LIC. #4105

PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
OVERALL SITE PLAN

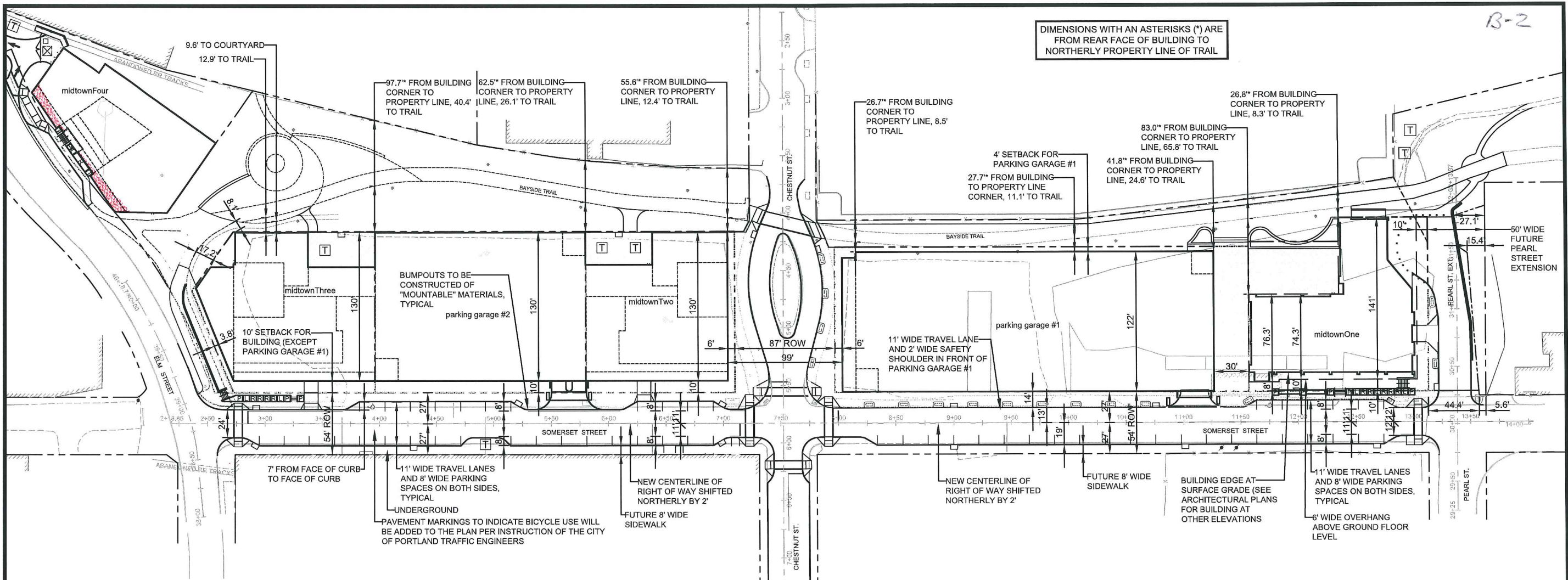
CLIENT
THE FEDERATED COMPANIES

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW **DATE:** APRIL 2013
DESIGNED: WGH **SCALE:** 1" = 40'
CHECKED: WGH **JOB NO.:** 3062
FILE NAME: 3062-SITE
SHEET: C-2.0

PRELIMINARY - NOT FOR CONSTRUCTION

DIMENSIONS WITH AN ASTERISKS (*) ARE FROM REAR FACE OF BUILDING TO NORTHERLY PROPERTY LINE OF TRAIL

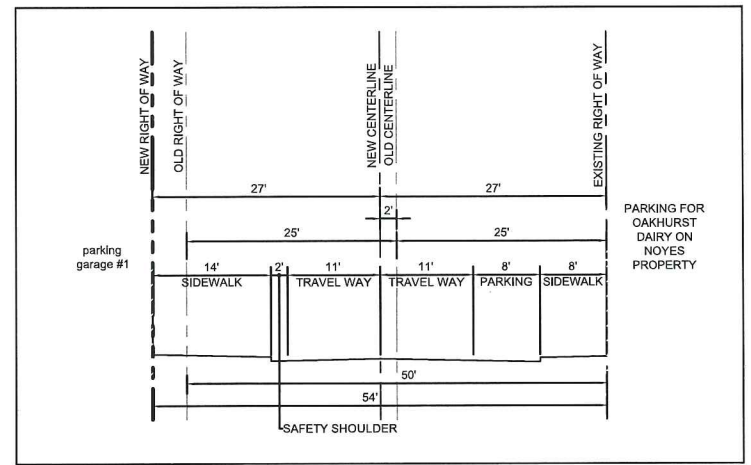


OVERALL SITE LAYOUT
SCALE 1" = 40'

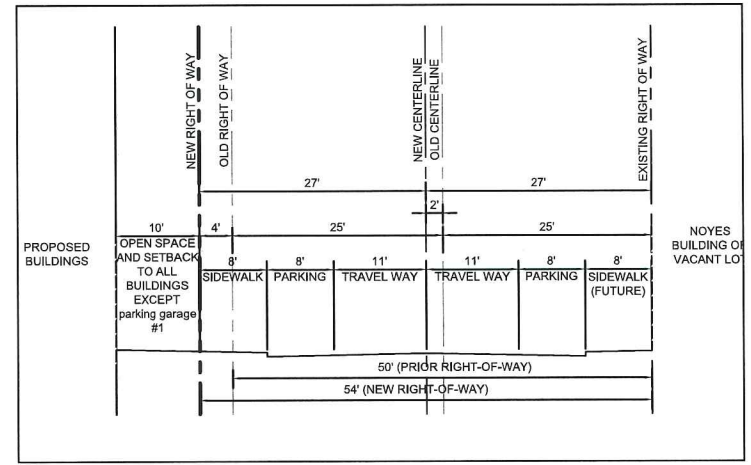
SOMERSET STREET PARKING COMPARISON		
DESCRIPTION	LOCATION	NO. OF SPACES
PRIOR PLAN	SPACES TO NORTH OF CENTERLINE	25
	SPACES TO SOUTH OF CENTERLINE	0
	TOTAL SPACES	25
REVISED PLAN	SPACES TO NORTH OF CENTERLINE	14
	SPACES TO SOUTH OF CENTERLINE	36
	TOTAL SPACES	50

REVISION FROM PLAN SUBMITTED IN MAY 2013

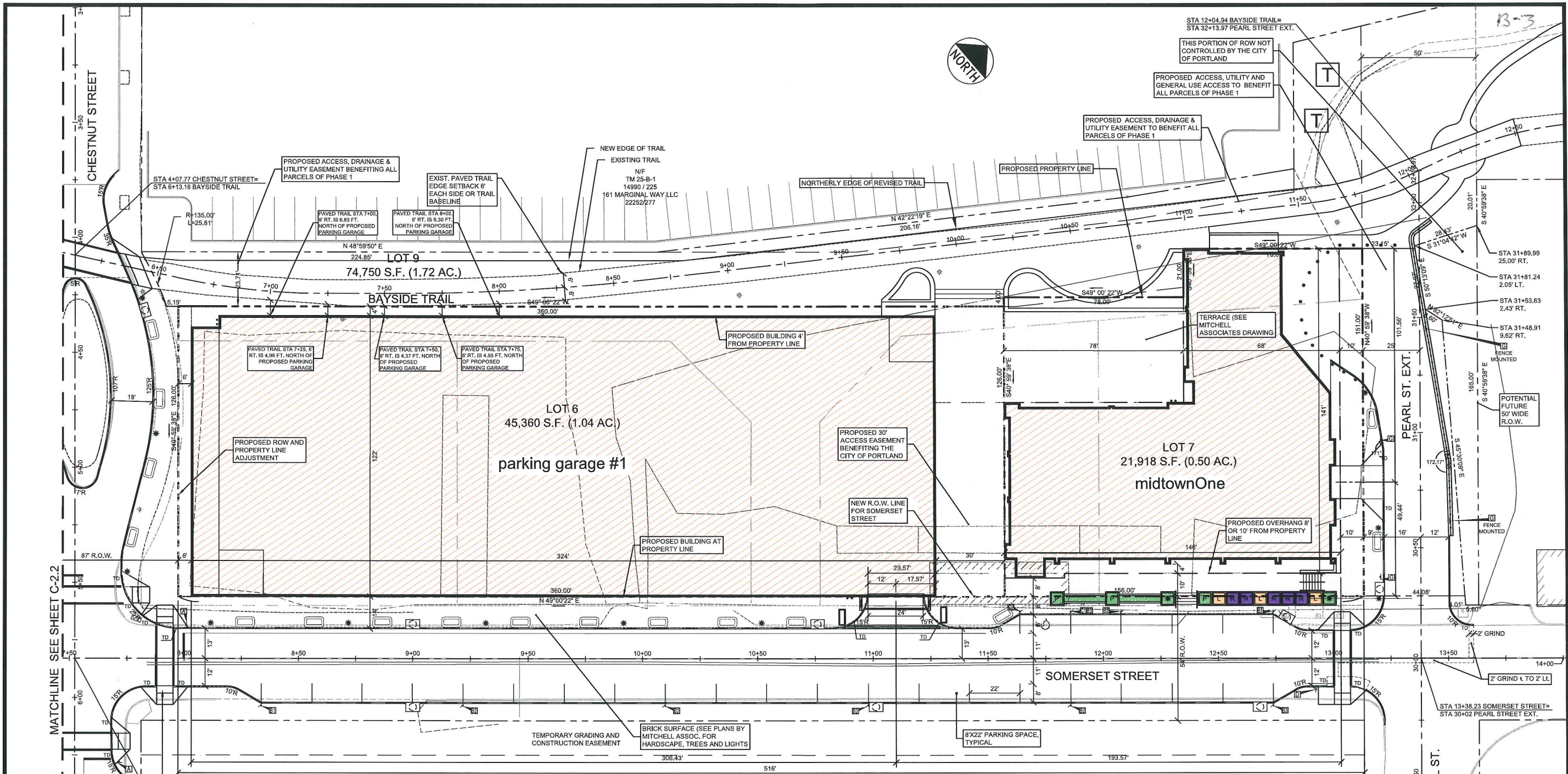
- LOT 2, 3, 5, AND 7 ARE SHIFTED NORTHERLY BY 4 FEET.
- THE RIGHT OF WAY HAS BEEN WIDENED TO 54 FEET WITH THE INCREASE IN WIDTH OCCURRING ON THE FEDERATED (NORTH) SIDE OF THE STREET.
- THE CURBING ON SOUTHERLY SIDE OF SOMERSET STREET WOULD BE MOVED 1 FOOT BACK FROM THE CURRENT LOCATION TOWARDS THE NOYES BUILDING. THIS PROVIDES 8 FEET FOR A SIDEWALK.
- PARKING IS LOCATED ON BOTH SIDES OF THE STREET, EXCEPT IN FRONT OF PARKING GARAGE #1 WHERE NO PARKING WOULD BE PROVIDED.
- THE CURBING ON THE NORTH SIDE OF SOMERSET STREET HAS BEEN MOVED 6 FEET CLOSER TO THE FEDERATED SIDE OF THE STREET.
- 18 FEET WOULD BE LEFT FROM CURB LINE IN AREAS OF PARKING TO THE FRONT OF MIDTOWN BUILDINGS 1, 2, 3 AND PARKING GARAGE #2 (VS. 19 FEET PREVIOUSLY SHOWN ON THE PREVIOUS DRAWINGS).
- THE CENTERLINE OF THE RIGHT OF WAY WOULD BE SHIFTED 2 FEET NORTH (DUE TO INCREASING RIGHT OF WAY WIDTH FROM 50 TO 54 FEET).
- FEDERATED LOT SIZES ARE ESSENTIALLY UNCHANGED SINCE THE ENTIRE LOT (BOTH FRONT AND BACK LOT LINES) ARE SHIFTED 4 FEET NORTHERLY.
- THE DIMENSION FROM THE CURB TO THE FACE OF PARKING GARAGE #1 IS 14 FEET AND FROM THE CENTER OF THE RIGHT-OF-WAY TO THE FACE OF PARKING GARAGE #1 IS 27 FEET.



TYPICAL SECTION IN FRONT OF parking garage #1
NOT TO SCALE



TYPICAL SECTION WITH PARKING ON EACH SIDE OF STREET
NOT TO SCALE



MATCHLINE SEE SHEET C-2.2

NOTE:
THE LOCATION FOR A METRO BUS STOP ALONG SOMERSET STREET IS UNDER REVIEW. RESOLUTION IS ANTICIPATED PRIOR TO COMPLETING LEVEL III SITE PLANS

REFERENCE NOTES:

- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST, CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA-HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

- AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
- THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
- THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1. LOT 2 AND 9 REMAIN THE CITY OF PORTLAND LOTS.

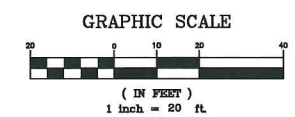
NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS (LATEST REVISION).
- EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES ON THE FEDERATED LOTS WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
- THE UTILITY AND DRAINAGE EASEMENTS ARE BASED UPON LIMITED INFORMATION. THE EXACT LOCATION OF THE EASEMENTS MAY BE ADJUSTED TO CONFORM WITH THE FINAL LEVEL III SITE PLAN, UTILITY AND DRAINAGE PLANS.

SIGN LEGEND

LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	BRICK AREAS
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	MOUNTABLE CURB
	TIPDOWN



REV	DATE	DESCRIPTION
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND

REVISIONS

PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
SITE LAYOUT
PLAN - PHASE 1

CLIENT
THE FEDERATED
COMPANIES

DATE: NOV. 2012

SCALE: 1" = 20'

FILE NAME: 3062-SITE

SHEET: C-2.1

DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04108
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW
DESIGNED: WGH
CHECKED: WGH
FILE NAME: 3062-SITE

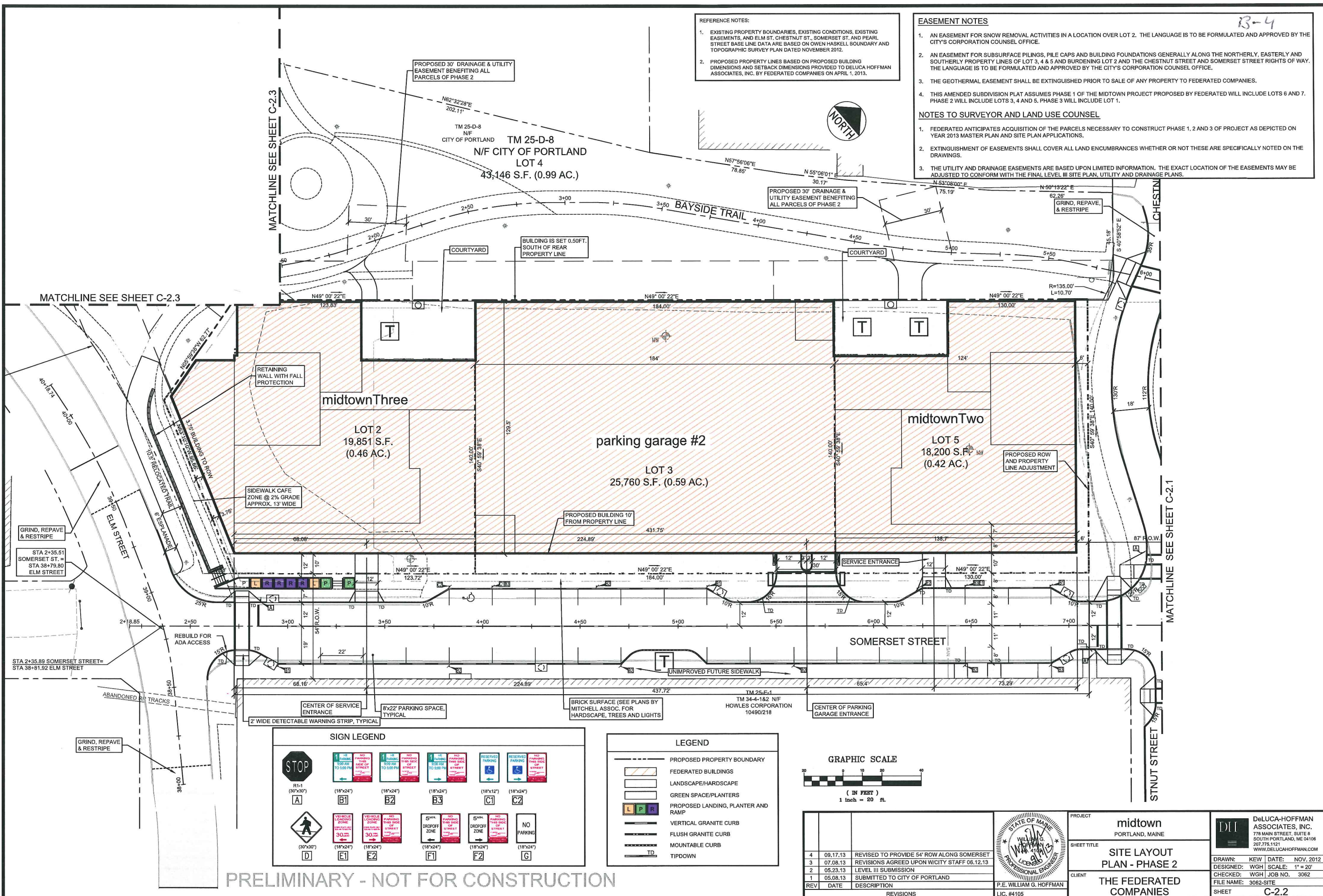
PRELIMINARY - NOT FOR CONSTRUCTION

REFERENCE NOTES:
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 2. PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

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NOTES TO SURVEYOR AND LAND USE COUNSEL
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 2. EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.
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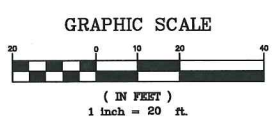
B-4



SIGN LEGEND

LEGEND

- PROPOSED PROPERTY BOUNDARY
- FEDERATED BUILDINGS
- LANDSCAPE/HARDSCAPE
- GREEN SPACE/PLANTERS
- PROPOSED LANDING, PLANTER AND RAMP
- VERTICAL GRANITE CURB
- FLUSH GRANITE CURB
- MOUNTABLE CURB
- TIPDOWN



REV	DATE	DESCRIPTION
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1	05.08.13	SUBMITTED TO CITY OF PORTLAND

PROFESSIONAL ENGINEER
 STATE OF MAINE
 WILLIAM G. HOFFMAN
 LICENSE #105

PROJECT: **midtown**
 PORTLAND, MAINE

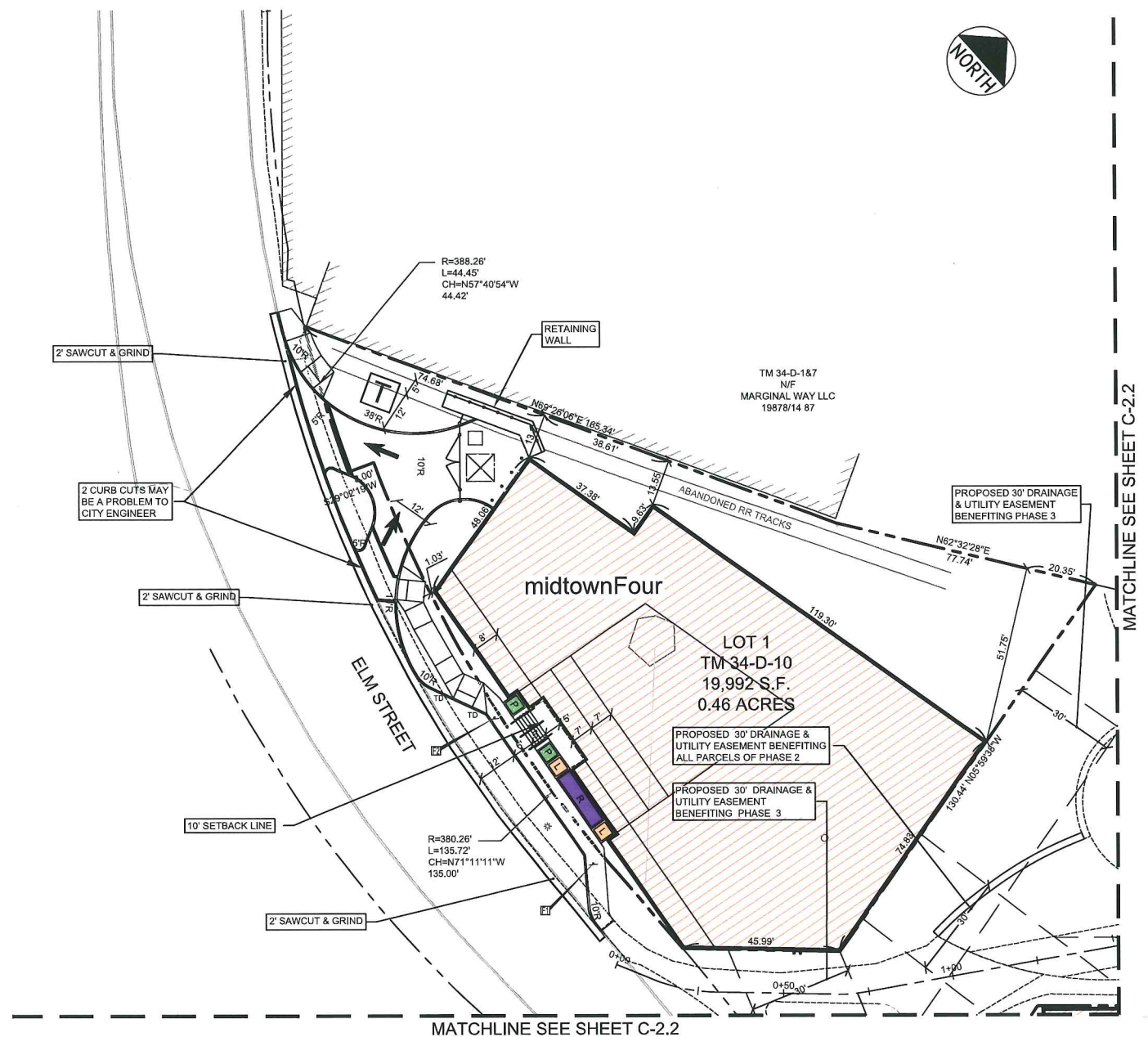
SHEET TITLE: **SITE LAYOUT PLAN - PHASE 2**

CLIENT: **THE FEDERATED COMPANIES**

DeLUCA-HOFFMAN ASSOCIATES, INC.
 778 MAIN STREET, SUITE 8
 SOUTH PORTLAND, ME 04106
 207.775.1121
 WWW.DELUCAHOFFMAN.COM

DRAWN: KEW DATE: NOV. 2012
 DESIGNED: WGH SCALE: 1" = 20'
 CHECKED: WGH JOB NO. 3062
 FILE NAME: 3062-SITE
 SHEET: **C-2.2**

PRELIMINARY - NOT FOR CONSTRUCTION



REFERENCE NOTES:

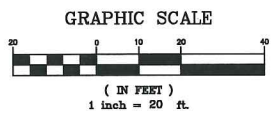
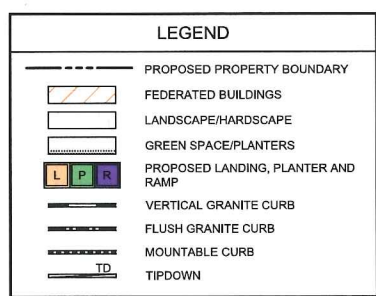
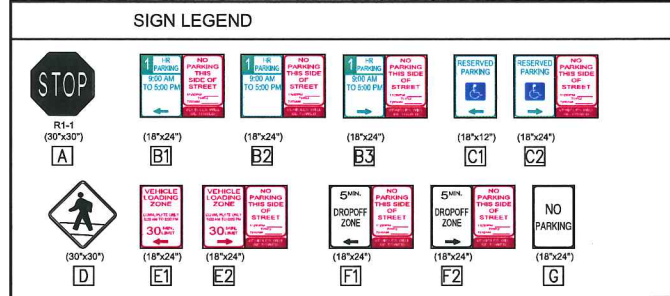
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- PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO DELUCA HOFFMAN ASSOCIATES, INC. BY FEDERATED COMPANIES ON APRIL 1, 2013.

EASEMENT NOTES

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NOTES TO SURVEYOR AND LAND USE COUNSEL

- FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
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2	05.23.13	LEVEL III SUBMISSION	
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	

P.E. WILLIAM G. HOFFMAN
LIC. #4105

PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
SITE LAYOUT PLAN - PHASE 3

CLIENT
THE FEDERATED COMPANIES

DLI DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW | DATE: NOV, 2012
DESIGNED: WGH | SCALE: 1" = 20'
CHECKED: WGH | JOB NO. 3062
FILE NAME: 3062-SITE
SHEET **C-2.3**

PRELIMINARY - NOT FOR CONSTRUCTION

B-6

PHASE 1 LOT AREA 1.54 ACRES
 PHASE 1 BUILDING ENVELOPE
 63,365 S.F., 1.45 ACRES

OPEN SPACE AREAS:

A. COURTYARD:	3,776 S.F.
B. MEWS:	3,540 S.F.
C. 10' STRIP ALONG PEARL ST. EXT.:	1,510 S.F.
D. 8' - 10' STRIP ALONG SOMERSET STREET:	1,647 S.F.
E. 6' STRIP ALONG CHESTNUT STREET:	756 S.F.
F. REAR OF PARKING GARAGE #1:	1,357 S.F.
TOTAL OPEN SPACE AREA:	12,586 S.F.
% OPEN SPACE FOR PHASE 1	18.76%

NORTHERLY EDGE OF RELOCATED TRAIL

559 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

RELOCATE TRAIL IN THIS LOCATION
BAYSIDE TRAIL

DESIGN OF PLAZA AREA UNDER REVIEW

THIS PORTION OF ROW NOT CONTROLLED BY THE CITY OF PORTLAND

PROPOSED PROPERTY LINE

FUTURE POTENTIAL ROW TO 50' WIDE

ARCHITECT IS TO REVIEW THE BUILDING PLAN TO DETERMINE IF ANY ADJUSTMENTS ARE REQUIRED TO THE midtownOne BUILDING

parking garage #1
LOT 6
45,360 S.F. (1.04 AC.)

LOT 7
21,918 S.F. (0.50 AC.)
midtownOne

SOMERSET STREET

TEMPORARY GRADING AND CONSTRUCTION EASEMENT

SOMERSET STREET R.O.W. BEING INCREASED IN WIDTH FROM 50' TO 54'

450 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

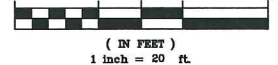
LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP

PRELIMINARY - NOT FOR CONSTRUCTION



GRAPHIC SCALE



REV	DATE	DESCRIPTION	REVISIONS
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET	
3	07.08.13	REVISIONS AGREED UPON WICITY STAFF 06.12.13	
2	05.23.13	LEVEL III SUBMISSION	
1	05.08.13	SUBMITTED TO CITY OF PORTLAND	

F.E. WILLIAM G. HOFFMAN
LIC. #4105

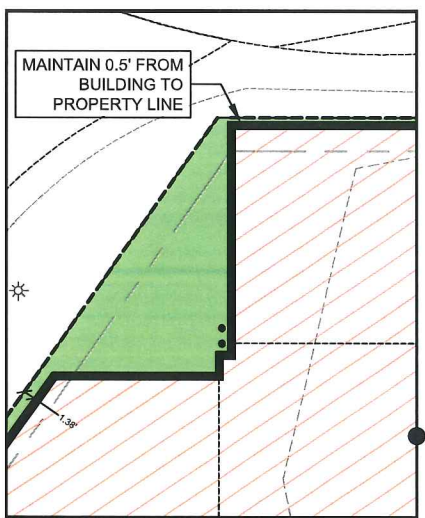
PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
PHASE1 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

CLIENT
THE FEDERATED COMPANIES

DH DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW DATE: MARCH 2013
DESIGNED: WGH SCALE: 1"=20'
CHECKED: WGH JOB NO. 3062
FILE NAME: 3062-Base
SHEET C-2.4



EXPANDED VIEW OF BUILDING 2 NORTHWEST CORNER
SCALE: 1" = 10'

PHASE 2 LOT AREA 1.46 ACRES
PHASE 2 BUILDING ENVELOPE 57,542 S.F., 1.32 ACRES

OPEN SPACE AREAS:	
A. COURTYARD:	3,121 S.F.
B. 0.5' STRIP ALONG REAR	216 S.F.
C. 2.24' STRIP ALONG ELM ST.:	366 S.F.
D. 10' STRIP ALONG SOMERSET ST.:	4,298 S.F.
E. 6' STRIP ALONG CHESTNUT STREET:	840 S.F.
F. TRIANGLE REAR CORNER MIDTOWN :	392 S.F.
TOTAL OPEN SPACE AREA:	9,233 S.F.
% OPEN SPACE FOR PHASE 2	14.52 %
CUMULATIVE % OPEN SPACE (PHASE 1 AND PHASE 2)	16.70%

559 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

LOT 4
43,146 S.F. (0.99 AC.)

MAINTAIN 0.5' FROM BUILDING TO PROPERTY LINE

LOT 2
10,054 S.F. (0.40 AC.)
midtownThree

parking garage #2

LOT 3
25,760 S.F. (0.59 AC.)

midtownTwo
LOT 5
18,200 S.F. (0.42 AC.)

SIDEWALK CAFE ZONE @ 2% GRADE APPROX. 13' WIDE

ELM STREET

SOMERSET STREET

CHESTNUT ST.

SOMERSET STREET R.O.W. BEING INCREASED IN WIDTH FROM 50' TO 54'

450 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

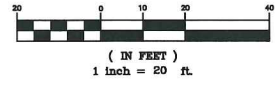
LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP

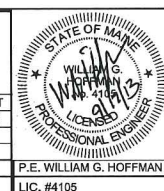
PRELIMINARY - NOT FOR CONSTRUCTION



GRAPHIC SCALE



REV	DATE	DESCRIPTION
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND



PROJECT	midtown PORTLAND, MAINE
SHEET TITLE	PHASE 2 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS
CLIENT	THE FEDERATED COMPANIES

 DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM	DRAWN: KEW DATE: MARCH 2013 DESIGNED: WGH SCALE: 1"=20' CHECKED: WGH JOB NO. 3062 FILE NAME: 3062-Base SHEET C-2.5
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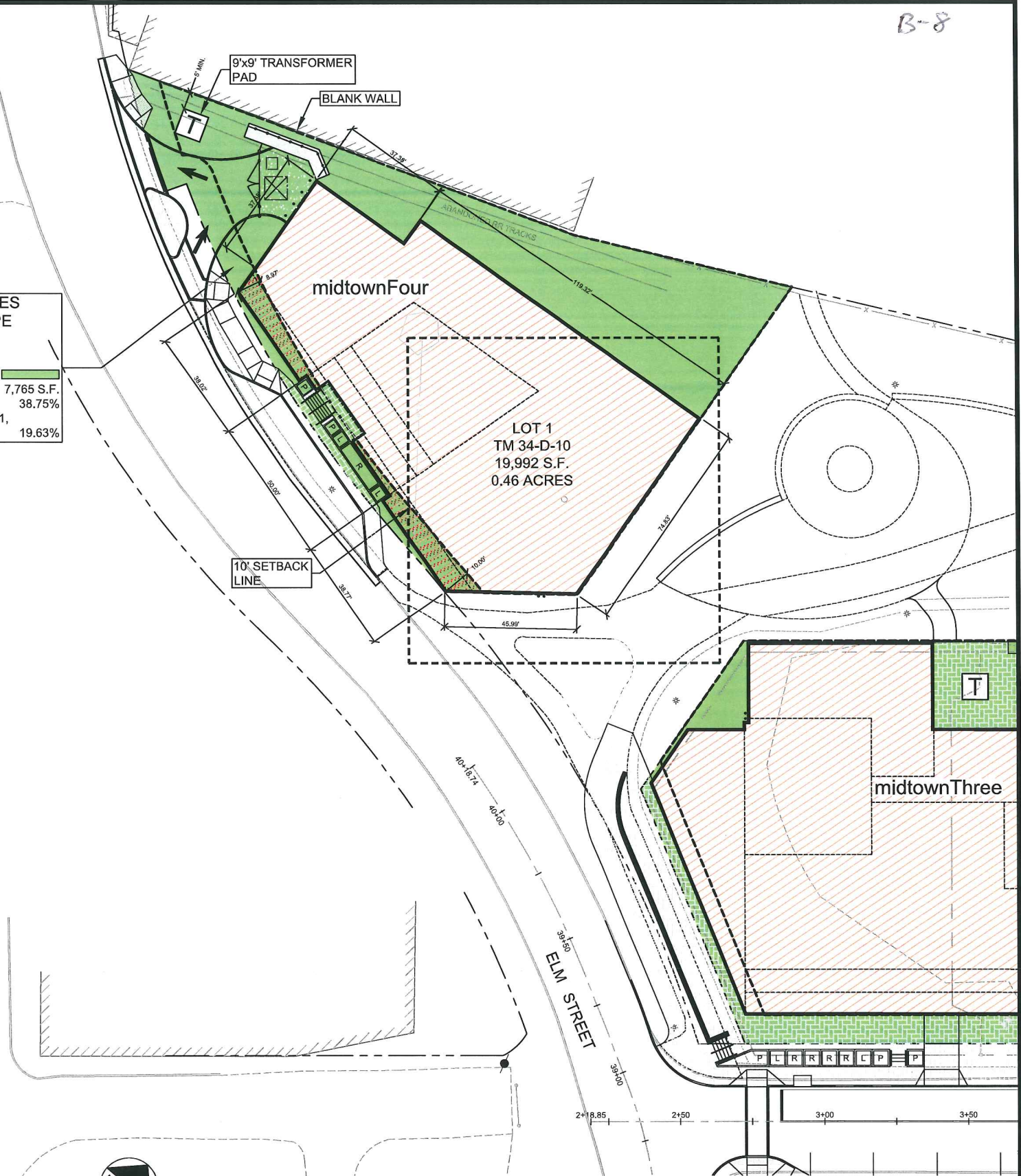
R:\3062\Cadd\Permit Set\Avg\3062-Base.dwg author: J 9/17/2013 2:18 PM



EXPANDED VIEW OF BUILDINGS ABUTTING BAYSIDE TRAIL
SCALE: 1" = 10'

PHASE 3 LOT AREA 0.46 ACRES
PHASE 3 BUILDING ENVELOPE
12,146 S.F., 0.28 ACRES

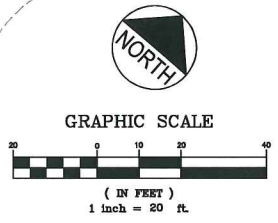
OPEN SPACE AREAS:
TOTAL OPEN SPACE AREA: 7,765 S.F.
% OPEN SPACE FOR PHASE 3 38.75%
CUMULATIVE % OPEN SPACE (PHASE 1,
PHASE 2 AND PHASE 3) 19.63%



LEGEND

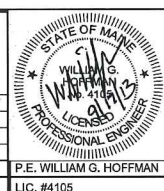
	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP

PRELIMINARY - NOT FOR CONSTRUCTION



REV	DATE	DESCRIPTION
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 08.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND

REVISIONS



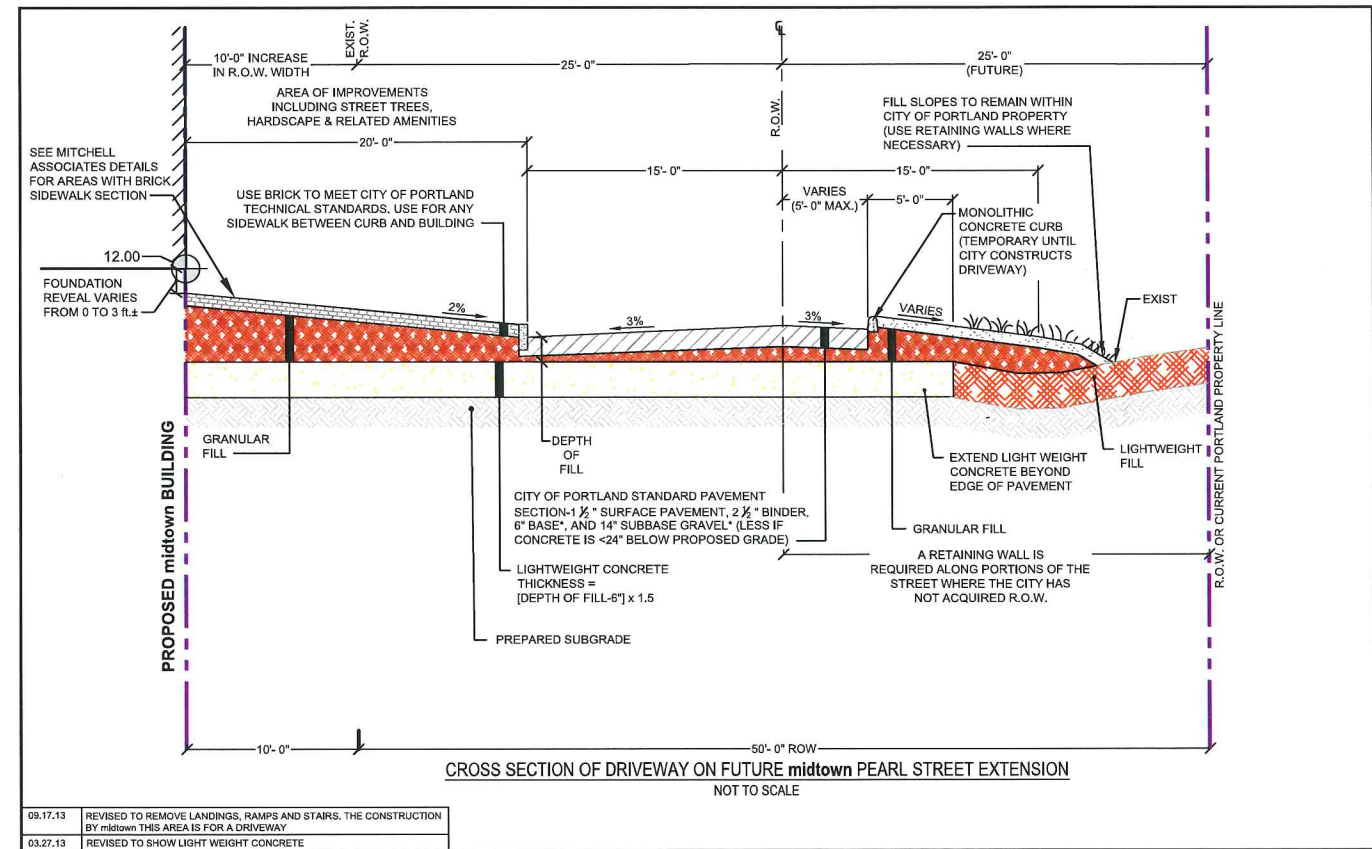
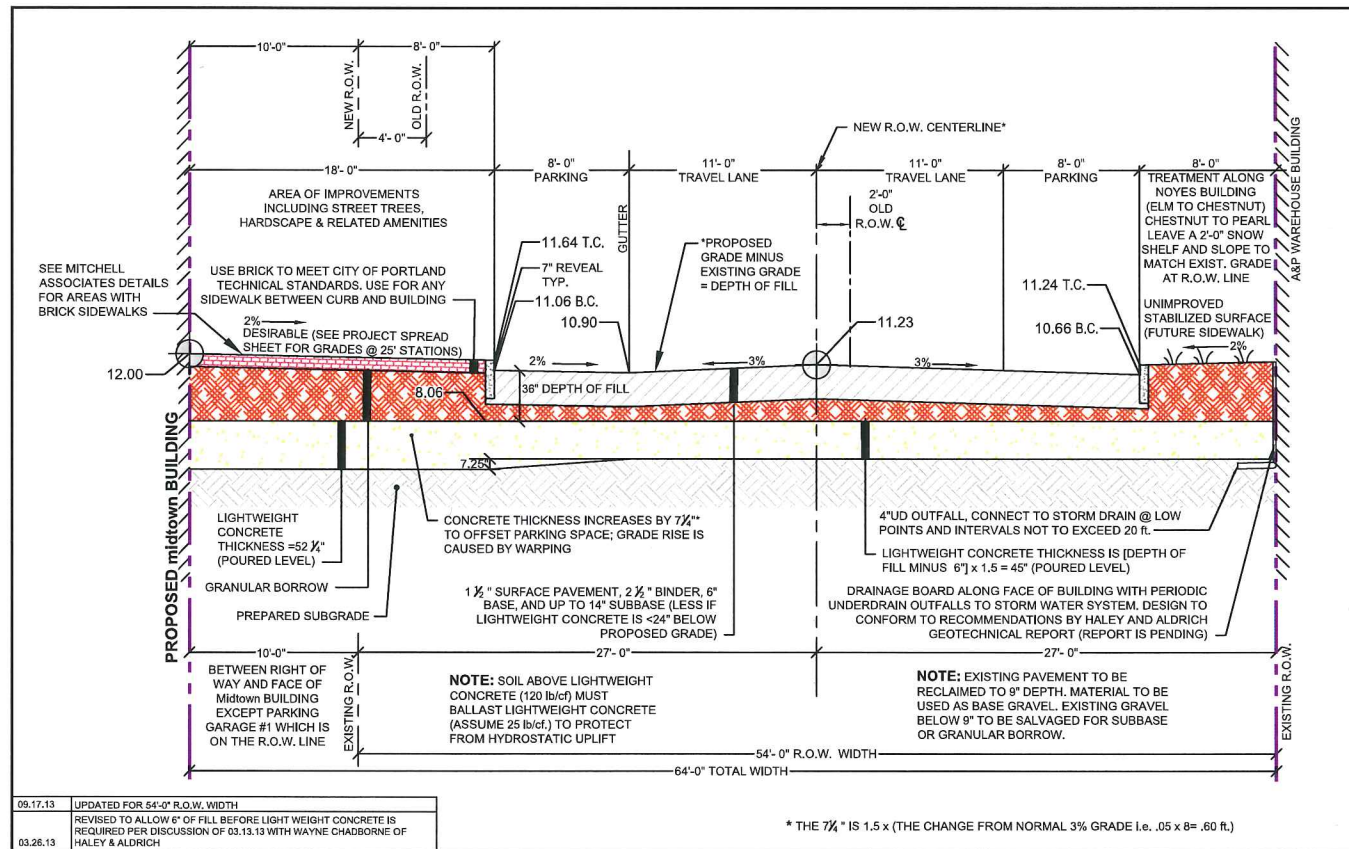
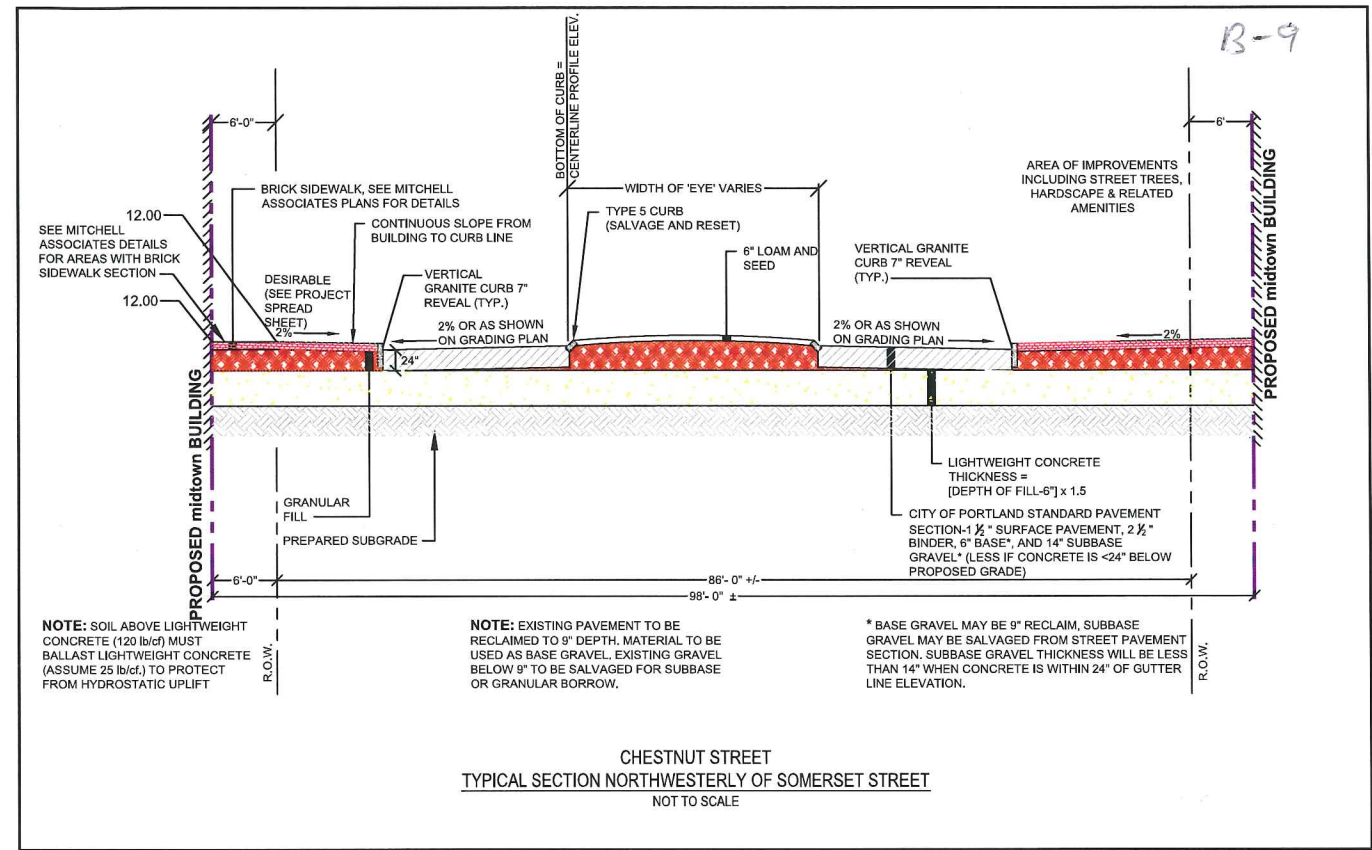
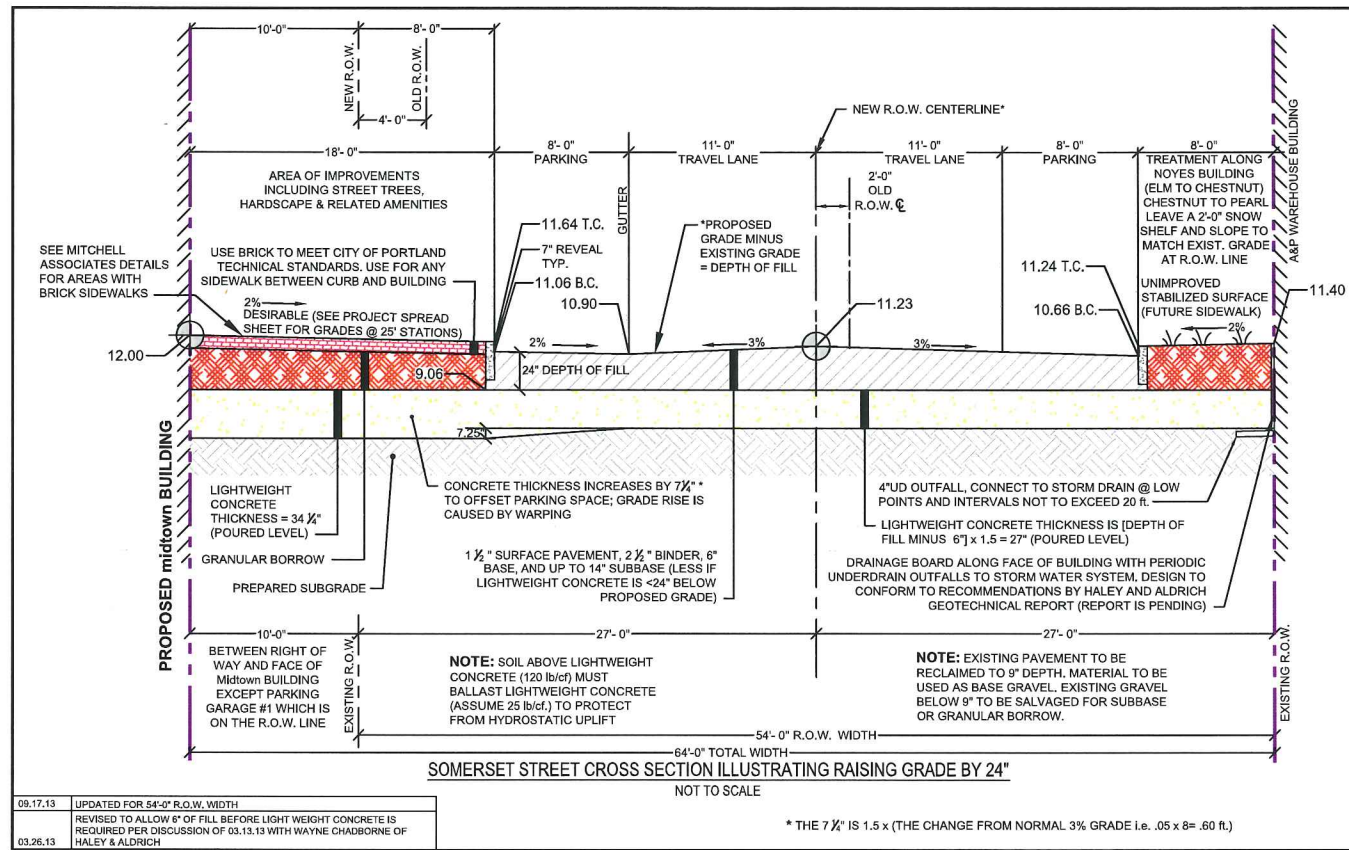
PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
PHASE 3 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

CLIENT
THE FEDERATED COMPANIES

DIT DeLUCA-HOFFMAN ASSOCIATES, INC.
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106
207.775.1121
WWW.DELUCAHOFFMAN.COM

DRAWN: KEW | DATE: MARCH 2013
DESIGNED: WGH | SCALE: 1"=20'
CHECKED: WGH | JOB NO. 3062
FILE NAME: 3062-B99a
SHEET C-2.6



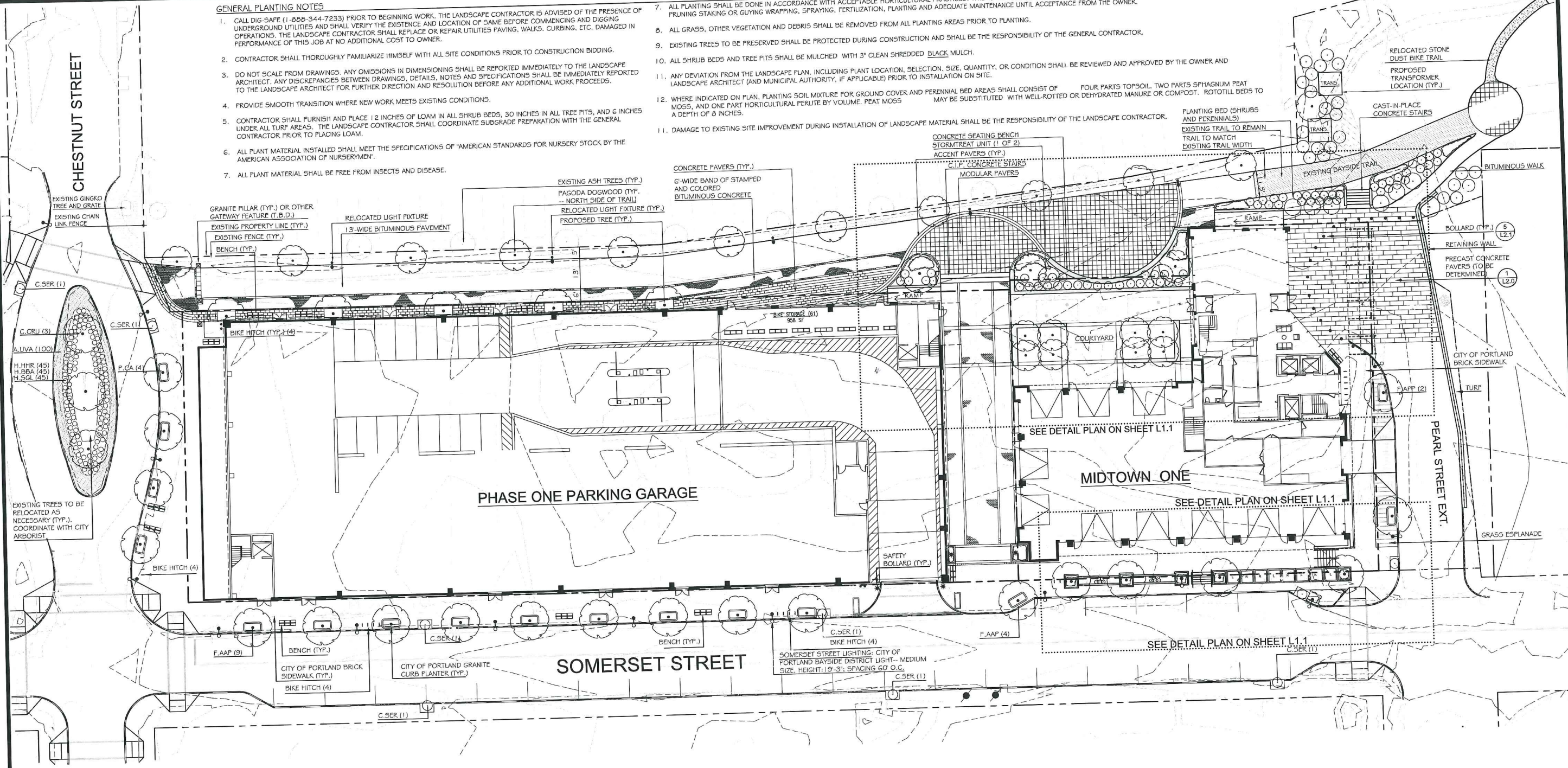
NOTE: SECTIONS ARE SUBJECT TO RECEIPT AND FINAL REVIEW OF THE GEOTECHNICAL REPORT FOR THE FEDERATED COMPANIES

PRELIMINARY - NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	
SHEET TITLE STREET AND DRIVEWAY CROSS SECTIONS		CLIENT THE FEDERATED COMPANIES	DRAWN: LA DATE: MAR 2013 DESIGNED: WGH SCALE: N.T.S. CHECKED: WGH JOB NO. 3062 FILE NAME: 3062-DET SHEET C-7.0
3 09.17.13 ADJUSTED SECTIONS TO REVISED R.O.W. WIDTH 2 05.23.13 LEVEL III SUBMISSION 1 05.08.13 SUBMITTED TO CITY OF PORTLAND	REVISIONS	P.E. WILLIAM G. HOFFMAN LIC. #4105	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-800-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF "AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN".
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENT DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.



LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	[Symbol]	[Symbol]	BRICK PAVERS	[Symbol]	[Symbol]
EASEMENT LINE	[Symbol]	T.B.D.	RETAINING WALL	[Symbol]	[Symbol]
LICENSE AREA	[Symbol]	T.B.D.	STREET LIGHT FIXTURE	[Symbol]	[Symbol]
MONUMENT FOUND	[Symbol]	[Symbol]	SEATING	[Symbol]	[Symbol]
CATCHBASIN	[Symbol]	[Symbol]	CURB	[Symbol]	[Symbol]
MANHOLE	[Symbol]	[Symbol]	BIKE HITCH	[Symbol]	[Symbol]
HYDRANT	[Symbol]	[Symbol]	MODULAR PAVERS	[Symbol]	[Symbol]
WATER VALVE	[Symbol]	[Symbol]			
UTILITY POLE	[Symbol]	[Symbol]			

PLANTING SCHEDULE

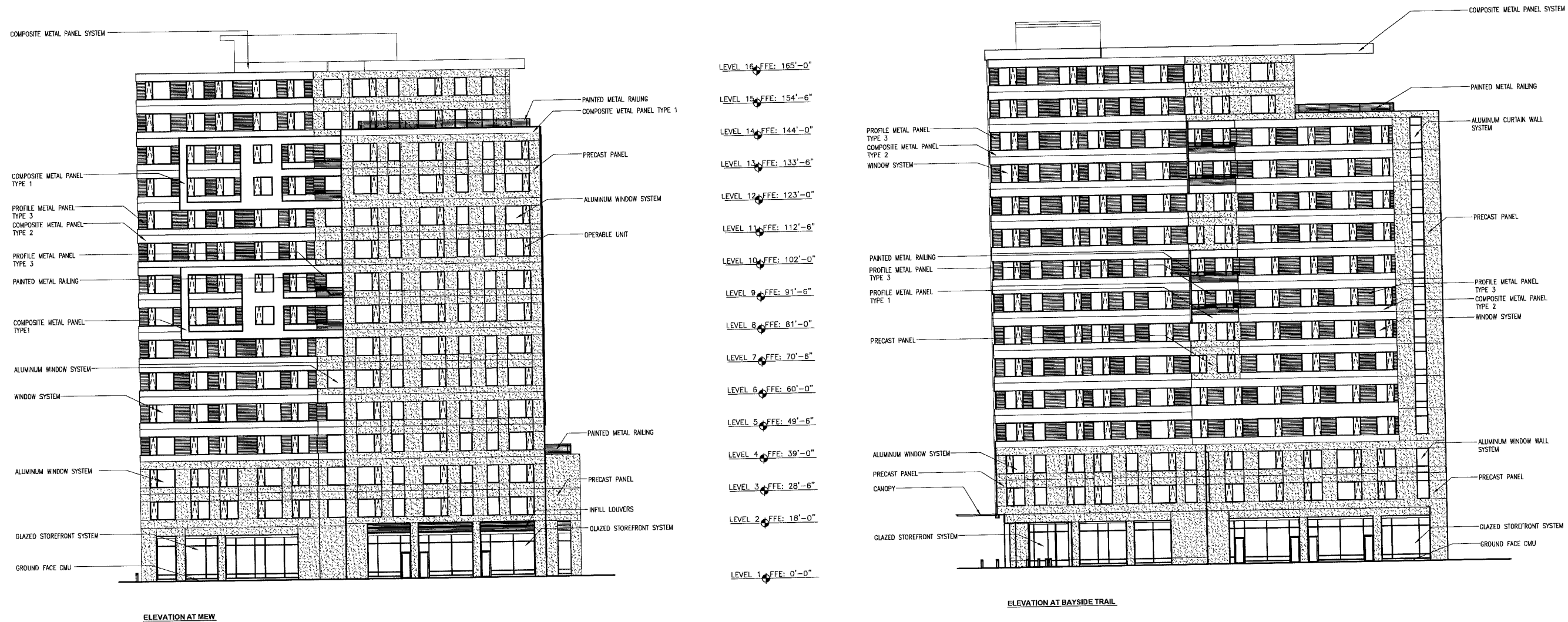
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES					
F.AAP		FRAXINUS AMERICANA 'AUTUMN PURPLE'	WHITE ASH	2 1/2" CAL	
G.TH		GLEDITSIA TRIANCANTHUS 'HALKA'	HALKA HONEY LOCUST	2 1/2" CAL	
F.CA		PYRUS CALLERYANA 'ARISTOCRAT'	ARISTOCRAT PEAR	2 CAL	
M.SNO		MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2 1/2" CAL	
C.CRUI		CRATAEGUS CRUSGALLI var. INERMIS	THORNLESS HAWTHORN	2 1/2" CAL	
SHRUBS					
R.WIL		RHODODENDRON WILSONII	WILSON RODODENDRON	5 GAL.	USED AT FILTERRA UNITS
L.FON		LEUCOTHOE FONTANESIANA	DROOPING LEUCOTHOE	5 GAL.	
C.SER		CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL.	
R.ARO		RHUS AROMATICA 'GRO-LO'	'GRO-LO' SUMAC	3 GAL.	
V.LEN		VIBURNUM LENTAGO	NANNYBERRY	5 GAL.	
A.LIVA		ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	1 GAL.	
PERENNIALS					
H.SEM		HELICITRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	
H.HRE		HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY 'HAPPY RETURNS'	1 GAL.	
H.BBA		HEMEROCALLIS 'BETH BARTH'	DAYLILY 'BETH BARTH'	1 GAL.	
H.SGL		HEMEROCALLIS 'SUNDAY GLOVES'	DAYLILY 'SUNDAY GLOVES'	1 GAL.	
L.SPT		LIROPE SPICATA	LILYTURF	1 GAL.	
P.ALD		PENNETIUM ALOPEUROIDES	FOUNTAIN GRASS	1 GAL.	
L.VER		IRIS VERSICOLOR	BLUE FLAG IRIS	1 GAL.	USED AT STORMTREAT UNITS



NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	CLIENT FEDERATED COMPANIES
SHEET TITLE LANDSCAPE AND LIGHTING PLAN		SHEET L1.0	DRAWN: MK DESIGNED: MK/RM CHECKED: RM FILE NAME:
REVISIONS 2 10-1-2013 Per City staff review comments 1 9-17-2013 Per City staff review comments		DATE 10-1-2013	DATE May 23, 2013 SCALE: 1" = 20' JOB NO. L1.0

I:\Projects\2013\10-1-2013_Midtown_Park\10-1-2013_Midtown_Park.dwg 10/1/2013 11:03 AM



REVISIONS #	DATE	DESCRIPTION
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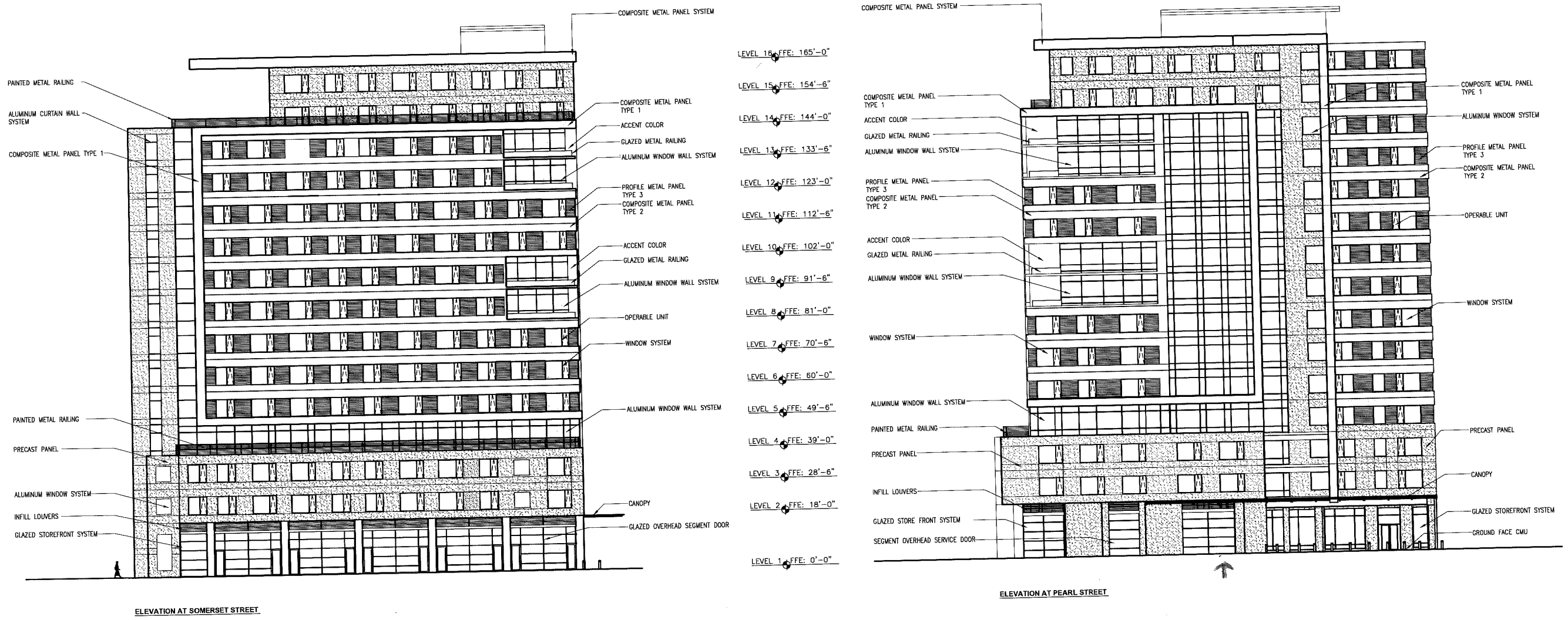
midtown One - Phase I - Building A
 Portland, ME

cbt 617 262 4354 cbtarchitects.com
 110 canal street boston, ma 02114

elevations -2

SCALE 1/16"=1'-0" PROJECT # 136070.00 DATE ISSUED 10.01.2013

A202



REVISIONS #	DATE	DESCRIPTION
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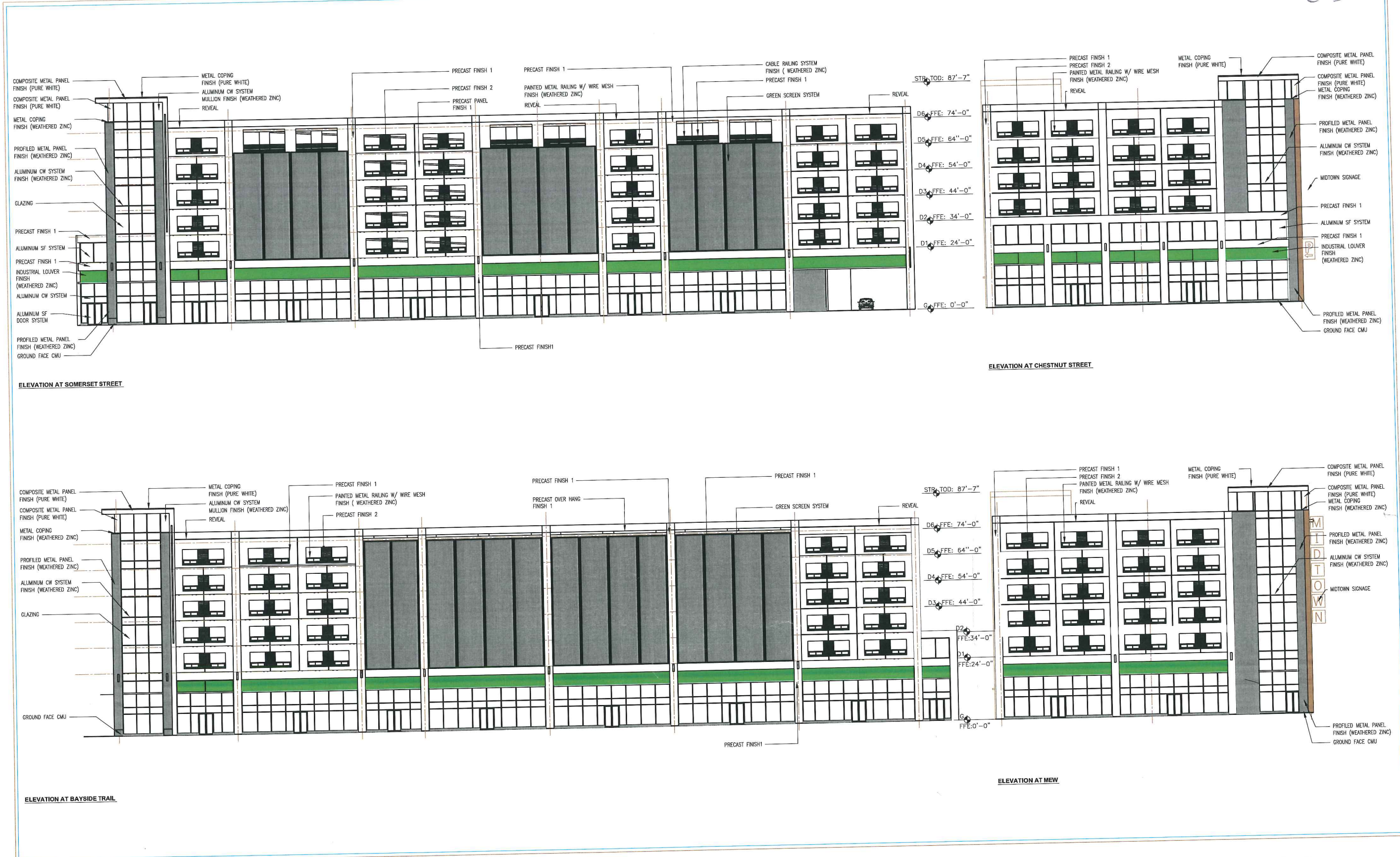
midtown One - Phase I - Building A
Portland, ME

cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

elevations -1

SCALE 1/16"=1'-0" PROJECT # 136070.00 DATE ISSUED 10.01.2013

A201



ELEVATION AT SOMERSET STREET

ELEVATION AT CHESTNUT STREET

ELEVATION AT BAYSIDE TRAIL

ELEVATION AT MEW

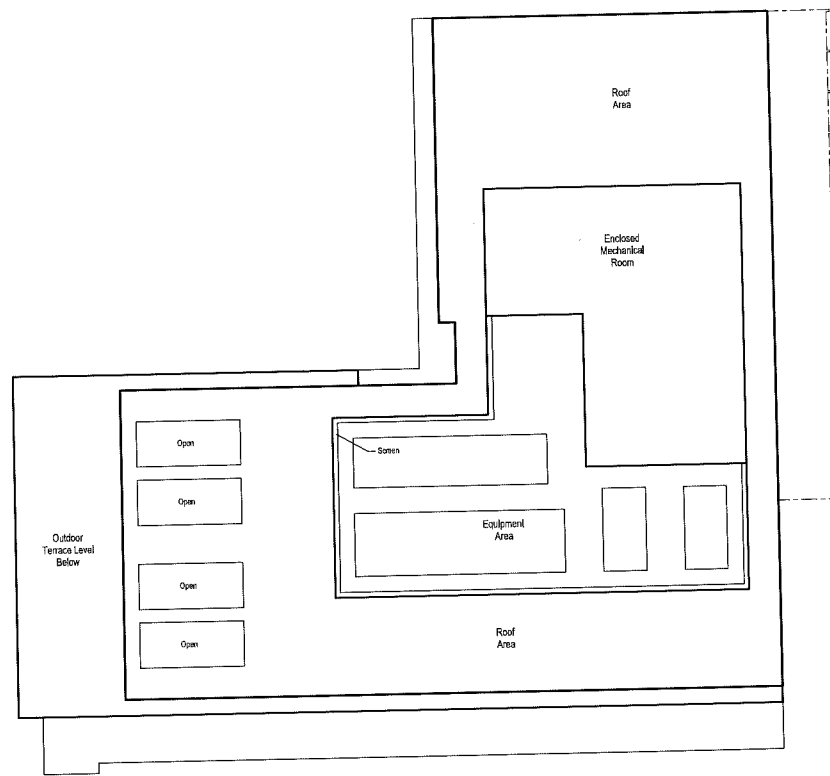
REVISIONS	#	DATE	DESCRIPTION
	1	10/01/13	not for construction

midtown One - Phase I - Parking Garage
 portland, Maine

cbt 617 262 4354 cbtarchitects.com
 110 canal street boston, ma 02114

elevations
 SCALE 1/16" = 1'-0"
 PROJECT # 136070
 DATE ISSUED 10.01.13

A201



ROOF PLAN



TYPICAL FLOOR PLAN

typical floor plan and roof plan

REVISIONS #	DATE	DESCRIPTION
1	10/01/13	not for construction

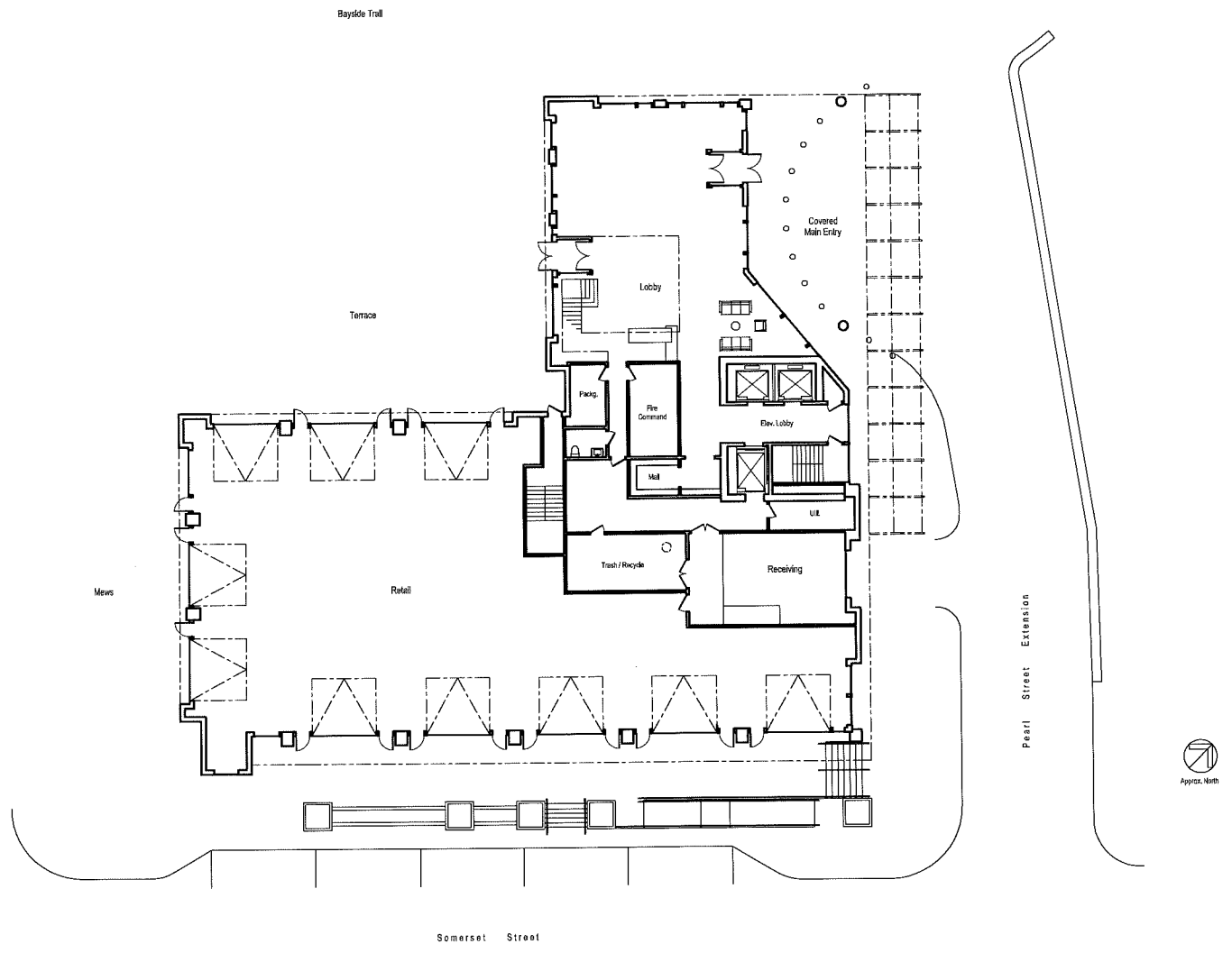
midtown One - Phase I - Building A
Portland, ME

cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

SCALE 1/16"=1'-0" PROJECT # 136070.00 DATE ISSUED 10.01.2013

A102

6-5



GROUND FLOOR PLAN

ground floor plan

REVISIONS #	DATE	DESCRIPTION
1	10/01/13	not for construction

midtown One - Phase I - Building A

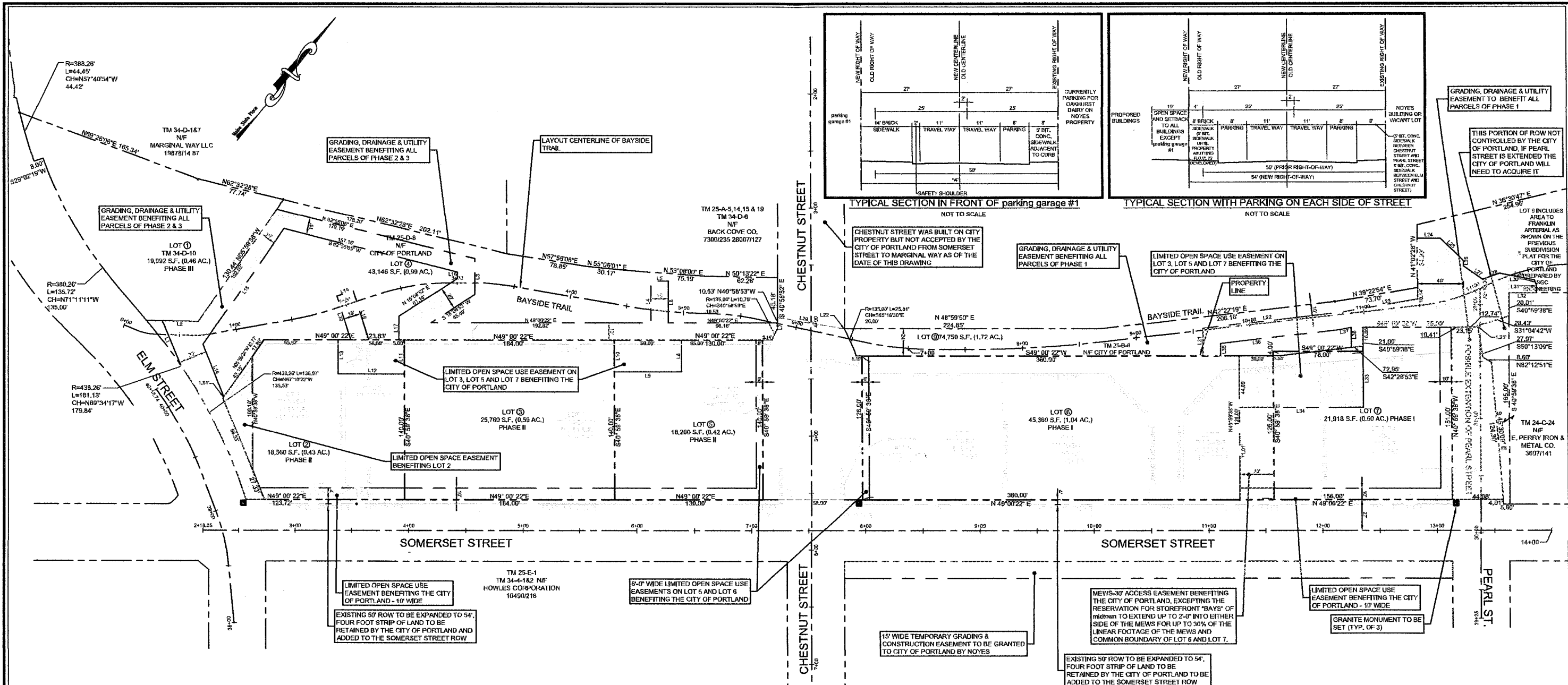
Portland, ME

cbt 617 262 4354 cbtarchitects.com
110 canal street boston, ma 02114

SCALE 1/16" = 1'-0" PROJECT # 136070.00 DATE ISSUED 10.01.2013

A101

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EASEMENT NOTES

- THE EASEMENTS SHOWN ON THIS AMENDED SUBDIVISION PLAN LOCATED UPON LOT 4 ARE PRELIMINARY AND MAY BE RELOCATED AT THE TIME OF LEVEL III SITE PLAN APPROVAL OF THE DEVELOPMENT OF LOTS 1, 2, 3 OR 5 AS SHOWN ON THE PLAN, AND ANY APPROVED SITE PLAN CONTAINING ANY SUCH REVISED EASEMENT AREAS SHALL BE DEEMED TO AMEND THE EASEMENTS SHOWN ON THIS AMENDED SUBDIVISION PLAN. IF THE EASEMENT CHANGES ARE MADE, A NEW PLAN AND IF NECESSARY, DEED SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
- THE FOLLOWING EASEMENTS SET FORTH IN NOTES 2A, 2B, 2C, 2D, 2E, 2F AND 2G ARE NOT SHOWN ON THIS PLAN. THE LOCATION AND TERMS AND CONDITIONS OF SUCH EASEMENTS ARE TO BE FORMULATED AND APPROVED BY THE CITY CORPORATION COUNSEL AND COUNSEL TO THE PURCHASER, AND SHALL BE SET FORTH IN THE DEED CONVEYING THE LOTS FROM THE CITY OF PORTLAND TO THE PURCHASER, OR IN A SEPARATE EASEMENT DEED OR EASEMENT AGREEMENT. IF THE EASEMENT CHANGES ARE MADE, A NEW PLAN AND IF NECESSARY, DEED SHALL BE SUBMITTED FOR REVIEW AND APPROVAL.
 - AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 4 AND 9.
 - AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 2, 3 & 5 AND BURDENING LOT 4 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY.
 - AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS, AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHWESTERLY AND SOUTHEASTERLY PROPERTY LINES OF THE SOMERSET RIGHT OF WAY AND LOT 6 AND 7 AND BURDENING THE SOMERSET STREET AND LOT 9.

GENERAL NOTES

- THIS AMENDED SUBDIVISION PLAN AMENDS AND REPLACES THE SUBDIVISION RECORDING PLAT ENTITLED "SUBDIVISION RECORDING PLAT OF PROPERTY LOCATED ON BAYSIDE RAILYARD, PORTLAND, MAINE PREPARED FOR DOWNTOWN PORTLAND CORPORATION BY SCC ENGINEERING, LLC, DATED OCTOBER 30, 2008 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 209, PAGE 38 (THE "PRIOR APPROVED SUBDIVISION PLAN") IN ALL RESPECTS AND SUCH PRIOR SUBDIVISION IS HEREBY EXTINGUISHED.
- THE FEDERATED COMPANIES, LLC OR ITS DESIGNATED ASSIGNEE ENTITIES ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MIDTOWN MASTER PLAN AND MIDTOWN SITE PLAN APPLICATIONS. THIS AMENDED SUBDIVISION PLAN ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 2, 3 AND 5. PHASE 3 WILL INCLUDE LOT 1.
- THE CITY OF PORTLAND SHALL RETAIN A FOUR FOOT WIDE STRIP OF LAND ALONG THE NORTHERLY SIDELINE OF SOMERSET STREET TO BE ADDED TO THE SOMERSET STREET RIGHT OF WAY, IN ORDER TO INCREASE THE WIDTH OF SOMERSET STREET ADJOINING LOTS 2 THROUGH 7 FROM 50 FEET TO 54 FEET.
- THIS AMENDED SUBDIVISION PLAN AMENDS LOTS 1 THROUGH 8 FROM THE PRIOR APPROVED SUBDIVISION PLAN. THE EASTERLY SIDE OF LOT 9 REMAINS UNCHANGED FROM THE PRIOR APPROVED SUBDIVISION PLAN AND IS SHOWN ON THE PRIOR APPROVED SUBDIVISION PLAN. THERE IS NO LONGER A LOT 8 IN THE SUBDIVISION.
- THE CITY WILL ISSUE TO FEDERATED AS NEEDED FOR CONSTRUCTION, MAINTENANCE OR REPAIR OF FACILITY WITHIN OR ACCESSIBLE ONLY FROM THE BAYSIDE TRAIL.

EASEMENT LINE TABLE

LINE	BEARING	DISTANCE (FEET)
L1	N65°10'19"W	42.17
L2	N50°11'34"E	31.53
L3	S40°59'38"E	31.58
L4	N46°58'35"W	38.58
L5	N49°00'22"E	15.00
L6	S40°59'38"E	38.58
L7	S40°59'38"E	5.52
L8	S40°59'38"E	28.00
L9	S49°00'22"W	59.00
L10	N40°58'38"W	28.00
L11	S40°59'38"E	38.00
L12	N49°00'22"E	30.00
L13	N46°58'38"E	30.00
L14	S63°10'10"E	49.22
L15	S05°59'38"E	120.09
L16	N40°58'38"W	5.72
L17	N40°58'38"W	20.53
L18	N58°28'02"W	44.88
L19	S31°32'00"W	15.00
L20	N41°00'32"W	24.80
L21	N42°22'19"E	117.46
L22	N38°22'54"E	72.27
L23	N40°58'38"W	10.14
L24	N49°00'22"E	20.02
L25	S87°16'35"E	27.70
L26	S40°59'38"E	5.00
L27	N84°05'10"E	20.69
L28	N28°31'04"E	15.21
L29	N59°22'54"E	31.41
L30	S81°28'51"E	5.00
L31	S40°59'38"E	6.82
L32	S49°00'22"W	24.24
L33	N40°58'38"W	48.99
L34	S45°00'22"W	108.00
L35	S41°00'22"E	10.72
L36	S42°22'19"W	104.49
L37	S39°22'54"W	10.86
L38	N40°58'38"W	17.42

LEGEND

- AREA TO BE CONVEYED TO CHESTNUT STREET ROW
- MEWS - ACCESS EASEMENT BENEFITING THE CITY OF PORTLAND
- PORTION OF ROW NOT CONTROLLED BY CITY OF PORTLAND
- ACCESS, GRADING, DRAINAGE AND UTILITY EASEMENT FOR PHASE 1, PHASE 2 AND PHASE 3 AND LOTS 2 AND 9
- LIMITED OPEN SPACE USE EASEMENT BENEFITING THE CITY OF PORTLAND

SURVEYOR WILL STAMP DRAWING UPON APPROVAL OF THE CITY

APPROVAL - CITY OF PORTLAND PLANNING BOARD

DATE _____

CHAIRPERSON _____

CERTIFICATE:

OWEN HASKELL, INC. CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE _____

JOHN W. SWAN, PLS NO. 1036

AMENDED SUBDIVISION/RECORDING PLAT ON SOMERSET STREET, PORTLAND, MAINE MADE FOR FAY, SPOFFORD & THORNDIKE 778 MAIN STREET, SOUTH PORTLAND, MAINE

OWEN HASKELL, INC.
 390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-0484
 PROFESSIONAL LAND SURVEYORS

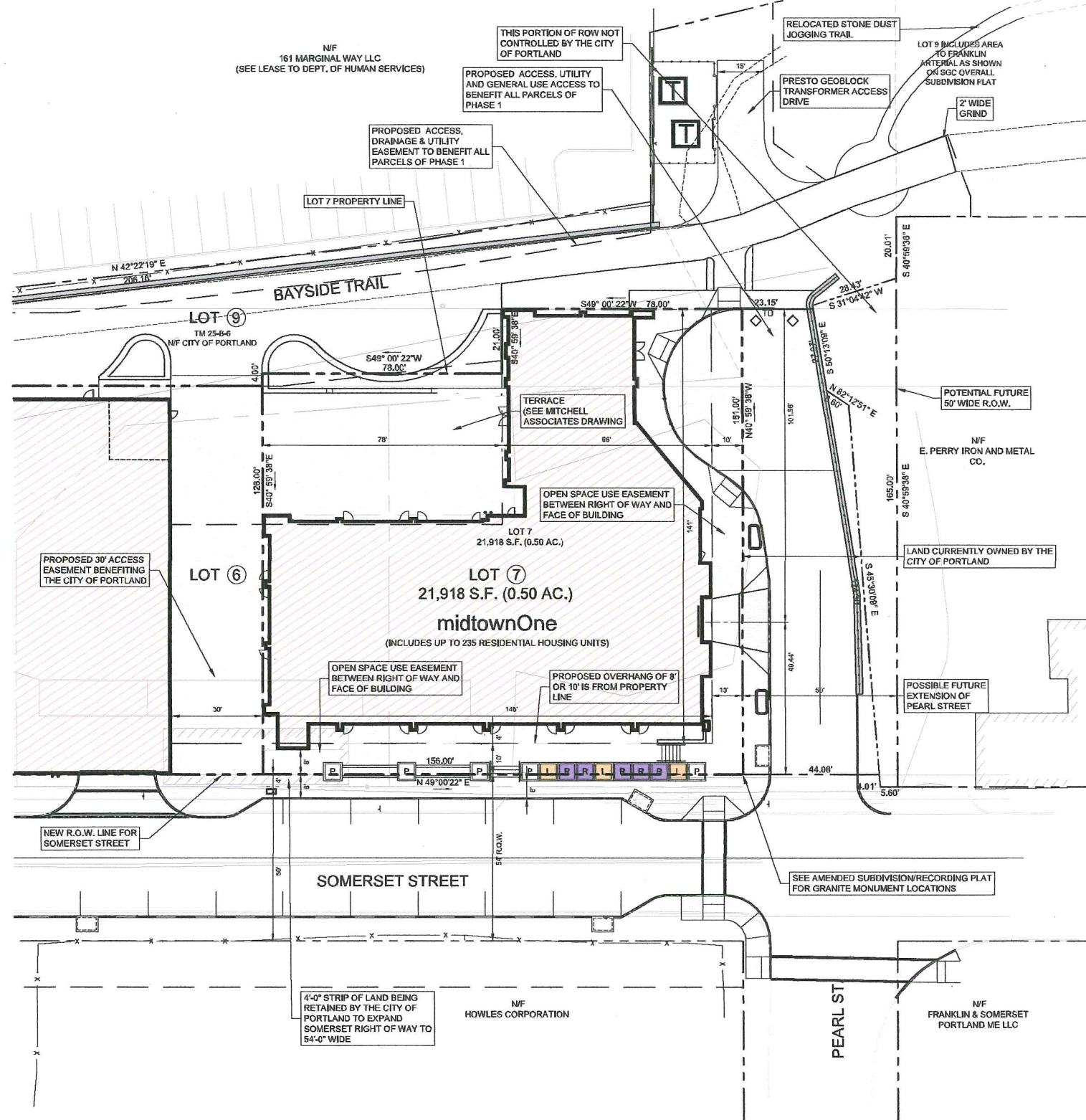
Drawn By	EB	Date	APRIL 10, 2013	Job No.	12012-180 P
Trace By	JLW	Scale	1" = 40'	Drawn No.	C-1.2
Check By	JWS	Book No.	FILE		



IF PEARL STREET IS CONNECTED TO MARGINAL WAY IN THE FUTURE, THE TURN-OUT WILL NEED TO BE ELIMINATED AND REPLACED WITH STANDARD CURBSIDE DROP-OFF AREA.

- NOTES:**
- SUPPLEMENTAL INFORMATION FOR LOT 1 IS DEPICTED ON THE LEVEL III SITE PLANS FOR PHASE 1 OF THE midtown PROJECT.
 - THIS SUBDIVISION IS FOR RESIDENTIAL OCCUPANCY ON LOT 7. REFER TO THE "AMENDED SUBDIVISION/RECORDING PLAT" FOR INFORMATION ON THE CITY OF PORTLAND AMENDED PLAN FOR LAND PARCELS WHICH INCLUDE LOT 7.

- REFERENCE NOTES:**
- EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST., CHESTNUT ST., SOMERSET ST. AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.



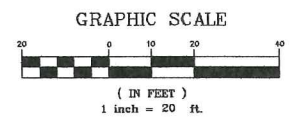
LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	BRICK AREAS
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	MOUNTABLE CURB
	TIPDOWN

APPROVAL - CITY OF PORTLAND PLANNING BOARD

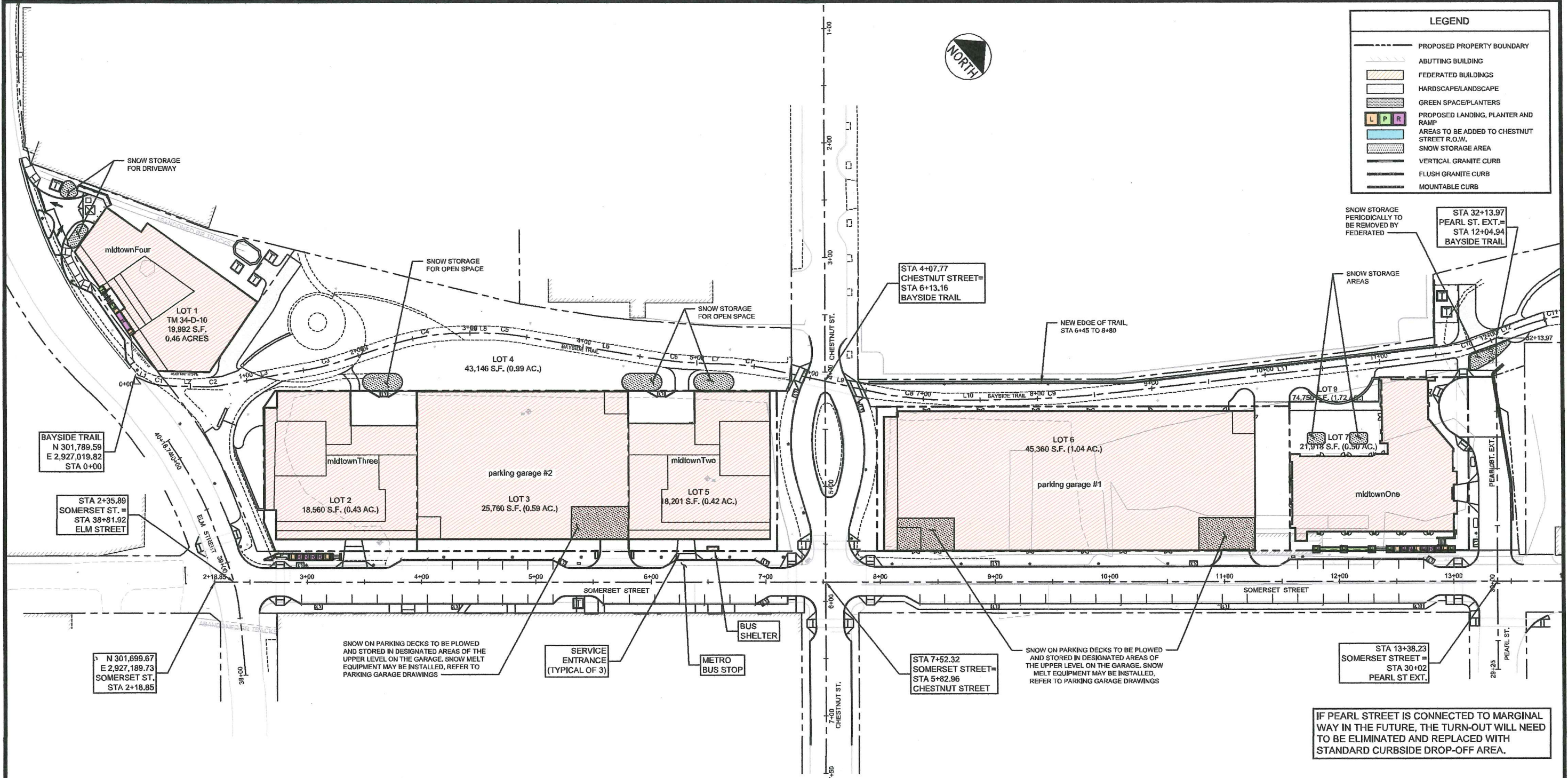
DATE _____

CHAIRPERSON _____



	PROJECT	midtown PORTLAND, MAINE	FAY, SPOFFORD & THORNDIKE, INC. ENGINEERS - PLANNERS - SCIENTISTS 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04108 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.
	SHEET TITLE	RESIDENTIAL SUBDIVISION OF LOT 7	
CLIENT	THE FEDERATED COMPANIES	DRAWN: KEW	DATE: NOV, 2013
DESIGNED: WGH	SCALE: 1" = 20'	CHECKED: WGH	JOB NO. 3062
FILE NAME: 3062-SITE		SHEET	C-1.5

REV	DATE	DESCRIPTION
1	11.18.13	ADDED SHEET

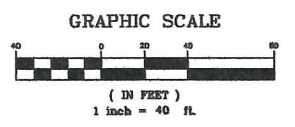


LEGEND	
	PROPOSED PROPERTY BOUNDARY
	ABUTTING BUILDING
	FEDERATED BUILDINGS
	HARDSCAPE/LANDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP
	AREAS TO BE ADDED TO CHESTNUT STREET R.O.W.
	SNOW STORAGE AREA
	VERTICAL GRANITE CURB
	FLUSH GRANITE CURB
	MOUNTABLE CURB



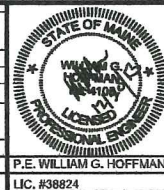
LINE TABLE: ALIGNMENTS		
ID	LENGTH	DIRECTION
L1	11.70	N71° 04' 02.06"E
L2	34.95	N50° 11' 33.98"E
L3	82.21	N38° 43' 25.92"E
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L11	284.79	N42° 28' 52.98"E
L12	13.41	N23° 46' 17.31"E
L13	50.38	N51° 49' 50.37"E

CURVE TABLE: ALIGNMENTS						
ID	RADIUS	ARC LENGTH	DELTA	TANGENT	PC STATION	PT STATION
C1	50.00	18.22	020° 52'	9.21	0+11.70	0+29.91
C2	50.00	10.01	011° 28'	5.02	0+64.86	0+74.87
C3	200.00	28.08	008° 03'	14.06	1+57.08	1+85.16
C4	200.00	63.97	018° 20'	32.26	2+29.34	2+93.31
C5	200.00	33.92	009° 43'	17.00	3+13.50	3+47.42
C6	400.00	52.25	007° 29'	26.16	4+53.42	5+05.66
C7	200.00	36.34	010° 25'	18.22	5+27.37	5+63.71
C8	300.00	64.42	012° 18'	32.33	6+58.86	7+23.28
C9	1000.00	113.31	006° 30'	56.71	7+55.97	8+69.28
C10	150.00	48.90	016° 41'	24.67	11+54.07	12+02.96
C11	170.00	83.25	028° 04'	42.48	12+16.37	12+99.62



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
6	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND	1	05.08.13	SUBMITTED TO CITY OF PORTLAND
5	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET ENTRANCE, MISC. REVISIONS	3	05.23.13	REVISED LOT 6-7 BOUNDARY, REVISED PG #1 ENTRANCE, MISC. REVISIONS
4	07.08.13	REVISIONS AGREED UPON W/ CITY STAFF 06.12.13	7	11.18.13	REVISED midtownOne TRANSFORMER PAD AREA
3	05.23.13	LEVEL III SUBMISSION	8	12.26.13	MODIFIED midtown 3, ADDED RETAINING WALL TO TRAIL BEHIND PHASE 1, MODIFIED PHASE 1 SNOW STORAGE IN MUSE/COURTYARD AREA



PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
OVERALL SITE PLAN

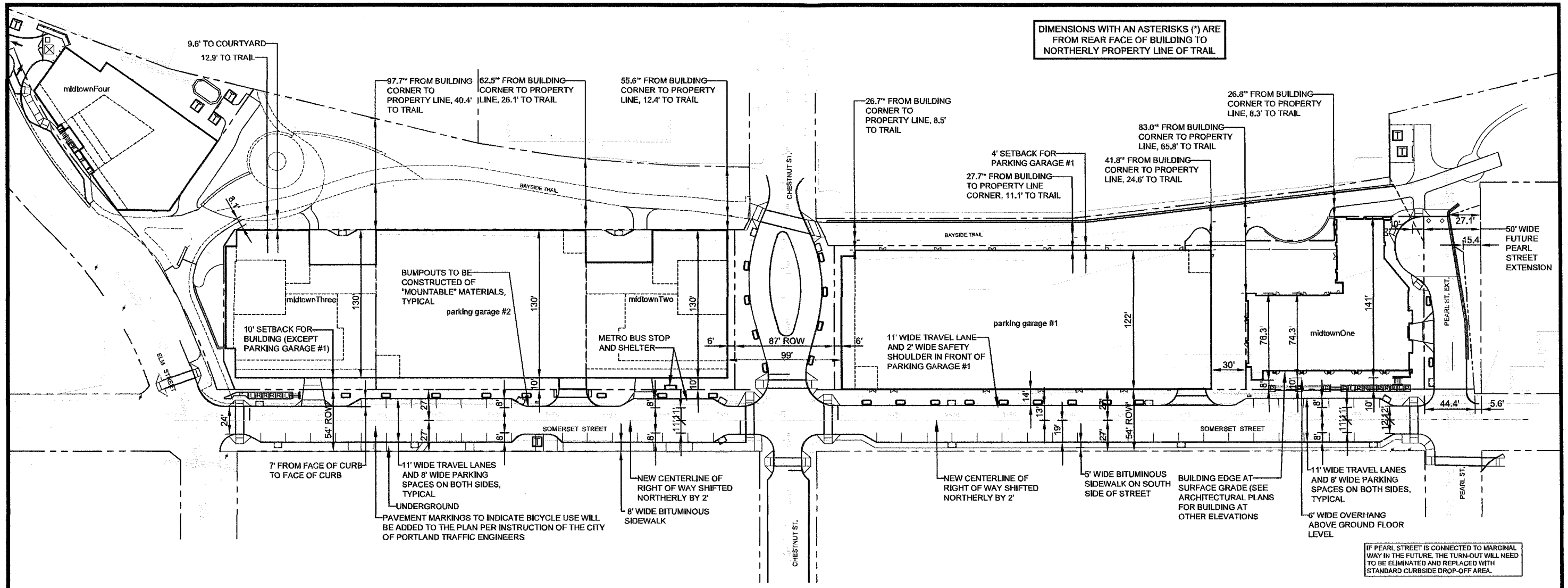
CLIENT
THE FEDERATED COMPANIES

ENGINEERS
FST
FAY, SPOFFORD & THORNDIKE, INC.
ENGINEERS · PLANNERS · SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.

DRAWN: KEW
DESIGNED: WGH
CHECKED: WGH
FILE NAME: 3062-SITE

DATE: APRIL 2013
SCALE: 1" = 40'
JOB NO. 3062

SHEET
C-2.0



OVERALL SITE LAYOUT
SCALE 1" = 40'

SOMERSET STREET PARKING COMPARISON		
DESCRIPTION	LOCATION	NO. OF SPACES
PRIOR PLAN	SPACES TO NORTH OF CENTERLINE	25
	SPACES TO SOUTH OF CENTERLINE	0
	TOTAL SPACES	25
REVISED PLAN	SPACES TO NORTH OF CENTERLINE	11
	SPACES TO SOUTH OF CENTERLINE	36
	TOTAL SPACES	47

REVISION FROM PLAN SUBMITTED IN MAY 2013

LOT 2, 3, 5, AND 7 ARE SHIFTED NORTHERLY BY 4 FEET.

THE RIGHT OF WAY HAS BEEN WIDENED TO 54 FEET WITH THE INCREASE IN WIDTH OCCURRING ON THE FEDERATED (NORTH) SIDE OF THE STREET.

THE CURBING ON SOUTHERLY SIDE OF SOMERSET STREET WOULD BE MOVED 1 FOOT BACK FROM THE CURRENT LOCATION TOWARDS THE NOYES BUILDING. THIS PROVIDES 8 FEET FOR A SIDEWALK.

PARKING IS LOCATED ON BOTH SIDES OF THE STREET, EXCEPT IN FRONT OF PARKING GARAGE #1 WHERE NO PARKING WOULD BE PROVIDED.

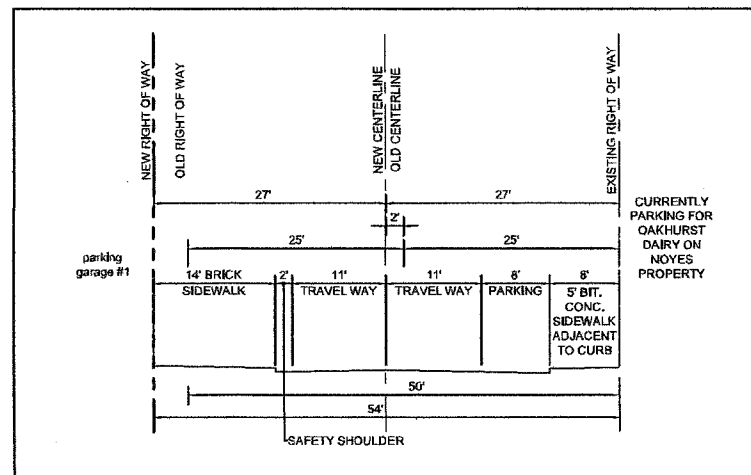
THE CURBING ON THE NORTH SIDE OF SOMERSET STREET HAS BEEN MOVED 6 FEET CLOSER TO THE FEDERATED SIDE OF THE STREET.

18 FEET WOULD BE LEFT FROM CURB LINE IN AREAS OF PARKING TO THE FRONT OF MIDTOWN BUILDINGS 1, 2, 3 AND PARKING GARAGE #2 (VS. 19 FEET PREVIOUSLY SHOWN ON THE PREVIOUS DRAWINGS).

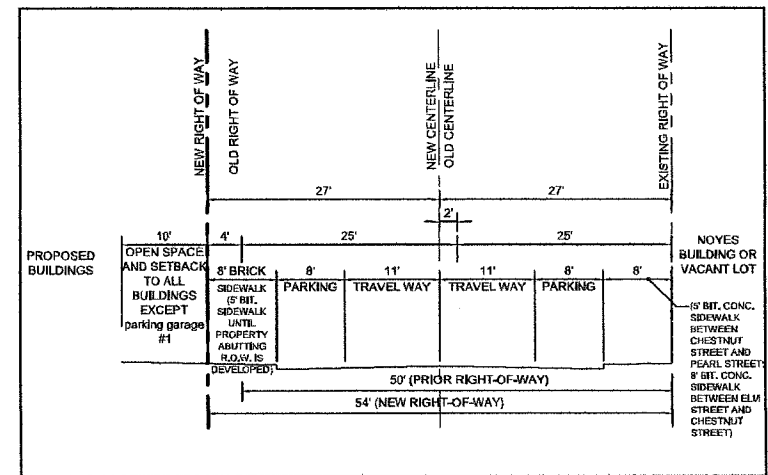
THE CENTERLINE OF THE RIGHT OF WAY WOULD BE SHIFTED 2 FEET NORTH (DUE TO INCREASING RIGHT OF WAY WIDTH FROM 50 TO 54 FEET).

FEDERATED LOT SIZES ARE ESSENTIALLY UNCHANGED SINCE THE ENTIRE LOT (BOTH FRONT AND BACK LOT LINES) ARE SHIFTED 4 FEET NORTHERLY.

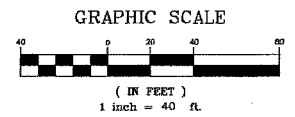
THE DIMENSION FROM THE CURB TO THE FACE OF PARKING GARAGE #1 IS 14 FEET AND FROM THE CENTER OF THE RIGHT-OF-WAY TO THE FACE OF PARKING GARAGE #1 IS 27 FEET.



TYPICAL SECTION IN FRONT OF parking garage #1
NOT TO SCALE

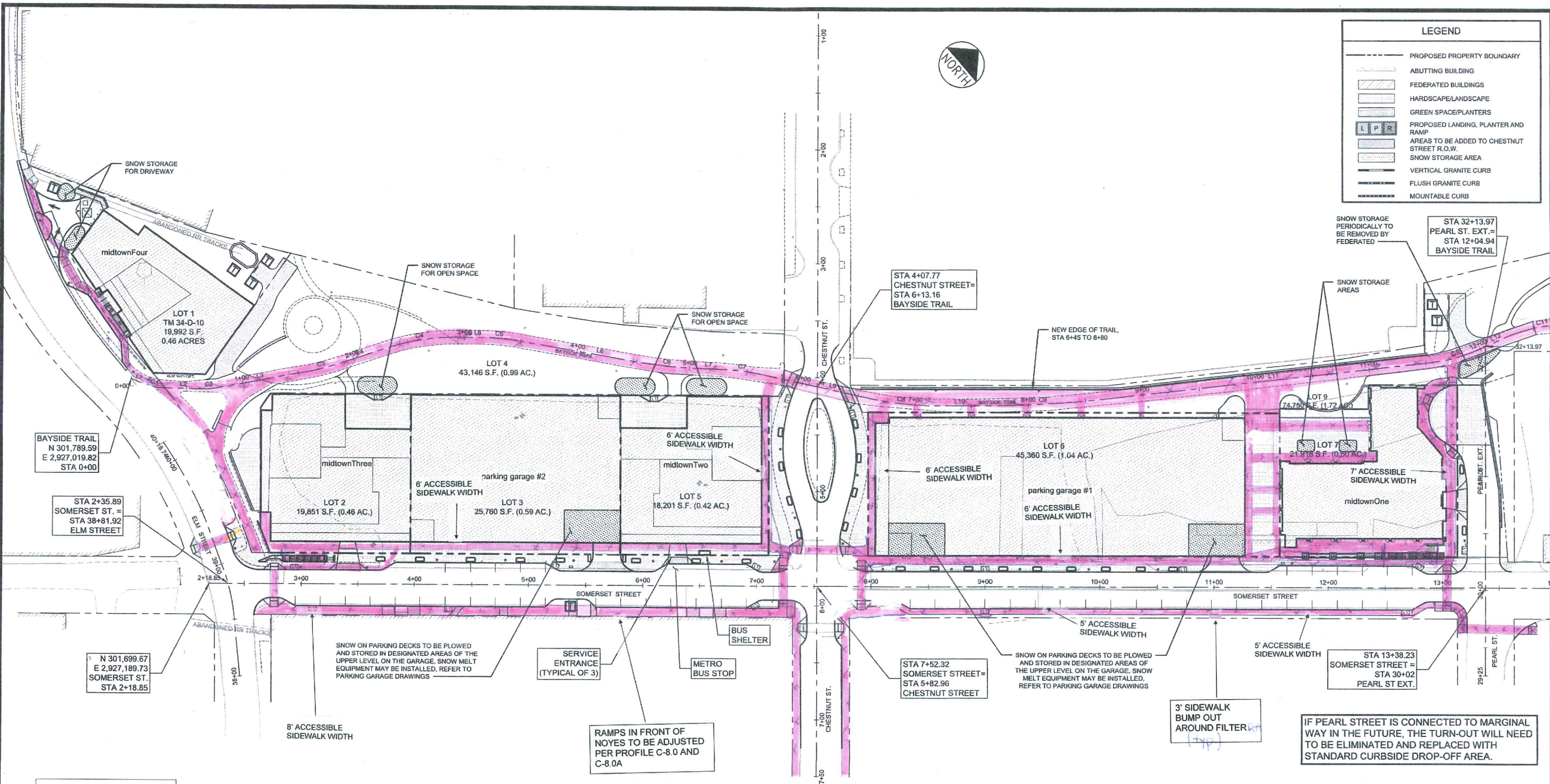


TYPICAL SECTION WITH PARKING ON EACH SIDE OF STREET
NOT TO SCALE



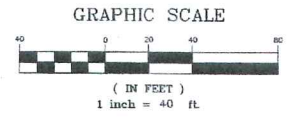


LEGEND	
	PROPOSED PROPERTY BOUNDARY
	ABUTTING BUILDING
	FEDERATED BUILDINGS
	HARDSCAPE/LANDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP
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	VERTICAL GRANITE CURB
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C10	150.00	48.90	018° 41'	24.67	11+54.07	12+02.96
C11	170.00	83.25	028° 04'	42.48	12+16.37	12+99.62



LOCATION OF ACCESSIBLE ROUTES

THIS PLAN IS INTENDED TO BE REVIEWED IN COLOR ONLY

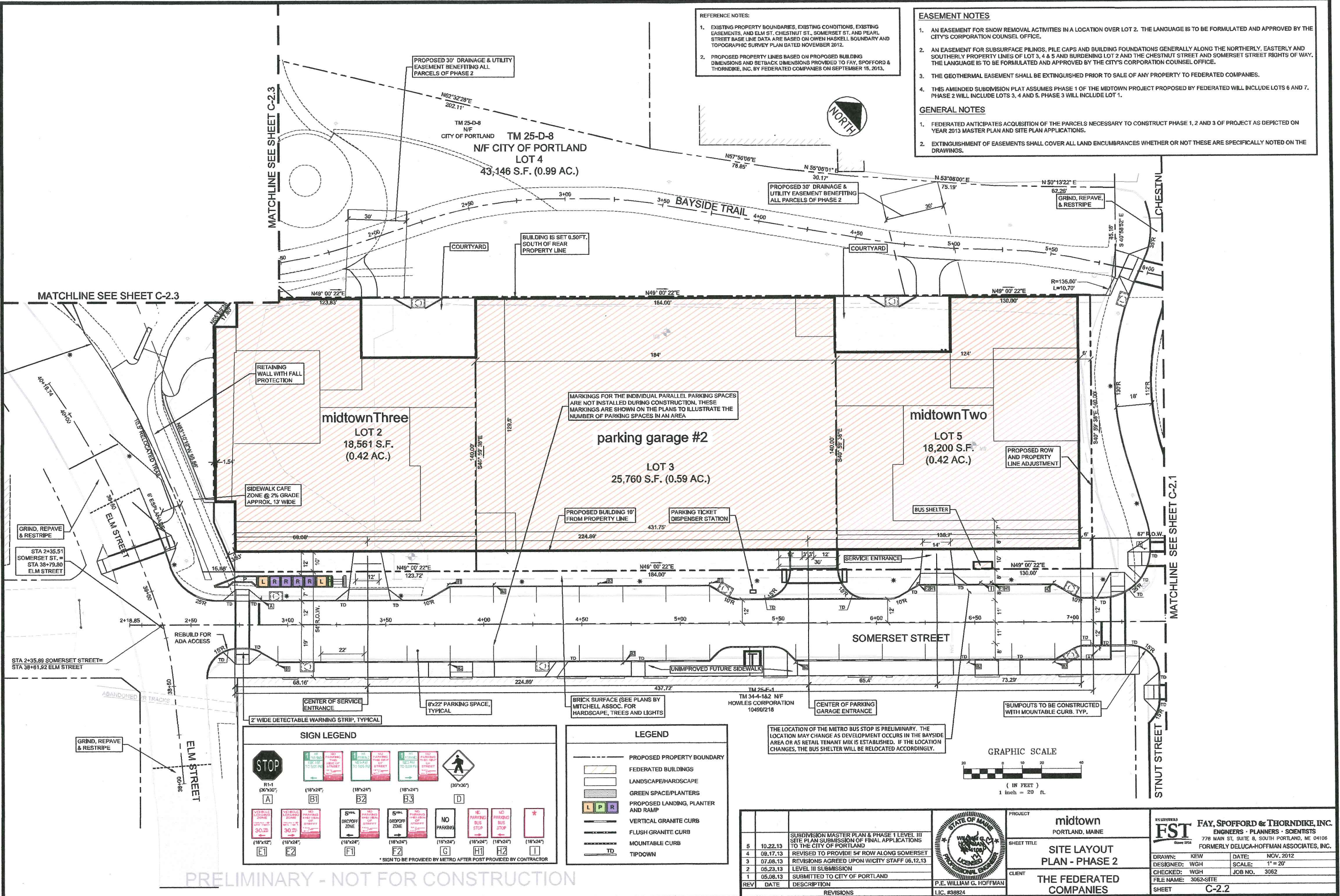
PRELIMINARY - NOT FOR CONSTRUCTION

REVISIONS 8 12.20.13 MODIFIED midtown 3, ADDED RETAINING WALL TO TRAIL BEHIND PHASE 1, MODIFIED PHASE 1 SNOW STORAGE IN MUSE/COURTYARD AREA 7 11.18.13 REVISED midtownOne TRANSFORMER PAD AREA REV DATE DESCRIPTION		REVISIONS 6 10.22.13 SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND 5 09.17.13 REVISED TO PROVIDE 54' ROW ALONG SOMERSET 4 07.08.13 REVISIONS AGREED UPON WICITY STAFF 06.12.13 3 05.23.13 LEVEL III SUBMISSION 3 05.23.13 REVISED LOT 6-7 BOUNDARY, REVISED PG #1 ENTRANCE, MISC. REVISIONS 1 05.08.13 SUBMITTED TO CITY OF PORTLAND REV DATE DESCRIPTION			PROJECT midtown PORTLAND, MAINE SHEET TITLE ACCESSIBLE ROUTE PLAN CLIENT THE FEDERATED COMPANIES	ENGINEERS FST 778 MAIN ST, SUITE B, SOUTH PORTLAND, ME 04106 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC. DRAWN: KEW DATE: APRIL 2013 DESIGNED: WGH SCALE: 1" = 40' CHECKED: WGH JOB NO. 3062 FILE NAME: 3062-SITE SHEET C-2.0B
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REFERENCE NOTES:
 1. EXISTING PROPERTY BOUNDARIES, EXISTING CONDITIONS, EXISTING EASEMENTS, AND ELM ST, CHESTNUT ST, SOMERSET ST, AND PEARL STREET BASE LINE DATA ARE BASED ON OWEN HASKELL BOUNDARY AND TOPOGRAPHIC SURVEY PLAN DATED NOVEMBER 2012.
 2. PROPOSED PROPERTY LINES BASED ON PROPOSED BUILDING DIMENSIONS AND SETBACK DIMENSIONS PROVIDED TO FAY, SPOFFORD & THORNDIKE, INC. BY FEDERATED COMPANIES ON SEPTEMBER 15, 2013.

EASEMENT NOTES
 1. AN EASEMENT FOR SNOW REMOVAL ACTIVITIES IN A LOCATION OVER LOT 2. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 2. AN EASEMENT FOR SUBSURFACE PILING, PILE CAPS AND BUILDING FOUNDATIONS GENERALLY ALONG THE NORTHERLY, EASTERLY AND SOUTHERLY PROPERTY LINES OF LOT 3, 4 & 5 AND BURDENING LOT 2 AND THE CHESTNUT STREET AND SOMERSET STREET RIGHTS OF WAY. THE LANGUAGE IS TO BE FORMULATED AND APPROVED BY THE CITY'S CORPORATION COUNSEL OFFICE.
 3. THE GEOTHERMAL EASEMENT SHALL BE EXTINGUISHED PRIOR TO SALE OF ANY PROPERTY TO FEDERATED COMPANIES.
 4. THIS AMENDED SUBDIVISION PLAT ASSUMES PHASE 1 OF THE MIDTOWN PROJECT PROPOSED BY FEDERATED WILL INCLUDE LOTS 6 AND 7. PHASE 2 WILL INCLUDE LOTS 3, 4 AND 5. PHASE 3 WILL INCLUDE LOT 1.

GENERAL NOTES
 1. FEDERATED ANTICIPATES ACQUISITION OF THE PARCELS NECESSARY TO CONSTRUCT PHASE 1, 2 AND 3 OF PROJECT AS DEPICTED ON YEAR 2013 MASTER PLAN AND SITE PLAN APPLICATIONS.
 2. EXTINGUISHMENT OF EASEMENTS SHALL COVER ALL LAND ENCUMBRANCES WHETHER OR NOT THESE ARE SPECIFICALLY NOTED ON THE DRAWINGS.



MARKINGS FOR THE INDIVIDUAL PARALLEL PARKING SPACES ARE NOT INSTALLED DURING CONSTRUCTION. THESE MARKINGS ARE SHOWN ON THE PLANS TO ILLUSTRATE THE NUMBER OF PARKING SPACES IN AN AREA

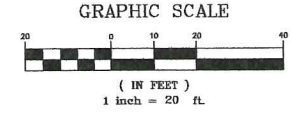
THE LOCATION OF THE METRO BUS STOP IS PRELIMINARY. THE LOCATION MAY CHANGE AS DEVELOPMENT OCCURS IN THE BAYSIDE AREA OR AS RETAIL TENANT MIX IS ESTABLISHED. IF THE LOCATION CHANGES, THE BUS SHELTER WILL BE RELOCATED ACCORDINGLY.

SIGN LEGEND

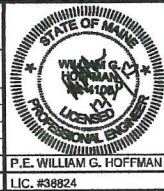
* SIGN TO BE PROVIDED BY METRO AFTER POST PROVIDED BY CONTRACTOR

LEGEND

- PROPOSED PROPERTY BOUNDARY
- FEDERATED BUILDINGS
- LANDSCAPE/HARDSCAPE
- GREEN SPACE/PLANTERS
- PROPOSED LANDING, PLANTER AND RAMP
- VERTICAL GRANITE CURB
- FLUSH GRANITE CURB
- MOUNTABLE CURB
- TIPDOWN



REV	DATE	DESCRIPTION
5	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND



PROJECT
 midtown
 PORTLAND, MAINE

SHEET TITLE
 SITE LAYOUT
 PLAN - PHASE 2

CLIENT
 THE FEDERATED
 COMPANIES

ENGINEERS
FST
 FAY, SPOFFORD & THORNDIKE, INC.
 ENGINEERS - PLANNERS - SCIENTISTS
 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.

DRAWN: KEW
 DESIGNED: WGH
 CHECKED: WGH
 FILE NAME: 3062-SITE

DATE: NOV. 2012
 SCALE: 1" = 20'
 JOB NO. 3062

SHEET
 C-2.2

PRELIMINARY - NOT FOR CONSTRUCTION

PHASE 1 LOT AREA 1.54 ACRES
 PHASE 1 BUILDING ENVELOPE
 63,365 S.F., 1.45 ACRES

OPEN SPACE AREAS:

A. COURTYARD:	3,603 S.F.
B. MEWS:	3,540 S.F.
C. 10' STRIP ALONG PEARL ST. EXT.:	1,510 S.F.
D. 8' - 10' STRIP ALONG SOMERSET ST.:	1,647 S.F.
E. 6' STRIP ALONG CHESTNUT STREET:	756 S.F.
F. REAR OF PARKING GARAGE #1:	1,357 S.F.
TOTAL OPEN SPACE AREA:	12,413 S.F.
% OPEN SPACE FOR PHASE 1:	18.50%

NORTHERLY EDGE
 OF RELOCATED
 TRAIL

559 S.F. TO BE DEEDED BACK
 TO THE CITY OF PORTLAND

RELOCATE TRAIL IN THIS LOCATION
 BAYSIDE TRAIL

9'x9' TRANSFORMER
 PAD (TYP. OF 2)

THIS PORTION OF ROW
 NOT CONTROLLED BY
 THE CITY OF PORTLAND

FUTURE POTENTIAL
 ROW TO 50' WIDE

PROPOSED PROPERTY LINE

GEOBLOCK

CHESTNUT ST.

PROPOSED
 PROPERTY
 LINE

parking garage #1
 LOT 6
 45,360 S.F. (1.04 AC.)

LOT 7
 21,918 S.F. (0.50 AC.)
 midtownOne

SOMERSET STREET

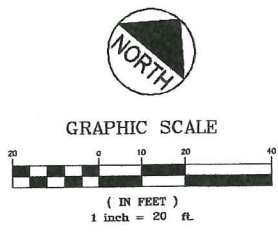
SOMERSET STREET
 R.O.W. BEING
 INCREASED IN WIDTH
 FROM 50' TO 54'

450 S.F. TO BE DEEDED BACK
 TO THE CITY OF PORTLAND

IF PEARL STREET IS CONNECTED TO MARGINAL
 WAY IN THE FUTURE, THE TURN-OUT WILL NEED
 TO BE ELIMINATED AND REPLACED WITH
 STANDARD CURBSIDE DROP-OFF AREA.

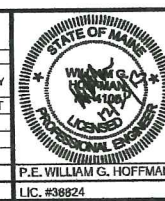
LEGEND

	PROPOSED PROPERTY BOUNDARY
	FEDERATED BUILDINGS
	LANDSCAPE/HARDSCAPE
	GREEN SPACE/PLANTERS
	PROPOSED LANDING, PLANTER AND RAMP



PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
7	12.20.13	ADDED RETAINING WALL ON NORTH SIDE OF THE TRAIL, ELIMINATED STEPS BETWEEN MUSE AND TRAIL, AND MODIFIED/ADDED ACCESSIBLE RAMPS
6	11.18.13	REVISED midtownOne TRANSFORMER PAD AREA
5	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
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2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND



PROJECT
midtown
 PORTLAND, MAINE

SHEET TITLE
PHASE1 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

CLIENT
THE FEDERATED COMPANIES

ENGINEERS
FST
 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106
 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.

ENGINEERS • PLANNERS • SCIENTISTS

DRAWN: KEW DATE: MARCH 2013
 DESIGNED: WGH SCALE: 1"=20'
 CHECKED: WGH JOB NO. 3062
 FILE NAME: 3062-Base
 SHEET C-2.4

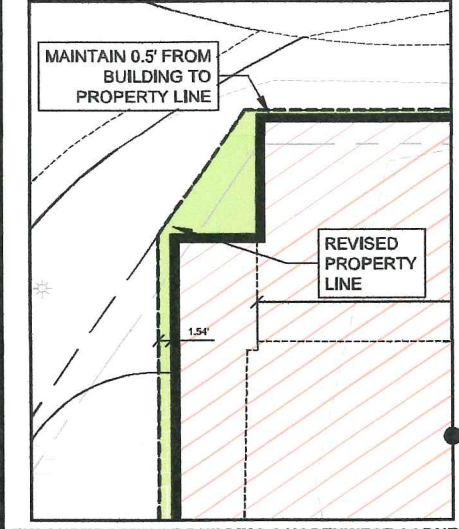
PHASE 2 LOT AREA 1.44 ACRES
 PHASE 2 BUILDING ENVELOPE
 57,343 S.F., 1.32 ACRES

OPEN SPACE AREAS:

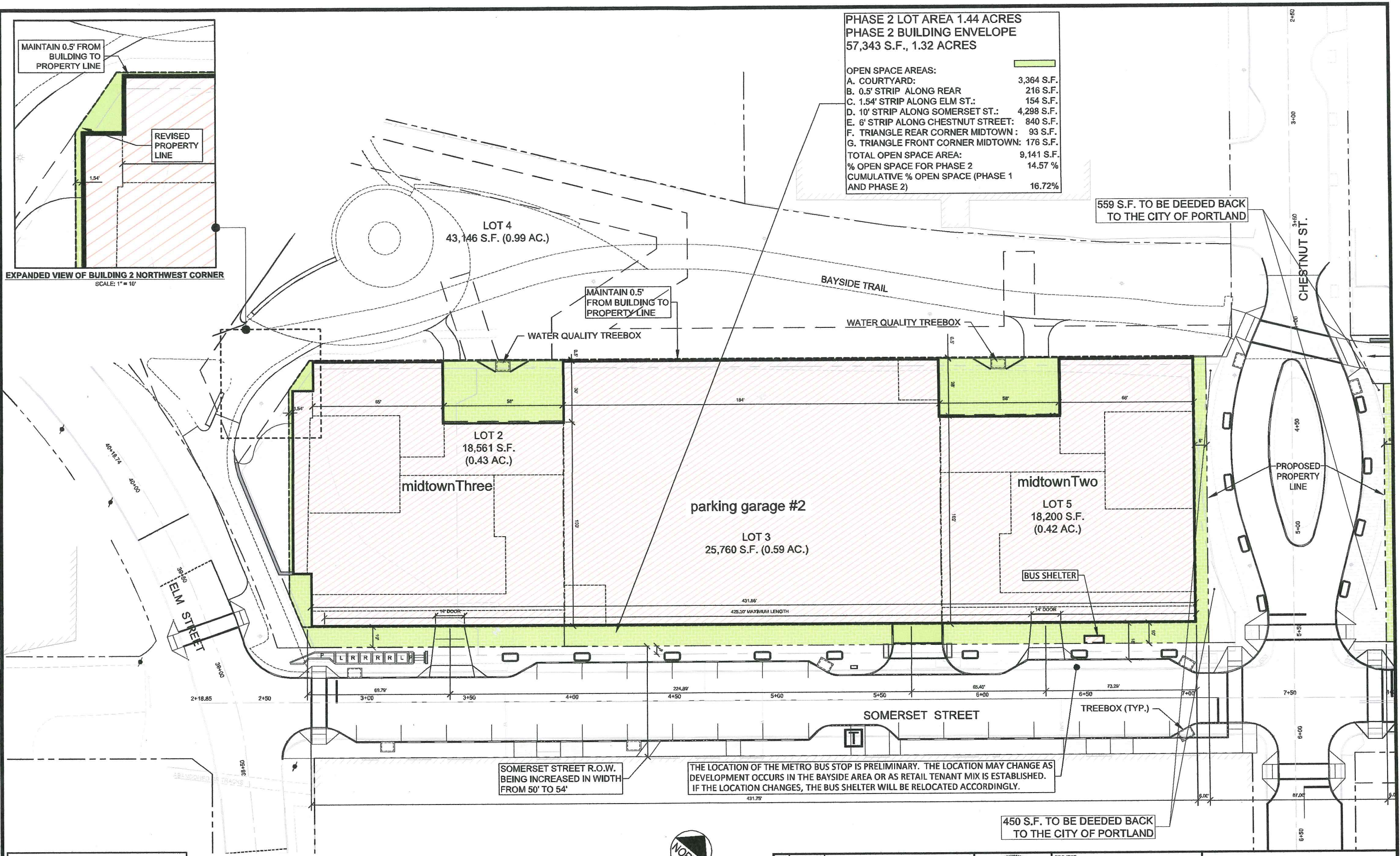
A. COURTYARD:	3,364 S.F.
B. 0.5' STRIP ALONG REAR	216 S.F.
C. 1.54' STRIP ALONG ELM ST.:	154 S.F.
D. 10' STRIP ALONG SOMERSET ST.:	4,298 S.F.
E. 6' STRIP ALONG CHESTNUT STREET:	840 S.F.
F. TRIANGLE REAR CORNER MIDTOWN:	93 S.F.
G. TRIANGLE FRONT CORNER MIDTOWN:	176 S.F.
TOTAL OPEN SPACE AREA:	9,141 S.F.
% OPEN SPACE FOR PHASE 2	14.57 %
CUMULATIVE % OPEN SPACE (PHASE 1 AND PHASE 2)	16.72 %

559 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND

450 S.F. TO BE DEEDED BACK TO THE CITY OF PORTLAND



EXPANDED VIEW OF BUILDING 2 NORTHWEST CORNER
 SCALE: 1" = 10'

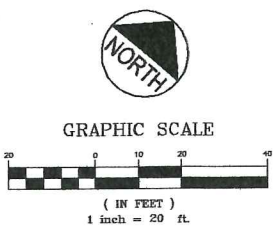


SOMERSET STREET R.O.W. BEING INCREASED IN WIDTH FROM 50' TO 54'

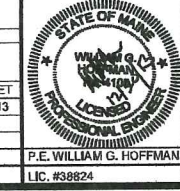
THE LOCATION OF THE METRO BUS STOP IS PRELIMINARY. THE LOCATION MAY CHANGE AS DEVELOPMENT OCCURS IN THE BAYSIDE AREA OR AS RETAIL TENANT MIX IS ESTABLISHED. IF THE LOCATION CHANGES, THE BUS SHELTER WILL BE RELOCATED ACCORDINGLY.

LEGEND

- PROPOSED PROPERTY BOUNDARY
- FEDERATED BUILDINGS
- LANDSCAPE/HARDSCAPE
- GREEN SPACE/PLANTERS
- PROPOSED LANDING, PLANTER AND RAMP



REV	DATE	DESCRIPTION
6	12.20.13	REVISED LOT 2
5	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
4	09.17.13	REVISED TO PROVIDE 54' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND



PROJECT
 midtown
 PORTLAND, MAINE

SHEET TITLE
 PHASE 2 BUILDING ENVELOPE AND OPEN SPACE COMPUTATIONS

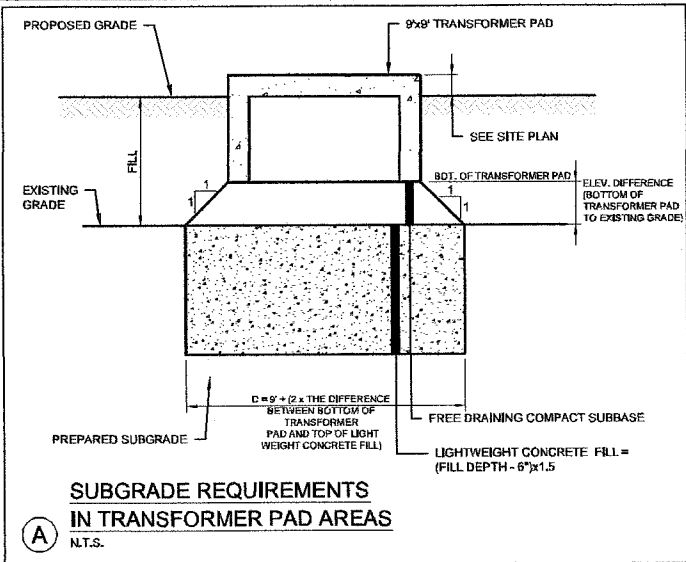
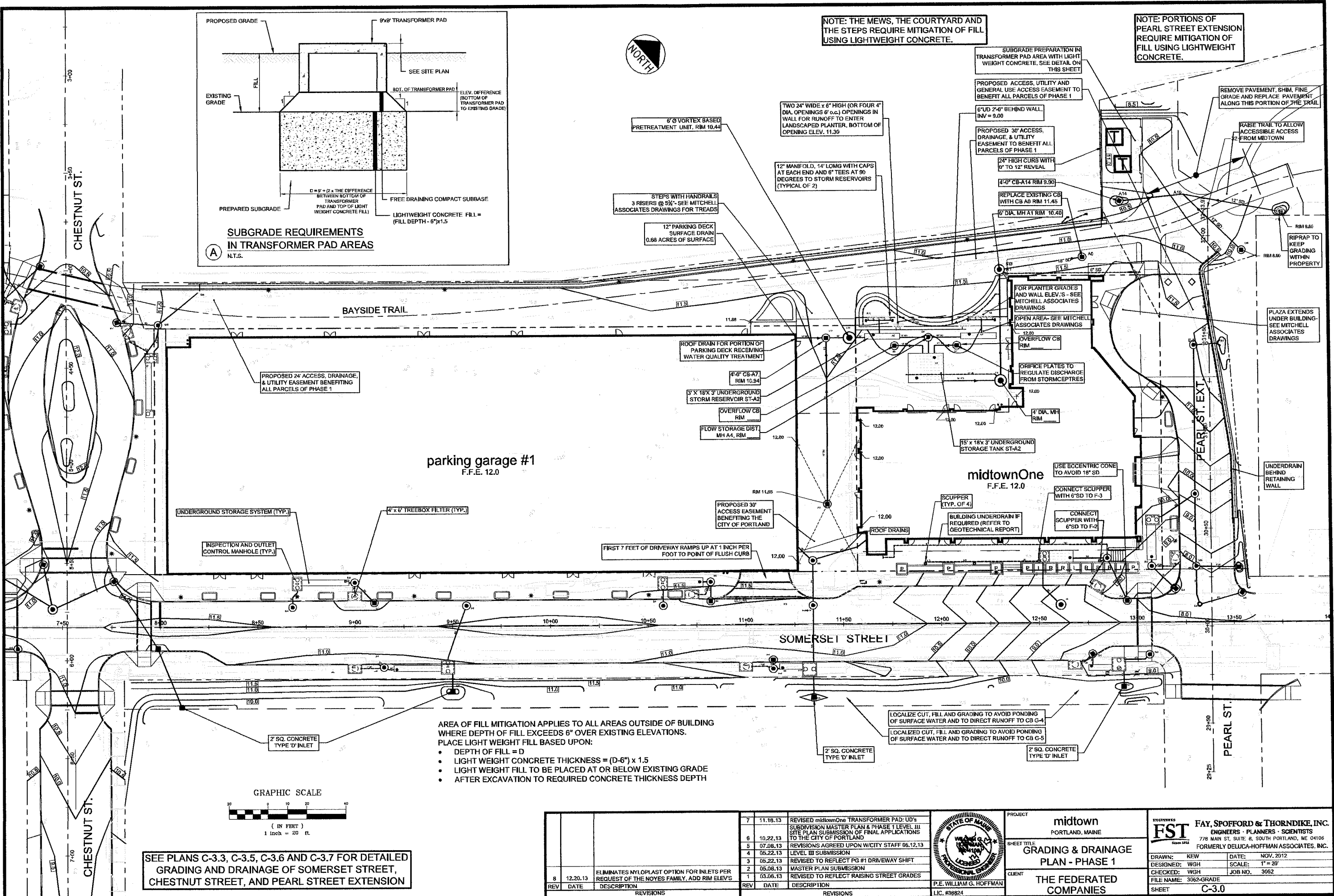
CLIENT
 THE FEDERATED COMPANIES

ENGINEERS
FST
 FAY, SPOFFORD & THORNDIKE, INC.
 ENGINEERS - PLANNERS - SCIENTISTS
 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106
 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.

DRAWN: KEW
 DESIGNED: WGH
 CHECKED: WGH
 FILE NAME: 3062-Base

DATE: MARCH 2013
 SCALE: 1"=20'
 JOB NO.: 3062
 SHEET: C-2.5

PRELIMINARY - NOT FOR CONSTRUCTION



NOTE: THE MEWS, THE COURTYARD AND THE STEPS REQUIRE MITIGATION OF FILL USING LIGHTWEIGHT CONCRETE.

NOTE: PORTIONS OF PEARL STREET EXTENSION REQUIRE MITIGATION OF FILL USING LIGHTWEIGHT CONCRETE.

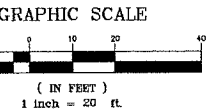
A SUBGRADE REQUIREMENTS IN TRANSFORMER PAD AREAS N.T.S.

parking garage #1
F.F.E. 12.0

midtownOne
F.F.E. 12.0

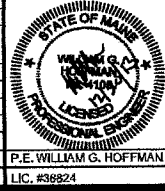
AREA OF FILL MITIGATION APPLIES TO ALL AREAS OUTSIDE OF BUILDING WHERE DEPTH OF FILL EXCEEDS 6" OVER EXISTING ELEVATIONS. PLACE LIGHT WEIGHT FILL BASED UPON:

- DEPTH OF FILL = D
- LIGHT WEIGHT CONCRETE THICKNESS = (D-6") x 1.5
- LIGHT WEIGHT FILL TO BE PLACED AT OR BELOW EXISTING GRADE
- AFTER EXCAVATION TO REQUIRED CONCRETE THICKNESS DEPTH



SEE PLANS C-3.3, C-3.5, C-3.6 AND C-3.7 FOR DETAILED GRADING AND DRAINAGE OF SOMERSET STREET, CHESTNUT STREET, AND PEARL STREET EXTENSION

REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
7	11.18.13	REVISED midtownOne TRANSFORMER PAD: UD'S SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND	7	11.18.13	REVISED midtownOne TRANSFORMER PAD: UD'S SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
6	10.22.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13	6	10.22.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
5	07.08.13	LEVEL III SUBMISSION	5	07.08.13	LEVEL III SUBMISSION
4	05.22.13	REVISED TO REFLECT PG #1 DRIVEWAY SHIFT	4	05.22.13	REVISED TO REFLECT PG #1 DRIVEWAY SHIFT
3	05.22.13	MASTER PLAN SUBMISSION	3	05.22.13	MASTER PLAN SUBMISSION
2	05.08.13	REVISED TO REFLECT RAISING STREET GRADES	2	05.08.13	REVISED TO REFLECT RAISING STREET GRADES
1	03.06.13		1	03.06.13	
8	12.20.13	ELIMINATES NYLOPLAST OPTION FOR INLETS PER REQUEST OF THE NOYES FAMILY, ADD RIM ELEV'S			

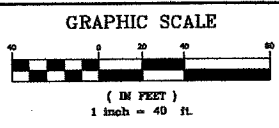
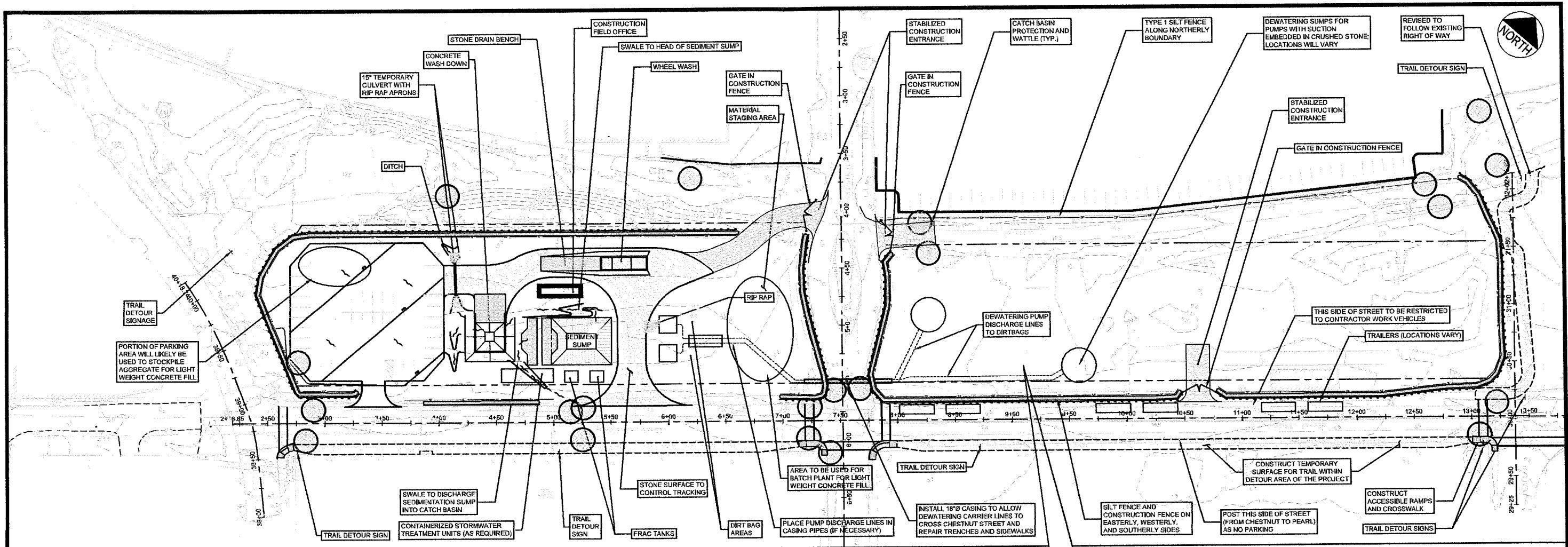


PROJECT: midtown
PORTLAND, MAINE
SHEET TITLE: GRADING & DRAINAGE PLAN - PHASE 1
CLIENT: THE FEDERATED COMPANIES

ENGINEERS: FAY, SPOFFORD & THORNDIKE, INC.
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.
DRAWN: KEW DATE: NOV. 2012
DESIGNED: WGH SCALE: 1" = 20'
CHECKED: WGH JOB NO. 3062
FILE NAME: 3062-GRADE
SHEET: C-3.0

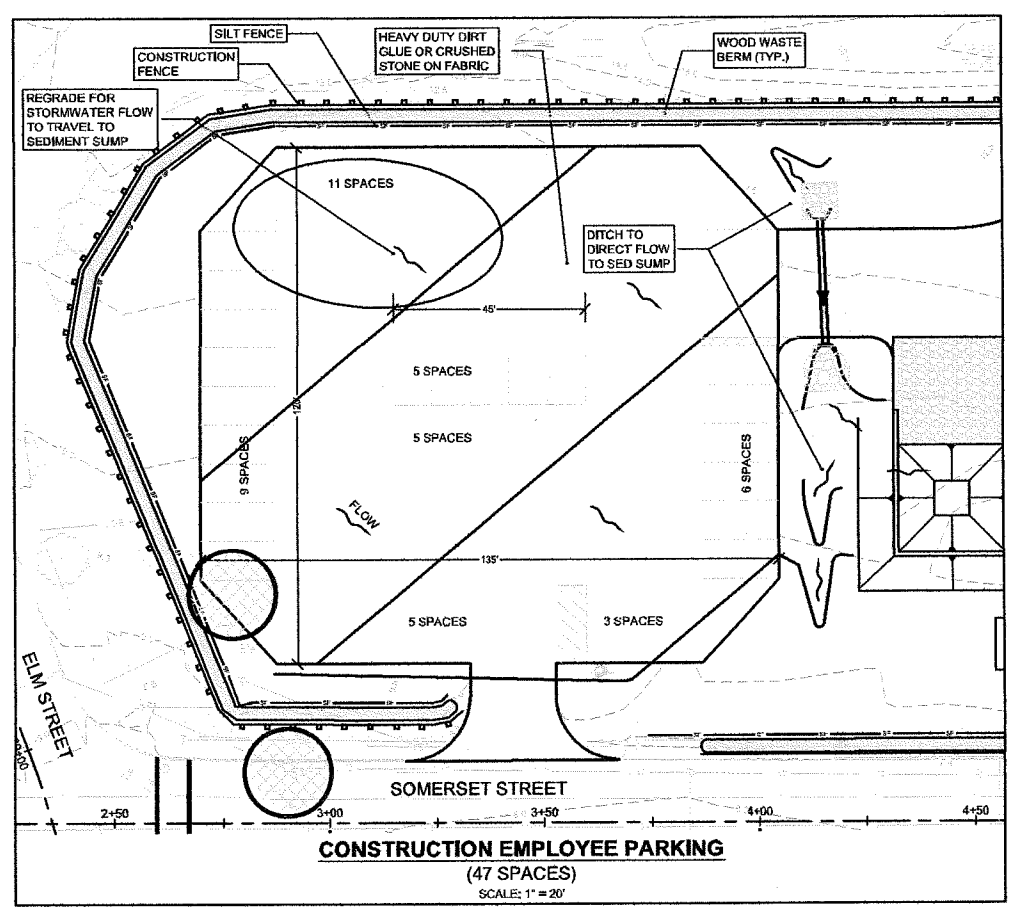
Proposed Somerset Street Elevations and Mass Earthwork
Lightweight Concrete is Used After New Dead Load Exceeds 60 lbs./s.f.

Station	Existing Elevation	Design Centerline Elevation	Offset Crown Left of Centerline	Slope from Crown to Edge of Travel Way Left	Elevation at 11' Left	Is there No Parking? If so Add 0.58	Elevation to 12' Left (2.4 Higher Than 11' Left Plus .08 for the Curb)	Average Slope Between Curb and Accessible Route (0 to 6' Off Building)	Elevation 6' in Front of the Building Face (This permits a 2% cross slope on a 6'-0" sidewalk area in front of the building per discussions with City Staff on 10/22/13)	Slope from 11' Left to 19' Left When Parking is Adjacent to Curb	Is Curb located at 19' Left? (Yes=08 No=0)	Elevation at 19.01' Left	Elevation at 11' Right	Slope from Centerline to 11' Right	Elevation at 19' Right	Elevation at Back of Sidewalk When There is No Curb at the Gutter (Sidewalk Cross Slope is 1-2% Up from the Curb - See Note C-7.0A)	Station	Elevation at Gutter Left	Elevation at Edge of Parking Left	Elevation at Top of Curb	Slope from Curb to Building (If no ramps)	Elevation Difference at Centerline	Thickness of Lightweight Concrete Required	Required After Adjustment for Leveling	Excavation Volume	Elevation at BOE at Centerline of Right of Way	Added Concrete Due to Warp of parking	Added Concrete to Ramp Area	Added Excavation in Ramp Area	Concrete for 25 Foot Section	Amount of Federated Side	
3+25	7.84	7.84		-0.00%	7.61	0.58	8.23	24.13%	11.85	3.00%	0.00	8.97	7.61	-3.00%	-3.00%	7.33	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+30	7.76	7.76		-0.00%	7.53	0.58	8.11	20.72%	11.80	3.00%	0.00	9.07	7.53	-3.00%	-3.00%	7.25	8.02	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+35	7.92	7.92		-0.00%	7.69	0.58	8.27	24.13%	11.85	3.00%	0.00	9.23	7.69	-3.00%	-3.00%	7.41	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+40	8.08	8.08		-0.00%	7.85	0.58	8.43	24.13%	11.90	3.00%	0.00	9.39	7.85	-3.00%	-3.00%	7.57	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+45	8.24	8.24		-0.00%	8.01	0.58	8.59	24.13%	11.95	3.00%	0.00	9.55	8.01	-3.00%	-3.00%	7.73	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+50	8.40	8.40		-0.00%	8.17	0.58	8.75	24.13%	12.00	3.00%	0.00	9.71	8.17	-3.00%	-3.00%	7.89	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+55	8.56	8.56		-0.00%	8.33	0.58	8.91	24.13%	12.05	3.00%	0.00	9.87	8.33	-3.00%	-3.00%	8.05	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+60	8.72	8.72		-0.00%	8.49	0.58	9.07	24.13%	12.10	3.00%	0.00	10.03	8.49	-3.00%	-3.00%	8.21	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+65	8.88	8.88		-0.00%	8.65	0.58	9.23	24.13%	12.15	3.00%	0.00	10.19	8.65	-3.00%	-3.00%	8.37	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+70	9.04	9.04		-0.00%	8.81	0.58	9.39	24.13%	12.20	3.00%	0.00	10.35	8.81	-3.00%	-3.00%	8.53	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+75	9.20	9.20		-0.00%	8.97	0.58	9.55	24.13%	12.25	3.00%	0.00	10.51	8.97	-3.00%	-3.00%	8.69	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+80	9.36	9.36		-0.00%	9.13	0.58	9.71	24.13%	12.30	3.00%	0.00	10.67	9.13	-3.00%	-3.00%	8.85	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+85	9.52	9.52		-0.00%	9.29	0.58	9.87	24.13%	12.35	3.00%	0.00	10.83	9.29	-3.00%	-3.00%	9.01	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+90	9.68	9.68		-0.00%	9.45	0.58	10.03	24.13%	12.40	3.00%	0.00	10.99	9.45	-3.00%	-3.00%	9.17	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+95	9.84	9.84		-0.00%	9.61	0.58	10.19	24.13%	12.45	3.00%	0.00	11.15	9.61	-3.00%	-3.00%	9.33	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+100	10.00	10.00		-0.00%	9.77	0.58	10.35	24.13%	12.50	3.00%	0.00	11.31	9.77	-3.00%	-3.00%	9.49	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+105	10.16	10.16		-0.00%	9.93	0.58	10.51	24.13%	12.55	3.00%	0.00	11.47	9.93	-3.00%	-3.00%	9.65	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+110	10.32	10.32		-0.00%	10.09	0.58	10.67	24.13%	12.60	3.00%	0.00	11.63	10.09	-3.00%	-3.00%	9.81	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+115	10.48	10.48		-0.00%	10.25	0.58	10.83	24.13%	12.65	3.00%	0.00	11.79	10.25	-3.00%	-3.00%	9.97	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+120	10.64	10.64		-0.00%	10.41	0.58	10.99	24.13%	12.70	3.00%	0.00	11.95	10.41	-3.00%	-3.00%	10.13	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+125	10.80	10.80		-0.00%	10.57	0.58	11.15	24.13%	12.75	3.00%	0.00	12.11	10.57	-3.00%	-3.00%	10.29	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+130	10.96	10.96		-0.00%	10.73	0.58	11.31	24.13%	12.80	3.00%	0.00	12.27	10.73	-3.00%	-3.00%	10.45	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+135	11.12	11.12		-0.00%	10.89	0.58	11.47	24.13%	12.85	3.00%	0.00	12.43	10.89	-3.00%	-3.00%	10.61	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+140	11.28	11.28		-0.00%	11.05	0.58	11.63	24.13%	12.90	3.00%	0.00	12.59	11.05	-3.00%	-3.00%	10.77	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+145	11.44	11.44		-0.00%	11.21	0.58	11.79	24.13%	12.95	3.00%	0.00	12.75	11.21	-3.00%	-3.00%	10.93	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+150	11.60	11.60		-0.00%	11.37	0.58	11.95	24.13%	13.00	3.00%	0.00	12.91	11.37	-3.00%	-3.00%	11.09	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+155	11.76	11.76		-0.00%	11.53	0.58	12.11	24.13%	13.05	3.00%	0.00	13.07	11.53	-3.00%	-3.00%	11.25	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+160	11.92	11.92		-0.00%	11.69	0.58	12.27	24.13%	13.10	3.00%	0.00	13.23	11.69	-3.00%	-3.00%	11.41	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+165	12.08	12.08		-0.00%	11.85	0.58	12.43	24.13%	13.15	3.00%	0.00	13.39	11.85	-3.00%	-3.00%	11.57	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+170	12.24	12.24		-0.00%	12.01	0.58	12.59	24.13%	13.20	3.00%	0.00	13.55	12.01	-3.00%	-3.00%	11.73	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+175	12.40	12.40		-0.00%	12.17	0.58	12.75	24.13%	13.25	3.00%	0.00	13.71	12.17	-3.00%	-3.00%	11.89	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+180	12.56	12.56		-0.00%	12.33	0.58	12.91	24.13%	13.30	3.00%	0.00	13.87	12.33	-3.00%	-3.00%	12.05	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+185	12.72	12.72		-0.00%	12.49	0.58	13.07	24.13%	13.35	3.00%	0.00	14.03	12.49	-3.00%	-3.00%	12.21	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+190	12.88	12.88		-0.00%	12.65	0.58	13.23	24.13%	13.40	3.00%	0.00	14.19	12.65	-3.00%	-3.00%	12.37	8.07	21.50	8.81	8.17	8.78	18.04%	0.50	0.00	0.85	50.37	8.99	0.00	0.00	0.00	0.00	0.00
3+195	13.04	13.04		-0.00%	12.81	0.58	13.39	24.13%	13.45</																							



THIS PLAN DEPICTS EROSION CONTROL MEASURES ANTICIPATED TO BE REQUIRED BETWEEN START OF CONSTRUCTION AND COMPLETION OF THE FOUNDATION SYSTEMS FOR PHASE 1 OF THE PROJECT

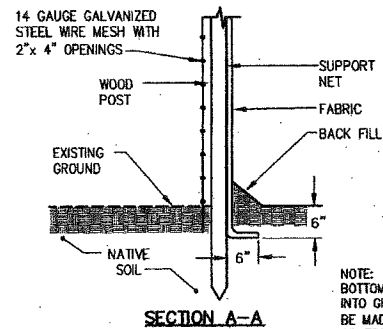
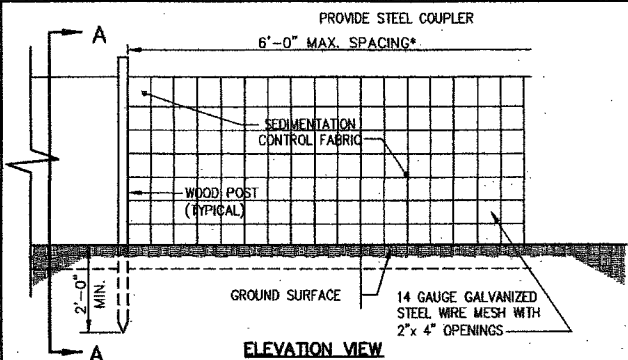
THE ENTIRE AREA OF PROJECT EAST OF CHESTNUT STREET IS CONSIDERED AN ACTIVE WORK AREA WITH TEMPORARY EROSION CONTROL MEASURES



CURB CUTS IN PHASE 2 AREA ARE LOCATED TO COINCIDE WITH PHASE 2 CURB CUTS. THESE OPENINGS WILL BE GATED AND ACCESS CONTROLLED BY THE OWNER.

PRELIMINARY - NOT FOR CONSTRUCTION

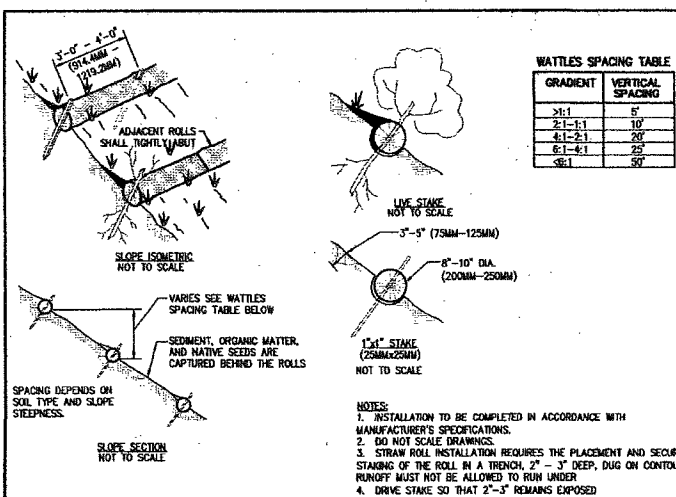
PROJECT		midtown PORTLAND, MAINE		FAY, SPOFFORD & THORNDIKE, INC. ENGINEERS - PLANNERS - SCIENTISTS 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106	
SHEET TITLE		EROSION CONTROL PLAN FOR BEGINNING OF PHASE 1 FOR CONSTRUCTION		DRAWN: KEW DESIGNED: WGH CHECKED: WGH	
CLIENT		THE FEDERATED COMPANIES		DATE: NOV 2012 SCALE: 1"=40' JOB NO. 3062	
REV		1 12.18.12 POSTED TO FTP SITE		FILE NAME: 3062-PH1-EROS	
DESCRIPTION		P.E. WILLIAM G. HOFFMAN LIC. #39824		SHEET C-6.0	
REVISIONS					



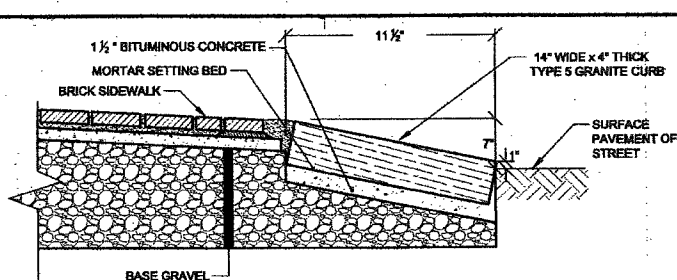
NOTE:
BOTTOM OF SILT FENCE MUST BE TOED INTO GROUND OR NO PAYMENT SHALL BE MADE. SEE EROSION / SEDIMENT CONTROL PLAN DRAWINGS FOR SILT FENCE INSTALLATION SCHEDULE.

*NOTE:
THE SILT FENCE SHOULD HAVE A MAXIMUM STAKING DISTANCE OF 6' UNLESS THE FENCE IS SUPPORTED BY WIRE FENCE REINFORCEMENT A MAXIMUM 14 GAUGE AND WITH A MINIMUM MESH SPACING OF 6'.

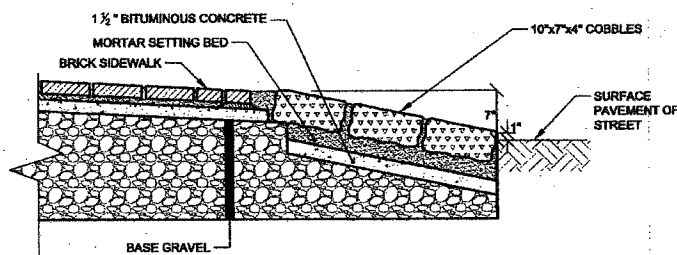
(A) WIRE RACK REINFORCED SILT FENCE DETAIL
N.T.S.



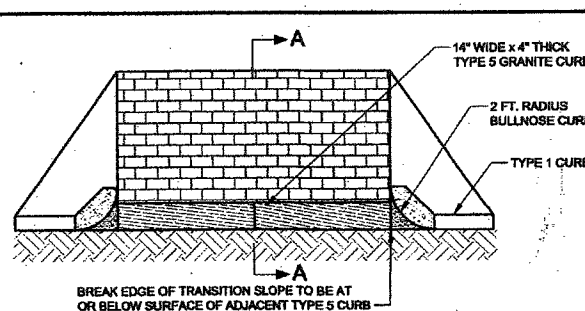
(B) STRAW WATTLE DETAILS
N.T.S.



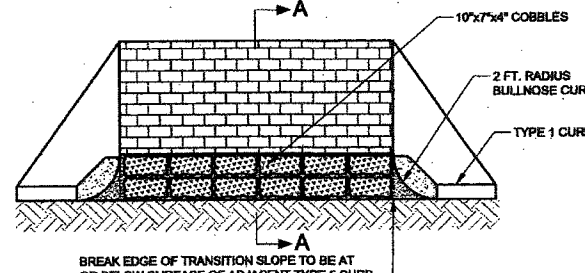
MOUNTABLE CURB SECTION: OPTION 2
N.T.S.



MOUNTABLE CURB SECTION: OPTION 1
N.T.S.



MOUNTABLE CURB DETAIL OPTION 2
N.T.S.



MOUNTABLE CURB DETAIL OPTION 1
N.T.S.

FST **FAY, SPOFFORD & THORNDIKE, INC.**
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106

DRAWN: KEW DATE: DEC 2013
DESIGNED: WGH SCALE: N.T.S.
CHECKED: WGH JOB NO. SP-4037A
FILE NAME: 3062-DET

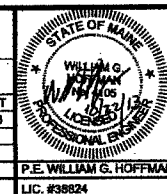
midtown
PORTLAND, MAINE

MOUNTABLE CURB
OPTIONS 1 AND 2

FIGURE

PRELIMINARY - NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
5	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
4	09.17.13	REVISED TO PROVIDE 6' ROW ALONG SOMERSET
3	07.08.13	REVISIONS AGREED UPON W/CITY STAFF 06.12.13
2	05.23.13	LEVEL III SUBMISSION
1	05.08.13	SUBMITTED TO CITY OF PORTLAND

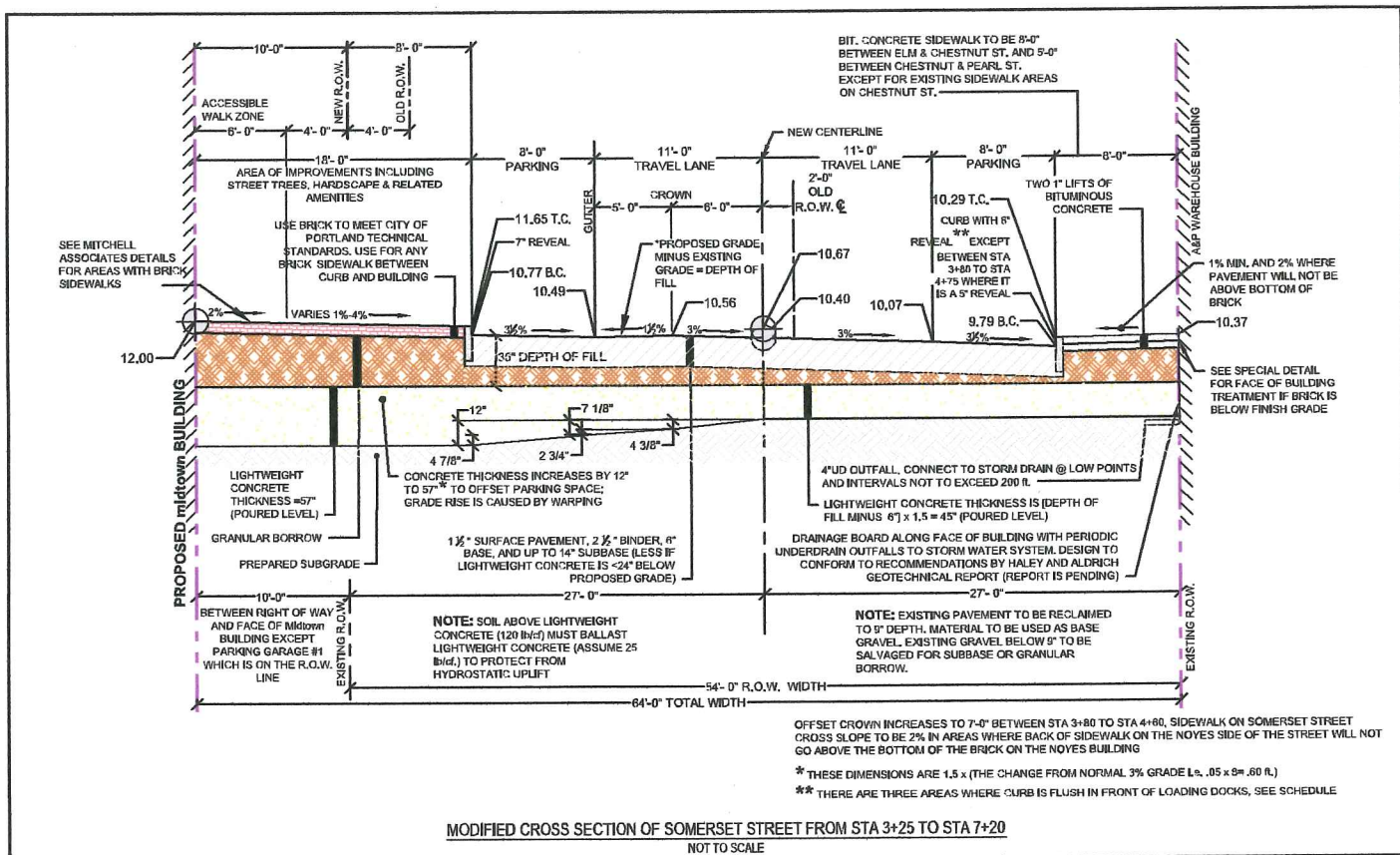


PROJECT
midtown
PORTLAND, MAINE
EROSION CONTROL AND MOUNTABLE CURB DETAILS

ENGINEERED BY
FST **FAY, SPOFFORD & THORNDIKE, INC.**
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.

DRAWN: KEW DATE: NOV 2012
DESIGNED: WGH SCALE: N.T.S.
CHECKED: WGH JOB NO. 3062
FILE NAME: 3150-DET EROS
SHEET **C-6.3**

CLIENT
THE FEDERATED COMPANIES

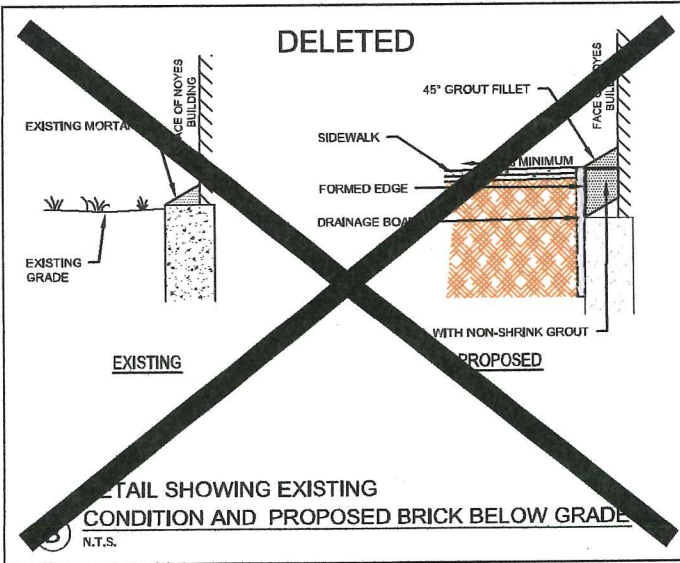
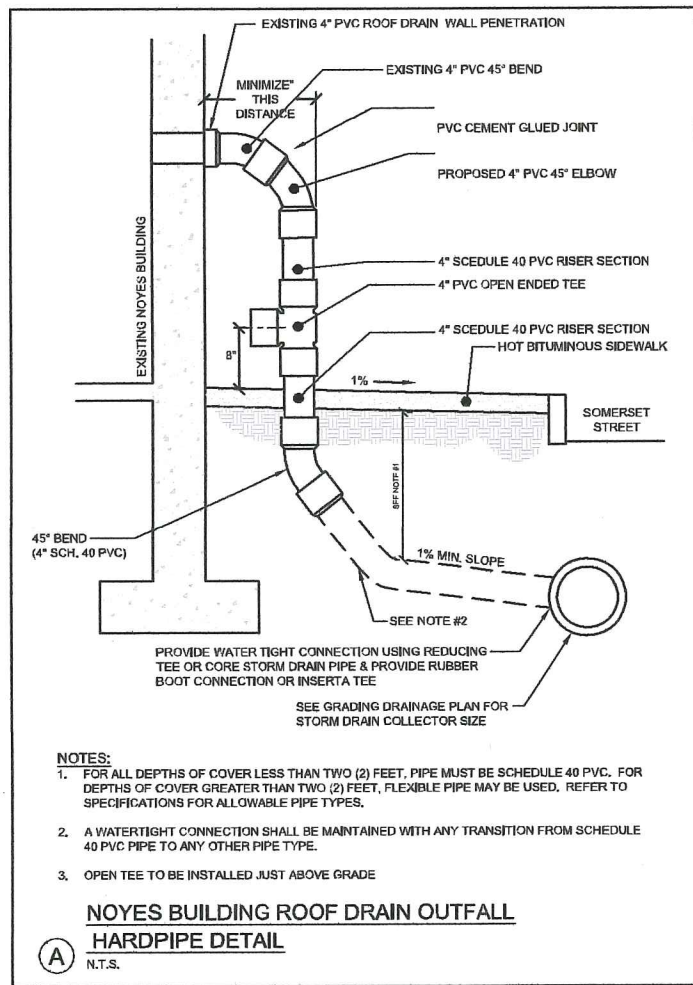


SCHEDULE OF SPECIAL CURB TIPDOWNS AND FLUSH CURB (EXCLUDES NORMAL SIDEWALK RAMPS) ALONG THE SOUTHERLY SIDE OF THE SIDEWALK IN FRONT OF THE NOYES BUILDING

STATION TO STATION	CURB TYPE	
3+71	3+82	TIPDOWN
3+82	3+94	FLUSH CURB IN FRONT OF LOADING DOCK 4
3+94	4+05	TIPDOWN
6+39	6+50	TIPDOWN
6+50	6+62	FLUSH CURB IN FRONT OF LOADING DOCK 11
6+62	6+73	TIPDOWN
6+82	6+93	TIPDOWN
6+93	7+05	FLUSH CURB IN FRONT OF LOADING DOCK 12
7+05	7+16	TIPDOWN

GRADES ON THE LEFT SIDE OF SOMERSET STREET IN FRONT OF MIDTOWN

Station	Normal Centerline Grade	11' Left	19' Left	31' Left	Average Grade 19' to 31' Left	Grade 31' Left to Building (37' Left)	Condition
3+50	10.38	10.22	11.18	11.88	5.83%	2.00%	Mountable Curb at Service Entrance
3+75	10.70	10.54	11.44	11.88	3.71%	2.00%	Parking
4+00	10.86	10.70	11.02	11.88	2.38%	2.00%	Landscape
4+25	10.85	10.69	11.01	11.88	2.46%	2.00%	Parking
4+50	10.73	10.57	10.89	11.88	3.46%	2.00%	Parking
4+75	10.63	10.47	10.79	11.88	4.29%	2.00%	Parking
5+00	10.61	10.45	10.77	11.88	4.46%	2.00%	Parking
5+25	10.65	10.49	10.81	11.88	4.12%	2.00%	Landscape
5+50	10.76	10.60	11.50	11.88	3.21%	2.00%	Landscape
5+75	10.87	10.71	11.61	11.88	2.29%	2.00%	Landscape
6+00	10.91	10.75	11.72	11.88	1.33%	2.00%	Mountable Curb at Service Entrance
6+25	10.89	10.73	11.05	11.88	2.12%	2.00%	Parking
6+50	10.80	10.64	10.96	11.88	2.87%	2.00%	Landscape
6+75	10.72	10.56	10.88	11.88	3.54%	2.00%	Parking
7+00	10.76	10.60	11.50	11.88	3.21%	2.00%	Landscape
7+25	10.90	10.74	11.06	11.88	6.83%	2.00%	ADA Ramp



PROPOSED ELEVATIONS AT NOYES PROVIDED AT 25' STATIONS

Somerset Street Station	Old Centerline (Nov. 2013)	New Centerline (Normal)	6' Offset Crown	Grade at 11' Right	Gutter at 19' Right	Top of Curb Right	Bottom of Brick	Grade at Face of the Noyes Building	Distance from Bottom of Brick to Sidewalk Grade (In.)	Centerline Elevation with Offset Crown	Curb at Gutter
3+50	10.81	10.38	0.27	9.78	9.50	10.00	10.65	10.08	6.84	10.11	Flush
3+75	11.21	10.70	0.27	10.10	9.82	10.32	10.57	10.40	2.04	10.43	6"
4+00	11.41	10.86	0.32	10.21	9.93	10.35	10.52	10.43	1.08	10.54	5"
4+25	11.42	10.85	0.32	10.20	9.92	10.34	10.51	10.42	1.08	10.53	5"
4+50	11.30	10.73	0.32	10.08	9.80	10.22	10.49	10.30	2.28	10.41	5"
4+75	11.21	10.63	0.32	9.98	9.70	10.12	10.63	10.20	5.16	10.31	5"
5+00	11.18	10.61	0.27	10.01	9.73	10.23	10.64	10.31	3.96	10.34	6"
5+25	11.21	10.65	0.27	10.05	9.77	10.27	10.68	10.35	3.96	10.38	6"
5+50	11.30	10.76	0.27	10.16	9.88	10.38	10.74	10.46	3.36	10.49	6"
5+75	11.39	10.87	0.27	10.27	9.99	10.49	10.86	10.57	3.48	10.60	6"
6+00	11.42	10.91	0.27	10.31	10.03	10.53	10.86	10.61	3.00	10.64	6"
6+25	11.39	10.89	0.27	10.29	10.01	10.51	10.85	10.59	3.12	10.62	6"
6+50	11.30	10.80	0.27	10.20	9.92	10.49	10.90	10.00	10.80	10.53	Flush
6+75	11.21	10.72	0.27	10.12	9.84	10.34	10.96	10.42	6.48	10.45	6"
7+00	11.20	10.76	0.27	10.16	9.88	11.02	9.96	12.72	12.72	10.49	Flush
7+25	11.26	10.90	0.00	10.57	10.29	10.79	11.02	10.87	1.80	10.90	6"

1. The profile in the drawing set shows the design centerline.
2. Refer to Drawing C-7.0A for cross section between Station 3+25 and 7+20.

FAY, SPOFFORD AND THORNDIKE
778 MAIN STREET, SUITE 8
SOUTH PORTLAND, ME 04106

SUMMARY OF GRADES ALONG NOYES LOADING DOCKS

DESCRIPTION	LOCATION	DOCK ELEVATION	PROPOSED ELEVATION	DIFFERENCE BETWEEN DOCK AND FINISH GRADE (INCHES)	MEASURED DOCK TO BOTTOM OF BRICK (INCHES)	ELEVATION OF BOTTOM OF BRICK	IS PROPOSED DOCK HIGHER THAN BOTTOM OF BRICK?	CONDITION	DISTANCE BETWEEN BRICK AND PROPOSED GRADE (INCHES)
DOCK 1	STATION 2+97.5 - 3+05.4	11.60	10.11	17.88	11	10.68	No	6" Curb	6.9
DOCK 2	STATION 3+19.4 - 3+31.3	11.65	10.31	16.08	12	10.65	No	6" Curb	4.1
DOCK 3	STATION 3+43.3 - 3+51.3	11.65	10.27	16.56	12	10.65	No	6" Curb	4.6
DOCK 4	STATION 3+82.7 - 3+94.1	11.61	10.13	17.76	13	10.53	No	Flush Curb	4.8
DOCK 5	STATION 4+37.5 - 4+52.2	11.49	10.46	12.36	12	10.49	Yes	5" Curb	0.4
DOCK 6	STATION 4+59.5 - 4+71.6	11.49	10.42	12.84	12	10.49	Yes	5" Curb	0.8
DOCK 7	STATION 4+81.5 - 4+93.3	11.46	10.33	13.56	10	10.63	No	6" Curb	3.6
DOCK 8	STATION 5+42.6 - 5+54.5	11.63	10.45	14.16	9	10.88	No	6" Curb	5.2
DOCK 9	STATION 5+85.5 - 5+97.6	11.72	10.63	13.08	10	10.89	No	6" Curb	3.1
DOCK 10	STATION 6+04.9 - 6+08.0	11.72	10.63	13.08	11	10.80	No	6" Curb	2.1
DOCK 11	STATION 6+50.0 - 6+62.1	10.90	9.90	12.00	0	10.90	No	Flush Curb	12.0
DOCK 12	STATION 6+92.9 - 7+05.0	11.02	9.99	12.36	0	11.02	No	Flush Curb	12.4

FAY, SPOFFORD & THORNDIKE
778 Main Street, Suite 8
South Portland, ME 04106

NOTE: SECTIONS ARE SUBJECT TO RECEIPT AND FINAL REVIEW OF THE GEOTECHNICAL REPORT FOR THE FEDERATED COMPANIES

PROJECT: midtown
PORTLAND, MAINE

ENGINEERS: **FST** FAY, SPOFFORD & THORNDIKE, INC.
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.

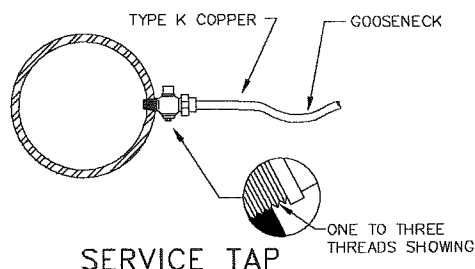
DESIGNED: WGH
CHECKED: WGH
FILE NAME: 3062-DET
SHEET: C-7.0A

DATE: MAR 2013
SCALE: N.T.S.
JOB NO: 3062

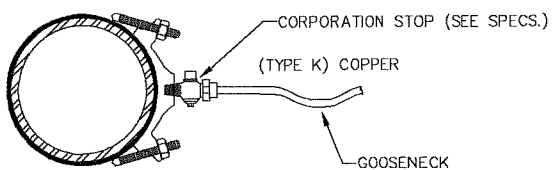
CLIENT: THE FEDERATED COMPANIES

REVISIONS:
1 12.18.13 ADDED SHEET TO PLAN SET
P.E. WILLIAM G. HOFFMAN
LIC. #38824

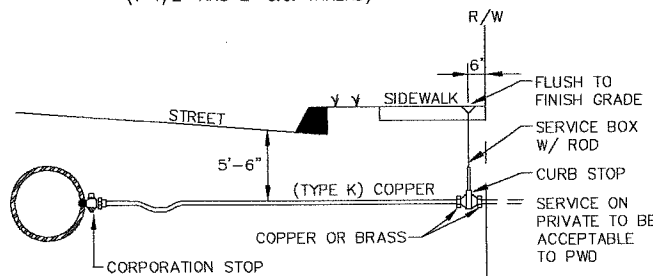
PRELIMINARY - NOT FOR CONSTRUCTION



SERVICE TAP
(3/4" AND 1" C.C. THREAD)

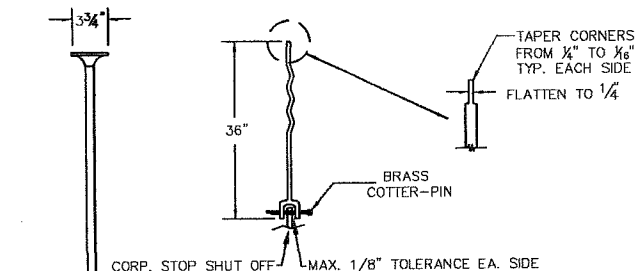


SERVICE SADDLE
(1-1/2" AND 2" C.C. THREAD)

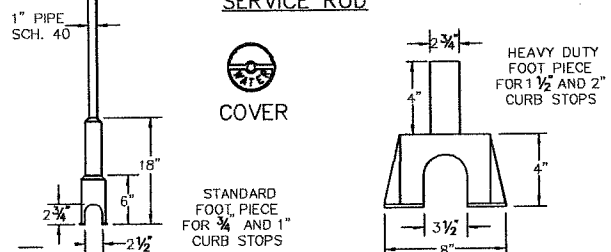


TYPICAL SERVICE CONNECTION

(A) TYPICAL SADDLE AND SERVICE CONNECTION
N.T.S.



SERVICE ROD



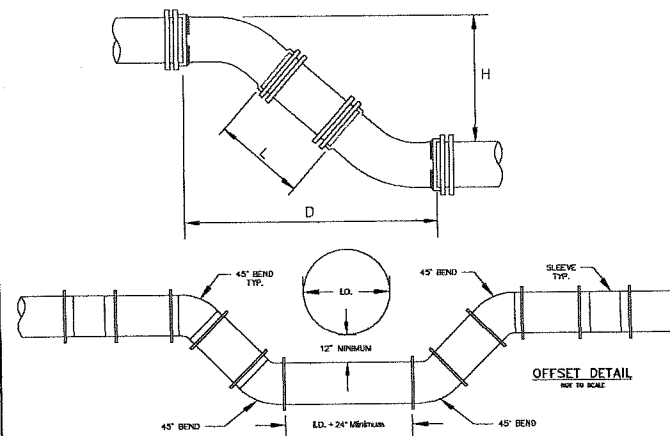
SERVICE BOX

FOOT PIECE

NOTE: ANY EXTENSION OF SERVICE BOX REQUIRES:
1) 1" FEMALE IRON PIPE COUPLING
2) 1" THREADED PIPE

(THIS IS TO BE A NON-WELDED, TWO PIECE ARRANGEMENT. SLIP ON ADAPTERS ARE NOT PERMISSIBLE.)

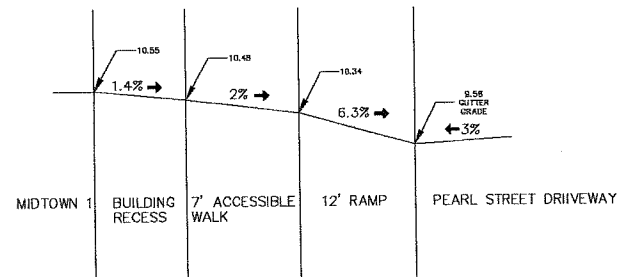
(C) VALVE BOX AND COVER DETAILS
N.T.S.



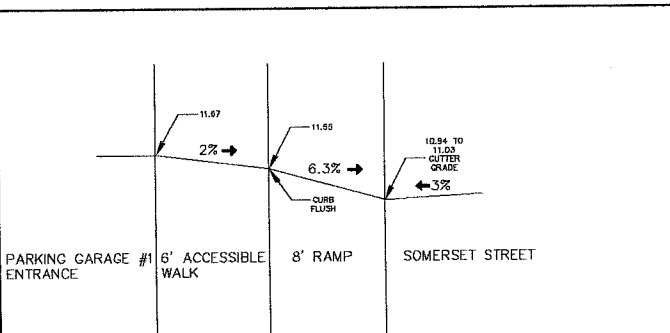
H	6" PIPE		8" PIPE		12" PIPE	
	D	L	D	L	D	L
12"	1' 8-1/2"	0' 10-1/2"	1' 7-1/2"	0' 9-1/2"	1' 11-1/2"	0' 5-1/2"
13"	1' 7-1/2"	0' 11-7/8"	1' 8-1/2"	0' 10-7/8"	1' 10-1/2"	0' 6-7/8"
14"	1' 8-1/2"	1' 1-5/8"	1' 9-1/2"	1' 0-5/8"	1' 11-1/2"	0' 8-1/8"
15"	1' 8-1/2"	1' 2-11/16"	1' 10-1/2"	1' 1-11/16"	1' 12-1/2"	0' 9-11/16"
16"	1' 10-1/2"	1' 4-1/8"	1' 11-1/2"	1' 3-1/8"	1' 3-1/2"	0' 11-1/8"
17"	1' 11-1/2"	1' 5-9/16"	2' 0-1/2"	1' 4-9/16"	1' 4-1/2"	1' 0-9/16"
18"	2' 0-1/2"	1' 6-15/16"	2' 1-1/2"	1' 5-15/16"	1' 5-1/2"	1' 1-15/16"
20"	2' 2-1/2"	1' 8-13/16"	2' 3-1/2"	1' 8-13/16"	1' 7-1/2"	1' 4-3/8"
21"	2' 3-1/2"	1' 11-3/16"	2' 4-1/2"	1' 10-3/16"	1' 8-1/2"	1' 6-3/8"
22"	2' 4-1/2"	2' 0-3/8"	2' 5-1/2"	1' 11-5/8"	1' 8-1/2"	1' 7-3/8"
23"	2' 5-1/2"	2' 1-1/8"	2' 6-1/2"	2' 1"	1' 10-1/2"	1' 8"
24"	2' 6-1/2"	2' 3-7/16"	2' 7-1/2"	2' 2-7/16"	2' 11-1/2"	1' 10-7/16"
25"	2' 7-1/2"	2' 4-7/8"	2' 8-1/2"	2' 3-7/8"	2' 0-1/2"	1' 11-7/8"
26"	2' 8-1/2"	2' 6-1/4"	2' 9-1/2"	2' 5-1/4"	2' 1-1/2"	2' 1-1/4"
27"	2' 9-1/2"	2' 7-11/16"	2' 10-1/2"	2' 6-11/16"	2' 2-1/2"	2' 2-11/16"
28"	2' 10-1/2"	2' 8-1/8"	2' 11-1/2"	2' 8-1/8"	2' 3-1/2"	2' 4-1/8"
29"	2' 11-1/2"	2' 10-1/2"	2' 12-1/2"	2' 9-1/2"	2' 4-1/2"	2' 5-1/2"
30"	3' 0-1/2"	2' 11-15/16"	3' 1-1/2"	2' 10-15/16"	2' 5-1/2"	2' 6-15/16"
31"	3' 1-1/2"	3' 1-5/16"	3' 2-1/2"	3' 0-5/16"	3' 0-1/2"	2' 8-5/16"
32"	3' 2-1/2"	3' 2-3/4"	3' 3-1/2"	3' 1-3/4"	3' 1-1/2"	2' 9-3/4"
33"	3' 3-1/2"	3' 4-3/16"	3' 4-1/2"	3' 3-3/16"	3' 2-1/2"	2' 11-3/16"
34"	3' 4-1/2"	3' 5-9/16"	3' 5-1/2"	3' 4-9/16"	3' 3-1/2"	3' 0-9/16"
35"	3' 5-1/2"	3' 7"	3' 6-1/2"	3' 6"	3' 4-1/2"	3' 2-1/4"
36"	3' 6-1/2"	3' 8-7/16"	3' 7-1/2"	3' 7-7/16"	3' 5-1/2"	3' 3-7/16"
37"	3' 7-1/2"	3' 9-15/16"	3' 8-1/2"	3' 8-15/16"	3' 6-1/2"	3' 4-15/16"
38"	3' 8-1/2"	3' 11-1/4"	3' 9-1/2"	3' 10-1/4"	3' 7-1/2"	3' 5-1/4"
39"	3' 9-1/2"	4' 0-11/16"	3' 10-1/2"	3' 11-1/16"	3' 8-1/2"	3' 7-11/16"
40"	3' 10-1/2"	4' 2-1/16"	3' 11-1/2"	4' 1-1/16"	3' 9-1/2"	3' 9-1/16"
41"	3' 11-1/2"	4' 3-1/2"	4' 0-1/2"	4' 3-1/2"	4' 1-1/2"	3' 10-1/2"
42"	4' 0-1/2"	4' 4-7/8"	4' 1-1/2"	4' 3-7/8"	4' 0-1/2"	3' 11-7/8"
43"	4' 1-1/2"	4' 6-5/16"	4' 2-1/2"	4' 5-5/16"	4' 1-1/2"	4' 1-5/16"
44"	4' 2-1/2"	4' 7-3/4"	4' 3-1/2"	4' 6-3/4"	4' 2-1/2"	4' 2-3/4"
45"	4' 3-1/2"	4' 8-1/2"	4' 4-1/2"	4' 7-1/2"	4' 3-1/2"	4' 4-1/2"
46"	4' 4-1/2"	4' 10-9/16"	4' 5-1/2"	4' 9-9/16"	4' 4-1/2"	4' 5-9/16"
47"	4' 5-1/2"	4' 11-15/16"	4' 6-1/2"	4' 10-15/16"	4' 5-1/2"	4' 6-15/16"
48"	4' 6-1/2"	5' 1-3/8"	4' 7-1/2"	4' 11-3/8"	4' 6-1/2"	4' 7-3/8"
49"	4' 7-1/2"	5' 2-13/16"	4' 8-1/2"	5' 1-13/16"	4' 7-1/2"	4' 8-13/16"
50"	4' 8-1/2"	5' 4-3/16"	4' 9-1/2"	5' 3-3/16"	4' 8-1/2"	4' 11-3/16"
51"	4' 9-1/2"	5' 5-5/8"	4' 10-1/2"	5' 4-5/8"	4' 9-1/2"	5' 0-5/8"
52"	4' 10-1/2"	5' 7-1/8"	4' 11-1/2"	5' 6-1/8"	5' 1-1/2"	5' 2-1/8"
53"	4' 11-1/2"	5' 8-7/16"	5' 0-1/2"	5' 7-7/16"	5' 0-1/2"	5' 3-7/16"
54"	5' 0-1/2"	5' 9-7/8"	5' 1-1/2"	5' 8-7/8"	5' 1-1/2"	5' 4-7/8"
55"	5' 1-1/2"	5' 11-5/16"	5' 2-1/2"	5' 10-5/16"	5' 2-1/2"	5' 6-5/16"

(D) TYPICAL MAIN OFFSET
N.T.S.

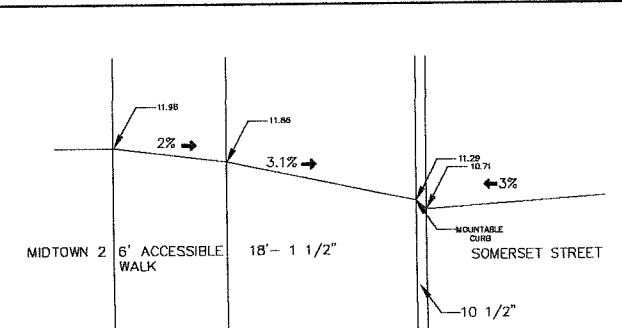
NOTE: DIMENSIONS APPLICABLE FOR SIGMA COMPACT BENDS. FOR TYLER COMPACT BENDS, ADD 1/2" TO "D" DIMENSION AND SUBTRACT 1/2" FROM "L" DIMENSION. FOR OTHER FITTINGS REFER TO MANUFACTURER'S RECOMMENDATIONS.



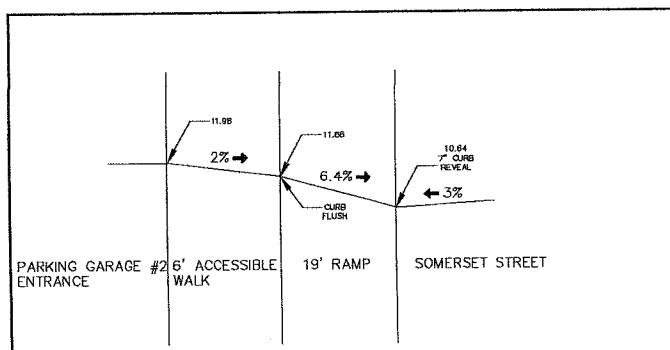
(E) ENTRANCE TO SERVICE DOOR AT MIDTOWN 1
N.T.S. PHASE 1



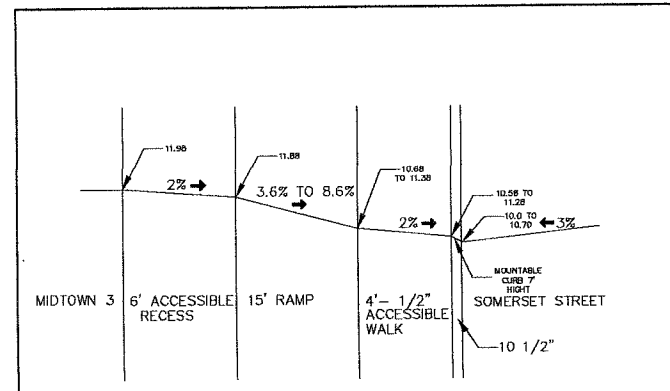
(F) ENTRANCE TO PARKING GARAGE #1
N.T.S. PHASE 1



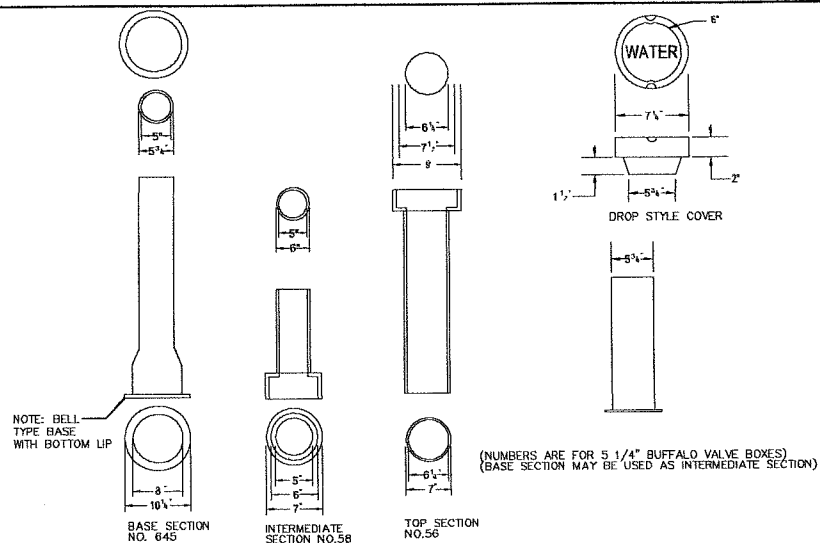
(G) ENTRANCE TO SERVICE DOOR AT MIDTOWN 2
N.T.S. PHASE 2



(H) ENTRANCE TO PARKING GARAGE Z
N.T.S. PHASE 2



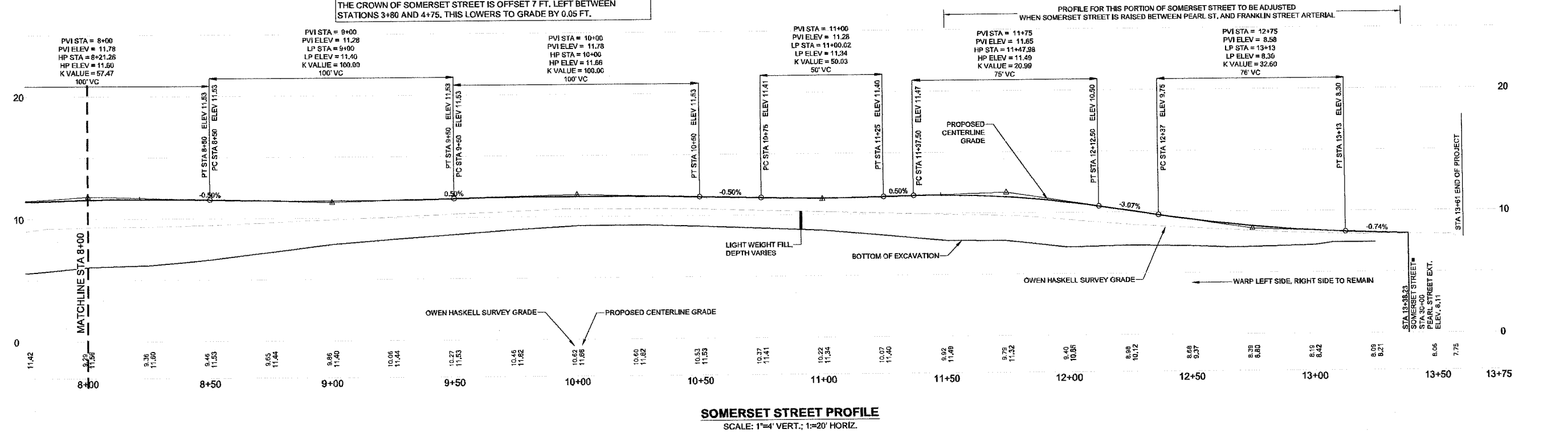
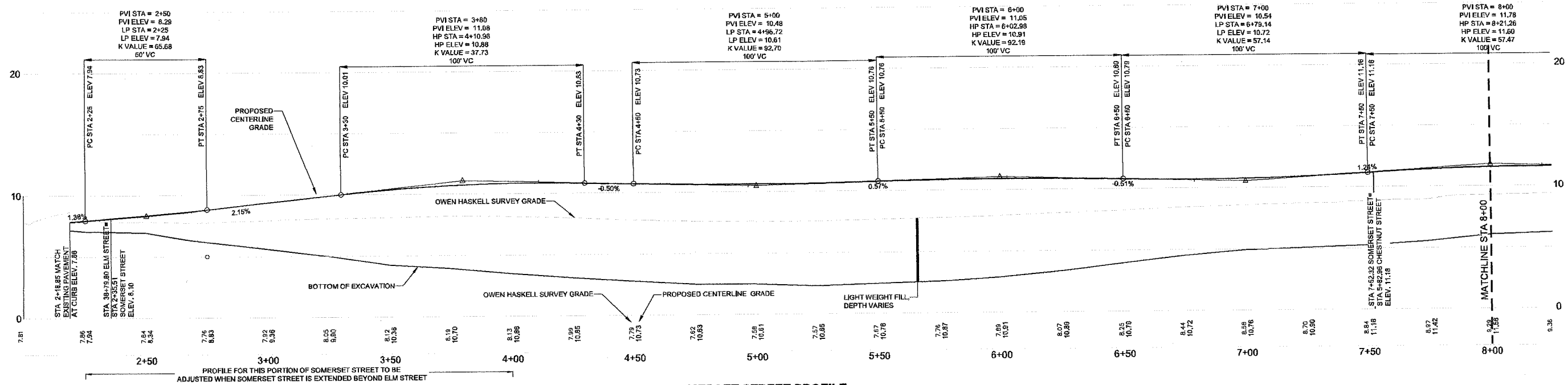
(I) ENTRANCE TO MIDTOWN 3
N.T.S. PHASE 2



(B) VALVE BOX AND COVER
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

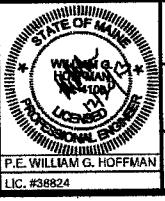
			PROJECT midtown PORTLAND, MAINE	ENGINEERED BY FST FAY, SPOFFORD & THORNDIKE, INC. ENGINEERS - PLANNERS - SCIENTISTS 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.
4 3 2 1 REV	12.20.13 10.22.13 05.23.13 05.08.13	ADDED DRIVEWAY GRADES SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND LEVEL III SUBMISSION SUBMITTED TO CITY OF PORTLAND	SHEET TITLE WATER DETAILS AND CROSS SECTIONS AT MIDTOWN DRIVEWAYS	DRAWN: KEW DESIGNED: WGH CHECKED: WGH FILE NAME: 3062-DETAIL SHEETS SHEET C-7.5
REVISIONS			CLIENT THE FEDERATED COMPANIES	DATE: APRIL 2013 SCALE: NTS JOB NO. 3062



REFER TO DRAWING C-7.0 AND C-7.0A FOR TYPICAL CROSS SECTIONS

REV	DATE	DESCRIPTION
5	12.18.13	PROFILE ADJUSTED PER CHANGE TO SOMERSET ST. VERTICAL ALIGNMENT OPPOSITE NOYES BUILDING
4	05.23.13	LEVEL III SUBMISSION
3	05.08.13	SUBMITTED TO THE CITY OF PORTLAND
2	04.08.13	ADDED BOTTOM OF EXCAVATION PROFILE
1	03.06.13	REVISED TO REFLECT RAISING STREET GRADES

REV	DATE	DESCRIPTION
6	10.22.13	SUBDIVISION MASTER PLAN & PHASE I LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
5	09.17.13	PROFILE ADJUSTED PER CHANGE TO SOMERSET ST. R.O.W. WIDTH AND VERTICAL ALIGNMENT CHANGE



PROJECT: midtown
PORTLAND, MAINE

SHEET TITLE: SOMERSET STREET PROFILE

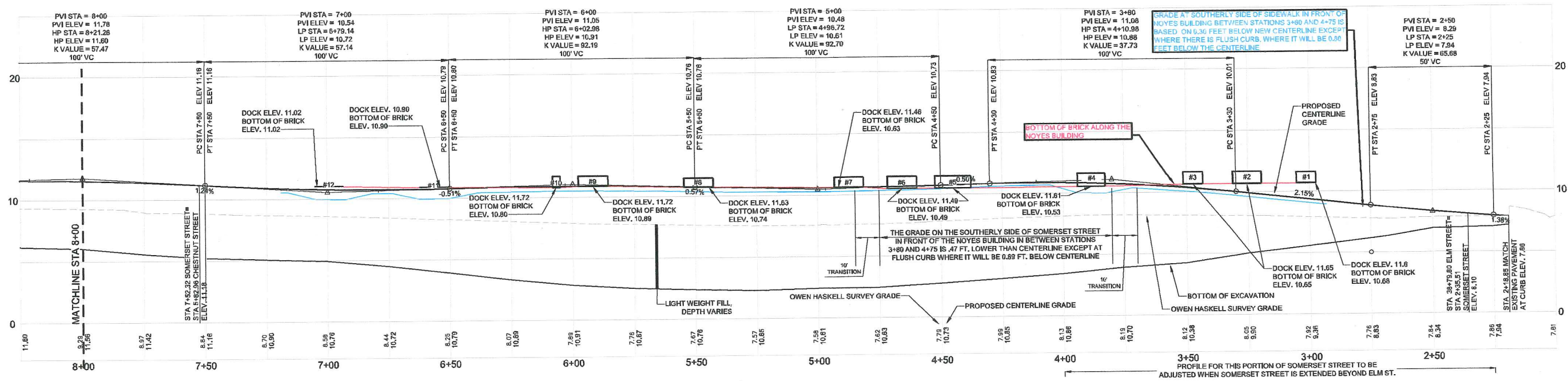
CLIENT: THE FEDERATED COMPANIES

DESIGNED BY: WGH
CHECKED BY: WGH

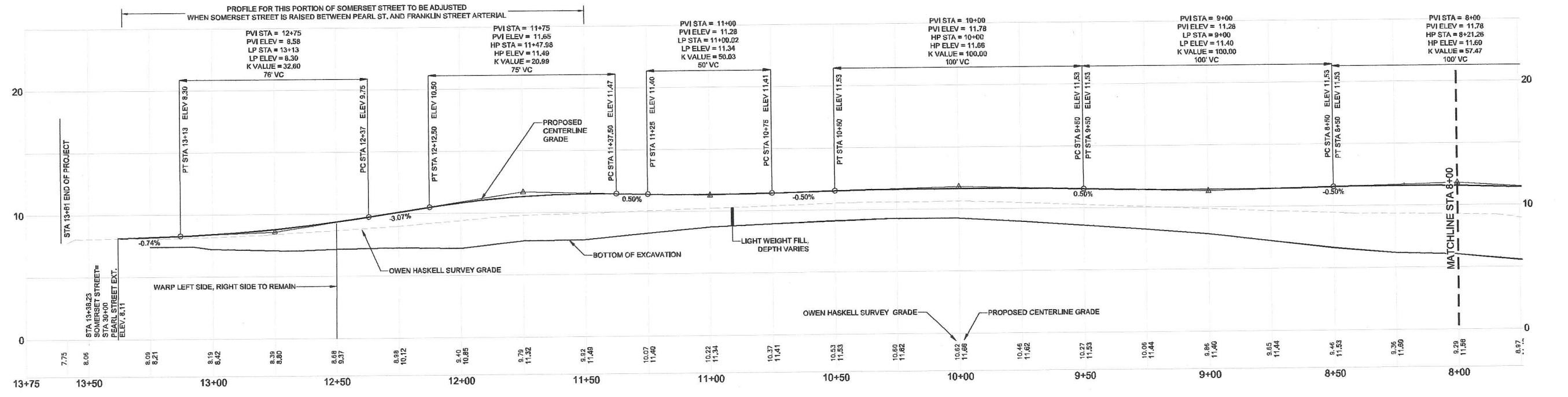
DATE: NOV. 26/12
SCALE: AS NOTED
JOB NO.: 3062

FILE NAME: 3062-PROFILE-ROADWAY
SHEET: C-8.0

FAY, SPOFFORD & THORNDIKE, INC.
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106
FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.



THE CROWN OF SOMERSET STREET IS OFFSET 6 FEET LEFT BETWEEN STATIONS 3+80 AND 4+75. THE EFFECT OF THIS IS THAT THE CROWN AT CENTERLINE, AND THE GRADES ON THE RIGHT HAND SIDE OF THE CENTERLINE IN THIS AREA ARE 0.27 FEET LOWER THAN OTHERWISE WOULD OCCUR. THE GRADES LEFT OF THE OFFSET CROWN ARE THE SAME AS IF THEY WERE COMPUTED FROM THE GRADES SHOWN ON THIS PROFILE. THE CROWN OF SOMERSET STREET IS OFFSET 7 FT. LEFT BETWEEN STATIONS 3+80 AND 4+75. THIS LOWERS TO GRADE BY 0.05 FT.

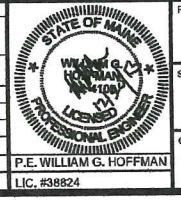


NOTE:
THE SIDEWALK SLOPE ON THE SOUTHERLY SIDE OF SOMERSET STREET BETWEEN STATIONS 3+75 AND 7+20 WILL BE INCREASED BY 2% IN AREAS WHERE IT WILL NOT BE ABOVE THE BRICK ON THE NOYES BUILDING

REFER TO DRAWING C-7.0 AND C-7.0A FOR TYPICAL CROSS SECTIONS

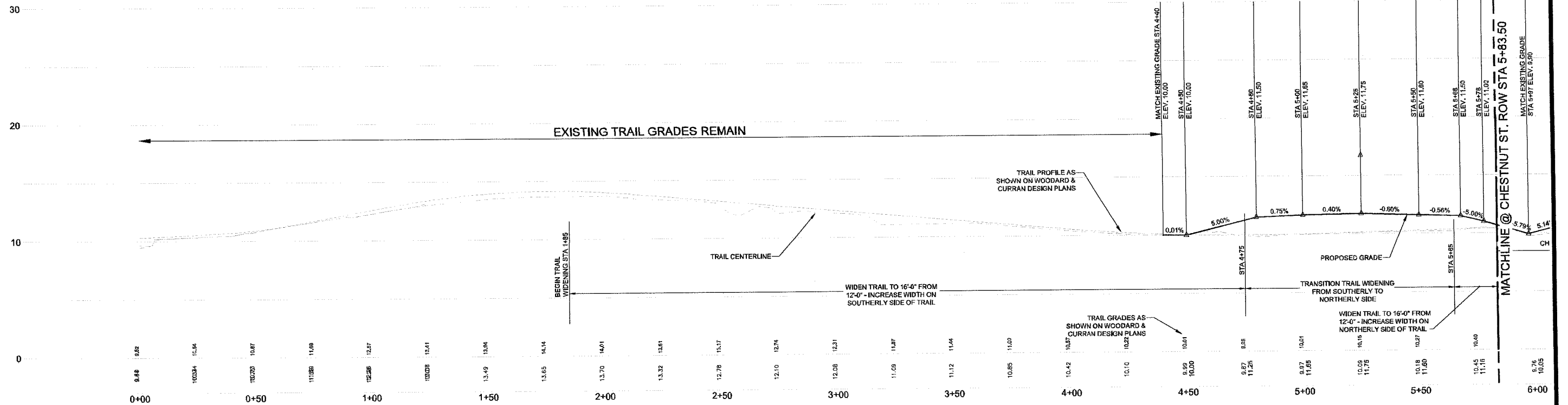
REV	DATE	DESCRIPTION
6	12.20.13	REVISION BASED ON MEETING WITH NOYES FAMILY ON 12.19.13
5	12.18.13	PROFILE ADJUSTED PER CHANGE TO SOMERSET ST. VERTICAL ALIGNMENT OPPOSITE NOYES BLDG

REV	DATE	DESCRIPTION
6	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
5	09.17.13	PROFILE ADJUSTED PER CHANGE TO SOMERSET ST. R.O.W. WIDTH AND VERT. ALIGNMENT CHANGE
4	05.23.13	LEVEL III SUBMISSION
3	05.08.13	SUBMITTED TO THE CITY OF PORTLAND
2	04.08.13	ADDED BOTTOM OF EXCAVATION PROFILE
1	03.06.13	REVISED TO REFLECT RAISING STREET GRADES

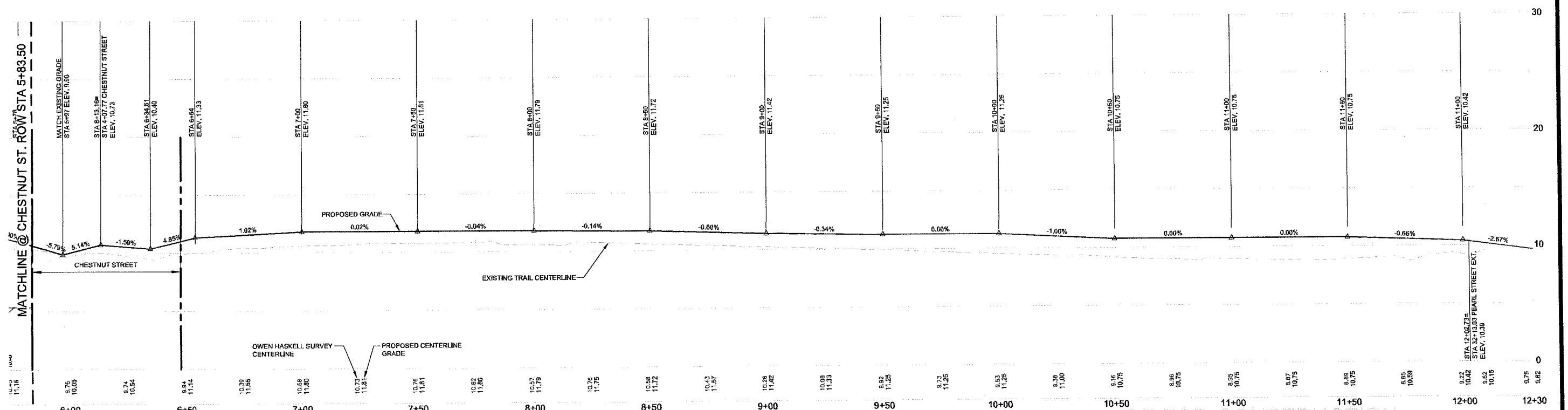


PROJECT: midtown
PORTLAND, MAINE
SHEET TITLE: SOMERSET STREET PROFILE FACING NOYES BUILDING
CLIENT: THE FEDERATED COMPANIES

ENGINEERS: **FST** **FAY, SPOFFORD & THORNDIKE, INC.**
ENGINEERS - PLANNERS - SCIENTISTS
778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04108
FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.
DRAWN: KEW DATE: NOV. 26.12
DESIGNED: WGH SCALE: AS NOTED
CHECKED: WGH JOB NO. 3062
FILE NAME: 3062-PROFILE-ROADWAY
SHEET: C-8.0A



BAYSIDE TRAIL PROFILE
SCALE: 1"=4' VERT.; 1"=20' HORIZ.

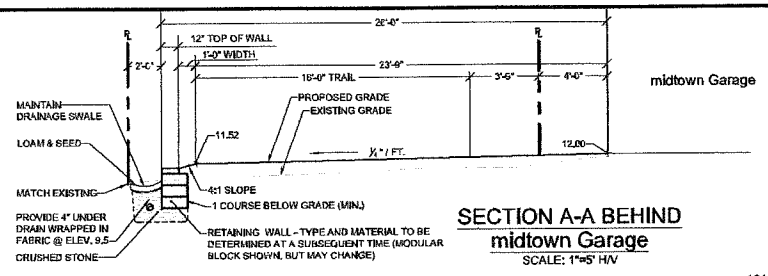
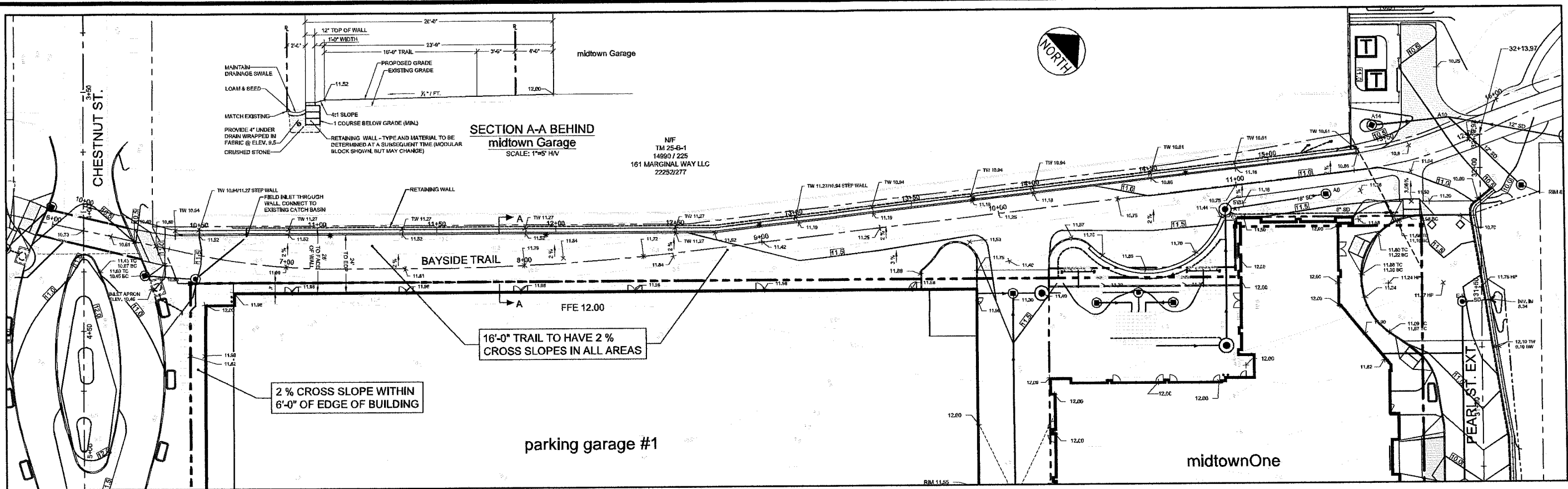


BAYSIDE TRAIL PROFILE
SCALE: 1"=4' VERT.; 1"=20' HORIZ.

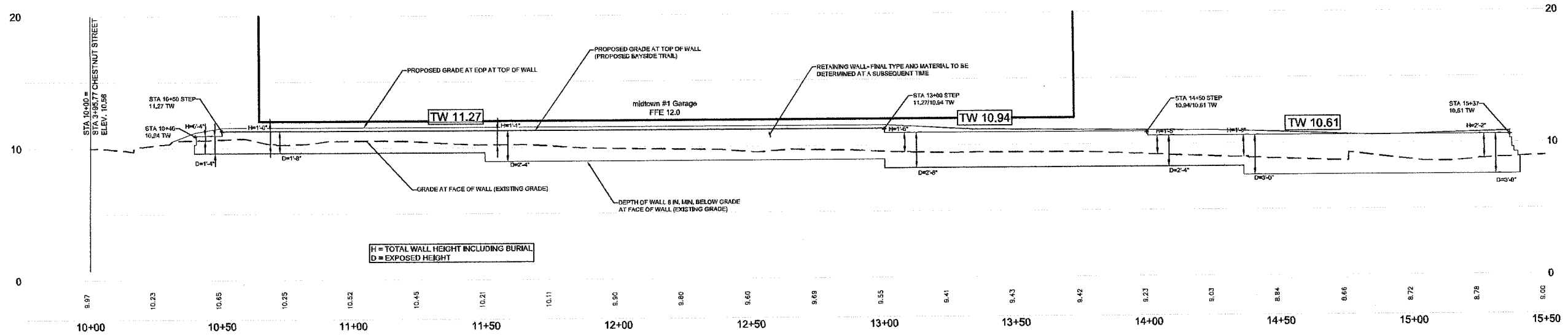
REV	DATE	DESCRIPTION
4	12.20.13	REVISED TO SHOW TRAIL CHANGE BEHIND MIDTOWN GARAGE
3	11.18.13	REVISED TO SHOW TRAIL CHANGE AT END OF PEARL STREET EXTENSION
2	10.22.13	SUBDIVISION MASTER PLAN & PHASE 1 LEVEL III SITE PLAN SUBMISSION OF FINAL APPLICATIONS TO THE CITY OF PORTLAND
1	05.08.13	SUBMITTED TO THE CITY OF PORTLAND

PROJECT	midtown PORTLAND, MAINE
SHEET TITLE	BAYSIDE TRAIL PROFILE
CLIENT	THE FEDERATED COMPANIES

ENGINEERS	FAY, SPOFFORD & THORNDIKE, INC. ENGINEERS - PLANNERS - SCIENTISTS 778 MAIN ST, SUITE 8, SOUTH PORTLAND, ME 04106 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.
DRAWN:	KEW
DESIGNED:	WGH
CHECKED:	WGH
FILE NAME:	3062-PROFILE-ROADWAY
DATE:	NOV. 2012
SCALE:	AS NOTED
JOB NO.:	3062
SHEET	C-8.2



BAYSIDE TRAIL EAST PLAN VIEW
SCALE: 1"=20'



BAYSIDE TRAIL RETAINING WALL PROFILE
SCALE: 1"=4' VERT.; 1"=20' HORIZ.

NOTE:
TYPE AND MATERIAL FOR THE WALL
WILL BE DETERMINED AT A LATER DATE

PRELIMINARY - NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	ENGINEERS FAY, SPOFFORD & THORNDIKE, INC. ENGINEERS · PLANNERS · SCIENTISTS 778 MAIN ST., SUITE 8, SOUTH PORTLAND, ME 04106 FORMERLY DELUCA-HOFFMAN ASSOCIATES, INC.
SHEET TITLE BAYSIDE TRAIL PROFILE ALONG FACE OF RETAINING WALL		DRAWN: KEW DESIGNED: WGH CHECKED: WGH FILE NAME: 3662-PROFILE-ROADWAY trail2	DATE: NOV. 2012 SCALE: AS NOTED JOB NO.: 3662 SHEET: C-8.2A
CLIENT THE FEDERATED COMPANIES		LIC. #38824	
1 REV DATE DESCRIPTION	12.20.13 NEW DRAWING TO SHOW WALL 2'-0" SOUTH OF BAYSIDE TRAIL PROPERTY LINE.	REVISIONS	

U:\Projects\2013\2013-05-23_Midtown_Landscaping\Drawings\2013-05-23_Midtown_Landscaping.dwg, 12:00:03 PM, 12/20/2013, 4:07 PM

MARGINAL WAY

60'

EXISTING
AAA CAR CARE CENTER

EXISTING
MAINE HEALTH AND HUMAN
SERVICES BUILDING

N/F
EARL W. NOYES & SONS
500 W. 258th AVE #299
TAX MAP 24-BLOCK B-LOT 08
TAX MAP 24-BLOCK C-LOT 21

POTENTIAL FUTURE
TRAVEL WAY
POTENTIAL FUTURE
RIGHT-OF-WAY EXTENSION

145'

145'

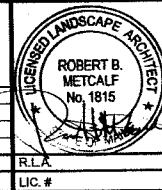
POTENTIAL
FUTURE R.O.W.

5' EASEMENT

RAISED STREET CONDITION



REV	DATE	DESCRIPTION
5	12-23-2013	Per City staff review comments
4	11-18-2013	Per City staff review comments
3	10-22-2013	Per City staff review comments
2	10-1-2013	Per City staff review comments
1	9-17-2013	Per City staff review comments



PROJECT
midtown
PORTLAND, MAINE

SHEET TITLE
**POTENTIAL PEARL STREET
EXTENSION EXHIBIT**

CLIENT
FEDERATED COMPANIES

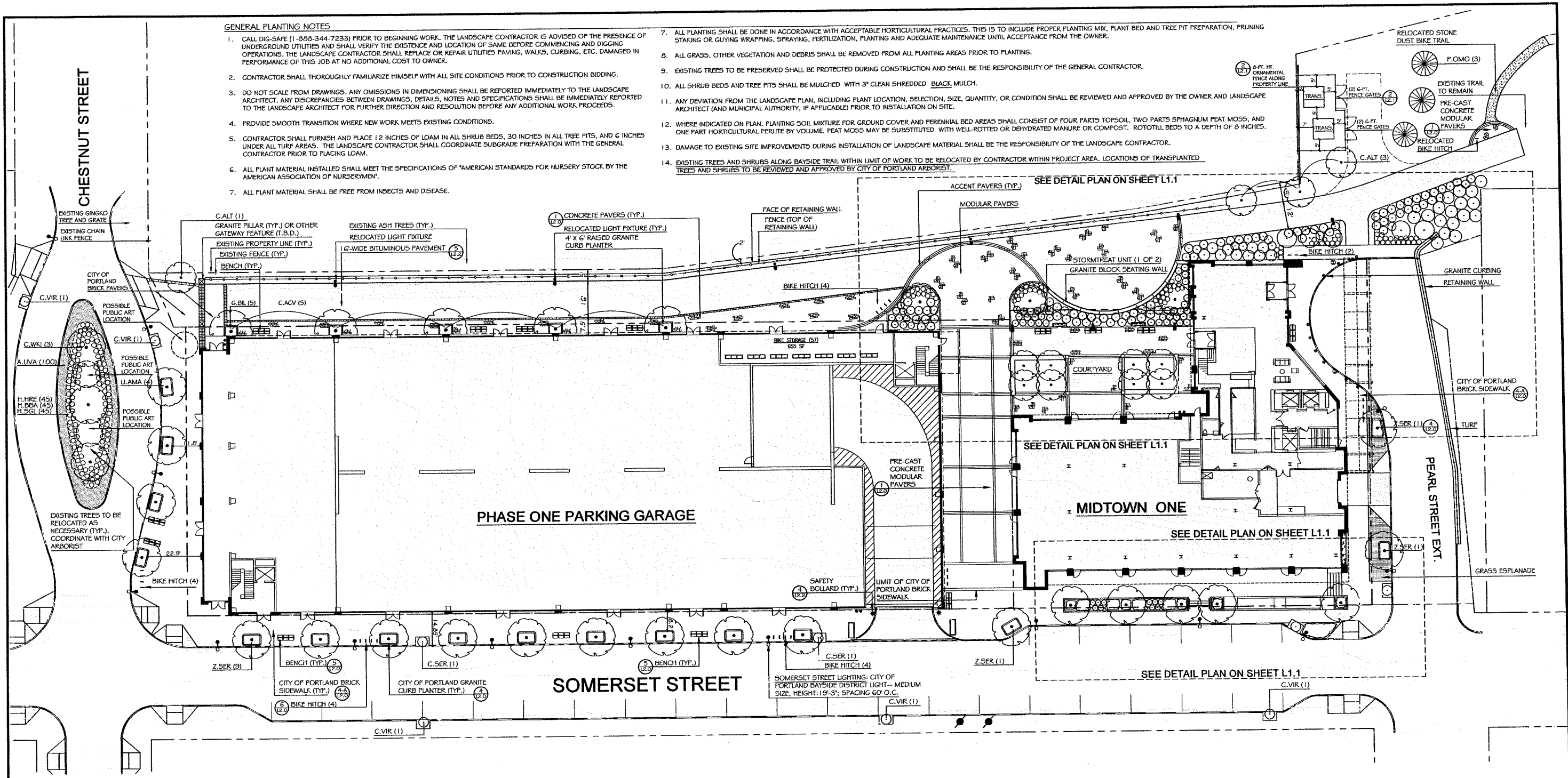
Worthen & Associates
70 Center Street
Portland, Maine 04101
P: 207.774.4427
F: 207.874.2482

DRAWN: MK DATE: May 23, 2013
DESIGNED: MK/RM SCALE: 1" = 20'
CHECKED: RM JOB NO.
FILE NAME:
SHEET **EXHIBIT A-2**

NOT FOR CONSTRUCTION

GENERAL PLANTING NOTES

- CALL DIG-SAFE (1-888-344-7233) PRIOR TO BEGINNING WORK. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO OWNER.
- CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH ALL SITE CONDITIONS PRIOR TO CONSTRUCTION BIDDING.
- DO NOT SCALE FROM DRAWINGS. ANY OMISSIONS IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE LANDSCAPE ARCHITECT. ANY DISCREPANCIES BETWEEN DRAWINGS, DETAILS, NOTES AND SPECIFICATIONS SHALL BE IMMEDIATELY REPORTED TO THE LANDSCAPE ARCHITECT FOR FURTHER DIRECTION AND RESOLUTION BEFORE ANY ADDITIONAL WORK PROCEEDS.
- PROVIDE SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING CONDITIONS.
- CONTRACTOR SHALL FURNISH AND PLACE 12 INCHES OF LOAM IN ALL SHRUB BEDS, 30 INCHES IN ALL TREE PITS, AND 6 INCHES UNDER ALL TURF AREAS. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
- ALL PLANT MATERIAL INSTALLED SHALL MEET THE SPECIFICATIONS OF 'AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN'.
- ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
- ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING STAKING OR GUYING WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE FROM THE OWNER.
- ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
- EXISTING TREES TO BE PRESERVED SHALL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ALL SHRUB BEDS AND TREE PITS SHALL BE MULCHED WITH 3" CLEAN SHREDDED BLACK MULCH.
- ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY, OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
- WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR GROUND COVER AND PERENNIAL BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.
- DAMAGE TO EXISTING SITE IMPROVEMENTS DURING INSTALLATION OF LANDSCAPE MATERIAL SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- EXISTING TREES AND SHRUBS ALONG BAYSIDE TRAIL WITHIN LIMIT OF WORK TO BE RELOCATED BY CONTRACTOR WITHIN PROJECT AREA. LOCATIONS OF TRANSPLANTED TREES AND SHRUBS TO BE REVIEWED AND APPROVED BY CITY OF PORTLAND ARBORIST.



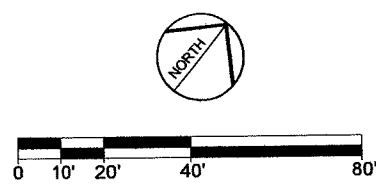
LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE			PRECAST CONCRETE PAVERS		
MONUMENT FOUND			RETAINING WALL		
CATCHBASIN			STREET LIGHT FIXTURE		
MANHOLE			TRAIL LIGHT FIXTURE		
HYDRANT			SEATING		
WATER VALVE			CURB		
UTILITY POLE			BIKE HITCH		
			TRAIL BITUMINOUS PAVEMENT		
			FILTERSA UNIT WITH TREE OR SHRUB PLANTING		
			SAFETY BOLLARD (AT GARAGE)		
			CONCRETE BOLLARD LIGHT		

PLANTING SCHEDULE -- PHASE I

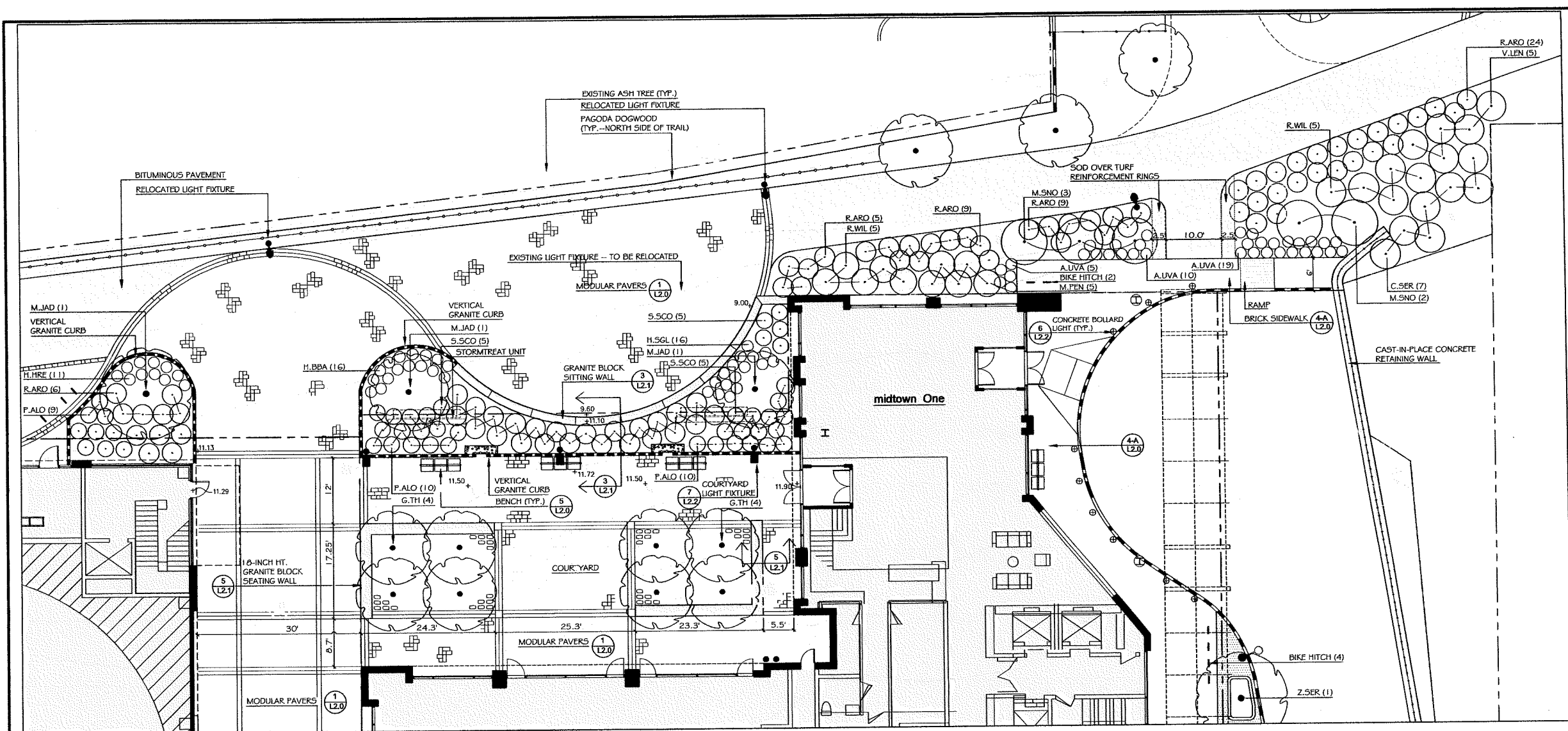
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
Z.SER	14	ZELKOVA SERBATA 'GREEN VASE'	ZELKOVA 'GREEN VASE'	3" CAL.	
G.TH	8	GLEDITSIA TRIANANTHUS 'HALKA'	HALKA HONEY LOCUST	2 1/2" CAL.	
M.SNO	5	MALUS 'SNOWDRIFT'	SNOWDRIFT CRABAPPLE	2" CAL.	
C.WKI	3	CRATAEGUS VIRIDIS 'WINTER KING'	WINTER KING HAWTHORN	2 1/2" CAL.	
C.ALT	4	CORNUS ALTERNIFOLIA	PAGODA DOGWOOD	10 GAL.	SINGLE STEM
G.BIL	5	GINKGO BILOBA 'MAGYAR'	MAGYAR GINKGO	2" CAL.	
P.OMO	3	PICEA OMORIKA	SERBIAN SPRUCE	6" - 7"	
A.MAA	4	MAACKIA AMURENSIS	AMUR MAACKIA	2" CAL.	
C.VIR	5	CHIONANTHUS VIRGINICUS	FRINGETREE	6" - 7"	
M.JAD	3	MALUS 'RED JADE'	RED JADE CRABAPPLE	2" CAL.	
U.AMA	4	ULMUS AMERICANA 'VALLEY FORGE'	AMERICAN ELM 'VALLEY FORGE'	2.5" CAL.	
SHRUBS					
R.WIL	10	RHODODENDRON WILSONII	WILSON RODODENDRON	5 GAL.	
C.SER	13	CORNUS SERICEA 'BAILEY'	RED TWIG DOGWOOD	5 GAL.	
R.ARO	53	RHUS AROMATICA 'GRO-LO'	'GRO-LO' SUMAC	3 GAL.	
V.LEN	5	VIBURNUM LENTAGO	HANNYBERRY	5 GAL.	
A.LIVA	140	ARCTOSTAPHYLOS LIVA-URSII	BEARBERRY	3 GAL.	
M.PEN	5	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	2.5" HT.	

KEY	QTY	BOTANICAL NAME	COMMON NAME
PERENNIALS			
H.HRE	11	HEMEROCALLIS 'HAPPY RETURNS'	DAYLILY 'HAPPY RETURNS'
H.BBA	16	HEMEROCALLIS 'BETH BARTH'	DAYLILY 'BETH BARTH'
H.SGL	16	HEMEROCALLIS 'SUNDAY GLOVES'	DAYLILY 'SUNDAY GLOVES'
P.ALO	23	PENNISETUM ALOPEUROIDES	FOUNTAIN GRASS
S.SCO	15	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM GRASS
GREEN WALL CLIMBING VINES			
F.QUI	T.B.D.	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER
C.PAN	T.B.D.	CLEMATIS PANICULATA	SWEET AUTUMN CLEMATIS

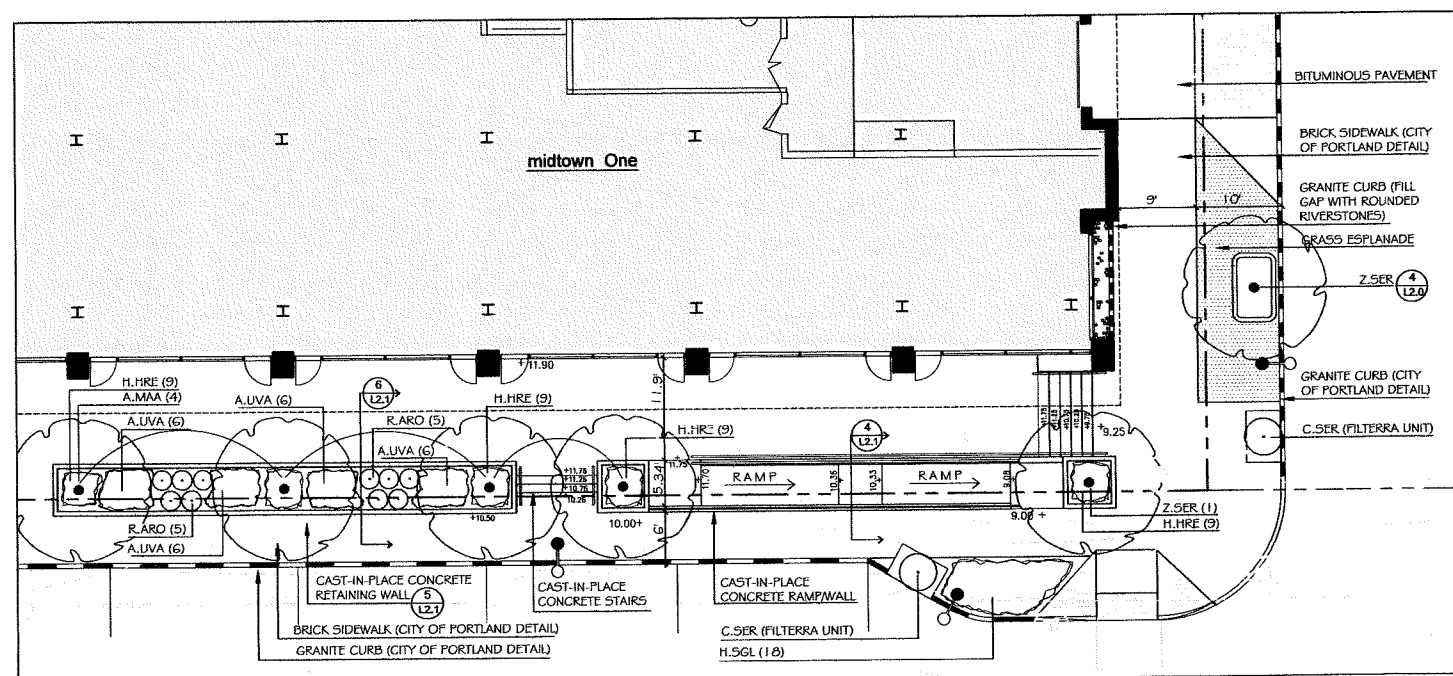


NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	70 Center Street Portland, Maine 04101 P: 207.774.4427 F: 207.774.2400
5 12-23-2013 Per City staff review comments 4 11-18-2013 Per City staff review comments 3 10-22-2013 Per City staff review comments 2 10-1-2013 Per City staff review comments 1 9-17-2013 Per City staff review comments	SHEET TITLE LANDSCAPE AND LIGHTING PLAN	DRAWN: MK DATE: May 23, 2013 DESIGNED: MK/RM SCALE: 1" = 20' CHECKED: RM JOB NO. FILE NAME:	CLIENT FEDERATED COMPANIES
REV DATE DESCRIPTION REVISIONS	R.L.A. LIC. #	SHEET L1.0	



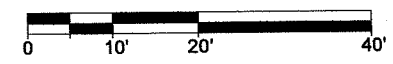
1
L1.1
DETAIL SITE PLAN: COURTYARD AND BUILDING ENTRANCE
SCALE = 1" = 10'



2
L1.1
DETAIL SITE PLAN: STAIRS AND RAMPS AT SOMERSET/PEARL STREET INTERSECTION
SCALE = 1" = 10'

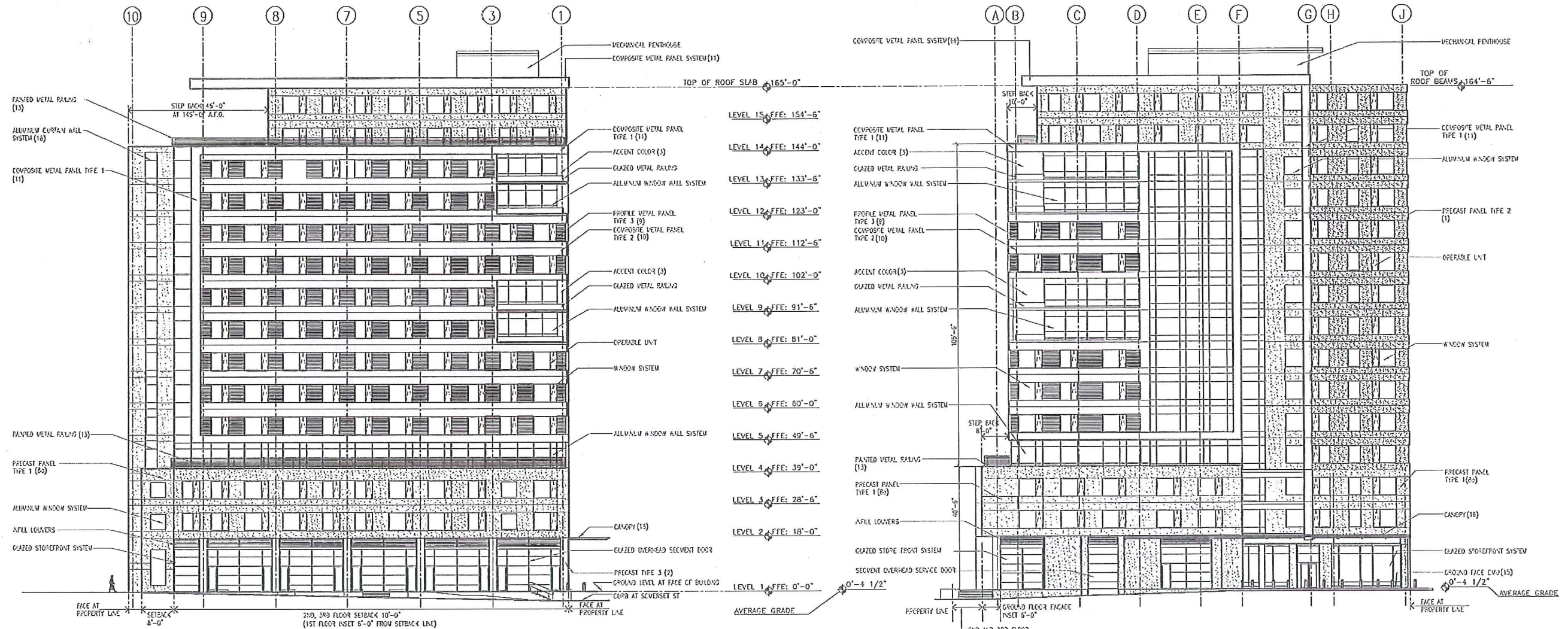
LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE	---	---	PRECAST CONCRETE PAVERS	---	---
MONUMENT FOUND	■	■	RETAINING WALL	---	---
CATCHBASIN	⊙	⊙	STREET LIGHT FIXTURE	⊙	⊙
MANHOLE	⊙	⊙	TRAIL LIGHT FIXTURE	⊙	⊙
HYDRANT	⊙	⊙	SEATING	---	---
WATER VALVE	⊙	⊙	CURB	---	---
UTILITY POLE	⊙	⊙	BIKE HITCH	---	---
			TRAIL BITUMINOUS PAVEMENT	---	---
			FILTERRA UNIT WITH TREE OR SHRUB PLANTING	---	---
			SAFETY BOLLARD (AT GARAGE)	---	---
			CONCRETE BOLLARD LIGHT	---	---



NOT FOR CONSTRUCTION

		PROJECT midtown PORTLAND, MAINE	
SHEET TITLE DETAIL LANDSCAPE AND LIGHTING PLAN		CLIENT FEDERATED COMPANIES	70 Center Street Portland, Maine 04101 P: 207.774.4427 F: 207.474.2468 DRAWN: MK DATE: May 23, 2013 DESIGNED: MKRM SCALE: 1" = 10' CHECKED: RM JOB NO. FILE NAME: SHEET L1.1
5 12-23-2013 Per City staff review comments 4 11-18-2013 Per City staff review comments 3 10-22-2013 Per City staff review comments 2 10-1-2013 Per City staff review comments 1 9-17-2013 Per City staff review comments	REV DATE DESCRIPTION REVISIONS	R.L.A. LIC. #	



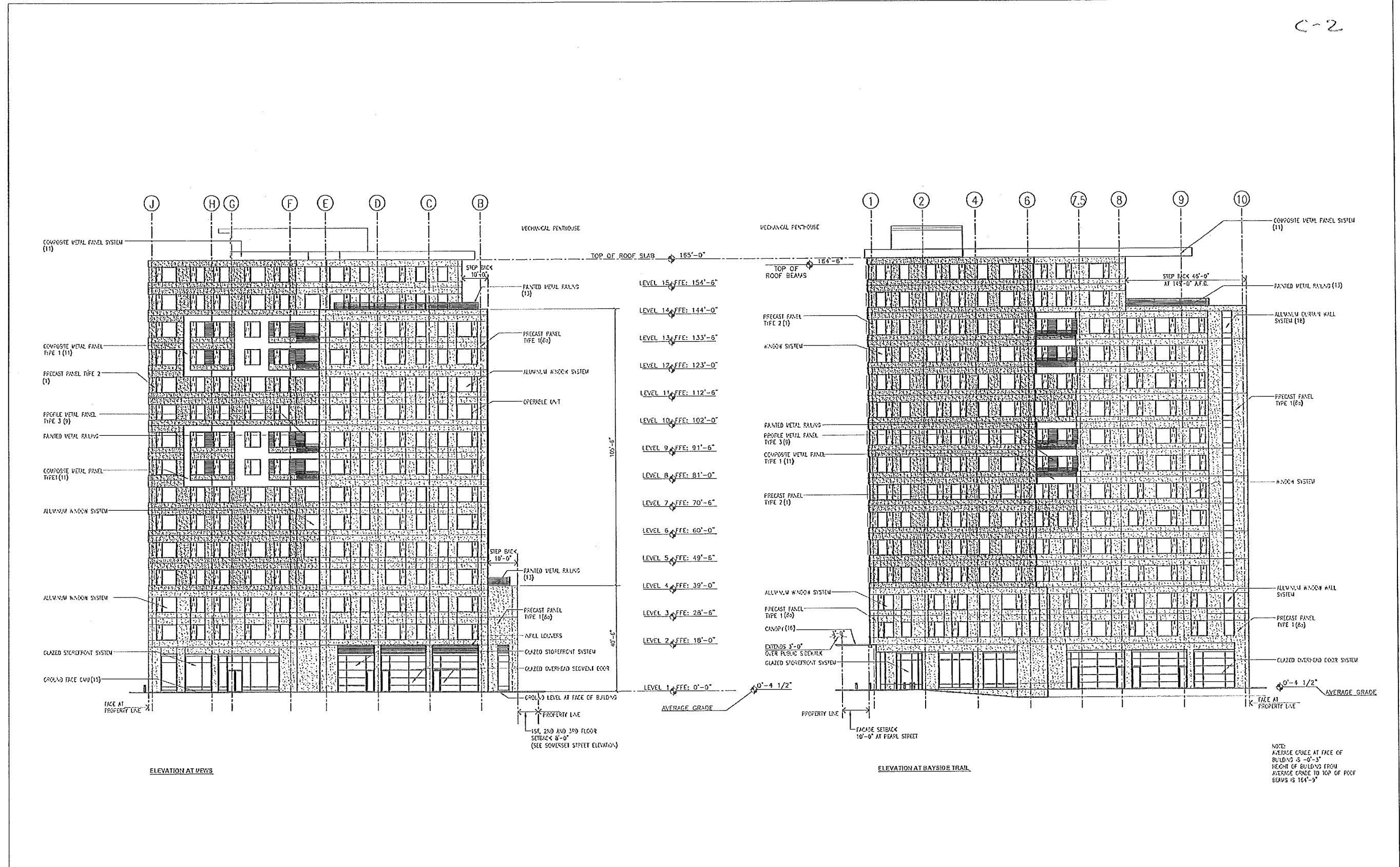
ELEVATION AT SOMERSET STREET

ELEVATION AT PEARL STREET

NOTE:
AVERAGE GRADE AT FACE OF BUILDING IS -0'-3"
HEIGHT OF BUILDING FROM AVERAGE GRADE TO TOP OF ROOF BEAMS IS 164'-9"

REVISIONS #	DATE	DESCRIPTION
1	10/01/13	not for construction
2	10/22/13	
3	11/01/13	

midtown One - Phase I - Apartment Building
Portland, ME



REVISIONS

#	DATE	DESCRIPTION
10/01/13		not for construction
10/22/13		
11/01/13		

midtown One - Phase I - Apartment Building
Portland, ME

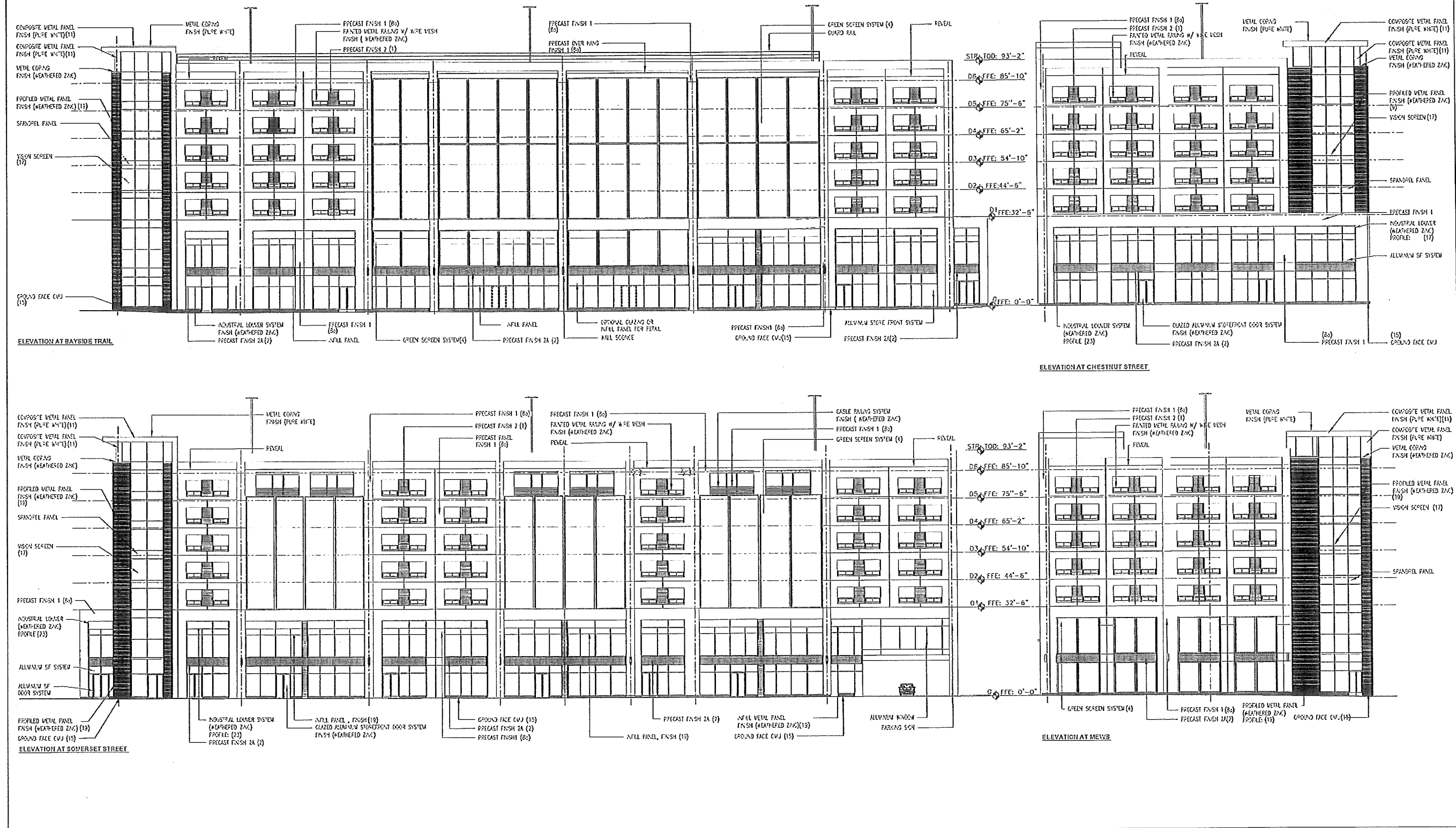
cbt 617 262 4354 cblarchitects.com
110 central street, boston, ma 02111

shinberg CWSARCHITCTS

elevations -2

SCALE 1/16"=1'-0" PROJECT # 130370.00 DATE ISSUED 11.01.2013

A202



REVISIONS

#	DATE	DESCRIPTION
10	01/13	not for construction
11	02/13	
12	01/13	

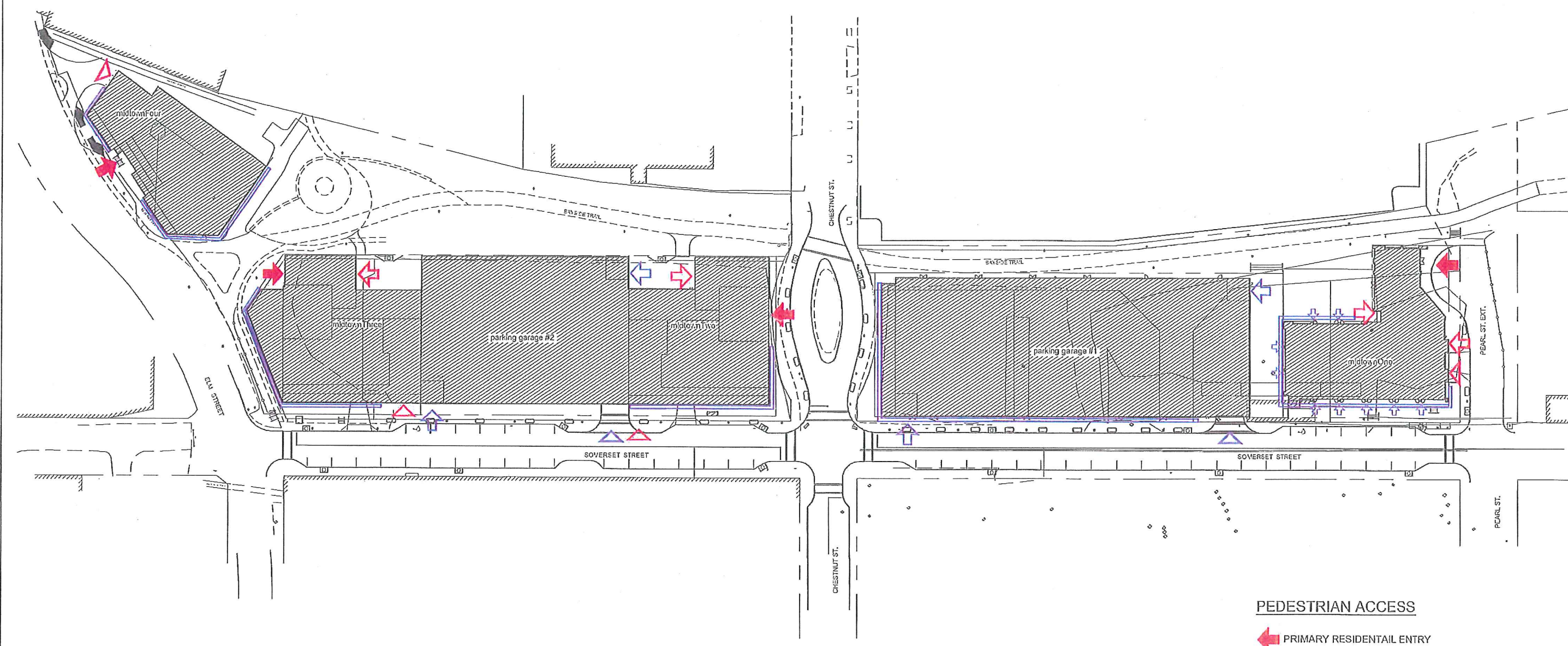
midtown One - Phase I - Garage Building
Portland, ME

garage elevations

SCALE 1/16" = 1'-0"
PROJECT # 10207000
DATE ISSUED 11/01/2013



ATT E



PEDESTRIAN ACCESS

- PRIMARY RESIDENTIAL ENTRY
- SECONDARY RESIDENTIAL ENTRY
- PARKING ACCESS
- RETAIL FRONTAGE: ENTRIES T.B.D.

VEHICULAR ACCESS

- SERVICE VEHICLES
- PARKING GARAGES

I:\Portland\midtown\136070\4-Pin\circulation plan.dwg, 11/27/2013 9:28:29 AM

midtown
Portland, ME

CIRCULATION PLAN