

*as sent for signing*

**CITY OF PORTLAND, MAINE**  
**PLANNING BOARD**

---

Janice E. Tevanian, Chair  
David Silk, Vice Chair  
Bill Hall  
Joe Lewis  
Lee Lowry, III  
Shalom Odokara  
Michael J. Patterson

March 25, 2008

Mr. Stephen R. Bushey, PE  
DeLuca Hoffman Associates Inc.  
778 Main Street- Suite 8  
South Portland, ME. 04106

Mr. Tim Prince  
Vice President Planning & Ancillary Affairs  
Mercy Hospital  
144 State Street  
Portland, ME 04101

**RE: Mercy Hospital – Amendment to Approved Site Plan:  
Re-Use Of Existing Building for Maintenance and Storage Facility  
Vicinity of Fore River, Portland ME  
Application ID Number: 2008-0003; Chart 073, Block A, Lot 1001**

Dear Mr. Bushey and Mr. Prince,

On March 11, 2008, the Portland Planning Board considered Mercy Hospital's proposal to re-use and refurbish the existing metal-framed building on the south part of the site for use as a maintenance and storage facility and associated uses, along with snow storage on the adjoining land. The Planning Board reviewed the proposals for conformance with the standards of the Site Plan Ordinance and requirements of the Contract Zone Agreement of 2002 and voted to approve the application with the following motions and conditions as presented below.

The Planning Board voted 7-0 that on the basis of the plans and materials submitted by the applicant and on the basis of the information contained in Planning Report #14-08 relevant to standards for site plan regulations and the requirements of the Contract Zone Agreement, and other findings as they may be:

1. That the proposed site plan amendment to re-use and refurbish the existing metal-framed building on the site for use as a facility for the storage of maintenance materials and equipment, including use as a staging area for assembling hospital-related materials and as an ancillary office area for maintenance administration, and the revised snow storage area within the adjoining part of the maintenance building site as shown on the approved plans, is in conformance with the site plan standards of the land use code subject to the following conditions of approval:
  - i. That the applicant shall submit a Site Plan application for its proposals for providing a permanent maintenance facility (ie one that meets Contract Zone Agreement design standards and allows for the removal or alteration of the maintenance facility to be in compliance with the CZA design standards) either in conjunction with the next Site Plan application for development on the Mercy Fore River site which would be reviewed by the Planning Board, or by April 1, 2018, whichever is the sooner; and

2.

- ii. That the applicant shall remove or relocate the “no entry signs” now located at the intersection of the rear “ring” access drive and the south access drive to allow two-way access by maintenance vehicles to the proposed maintenance building from the rear drive; and
  - iii. That all associated enclosures and accessory structures/piping/tanks/roof plant etc be constructed out of the same materials or similar-colored materials as the approved colors as presented at today’s Hearing for the refurbishment of the building.
2. That the snow storage area located on the adjacent site (the southerly open space along the Fore River) shall be limited to the area shown in the approved Master Plan (dated July 2006) Figure 1 - Phase 1, and must be operated in such a manner as to ensure safe public access to the open space part of the site as depicted on the July 2006 Master Plan, and so as not to interfere with the public's use and enjoyment of the open space.

The approval is based on the submitted plans and the findings related to site plan review standards as contained in Planning Report #14-08, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland’s Inspection Division. If you need to make any modifications to the approved plans, you must submit a revised site plan application for review and approval.
2. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
3. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule, access arrangements, and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule and site access plan to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Jean Fraser at 874- 8728.

Sincerely,

Janice Tevanian, Chair  
Portland Planning Board

Attachment: Planning Board Report #14-08

**Electronic Distribution:**

Lee D. Urban, Planning & Development Dept. Director  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jeanie Bourke, Inspections Division  
Lisa Danforth, Administrative Assistant  
Michael Bobinsky, Public Works Director  
Katherine Earley, Public Works  
Bill Clark, Public works  
Jim Carmody, City Transportation Engineer  
Captain Greg Cass, Fire Prevention  
Jeff Tarling, City Arborist  
Assessor's Office  
Approval Letter File

**Hard Copy:** Project File





# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life* [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Planning & Urban Development Department**

Penny St. Louis Littell, Director

**Planning Division**

Alexander Jaegerman, Director

October 2, 2008

Stephen R. Bushey, PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, ME 04106

Your ref: SRB/smk/JN2149.01/Barhydt-9-26-08

**Re: Mercy Hospital, Fore River Project (Phase 1)  
Maintenance Building (Amendment Application # 2008-0003)**

Dear Mr. Bushey,

I refer to your letter addressed to Barbara Barhydt dated September 26, 2008 requesting that the approved maintenance building amendment to the 2006 Mercy Phase 1 Site Plan approval be re-logged and progressed as a separate site plan project.

I confirm that we are willing to revise the status for this project as requested, subject to the following:

1. That the final CO for the Phase 1 Mercy Project is issued on or before October 31, 2008;
2. That a new and separate Performance Guarantee is posted in respect of the Maintenance Building prior to the issuance of the final CO for the Phase 1 Mercy Project and no later than October 24, 2008;
3. That the Performance Guarantee shall include, in addition to the usual site improvements, an item to cover the exterior building renovations (cladding and roofing). We will modify the wording of the Performance Guarantee on this project so that it reflects this condition;
4. That a new and separate Inspection Fee is also paid prior to the issuance of the final CO for the Phase 1 Mercy Project;



5. That the Building Permit application refers to the Maintenance Building Approval and associated reference numbers so that the project remains separate in our computer systems;
6. That the date of the final CO for the Maintenance Building will determine the start of the defect guarantee period for the Maintenance Building;
7. That the Site Plan approval for the Maintenance Building will expire on March 11, 2009 (unless renewed in writing as per City Ordinance 14-525 (f)).

If you have any questions, please contact Jean Fraser on (207) 874 8728 or at [jf@portlandmaine.gov](mailto:jf@portlandmaine.gov).

Sincerely,



Alexander Jaegerman  
Planning Division Director

**Electronic circulation:**

Penny St. Louis Littell, Director of Planning and Urban Development  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPierro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jeanie Bourke, Inspections Division  
Lisa Danforth, Administrative Assistant  
Michael Bobinsky, Public Services Director  
Kathi Earley, Public Works  
Bill Clark, Public Works  
Michael Farmer, Public Works  
Jim Carmody, City Transportation Engineer  
Jane Ward, Public Works  
Captain Greg Cass, Fire Prevention  
Jeff Tarling, City Arborist  
Tom Errico, Wilbur Smith Consulting Engineers  
Dan Goyette, Woodard & Curran  
Assessor's Office  
Approval Letter File

**Hard Copy:**

Project File  
Tim Prince & Mike Connelly, Mercy Hospital



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

September 26, 2008

Ms. Barbara Barhydt  
City of Portland Planning Authority  
4<sup>th</sup> Floor, City Hall  
389 Congress Street  
Portland, ME 04101

**Subject:        Mercy Hospital -- Fore River Project  
                  Final Certificate of Occupancy and Maintenance Building**

Dear Barbara:

On March 11, 2008 the Portland Planning Board approved Mercy Hospital's proposal to re-use the existing metal framed building on the south part of the Fore River Site. The approval was considered an amendment to the overall approved site plan. Due to recent circumstances related to the Final Certificate of Occupancy for the Phase 1 Hospital building and Medical Office Building, and due to the fact that work has not commenced on the maintenance building, Mercy is requesting the City categorize the maintenance building as a separate project. This will allow the Final Certificate of Occupancy for the Hospital building and MOB to be issued without delay due to the incomplete nature of the maintenance building. Mercy agrees to file the appropriate documents including a new performance guarantee for the maintenance building site work, as directed by City Staff. We understand from speaking with the Project Planner, Jean Fraser, that you would consider handling the Occupancy Certificate and maintenance building in this manner.

Mercy representatives will continue to work with Department Staff to resolve the remaining minor issues related to the Final Occupancy Certificate over the next week.

We look forward to your consideration of this request and we will provide supporting data to you on a new performance guarantee amount as soon as possible. If you require any further information please call this office.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

Stephen Bushey, P.E.  
Senior Engineer

SRB/smk/JN2149.01/Barhydt-9-26-08

c:     Tim Prince, Mercy Hospital  
       Mike Connolly, Mercy Hospital  
       Mike Poulin, Gilbane  
       Patrick Duke, KLMK Group  
       Paul Stevens, SMRT Inc.  
       Brian Rayback, Pierce Atwood

**PB Hearing 3.11.2008: MERCY MAINTENANCE AND STORAGE FACILITY**

Staff presentation:

1. The applicant has addressed the layout and landscaping issues raised by staff and at the Workshop;  
*1b. No comments from the public*
2. Staff do not consider that the proposal represents an amendment to the Master Plan as it is an interim accessory use;
3. At the Workshop staff were requested to craft conditions to ensure that the building could not remain as a permanent building:
  - Two versions of potential wording are included, with staff recommending that the condition link the provision of a permanent maintenance facility to the next building site plan;
  - The alternative option includes a long stop date that is 10 years from now for submitting a site plan application for a permanent maintenance facility
4. The Planning Board requested staff to clarify the status of the snow storage on the nearby Mercy site on the other side of the Fore River Parkway, which is partly public open space. This use appears to be permitted in principle on part of the site, since it does not trigger Land Use Ordinances and was identified as a use on the Master Plan in Attachment 8.

However, the current operation of the snow storage area may impinge on the open space and public access to the open space, so a suggested motion has been included to limit the location and operation of the snow storage so it respects the open space and its intended usage as stated in the Contract Zone Agreement (para 6).

Background documents available for Reference

Approval Letter  
Hearing Report Aug 2006  
Master Plan  
Draft PDR



Mercy Maintenance Bldg  
Public Hearing 3.11.08.

(1) JF untio (see "presentation")

(2) Tim Prince

- Reiterated State didn't approve the main bldg shown in Site Plan
- Clarified the proposed use
- Snow storage: happy to make this be in accordance w/ MP/CZA

(3) Steve Bowkey

- Update on overall project
- Described proposals in some detail
- Clarified re access and signs + drainage

(4) Mark Johnson (Bldg + landscape)

- Description of planting / screening need for relocation
- Showed pieces of wall cladding + samples + cat

Questions from the Board

- U - to SB - C19 clar
- " - <sup>MDOT approved</sup> snow storage is below capacity
- " Clar re swales in OS area were built by MDOT

DS - what uses in this bldg. ? warehousing  
TP ans. for putting together the beds or  
repairing (have another warehouse  
elsewhere)

are a couple of office spaces for record  
keeping

? is Head of Main. going to be there?

Mike Connolly - main need is storage  
of supporting items (14 tons)

Potentially some staff here

DS - re Master Plan

looking at wording of CZA ref to Att 2

(JF circ. Ref copy of orig 2002 CZA to Council)

Interprets wording to require integration  
& this doesn't

- interested in TP thoughts re what is a fair  
time frame for "temp"

anticipate Phase 2 - 2012-2015

to start; pig garage may show  
up

No MEMBERS of the Public present.

One more 'round of the Board

Board comments

MP - "pigs pig" and should be got rid of.  
otherwise no ?'s

David Mohr

"incl ane office area for main administration"  
added as friendly amendment

"add in ref to reserved snow storage area w/main site"

passes 7-0 approved.



**From:** Alex Jaegerman  
**To:** Barbara Barhydt; Jean Fraser; Penny Littell  
**Date:** 3/7/2008 10:26:21 AM  
**Subject:** Re: Mercy Hearing Report- revised condition

I am less concerned than others about the longevity of the maintenance building. I therefore do not recommend a strict time limit on the building, and would be willing to say that in the report. However, since the Board raised the issue, we can craft the condition as an either/or option, one version tying only to the next building site plan, and the second option with a time limit of 2018 as you propose. Clearly mark them as either/or.

It just seems a waste to me to build this thing and then have to tear it down and build a dressed up version. It will be OK as designed, with all the landscaping we've required.

Alex.

>>> Jean Fraser 3/7/2008 10:17:28 AM >>>  
Alex, Barbara and Penny,

The Planning Board specifically asked us to come up with wording that ensured that this proposal was only "temporary" or "interim" ie between Phases 1 and 2. In discussion with Barbara, it seemed that if there is only going to be one condition it should include a back up in case Mercy decides not to go ahead with further development in the next 10 years.

Suggested revised condition:

i. **That the applicant shall submit a Site Plan application for its proposals for providing a permanent maintenance facility (ie that meets CZA design requirements) either in conjunction with the next Site Plan application for development on the Mercy Fore River site which would be reviewed by the Planning Board, or by March 31, 2018, whichever is the sooner;**

(the one that's in the report now is: "i. That the applicant shall include its proposals for providing a permanent maintenance facility to serve the overall Mercy site in conjunction with any future Site Plan application which would be reviewed by the Planning Board; ")

Jean

**From:** "Steve Bushey" <SBushey@DelucaHoffman.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 3/5/2008 3:41:06 PM  
**Subject:** RE: Mercy Maintenance Building

Hi Jean,

Mark has kindly provided the attached figures per your email comments from earlier this afternoon. Perhaps Mark can reply as to providing the samples to you directly. Please let me know if you will need additional hard copies delivered from this office.

thanks

Stephen Bushey PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, Maine 04106  
207- 775-1121  
Fax 207-879-0896  
sbushey@delucahoffman.com

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]  
Sent: Wednesday, March 05, 2008 3:32 PM  
To: Steve Bushey  
Cc: MJohnson@SMRTInc.com  
Subject: Mercy Maintenance Building

Steve and Mark,

All of the graphic submissions re the colors of the cladding and roofing of this building are different (including those given to me at the Workshop). No doubt this is due to photocopying etc but it is difficult for staff and the Board to determine if its "unobtrusive"/"recessive" unless we see the real colors.

Any chance of staff having the actual samples tomorrow and then bring them to the Board next weeeek?

thanks  
Jean

**CC:** <MJohnson@SMRTInc.com>

Attached: AE201-CITY.pdf  
AE101-CITY.pdf  
mercy\_stor.colors.BLDG

**From:** "Steve Bushey" <SBushey@DelucaHoffman.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 3/3/2008 2:17:58 PM  
**Subject:** RE: Mercy Maintenance Building

Message #2 with attachments

Stephen Bushey PE  
 Senior Engineer  
 DeLuca-Hoffman Associates, Inc.  
 778 Main Street, Suite 8  
 South Portland, Maine 04106  
 207- 775-1121  
 Fax 207-879-0896  
 sbushey@delucahoffman.com

*Attached:*

- 1) LP101-render-2-12-08\_ 11x17
- 2) LP101-BASE
- 3) 11x17-Mercy Storage Building Reno 1.11.08

-----Original Message-----

From: Jean Fraser [mailto:JF@portlandmaine.gov]  
 Sent: Friday, February 29, 2008 11:41 AM  
 To: Steve Bushey  
 Subject: Mercy Maintenance Building

Steve,

This project is scheduled for Hearing on March 11th and there a number of outstanding items that need to be tied up. You sent a letter dated Feb 7, 2008 which promised a number of things which I have not seen or been copied into:

1. Revised plan showing corrected sewer connection
2. Revised landscape plan (I need B/W, scaled and pdf versions of what was shown to the Board in order to get reviewer sign off)
3. Revision to site plan including note re grass (see your letter third page)
4. Documentation re lighting

I will follow up with Dan Goyette re the details that were previously forwarded to him.

Could you send your letter of Feb 7 and the revised plans (Site Plan, Landscape Plan, Drainage/Sewers Plan) to me by pdf so I can facilitate final sign offs on this.

thanks  
 Jean



**From:** "Steve Bushey" <SBushey@DelucaHoffman.com>  
**To:** "Jean Fraser" <JF@portlandmaine.gov>  
**Date:** 3/3/2008 2:15:54 PM  
**Subject:** RE: Mercy Maintenance Building

Hi Jean,

I am forwarding various plan files per your request. Ten hard copies of the cover letter and each of the plans at 11 x 17 will be delivered to you this afternoon. I am sending multiple messages with attachments due to file size.

Stephen Bushey PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, Maine 04106  
207- 775-1121  
Fax 207-879-0896  
sbushey@delucahoffman.com

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thanks  
Jean

- 1) C-7 Site layout Plan 03-03-08
- 2) C-9 Grading and Drainage Plan 03-03-08
- 3) C-11 Utility Plan 03-03-08



**NOTES:**

1. SEE LP501 FOR NOTES, DETAILS, AND PLANT SCHEDULE.
2. ONLY THOSE PLANTS NOTED FOR RELOCATION OR NEW INSTALLATION ARE TO BE INCLUDED IN THE WORK. ALL OTHER PLANTS WITHIN THE LIMIT OF WORK AREA ARE EXISTING AND ARE TO REMAIN AND BE PROTECTED.

144 Fore Street P.O. Box 618  
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MERCY HEALTH SYSTEM - FORE RIVER CAMPUS  
STORAGE BUILDING RENOVATION  
PORTLAND, MAINE

ISSUED FOR CITY WORKSHOP  
2-12-08

CURRENT ISSUE STATUS:

REV	DESCRIPTION	DATE
0	ISSUED FOR PERMITTING	12-14-07

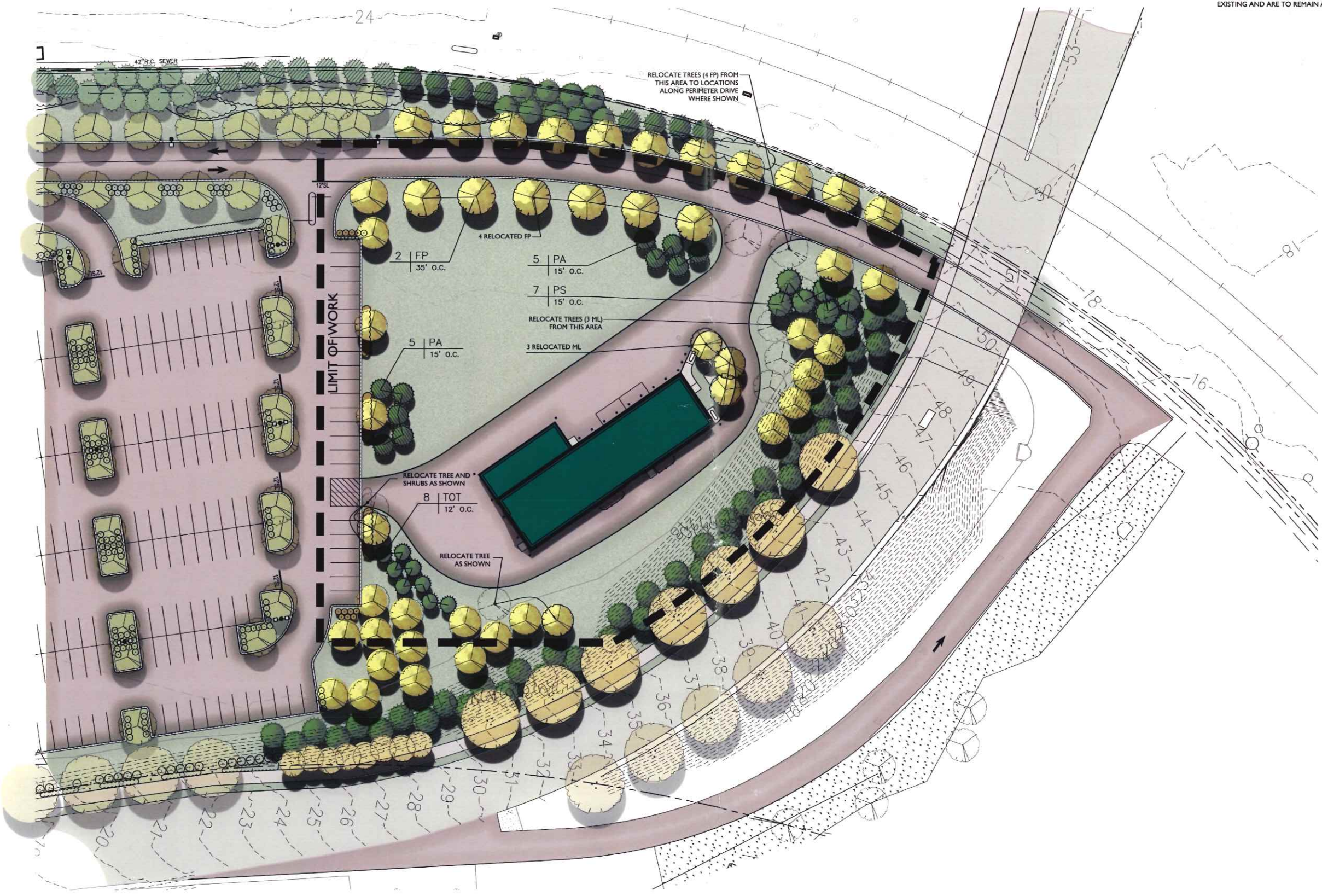
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0' 1'

SCALE: 1" = 30'  
PROJECT MANAGER: JRL  
DESIGNED BY: MG/WSM  
A/E OF RECORD: MG  
CAD FILE: LP101-07139  
PROJECT NO: 07139  
DATE:

SHEET TITLE:  
LANDSCAPE  
PLAN

SHEET No.  
**LP101**

PROGRESS PRINT



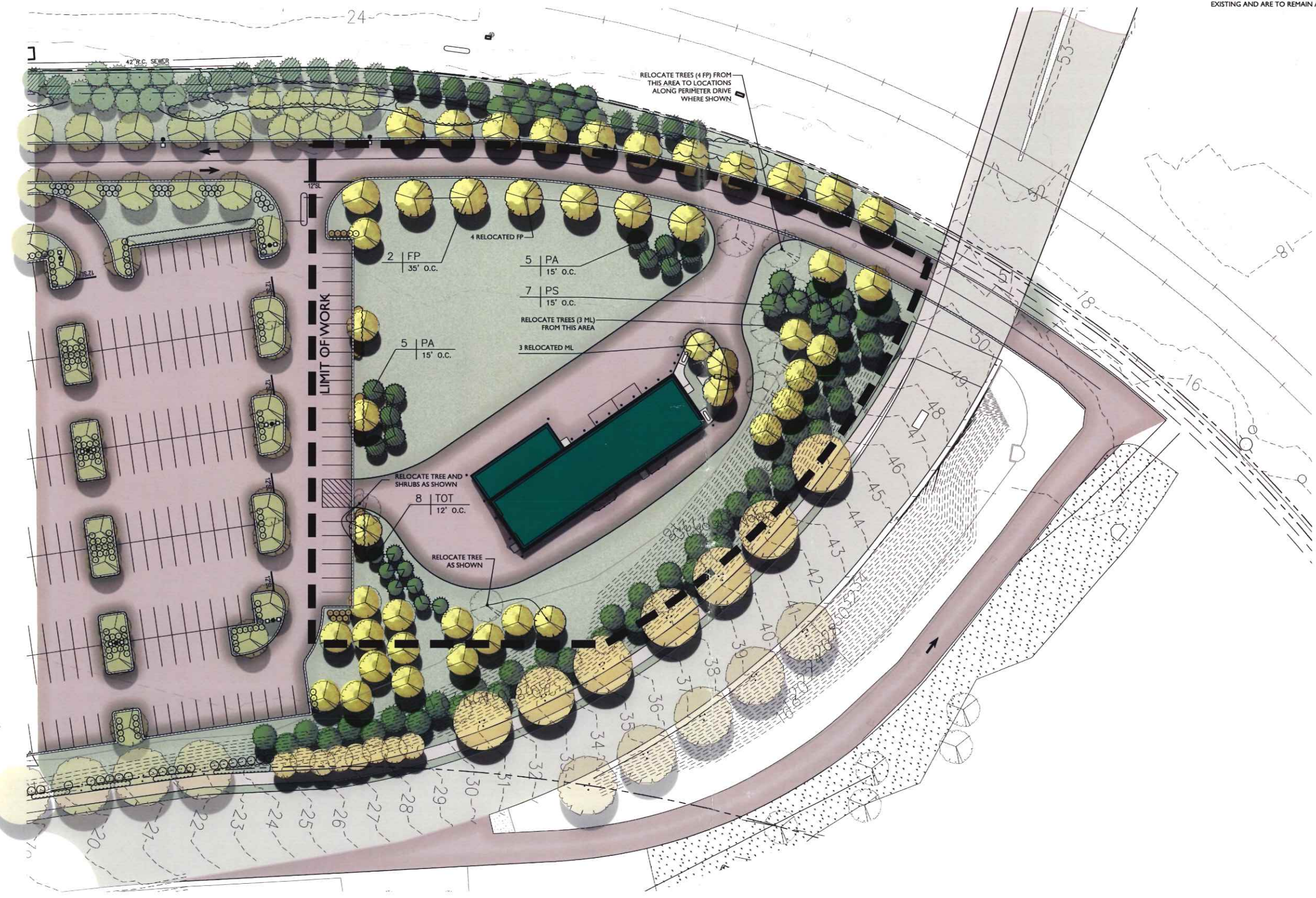
RELOCATE TREES (4 FP) FROM THIS AREA TO LOCATIONS ALONG PERIMETER DRIVE WHERE SHOWN

2 | FP  
35' o.c.  
4 RELOCATED FP  
5 | PA  
15' o.c.  
7 | PS  
15' o.c.  
RELOCATE TREES (3 ML) FROM THIS AREA  
3 RELOCATED ML

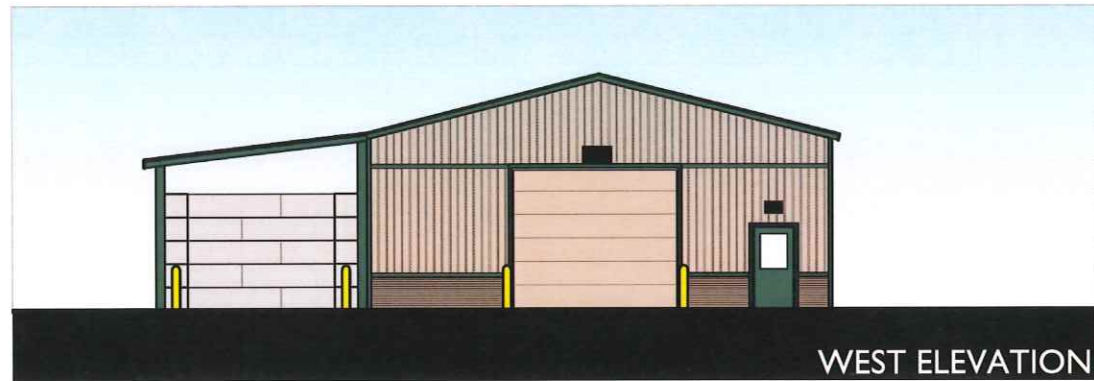
5 | PA  
15' o.c.

RELOCATE TREE AND SHRUBS AS SHOWN  
8 | TOT  
12' o.c.

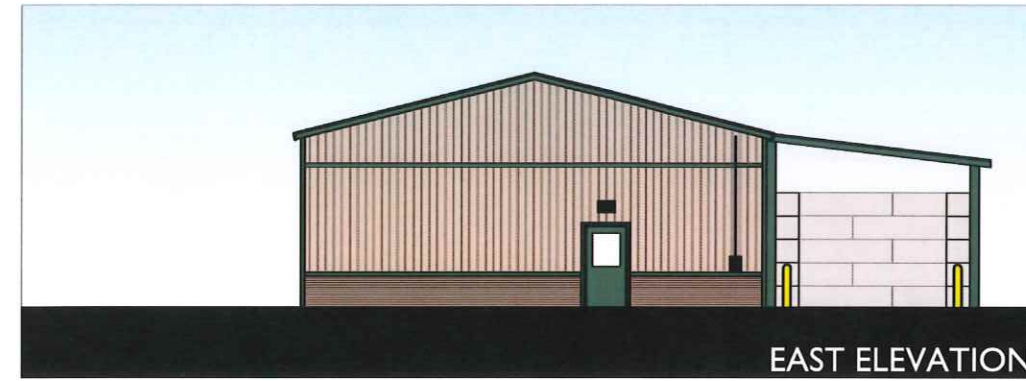
RELOCATE TREE AS SHOWN







WEST ELEVATION



EAST ELEVATION



NORTH ELEVATION

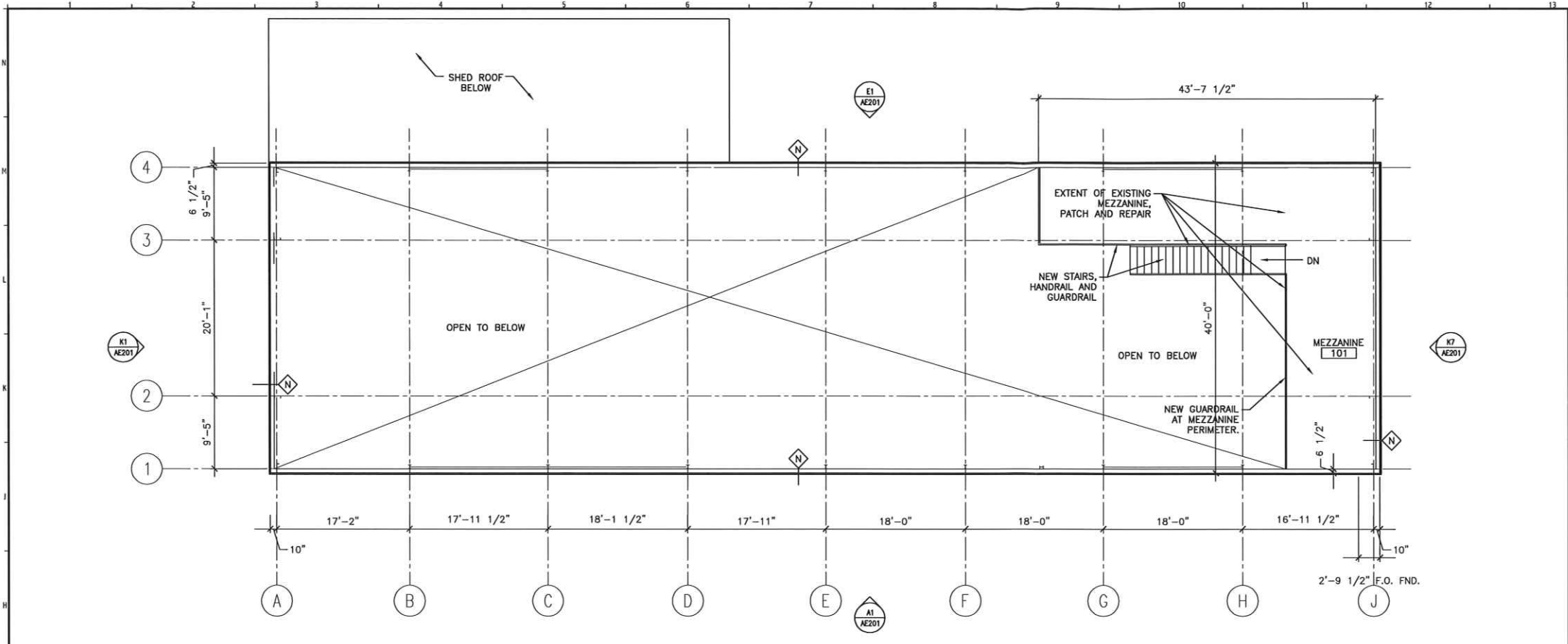


SOUTH ELEVATION



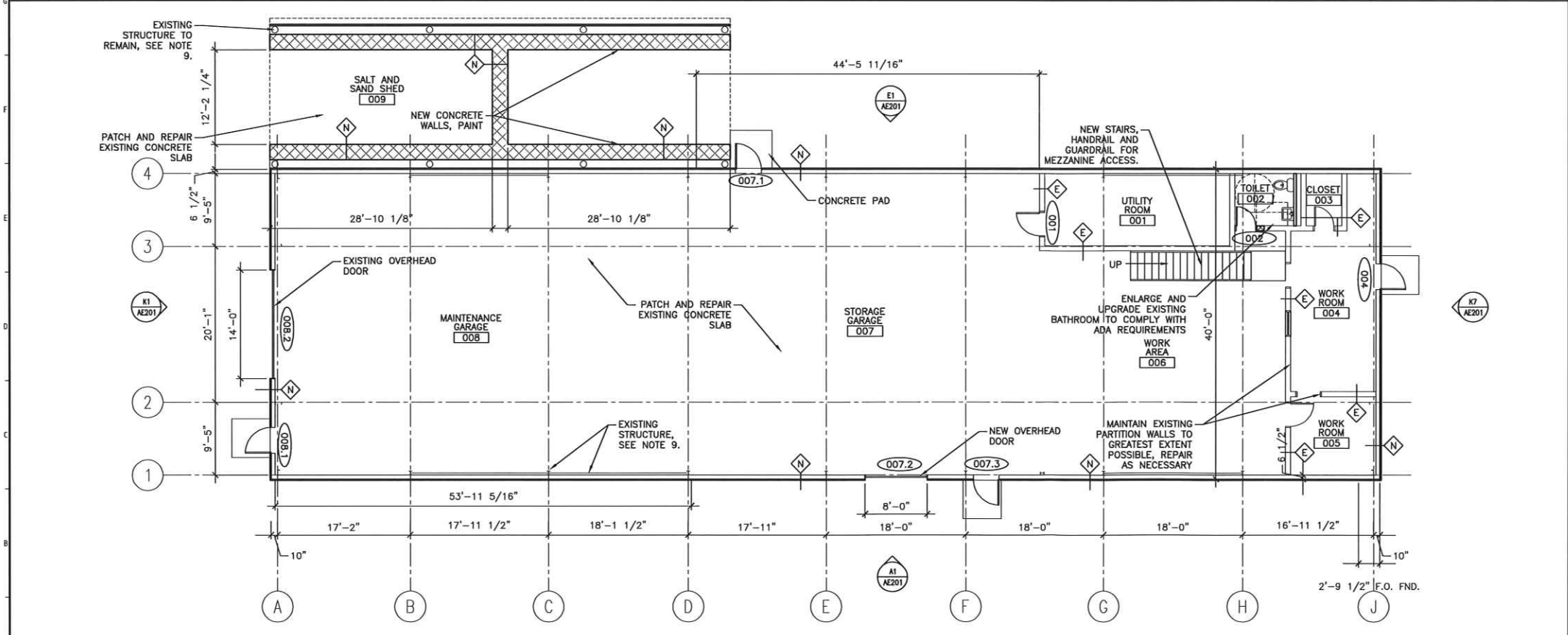






**G1** MEZZANINE LEVEL FLOOR PLAN

1/8"=1'-0"



**A1** GROUND LEVEL FLOOR PLAN

1/8"=1'-0"

**CODE SUMMARY**

**GENERAL INFORMATION:**

PROJECT NUMBER: 07139-00  
 CODES USED: IBC 2006, NFPA 101, 2006, ADA ACCESSIBILITY GUIDELINES  
 SPRINKLERED: NON-SPRINKLERED

**USE AND OCCUPANCY CLASSIFICATIONS:**

PROJECT DESCRIPTION: EXISTING STRUCTURE TO BE USED FOR PROPERTY MAINTENANCE STORAGE.

**OCCUPANCY CLASSIFICATION:** IBC: STORAGE GROUP S-1  
 NFPA 101, 2006: STORAGE OCCUPANCY (CHAPTER 42)

**TYPE OF CONSTRUCTION:** IBC: TYPE VB, SECTION 601.  
 NFPA: TYPE V (0.0.0), SECTION 8.2.

**AREA (GROSS):** GROUND LEVEL WITHOUT SHED: 5798sf  
 GROUND LEVEL WITH SHED: 6904sf  
 MEZZANINE LEVEL: 776sf  
 TOTAL AREA WITH MEZZANINE: 7680sf  
 MAXIMUM ALLOWABLE AREA: 9000sf

**K13** CODE SUMMARY

**FLOOR PLAN NOTES:**

- DO NOT SCALE THE DRAWINGS.
- FURNITURE AND EQUIPMENT BY OTHERS IS INDICATED FOR COORDINATION AND BLOCKING.
- DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING PARTITION AND CENTERLINE OF NEW STUD PARTITIONS, UNLESS INDICATED OTHERWISE.
- REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AND COORDINATE WORK.
- REFER TO DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- DOOR JAMBS SHALL BE LOCATED 4" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS, UNLESS INDICATED OTHERWISE.
- PROVIDE BLOCKING IN WALLS AS NECESSARY WHERE CASEWORK, SHELVES, HANDRAILS, AND MISC. EQUIPMENT ARE LOCATED.
- PATCH ALL HOLES, WALLS AND CRACKS IN ROOMS TO RECEIVE NEW PAINT.
- EXTERIOR ENVELOPE CONSISTS OF ALL NEW SIDING, INSULATION, DOORS, ROOFING, ETC. EXISTING BUILDING ENVELOPE SHALL BE REMOVED IN ITS ENTIRETY. EXISTING STRUCTURE AND CONCRETE SLABS TO REMAIN.

**LEGEND**

- INDICATES NEW WALL
- INDICATES EXISTING WALL

144 Essex Street, P.O. Box 618  
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 Fax: (207) 772-1070  
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MERCY HEALTH SYSTEM - FORT RIVER CAMPUS  
 STORAGE BUILDING RENOVATION  
 PORTLAND, MAINE

ISSUED FOR CITY WORKSHOP  
 2-12-08

CURRENT ISSUE STATUS:

REV	DESCRIPTION	DATE

GRAPHIC SCALE:  
 0" = 1'

SCALE: AS NOTED

PROJECT MANAGER: JBL  
 ARCHITECT: PSS  
 DATE OF RECORD: 07/13/07  
 CAD FILE: AE101-07139  
 PROJECT NO: 07139  
 DATE: 2-12-08  
 SHEET TITLE:

**A13** GENERAL NOTES

1/8"=1'-0"

FLOOR PLANS

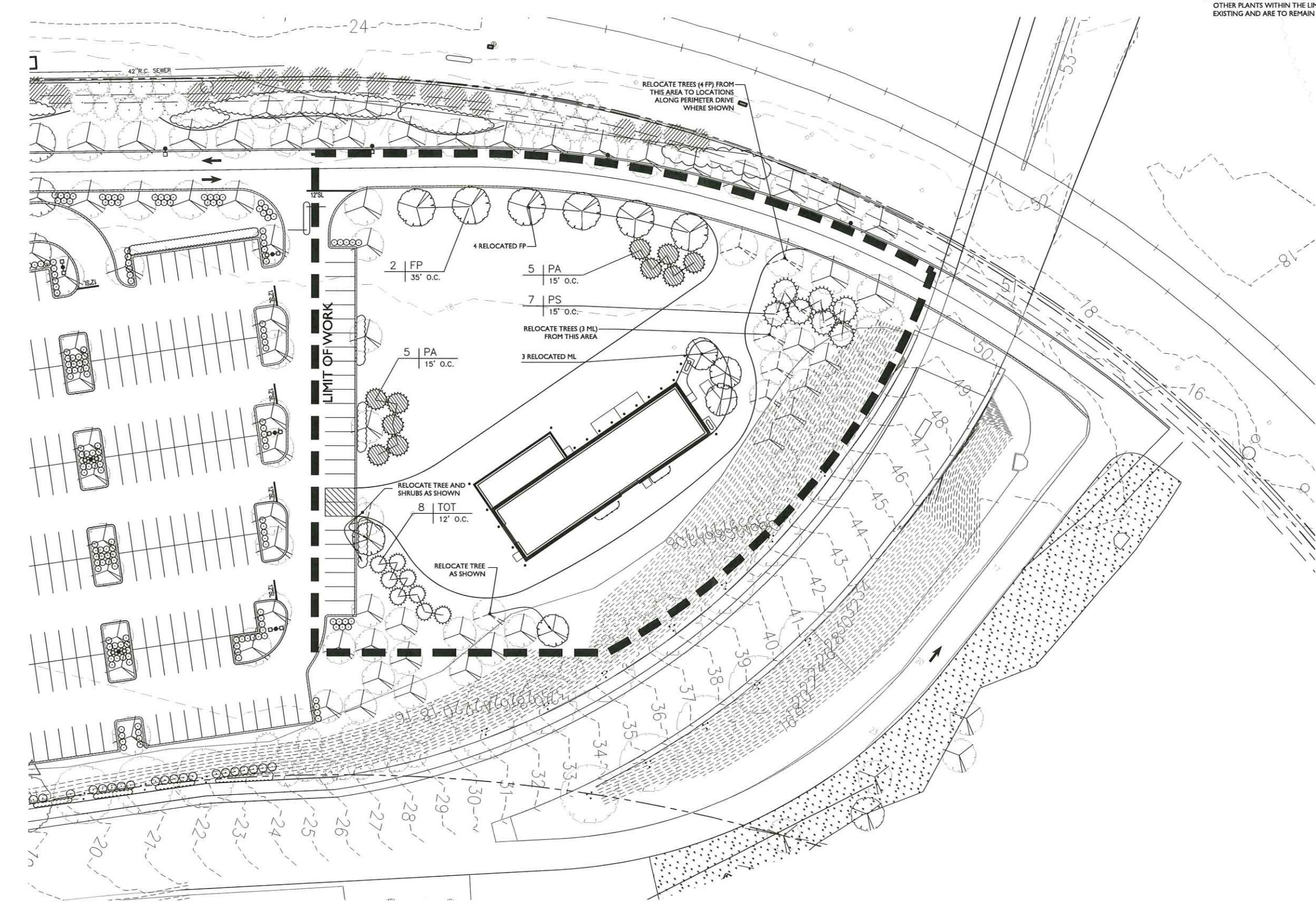
SHEET No. **AE101**

PROGRESS PRINTING



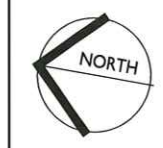
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MERCY HEALTH SYSTEM - FORE RIVER CAMPUS  
 STORAGE BUILDING RENOVATION  
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0	ISSUED FOR PERMITTING	12-14-07

GRAPHIC SCALE:

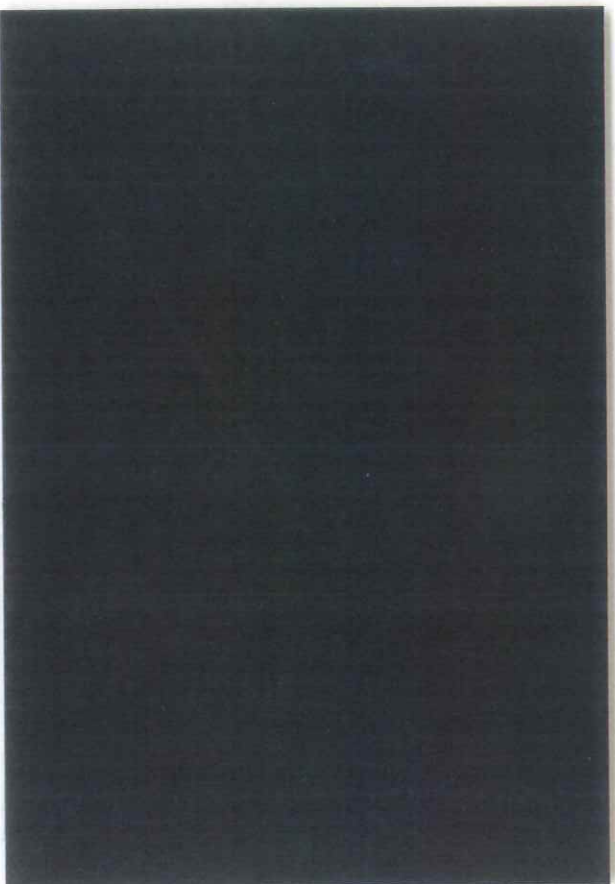
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 DRAWN BY: MG/WSM  
 A/E OF RECORD: MG  
 CAD FILE: LP101-07139  
 PROJECT NO: 07139  
 DATE:

SHEET TITLE:  
 LANDSCAPE PLAN

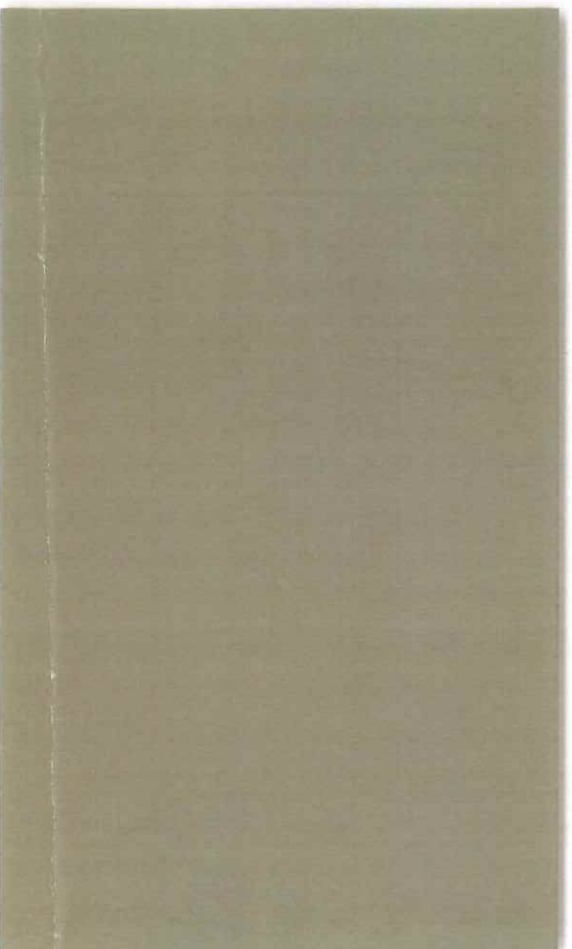
SHEET No. LP101

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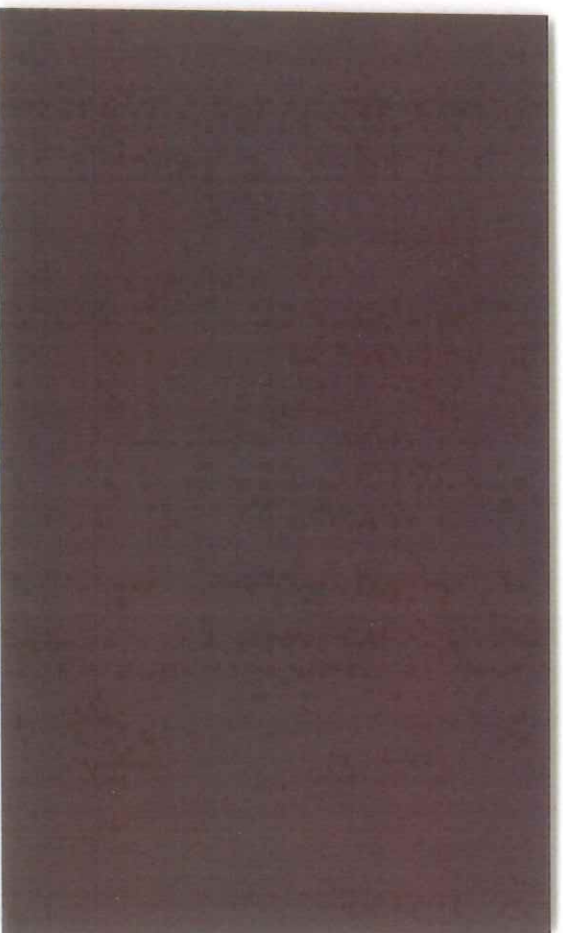




**ROOF**



**MIDDLE**



**BASE**



**From:** Jean Fraser  
**To:** Risbara, Roccoy  
**Date:** 11/6/2008 2:25:22 PM  
**Subject:** Re: mercy hospital storage building

Hi

I refer to your letter of Nov. 4, 2008 asking to substitute re the materials and colors.

As long as the substitute material has the same characteristics (weathering, texture etc) and as long as the way the lengths are place on the building match AE201 (the approved external elevations) then we are OK with the color substitutions and this will be documented as a di minimus change.

Jean Fraser  
Planner  
874 8728

>>> "Roccoy Risbara" <rocco@risbara.com> 11/6/2008 8:04:15 AM >>>  
Phil, I submitted proposed colors for the building siding and roofing.  
You said you were having a meeting about this project with staff, I  
believe yesterday. Do you have any feedback for on this issue? I can  
be reached via email or my cell, 838-0095. Thank you, RCRIII

**CC:** DiPierro , Philip



# RISBARA BROS.

*When Quality Counts*

RESIDENTIAL • COMMERCIAL • EARTHWORK

November 4, 2008

Jean Fraser  
Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101

RE: Mercy Hospital Storage Building

Dear Ms. Fraser,

Mike Connolly has asked me to write to you to ask permission to make a change in the metal material colors for this project due to cost and availability.

The colors presented to the city at time of approval were specified by the architects to match the Centria, Prismatic series, as shown on the enclosed color chart. Per the approval the lower section of the wall was to be #9912 Sage Brown, the upper section #9911 Pebble, and the roof #39932 Hartford Green.

Enclosed you will find a color chart for MS Metal sales. This is a comparable metal material to what was specified by the architects, and we have Mike Connolly's permission to use it, providing the city is ok with it. We propose to use #12 Cocoa Brown on the lower wall areas, #88 Khaki on the upper wall areas, and #26 Forest Green on the roof. As you will see the colors are very similar to those that were specified by the architects.

We are trying to get materials ordered for this project as soon as possible, as there is a 3 to 5 week lead time on the proposed material we wish to use. Please let me know if this substitution would be ok with the city.

Thank you,

Rocco C. Risbara III

Cc Mike Connolly



Sent: Wednesday, March 05, 2008 3:32 PM  
To: Steve Bushey  
Cc: [MJohnson@SMRTInc.com](mailto:MJohnson@SMRTInc.com)  
Subject: Mercy Maintenance Building

Steve and Mark,

All of the graphic submissions re the colors of the cladding and roofing of this building are different (including those given to me at the Workshop). No doubt this is due to photocopying etc but it is difficult for staff and the Board to determine if its "unobtrusive"/"recessive" unless we see the real colors.

Any chance of staff having the actual samples tomorrow and then bring them to the Board next week?

thanks  
Jean

Planner's file copy



**To:** Marge Schmuckal (for info as you have already signed off on this)  
Dan Goyette  
Mike Farmer  
Greg Cass (raised questions in UI- do they need to be resolved at Site Plan stage?)  
Jeff Tarling  
Tom Errico (for info- you have already signed off)  
Penny Littell (for info- the snow storage on the open space site does not appear to require site plan approval)

**From:** Jean Fraser

**Date:** March 5, 2008

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Additional information submitted for the following project:

**Application ID #:** 2008-0003

**Project Name:** Mercy Hospital amendment: Maintenance Building

**Project Address:** Fore River Parkway

**Comments needed by:** For urgent final review of minor details (Hearing March 11<sup>th</sup>)

Attached is cover letter and updated plans- most of which were seen by the Planning Board except re minor engineering details (which could be conditions if absolutely necessary).

They have added Landscape as requested.

Just need confirming e-mails/memos for inclusion in the Hearing Report- need for this Friday (March 7<sup>th</sup>) AM please.

Main issue for the Planning Board was the way this would ultimately be integrated into the overall Mercy site and they suggested a review in 3-5 years....

Jean

Cc Alex Jaegerman/Barbara Barhydt (shared copy)

City of Portland  
Department of Planning and Development  
Planning Division  
389 Congress Street, 4<sup>th</sup> Floor  
Portland ME 04101  
(207)874-8721 or (207)874-8719  
Fax: (207)756-8258



**FAX**

---

To:           Dan Corjate          

Company:           Woodard + Curran          

Fax #:           774 - 6635          

Date:           Tues March 4<sup>th</sup>          

From:           Jean Fraser          

You should receive   5   page(s) including this cover sheet.

---

**Comments:**

re - emails & urgent review  
call me if any questions  
          thanks Jean



**From:** Jean Fraser  
**To:** Johnson, Mark  
**Date:** 3/6/2008 9:47:38 AM  
**Subject:** RE: Mercy Maintenance Building

Thanks Mark- could you please bring the actual Valspar catalog of options to the Planning Board hearing.  
Jean

>>> "Mark Johnson" <MJohnson@SMRTInc.com> 3/5/2008 4:21:01 PM >>>  
Jean,

You are correct - photocopying of small color chips is no substitution for larger samples, which in turn, are no substitution for the actual construction. Further, the colors in the rendered elevations are approximations of the actual.

We are willing to let you borrow the samples for the meeting. I'll have the board I presented at the workshop delivered tomorrow.

Mark G. Johnson ASLA  
Landscape Architect

[www.smrinc.com](http://www.smrinc.com)  
144 Fore Street, PO Box 618 Portland, Maine 04104  
p 207.772.3846 f 207.772.1070

-----Original Message-----

From: Steve Bushey [<mailto:SBushey@DelucaHoffman.com>]  
Sent: Wednesday, March 05, 2008 3:39 PM  
To: Jean Fraser  
Cc: Mark Johnson  
Subject: RE: Mercy Maintenance Building

Hi Jean,

Mark has kindly provided the attached figures per your email comments from earlier this afternoon. Perhaps Mark can reply as to providing the samples to you directly. Please let me know if you will need additional hard copies delivered from this office.

thanks

Stephen Bushey PE  
Senior Engineer  
DeLuca-Hoffman Associates, Inc.  
778 Main Street, Suite 8  
South Portland, Maine 04106  
207- 775-1121  
Fax 207-879-0896  
[sbushey@delucahoffman.com](mailto:sbushey@delucahoffman.com)

-----Original Message-----

From: Jean Fraser [<mailto:JF@portlandmaine.gov>]

**From:** Jeff Tarling  
**To:** Jean Fraser  
**Date:** 3/5/2008 12:14:39 PM  
**Subject:** Mercy Maintenance Shed

Hi Jean -

The revised landscape plan includes the items requested and is acceptable as shown.

Jeff Tarling

**From:** Jean Fraser  
**To:** Bushey, Steve  
**Date:** 2/29/2008 11:41:00 AM  
**Subject:** Mercy Maintenance Building

Steve,

This project is scheduled for Hearing on March 11th and there a number of outstanding items that need to be tied up. You sent a letter dated Feb 7, 2008 which promised a number of things which I have not seen or been copied into:

1. Revised plan showing corrected sewer connection
2. Revised landscape plan (I need B/W, scaled and pdf versions of what was shown to the Board in order to get reviewer sign off)
3. Revision to site plan including note re grass (see your letter third page)
4. Documentation re lighting

I will follow up with Dan Goyette re the details that were previously forwarded to him.

Could you send your letter of Feb 7 and the revised plans (Site Plan, Landscape Plan, Drainage/Sewers Plan) to me by pdf so I can facilitate final sign offs on this.

thanks  
Jean

*remove signs -*



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**MEMORANDUM**

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**To:** FILE

**From:** Marge Schmuckal

**Dept:** Zoning

**Subject:** Application ID: 2008-0003

**Date:** 2/19/2008

---

On 2/19/08 I received the information that I needed on the proposed impervious surface ratio - it is currently at 39.75% which is well under the 80% maximum.

All conditional/contract zoning requirements are being met at this time.

Marge Schmuckal  
Zoning Administrator

Present: B Hall  
T Freund  
D Silk  
J Tevanian  
L Lowry  
S Odakara  
(M Present)

Main Bldg - Mercy  
2-12-08 Workshop.

- ① JF intro (no qu. from Bd)
- ② Trincee - not permanent
  - not asking for change to MP.
  - intro. SB + MJ.
- ③ S. Bushey - context.
  - history of bldg - storage
  - new paving
  - described proposals.
  - photos from Oct/Nov showing relationship to
  - SO asked re catchbasins + SB confirmed 4 (3 + new one just put in) + goes to downstream defender
- ④ M Johnson - described "hero" of planting near proposed building
  - Parkway planting
  - Evergreens, <sup>mixed</sup> as part of Phase 1 on slope (ref work w/ PC + JT)

###

Described addl/moved planting re Building

Hubble do have alum fixture to ensure cut-off

Colors - color elevs compared to samples.

## Described samples + circ. board

### Q. from Board

T.F. - where was orig main bldg TPans.  
- why not do a perm. bldg. - TPans  
but doesn't know what perm  
bldg on that part of site  
when known will refine.

Bill Hall - future bldg? what  
TPans probably MOB

SO - ? signage / gates TPans. re signs.

LL - snow storage? only on site  
McConnelly conf. used both areas  
for snow storage from the site + State St  
- main fac just for campus - MC only  
for Fore River facility

- prev. 1500 sq ft before now 5500 sq ft  
Dartley as prev one limited by # and  
too small; this 5500 prob more  
than needed but bldg is this size

- drainage - what does Downstream  
Depnder catch vs. swales.

- PL zoning? too <sup>will investigate</sup>

LL ? Site Plan re snow storage on  
site nr. Fore River

LL wants to see CZA language  
so can see how relates

DS - trying to understand how temp/  
how perm; what happens when dev. on send?

as snow  
from other site too.





- TP - re future main support - could be under 2<sup>nd</sup> phase hospital
- DS - should there be a review of this in 10 yrs (temp becomes perm)
- TP - Not sure when Phase 2 will begin. but at least 5 years
- DS - at what pt. do amend MP if this stays (Favors non-restrictive but <sup>fair</sup> + reasonable time frame)
- TP - this
- DS - imp surface? SB commented needs to substantiate lot of.

## Public comments

no one present wished to speak

## One last Bod comment

TF - design issue; not integrated  
concerned that structure wd. linger  
favors cond. for them to come back.  
eg 3-5 years + cond. that if  
dev. goes forward on this part of site  
then need to address appearance so  
integrated

Bill H - less troubled because of way it's  
set into topography

SO - fine

LL - fine - not concerned about impact on MP as any future dev. will need more parking so will need to revisit anyway; 5 yr look back is good; feels is amending MP but on temp basis.

staff need to suggest

- doesn't meet design reqs. but OK

DS - if this was in Phase 1 would have been problematic; OK as between Phase 1 + Phase 2 on temp basis.

2L - agreed w/ this

JT - seeking language conditioning the approval.

OK to go to ~~the~~ Hearing



**CITY OF PORTLAND, MAINE**  
**PLANNING BOARD**

Janice E. Tevastian, Chair  
David Silk, Vice Chair  
Bill Hall  
Joe Lewis  
Lee Lowry, III  
Shalom Odokara  
Michael J. Patterson

March 25, 2008

Mr. Stephen R. Bushey, PE  
DeLuca Hoffman Associates Inc.  
778 Main Street- Suite 8  
South Portland, ME. 04106

Mr. Tim Prince  
Vice President Planning & Ancillary Affairs  
Mercy Hospital  
144 State Street  
Portland, ME 04101

**RE: Mercy Hospital – Amendment to Approved Site Plan:  
Re-Use Of Existing Building for Maintenance and Storage Facility  
Vicinity of Fore River, Portland ME  
Application ID Number: 2008-0003; Chart 073, Block A, Lot 1001**

Dear Mr. Bushey and Mr. Prince,

On March 11, 2008, the Portland Planning Board considered Mercy Hospital's proposal to re-use and refurbish the existing metal-framed building on the south part of the site for use as a maintenance and storage facility and associated uses, along with snow storage on the adjoining land. The Planning Board reviewed the proposals for performance with the standards of the Site Plan Ordinance and requirements of the Contract Zone Agreement of 2002 and voted to approve the application with the following motions and conditions as presented below.

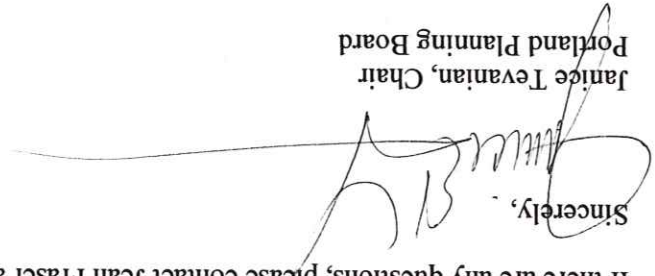
The Planning Board voted 7-0 that on the basis of the plans and materials submitted by the applicant and on the basis of the information contained in Planning Report #14-08 relevant to standards for site plan regulations and the requirements of the Contract Zone Agreement, and other findings as they may be:

1. That the proposed site plan amendment to re-use and refurbish the existing metal-framed building on the site for use as a facility for the storage of maintenance materials and equipment, including use as a staging area for assembling hospital-related materials and as an ancillary office area for maintenance administration, and the revised snow storage area within the adjoining part of the maintenance building site as shown on the approved plans, is in conformance with the site plan standards of the land use code subject to the following conditions of approval:

i. That the applicant shall submit a Site Plan application for its proposals for providing a permanent maintenance facility (ie one that meets Contract Zone Agreement design standards and allows for the removal or alteration of the maintenance facility to be in compliance with the CZA design standards) either in conjunction with the next Site Plan application for development on the Mercy Fore River site which would be reviewed by the Planning Board, or by April 1, 2018, whichever is the sooner; and



Janice Tevanian, Chair  
Portland Planning Board



Sincerely,

If there are any questions, please contact Jean Fraser at 874- 8728.

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

1. The above approvals do not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division. If you need to make any modifications to the approved plans, you must submit a revised site plan application for review and approval. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (\*.dwg), release AutoCAD 2005 or greater.
2. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Works representative and owner to review the construction schedule, access arrangements, and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule and site access plan to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
3. The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Please note the following provisions and requirements for all site plan approvals:

The approval is based on the submitted plans and the findings related to site plan review standards as contained in Planning Report #14-08, which is attached.

2. That the snow storage area located on the adjacent site (the southerly open space along the Fore River) shall be limited to the area shown in the approved Master Plan (dated July 2006) Figure 1 - Phase 1, and must be operated in such a manner as to ensure safe public access to the open space part of the site as depicted on the July 2006 Master Plan, and so as not to interfere with the public's use and enjoyment of the open space.
- iii. That all associated enclosures and accessory structures/piping/tanks/roof plant etc be constructed out of the same materials or similar-colored materials as the approved colors as presented at today's Hearing for the refurbishment of the building.
- ii. That the applicant shall remove or relocate the "no entry signs" now located at the intersection of the rear "ring" access drive and the south access drive to allow two-way access by maintenance vehicles to the proposed maintenance building from the rear drive; and

Attachment: Planning Board Report #14-08

**Electronic Distribution:**

Lee D. Urban, Planning & Development Dept. Director  
Alexander Jaegerman, Planning Division Director  
Barbara Barhydt, Development Review Services Manager  
Jean Fraser, Planner  
Philip DiPietro, Development Review Coordinator  
Marge Schmuckal, Zoning Administrator  
Jeanie Bourke, Inspections Division  
Lisa Danforth, Administrative Assistant  
Michael Bobinsky, Public Works Director  
Katherine Earley, Public Works  
Bill Clark, Public works  
Jim Carmody, City Transportation Engineer  
Captain Greg Cass, Fire Prevention  
Jeff Tarling, City Arborist  
Assessor's Office  
Approval Letter File

**Hard Copy:** Project File

Jean Fraser  
Prepared on: March 7<sup>th</sup>, 2008  
For Hearing on: March 11<sup>th</sup>, 2008

Submitted by:

Portland Planning Board  
Portland, Maine

Submitted to:

MERCY HOSPITAL, APPLICANT  
VICINITY OF FORE RIVER PARKWAY

RE-USE OF EXISTING BUILDING FOR  
MAINTENANCE AND STORAGE FACILITY

MERCY HOSPITAL - AMENDMENT TO APPROVED SITE PLAN



### I. INTRODUCTION

Mercy Hospital has requested approval of an amendment to the approved Mercy Phase 1 Site Plan for the re-use and refurbishment of an existing 5,500 sq ft metal-framed building on the site for use as a maintenance and storage facility.

The existing structure is located near the front of the site at the south end, where the approved Master Plan (Attachment 8) shows parking for a potential new (Phase 2) building nearby. The proposal retains the existing framework with new cladding and a new roof, along with a paved area around the building and landscape screening. The applicants wish to take advantage of the existing structure to provide the maintenance support facility for the entire Mercy site.

The proposal has been referred to the Planning Board as required by paragraph 9 of the Contract Zone Agreement (CZA) which requires any building, whether classified minor or major, to be reviewed by the Planning Board (see para 9 in Attachment 4).

The proposal may represent a deviation from the approved Master Plan, and the Workshop discussions centered on the following questions:

- a) how this building would be integrated into the overall Mercy site in the short term;
- b) how the building would be integrated into the overall Mercy site if and when further development was proposed nearby at this end of the site;
- c) whether this building could become permanent;
- d) whether this proposal constituted an amendment to the Master Plan.

No members of the public have given comments at any point in the review. Notices of this Hearing were sent to 353 area residents and concerned citizens. A notice also appeared in the *Portland Press Herald*.

### II. SUMMARY OF FINDINGS

Zoning:	Contract Zone for hospital and related uses (see Attachment 4)
Parcel Size:	1.66 acres or approximately 72,650 sq ft
Parking Spaces:	Not applicable
Building Floor Area:	5,500 sq ft (excluding mezzanine)
Building Height:	20 feet
Uses:	Storage for maintenance equipment and materials

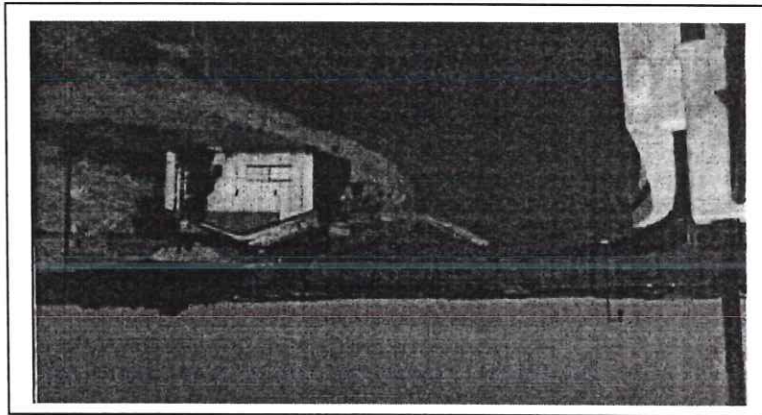
### III. PROPOSED DEVELOPMENT

The Master Plan and the Hearing Report plan set for the approved Site Plan showed a maintenance building of 1536 sq ft located at the rear of the hospital building at the intersection of the rear drive and the service access drive (see Attachment 8a & b). The Site Plan approval included a condition requiring the submission of details in respect of the maintenance building shown on the site plan, but Mercy were unable to clarify this proposal at that time and removed the maintenance building on the final approved plan set.

Mercy advised staff of the proposal to reuse the existing building as a maintenance facility in late 2007. The proposed maintenance building is located on a prominent part of the site adjacent to a potential development site in the Master Plan (see Attachment 8b) and visible from the Fore River Parkway (traveling south) and from within the site.

Maintenance buildings of this type are generally located in a less prominent location and staff feedback during the pre-application discussions related to the need for dense screening and a high standard of cladding materials. This concern is reinforced by the Contract Zone Agreement and Master Plan, which both refer to design standards for the Mercy site (see below).

### Existing Site



Existing building (Photo as submitted late 2007)

The existing single story building is stated to be over 30 years old (Attachment 1) and comprises a 5,500 sq ft metal framed structure on a concrete slab base. Inside the structure is open storage with a small mezzanine area at the southern end of the building. Since the photograph above was taken, substantial tree planting on and around the west part of the site has been completed as part of the Phase 1 development.

The area surrounding the existing building is largely open, compacted earth, which has been used in the past as a construction compound for the Fore River Parkway. It was shown to be "loam and seed" on the approved Phase 1 site plan and is currently used for snow storage during the winter months.

The building is adjacent to a staff parking area, which was the subject of an amended site plan application and administrative approval in late 2007.

### Proposals

The proposals are described in Attachment 1 and 6 and illustrated in Attachments 9 and 10. The refurbishment and improvements include:

- Recladding with vertical metal siding, with a base of horizontal siding and metal re-roofing
- Cladding and roofing of the existing attached shed structure (685 sq ft) on the east side to cover salt and storage
- Interior improvements, including creation of work areas
- New doors/overhead doors on all sides
- External lighting mounted on the building
- Two access drives and paving around the building
- Diesel tank
- New and relocated tree and shrub planting



At the Workshop the applicant clarified that the proposal addresses an interim need for storage of maintenance materials and equipment. They anticipate it would be replaced as part of the Phase 2 development and not remain permanent. The applicant also commented that if this parcel were redeveloped for permanent development as indicated in the Master Plan, that the proposed maintenance facility would need to be reviewed.

#### IV. STAFF REVIEW

The proposed development has been reviewed by staff for conformance with Contract Zone Agreement, approved Master Plan and the relevant review standards of the site plan ordinances. Staff comments are highlighted in this report.

#### *Contract Zone Agreement (CZA)*

The Zoning Administrator has confirmed that the proposal is consistent with all dimensional requirements of the CZA (Clause 1), including the ratio of impervious surfaces which was not confirmed at the time of the Workshop (Attachments 3a and 7a).

The entire text of the CZA has been included for reference in (Attachment 4) to provide the detailed language of the design requirements and to address other issues that arose at the Workshop and discussed below.

#### *Master Plan*

The proposal may represent a deviation from the Master Plan (see CZA Clause 10) in Attachment 4 and Figures 1 and 2 in Attachment 8) in that it locates an interim maintenance facility adjacent to a future development site which would be expected to meet more stringent development requirements as set out in the CZA.

#### V. SITE PLAN REVIEW

##### 1/2. Traffic

The proposals have been reviewed and are considered satisfactory in terms of traffic layout, parking and access (Attachment 3c). Recent traffic signing for the overall Mercy site includes "No Entry" signs facing southbound drivers entering the rear "loop" drive from the south access drive; these would need to be modified to allow maintenance vehicles access to the southernmost access to the proposed maintenance facility as per comments from Jim Carmody (Attachment 7e).

##### 3/4. Bulk, Location, Health, Safety Air, and Height of Proposed Buildings

The CZA, Master Plan and Site Plan Review all place emphasis on the need for the development to be designed in an integrated way and contain detailed language to set out a coherent and coordinated "design framework" so that future development integrates with the Phase 1 Hospital and Medical Office Building (Attachment 4, Clause 10). Mercy has recently developed a set of draft "Private Development Restrictions" to meet a condition of the Site Plan Approval that reinforces this approach for future development.

While proposed reuse and renovation of the existing structure was not contemplated during the original review, the staff suggests that the proposed maintenance facility be treated as an interim accessory structure and therefore not fall within the parameters of new development contemplated



in the CZA and the original review.

The staff considers the proposed reuse as broadly acceptable for following reasons:

- It reuses an existing building;
- It is a relatively small accessory utility structure;
- It is located in the "lee" of the Fore River Parkway gradient and is therefore largely screened from long distance views;
- It is a necessary use which needs to be located somewhere on the site ; and
- It is located adjacent to a key development site (see Attachment 5) and is therefore unlikely to be permanent

Staff consider that as an accessory utility structure this building should be unobtrusive, and because of the prominent location of the existing building the design needs to be recessive in character. The revised elevations address earlier staff suggestions for articulation of the proposed cladding, enclosure of the external ('shed') storage area with matching cladding, and blending of the color of the overhead doors with the cladding.

Staff suggested a darker tone of cladding might be more effective (Attachment 2) and the applicant submitted catalog cuts showing the colors chosen (Attachment 6): Valspar Centria Prismatic #9911 (Pebble) and #9912 (Sage Brown) (walls), and #9932 Hartford Green (roof). The proposed cladding color choice has not been revised during this review, however the overhead doors now match the primary building color instead of white as shown at the workshop. A sample of the actual colors will be displayed at the Hearing.

A suggested condition of approval requires that all associated structures, tanks, enclosures etc be toned to match or blend with the cladding to reduce their visual impact.

Some members of the Planning Board were concerned that any approval of this architectural treatment should be conditional on the building not being permanent and being revised to integrate with any Phase 2 development taking place on this part of the Mercy site.

Staff do not recommend a strict time limit on the building and therefore suggest of the following condition that links any review to the next building site plan:

- That the applicant shall include its proposals for providing a permanent maintenance facility to serve the overall Mercy site in conjunction with any future Site Plan application which would be reviewed by the Planning Board.

If the Planning Board wishes to ensure that this building does not remain permanent, an alternative condition is included which requires that a Site Plan application for a permanent maintenance facility (and removal/alteration of the approved facility) be submitted within 10 years.

### 5.7. Sewers, Stormdrains, Water, Soils and Drainage

The applicant has addressed the comments of the engineering reviewers in Attachments 3b and 4, and the revised plan set is now considered satisfactory (Attachment d). The building contains a single bathroom and in the context of the Mercy site did not warrant a separate letter confirming capacity.

It is noted that salt will be stored on the site and staff requested confirmation of the permits required for this use. The applicant has confirmed that this use must be registered with the MDEP and submitted the registration form sent to the MDEP on February 14, 2008 (Attachment 6).

### ***Snow Storage***

Snow storage is proposed for part of the site adjacent to the maintenance building. This area of snow storage drains via the surrounding drainage system into the swales to the west of the site in the parcel on the other side of the Fore River parkway and then to the Fore River.

This parcel (adjacent to the Fore River) includes two areas: the open space for which the City has a public access easement and a future development site (see Attachment 8a Master Plan extract). Interim snow storage (ie prior to future development) is shown in the approved Master Plan for less than half of the future development area and well outside of the open space area. Current snow storage exceeds the indicative area on the Master Plan and is pushed up adjacent to the slipway road and to the swales that are within the open space area.

The MDEP have approved the whole of this area (as bounded by the Fore River Parkway, Veterans Bridge and Fore River and which includes the area of the open space public access easement to the City) for use as a snow storage area (copy of the permit is enclosed at Attachment 5).

The Planning Board asked for clarification regarding whether snow storage on this parcel would be subject to Site Plan Review. Snow Storage is not controlled by the City's Zoning Ordinances, so the question relates to the CZA. The CZA (Clause 6; Attachment 4) requires the easement granted to the city over the open space to grant "to the public access to such Open Space recreational activities during daylight hours."

Staff consider that the snow storage use near or on the southerly open space should not continue unless it better respects the open space easement, and that Mercy should propose a safe way to store snow both while the public access the site, and so as not to interfere with the public's use and enjoyment of the open space. A suggested condition is included for the Board's consideration.

### 6. Landscaping and Existing Vegetation

Staff had recommended that the landscape proposals included in the Workshop Memo be enhanced to improve screening of the building, given that the building architecture and associated tanks and equipment were functional and not attractive. The landscape proposals have been revised to include additional planting, as shown in Attachment 9i and 10a, and the City Arborist confirms these to be acceptable (Attachment 7b).

Staff requested (Attachment 2) that the plans clarify the proposals in relation to the large snow storage area adjacent to the building. The revised Site Plan in Attachment 9a contains a note under the reference to 'snow storage' which states: "All grassed area to be seasonally maintained to an upkept condition including sand and debris shall be removed and grass seed and fertilizer provided as necessary"; this represents a clarification to the originally approved plans which showed this area as "loam and seed".

### 8. Exterior Lighting

The proposal includes four wall mounted "area" lights mounted at about 8 feet high on the building at 70 watts each with full cut off visors, and fluorescent door lights (full cut off) mounted on the walls over each of the four doors. The applicant has submitted further catalog cuts for the proposed wall lighting (Attachment 6) and both fixtures meet the City standards for cut-off type fixtures though a photometric plan has not been submitted. Staff suggest that full cut off wall lights are unlikely to create any light trespass or glare and consider that the proposals are acceptable.



9. Fire

The Fire Department has requested compliance letters for the diesel storage tank "NFPA 30A" and the LP storage "NFPA 58" installations, and advised that details as to the Hazard of Contents per "NFPA 101 chapter 6.2 " should be submitted prior to the application for the building permit. The e-mail from Greg Cass in Attachment 7c confirms that no conditions are required at this time in respect of these requirements.

10. City Infrastructure

The proposals do not have any implications for City infrastructure except regarding sewers (see above).

VI. **MOTIONS FOR THE BOARD TO CONSIDER**

On the basis of the plans and materials submitted by the applicant and on the basis of information contained in Planning Report #14-08 relevant to standards for site plan regulations and the requirements of the Contract Zone Agreement, and other findings as they may be:

1. That the proposed site plan amendment to re-use and refurbish the existing metal-framed building on the site for use as facility for the storage of maintenance materials and equipment is in conformance with the site plan standards of the land use code.

Potential Conditions of Approval:

- i. [Option A (staff recommendation): That the applicant shall include its proposals for providing a permanent maintenance facility to serve the overall Mercy site in conjunction with any future Site Plan application which would be reviewed by the Planning Board;]
- OR**
- [Option B: That the applicant shall submit a Site Plan application for its proposals for providing a permanent maintenance facility (ie that meets CZA design requirements and allows the removal or alteration of the maintenance facility herein approved) either in conjunction with the next Site Plan application for development on the Mercy Fore River site which would be reviewed by the Planning Board, or by March 31, 2018, whichever is the sooner;]

- ii. That the applicant shall remove or relocate the "no entry signs" now located at the intersection of the rear "ring" access drive and the south access drive to allow two-way access by maintenance vehicles to the proposed maintenance building from the rear drive; and

- iii. That all associated enclosures and accessory structures/piping/tanks/roof plant etc be constructed out of the same materials or similar-colored materials as the approved for the refurbishment of the building; and

2. That the snow storage area located on the adjacent site (the southerly open space along the Fore River) shall be limited to the area shown in the approved Master Plan (July 2006) Figure 1 - Phase 1, and must be operated in such a manner as to ensure safe public access to the open space part of the site, and so as not to interfere with the public's use and enjoyment of the open space.



**Attachments which were previously included in Workshop:**

1. Application Letter from DeLuca-Hoffman and attachments dated January 3, 2008
2. Staff letter dated February 1, 2008
3. Staff Comments

- a. Zoning comments dated January 8, 2008
- b. DRC Woodard & Curran (Dan Goyette) memo dated January 16, 2008
- c. Traffic Engineering Review (Tom Errico) e-mail dated February 6, 2008
- d. City Arborist, Jeff Tarling e-mail dated February 7, 2008

**Attachments since Workshop:**

4. Contract Zone Agreement (CZA) text only, January 2002 (amended June 2002)
5. MDEP Snow Storage Approval for nearby parcel on Fore River dated Dec. 18, 2007
6. Letter from DeLuca-Hoffman (February 7, 2008 version was included in Workshop Memo; this version is as revised March 3, 2008), including lighting and cladding catalog cuts; accompanying revised plans are in Plan Set below)
7. Staff comments:
  - a. Updated Zoning comments from UI dated February 19, 2008
  - b. City Arborist (Jeff Tarling) e-mail dated March 5, 2008
  - c. City Fire Department (Greg Cass) e-mail dated March 5, 2008
  - d. DRC Woodard & Curran (Dan Goyette) memo dated March 6, 2008
  - e. Transportation Engineer re traffic signing e-mail dated March 6, 2008
8. Extracts from approved Master Plan
  - a. Figure 1: Phase 1
  - b. Figure 2: Future Phases (was also included in the Workshop Memo)
9. Plan Set
  - a. C-7 Site Layout Plan - Revision dated 3.3.08
  - b. C-9 Grading and Drainage Plan - Revision dated 3.3.08
  - c. C-11 Utility Plan - Revision dated 3.3.08
  - d. C-15B Utility Details (as for Mercy Hospital phase 1)
  - e. C-17 Curbing and Sidewalk Details (as for Mercy Hospital phase 1)
  - f. C-18A Parking and Traffic Control Details (as for Mercy Hospital phase 1)
  - g. C-18B Site Details (as for Mercy Hospital phase 1)
  - h. C-18C Pavement and Site Details (as for Mercy Hospital phase 1)
  - i. LP101 Landscape Plan - Revision issued 2.12.08
  - j. LP501 Landscape Details - dated 12.14.2007
  - k. AE101 Floor Plans - Revision dated 12.12.08
  - l. AE201 Exterior Elevations - Revision dated 2.12.08
10. Color Renditions
  - a. Color rendition of LP101 Landscape Plan
  - b. Color rendition of AE201 exterior elevations
  - c. ~~Colors of the wall and roof cladding~~ (actual sample will be available at the Hearing)





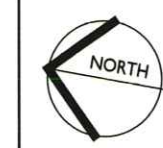
as shown B 2.12.08  
by applicant

**NOTES:**  
 1. SEE LP501 FOR NOTES, DETAILS, AND PLANT SCHEDULE.  
 2. ONLY THOSE PLANTS NOTED FOR RELOCATION OR NEW INSTALLATION ARE TO BE INCLUDED IN THE WORK. ALL OTHER PLANTS WITHIN THE LIMIT OF WORK AREA ARE EXISTING AND ARE TO REMAIN AND BE PROTECTED.

144 Fore Street P.O. Box 618  
 Portland, Maine 04114  
 Tel: (207) 773-3844  
 Fax: (207) 773-1078  
 www.smrtinc.com

ARCHITECTURE  
 ENGINEERING  
 PLANNING  
 INTERIOR DESIGN  
 COMMISSIONING

along  
 w/revised  
 floorplan +  
 wps +  
 samples.



MERCY HEALTH SYSTEM - FORE RIVER CAMPUS  
 STORAGE BUILDING RENOVATION  
 PORTLAND, MAINE  
 ISSUED FOR CITY WORKSHOP  
 2-12-08

REV	DESCRIPTION	DATE
0	ISSUED FOR PERMITTING	12-14-07

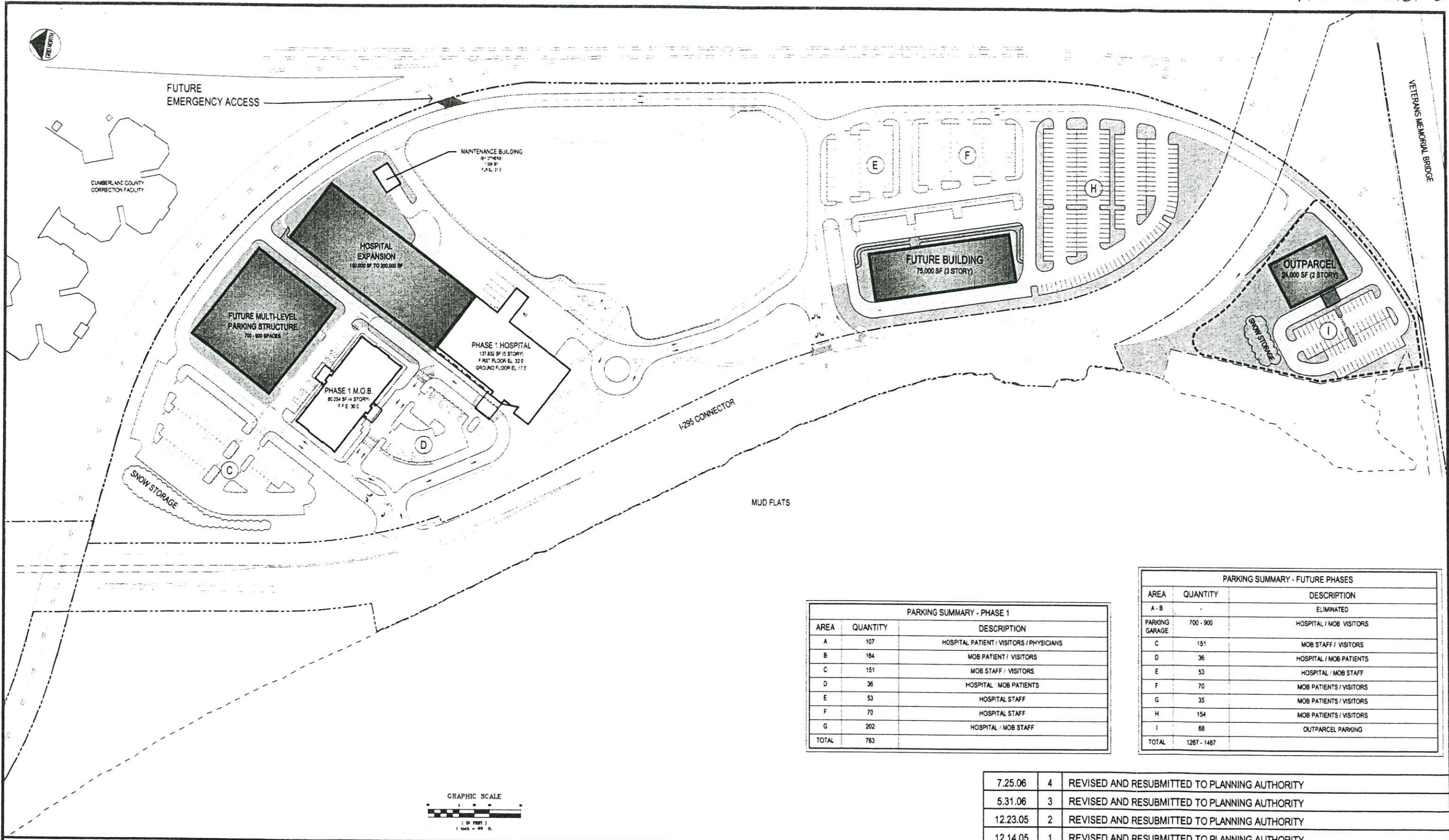
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 A/E OF RECORD: MGS  
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 PROJECT NO: 07139  
 DATE:

SHEET TITLE:  
 LANDSCAPE  
 PLAN  
 SHEET No.  
**LP101**

PROGRESS PRINT

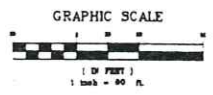






PARKING SUMMARY - PHASE 1		
AREA	QUANTITY	DESCRIPTION
A	107	HOSPITAL PATIENT / VISITORS / PHYSICIANS
B	164	MOB PATIENT / VISITORS
C	151	MOB STAFF / VISITORS
D	36	HOSPITAL / MOB PATIENTS
E	53	HOSPITAL STAFF
F	70	HOSPITAL STAFF
G	202	HOSPITAL / MOB STAFF
TOTAL	763	

PARKING SUMMARY - FUTURE PHASES		
AREA	QUANTITY	DESCRIPTION
A - B	-	ELIMINATED
PARKING GARAGE	700 - 900	HOSPITAL / MOB VISITORS
C	151	MOB STAFF / VISITORS
D	36	HOSPITAL / MOB PATIENTS
E	53	HOSPITAL / MOB STAFF
F	70	MOB PATIENTS / VISITORS
G	35	MOB PATIENTS / VISITORS
H	154	MOB PATIENTS / VISITORS
I	68	OUTPARCEL PARKING
TOTAL	1267 - 1467	



7.25.06	4	REVISED AND RESUBMITTED TO PLANNING AUTHORITY
5.31.06	3	REVISED AND RESUBMITTED TO PLANNING AUTHORITY
12.23.05	2	REVISED AND RESUBMITTED TO PLANNING AUTHORITY
12.14.05	1	REVISED AND RESUBMITTED TO PLANNING AUTHORITY

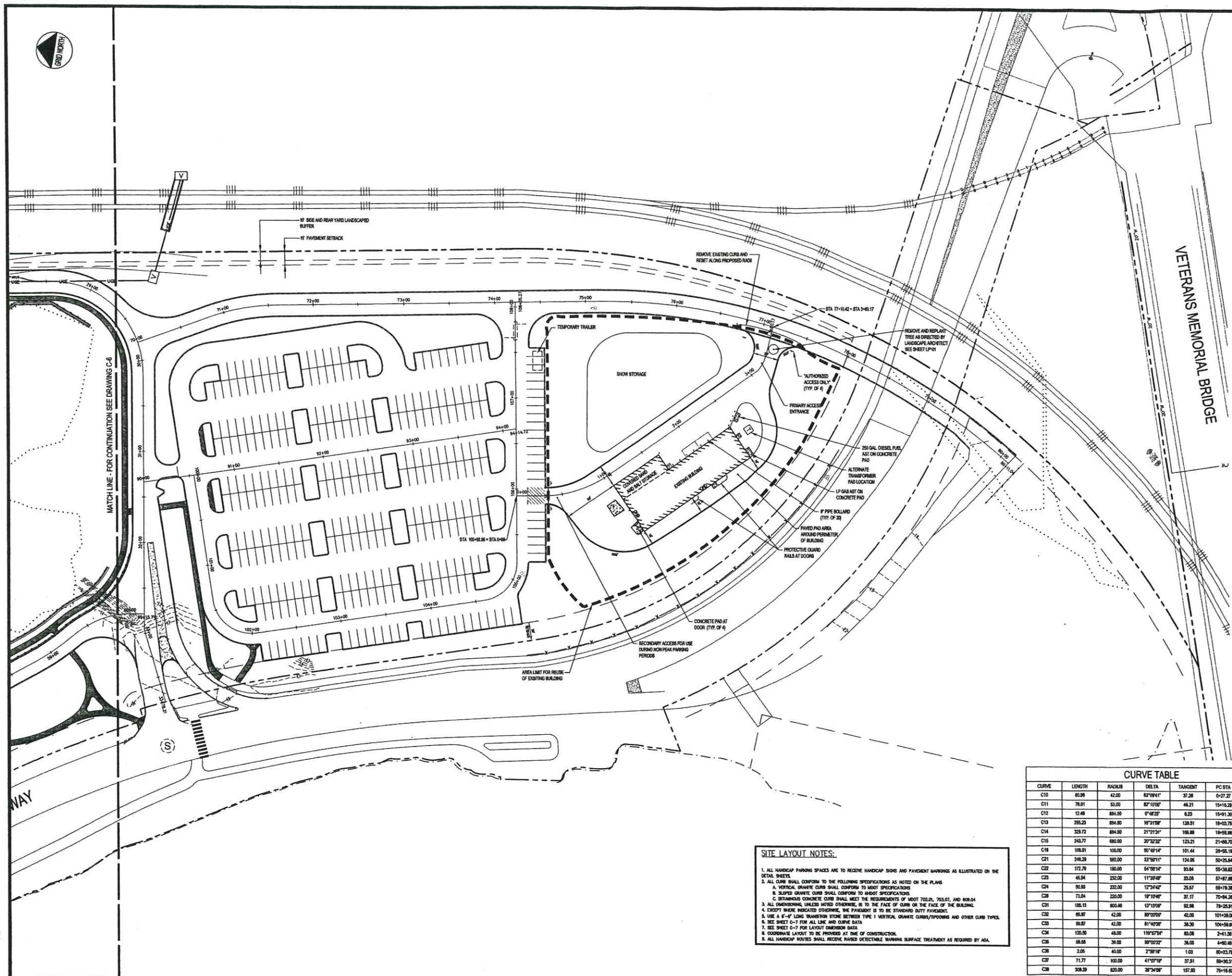
**DH**  
 DeLuca-Hoffman Associates, Inc.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM

DRAWN:	DED	DATE:	12.07.05
DESIGNED:	-	SCALE:	AS NOTED
CHECKED:	SRB	JOB NO.:	2149.01
FILE NAME:	2149.01-MP3		

**MERCY HOSPITAL  
 FORE RIVER PROJECT**

**MASTER PLAN - FUTURE PHASES**





**LINE TABLE**

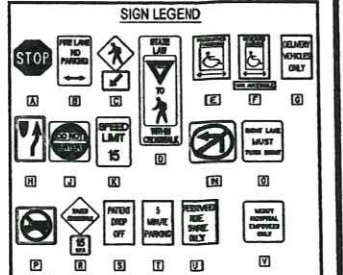
LINE	LENGTH	BEARING
L14	27.27	S64°34'30"W
L15	515.28	S27°46'25"W
L17	422.72	N10°46'14"W
L18	282.09	S80°00'00"W
L19	22.43	S64°16'25"W
L21	231.00	S62°17'30"E
L22	156.40	S27°46'25"W
L23	146.43	N32°10'11"W
L24	214.83	S64°17'30"E
L25	408.83	N62°13'30"W
L27	286.50	N27°48'25"E
L28	79.37	N27°11'40"W
L29	43.75	N38°22'37"W
L30	13.68	S10°00'00"E
L31	41.26	N30°00'00"W
L32	328.71	N10°46'14"W
L33	414.72	N10°19'21"W
L34	139.08	S71°40'29"W
L35	24.89	S18°19'21"E
L36	386.74	N79°09'46"E
L37	23.79	N64°23'55"E

**LINE TABLE**

LINE	LENGTH	BEARING
L1	111.07	N30°41'30"W
L2	214.50	S30°00'00"E
L3	78.37	S34°21'30"W
L4	631.88	S30°00'00"E
L5	6.73	S40°29'40"E
L6	114.63	S30°15'27"E
L7	648.88	N68°16'48"E
L8	26.80	S33°21'43"E
L9	684.73	N58°15'11"E
L10	78.18	N50°24'24"E
L11	133.20	S70°00'00"W
L12	15.00	S30°00'00"E
L13	132.50	S70°00'00"W

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C1	88.13	300.00	19°14'17"	41.38	21+11.07	21+99.20
C2	91.97	300.00	19°14'17"	44.88	20+78.37	21+70.34
C3	11.34	25.00	20°04'41"	5.77	27+42.34	27+53.68
C4	113.78	668.00	7°29'18"	67.02	21+03.88	42+17.66
C5	79.28	600.00	10°45'28"	43.28	20+17.25	20+98.53
C6	38.57	100.00	30°00'00"	19.49	20+58.38	20+96.95
C7	41.20	62.50	30°00'00"	21.13	20+58.73	27+18.97
C8	50.27	35.00	60°00'00"	31.03	21+38.26	21+88.73
C9	50.27	35.00	60°00'00"	31.03	21+88.77	21+38.00



NOTES:  
 ALL SIGNS SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.  
 ALL PARKING STALLS TO BE STRIPED USING THE MARKING COLORS SPECIFICATIONS IN THE MANUAL.  
 REFER TO SIGN PRELIM PLAN SHEET C-22 FOR ADDITIONAL SIGNS.  
 SEE DETAILS FOR SIGN POST INSTALLATION INFORMATION.



ALL PAVEMENT SHALL BE STANDARD DUTY EXCEPT AS FOLLOWS:  

 HEAVY DUTY BITUMINOUS ASPHALT  
 CONCRETE

ALL DIMENSIONS SHALL BE AS FOLLOWS:  

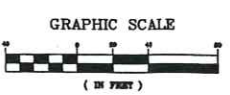
 BITUMINOUS SHOULDER  
 CONCRETE PAVERS-PATTERN  
 CONCRETE SHOULDER  
 STREET PAVE-PATTERN

SEE LANDSCAPE DRAWINGS AND SURFACE TREATMENT PLAN FOR EXACT DIMENSIONS AND LOCATIONS OF SURFACE TYPES.

**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C10	60.98	42.00	83°09'41"	37.38	0+27.27	0+88.25
C11	78.01	53.00	82°10'00"	46.21	15+18.28	15+96.29
C12	12.48	894.50	0°48'25"	8.23	19+91.30	19+103.78
C13	255.23	894.50	16°31'08"	128.51	19+03.75	19+58.98
C14	339.72	894.50	21°21'31"	195.88	19+58.98	21+48.70
C15	243.77	680.00	20°22'22"	123.21	21+48.70	24+32.47
C16	188.51	100.00	90°48'14"	101.44	24+58.19	30+13.70
C17	248.28	502.00	22°30'11"	124.05	20+26.84	52+72.13
C18	172.79	180.00	54°38'14"	93.64	20+26.82	57+11.32
C19	46.94	220.00	11°29'49"	23.05	57+47.88	58+33.83
C20	50.89	220.00	12°34'42"	25.57	58+79.38	59+40
C21	73.64	220.00	17°19'48"	37.17	70+84.28	71+57.81
C22	185.13	600.00	13°19'00"	92.08	70+25.91	80+11.04
C23	65.97	42.00	80°00'00"	42.00	101+08.00	102+04.87
C24	100.50	42.00	81°40'39"	38.30	104+08.00	105+18.53
C25	58.58	38.00	80°02'22"	36.00	4+80.40	5+17.05
C26	2.05	40.00	2°39'19"	1.00	80+23.79	80+25.84
C27	71.77	100.00	41°10'19"	37.51	80+30.31	80+102.08
C28	308.29	600.00	28°24'09"	157.80	75+16.42	79+25.91

- SITE LAYOUT NOTES:**
- ALL HANDICAP PARKING SPACES ARE TO RECEIVE HANDICAP SIGNS AND PAVEMENT MARKINGS AS ILLUSTRATED ON THE DETAIL SHEETS.
  - ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:  
 A. VERTICAL GRANITE CURB SHALL CONFORM TO MOST SPECIFICATIONS  
 B. SLOPED GRANITE CURB SHALL CONFORM TO MOST SPECIFICATIONS  
 C. STRAIGHT CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MOST 702.01, 703.07, AND 809.04
  - ALL UNDERDRAINS, UNLESS NOTED OTHERWISE, IS TO THE FACE OF CURB OR THE FACE OF THE BUILDING.
  - EXCEPT WHERE INDICATED OTHERWISE, THE PAVEMENT IS TO BE STANDARD DUTY PAVEMENT.
  - USE A 4'-0" LONG TRANSITION STONE BETWEEN TYPE 1 VERTICAL GRANITE CURBS/POPPINGS AND OTHER CURB TYPES.
  - SEE SHEET C-7 FOR ALL LINE AND CURVE DATA.
  - SEE SHEET C-7 FOR LAYOUT DIMENSION DATA.
  - COORDINATE LAYOUT TO BE PROVIDED AT TIME OF CONSTRUCTION.
  - ALL HANDICAP MOVIES SHALL RECEIVE RAISED DETECTABLE WARNING SURFACE TREATMENT AS REQUIRED BY ADA.



10	8.22.07	RESUBMITTED TO CITY OF PORTLAND
9	1.10.07	FINAL APPROVAL PLANS RESUBMITTED TO CITY OF PORTLAND / CONSTRUCTION MARKING
8	11.10.06	FINAL - ISSUED FOR CONSTRUCTION
7	8.15.06	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND
6	7.28.06	RELEASED TO CONSTRUCTION MANAGER
5	7.25.06	RESUBMITTED TO CITY OF PORTLAND
4	8.31.06	RESUBMITTED TO CITY OF PORTLAND
3	8.06.06	RESUBMITTED TO CITY OF PORTLAND
2	3.16.06	PRELIMINARY SITE PLAN APPLICATION TO CITY OF PORTLAND
1	1.11.04	PRELIMINARY SITE PLAN APPLICATION TO CITY OF PORTLAND

PROJECT: **MERCY AT THE FORE**

SHEET TITLE: **SITE LAYOUT PLAN - SOUTH**

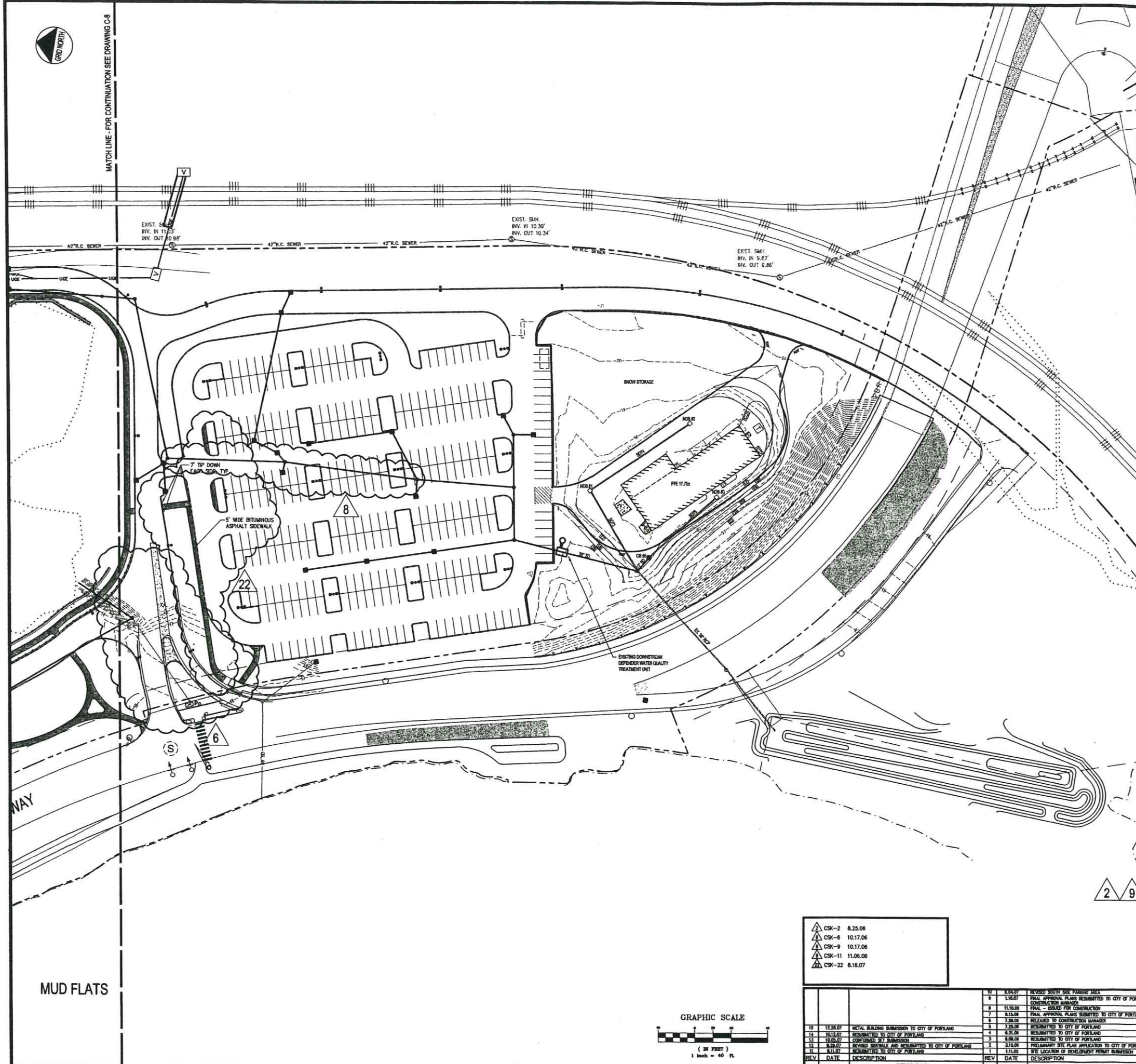
CLIENT: **DII**

DESIGNED: **DE D** DATE: 11.01.01  
 CHECKED: **SR E** JOB NO. 2149.01

PROJECT LOCATION: **7750 MAIN STREET, SUITE B, SOUTH PORTLAND, ME 04108**  
 384-8602/384-8603  
 WWW.LUCA-HOFFMAN.COM

8:33 AM 1/22/2008 6:25:45 PM mdsjps





### STORM DRAIN PIPE SCHEDULE

Pipe	From	To	Size	Length	Slope
SD 1	DMH 1	EX. CB	30"	47'	0.020
SD 2A	CB 1	DN. DEF.	24"	8'	0.015
SD 2B	DN. DEF.	DMH 12	24"	17'	0.000
SD 3A	WOU 2	DMH 12	30"	176'	0.000
SD 3B	DMH 12	DMH 1	30"	50'	0.000
SD 4	DMH 2	WOU 2	30"	18'	0.000
SD 5	CB 6	DMH 2	24"	54'	0.000
SD 6	CB 7	CB 6	24"	136'	0.000
SD 7	CB 8	CB 7	18"	50'	0.000
SD 8	CB 9	CB 8	18"	107'	0.000
SD 9	CB 10	CB 9	18"	44'	0.000
SD 10	DELETED				
SD 11	CB 5	CB 1	12"	29'	0.000
SD 12	CB 2	CB 1	18"	70'	0.000
SD 13	CB 3	CB 2	18"	140'	0.000
SD 14	CB 4	CB 3	18"	85'	0.007
SD 15	WOU 3	EX. CB	24"	80'	0.100
SD 16	CB 13	WOU 3	24"	16'	0.000
SD 17	CB 14	CB 13	18"	50'	0.000
SD 18	CB 15	CB 14	18"	74'	0.000
SD 19	CB 16	CB 15	18"	142'	0.010
SD 20	CB 11	DMH 2	12"	20'	0.020
SD 21	CB 12	DMH 2	12"	22'	0.000
SD 22	CB 17	OUTFALL	12"	18'	0.000
SD 23	CB 18	CB 17	12"	80'	0.000
SD 24	CB 19	CB 18	12"	30'	0.000
SD 25	CB 18	CB 17	12"	20'	0.000
SD 26	CB 25	OUTFALL	12"	127'	0.000
SD 27	CB 27	CB 25	12"	20'	0.000
SD 28	CB 28	CB 27	18"	130'	0.000
SD 29	CB 29	CB 28	18"	140'	0.000
SD 30	CB 24	CB 23	18"	154'	0.000
SD 31	CB 25	CB 24	12"	64'	0.000
SD 32	WOU 4	DMH 3	30"	72'	0.000
SD 33	DMH 4	WOU 4	30"	40'	0.000
SD 34	DMH 5	DMH 4	30"	54'	0.000
SD 35	DMH 6	DMH 5	30"	107'	0.000
SD 36	DMH 7	DMH 6	24"	127'	0.000
SD 37	DMH 8	DMH 7	24"	137'	0.000
SD 38	DMH 9	DMH 8	18"	174'	0.000
SD 39	CB 45	DMH 9	18"	130'	0.000
SD 40	CB 46	CB 45	12"	20'	0.000
SD 41	CB 30	DMH 4	24"	82'	0.000
SD 42	CB 31	CB 30	18"	70'	0.000
SD 43	CB 32	CB 31	18"	64'	0.000
SD 44	DMH 11	DMH 5	12"	44'	0.000
SD 45	CB 29	DMH 11	12"	20'	0.000
SD 46	CB 28	DMH 11	12"	10'	0.000
SD 47	CB 33	DMH 6	18"	54'	0.000
SD 48	CB 34	CB 33	12"	30'	0.000
SD 49	CB 35	CB 34	12"	40'	0.000
SD 50	CB 36	DMH 6	12"	16'	0.000
SD 51	CB 37	DMH 7	18"	8'	0.000
SD 52	CB 38	CB 37	18"	24'	0.000
SD 53	CB 39	CB 38	12"	140'	0.000
SD 54	CB 40	CB 39	12"	20'	0.000
SD 55	CB 41	DMH 7	12"	8'	0.000
SD 56	CB 42	DMH 8	12"	8'	0.000
SD 57	CB 43	CB 42	12"	30'	0.000
SD 58	CB 44	CB 43	12"	30'	0.000
SD 59	CB 47	DMH 10	12"	170'	0.000
SD 60	CB 48	CB 47	12"	20'	0.000
SD 61	INLET	DMH 10	12"	67'	0.000
SD 62	CB 50	CB 49	12"	120'	0.000
SD 63	CB 51	CB 50	12"	114'	0.000
SD 64	CB 49	CB 48	12"	20'	0.000
SD 65	CB 52	CB 51	12"	220'	0.000
SD 66	CB 53	CB 52	12"	18'	0.000
SD 67	CB 54	CB 53	12"	110'	0.000
SD 68	CB 55	DMH 11	12"	18'	0.000
SD 69	INLET	CB 51	12"	100'	0.000
SD 70	TEE SD 62			7'	0.000
SD 71	CB 22			12'	0.100
SD 72	CB 24	OUTFALL	12"	22'	0.040
SD 73	NYLOPLAST DRAIN BASH #1	DMH 9	12"	90'	0.005
SD 74	NYLOPLAST DRAIN BASH #2	NYLOPLAST DRAIN BASH #1	12"	130'	0.005
SD 75	NYLOPLAST DRAIN BASH #3	CB 55	12"	90'	0.005

### STORM DRAIN STRUCTURE SCHEDULE

ID	SIZE	MAN. NUMBER	MAN. DESCRIPTION
CB 1	4" DIA.	25.2	18.00"PCB 2 17.20"PCB 1
CB 2	4" DIA.	28.1	18.00"PCB 3 18.00"PCB 1
CB 3	4" DIA.	30.8	22.00"PCB 4 22.00"PCB 3
CB 4	4" DIA.	35.5	18.00"PCB 2 18.00"PCB 1
CB 5	4" DIA.	38.3	18.00"PCB 2 18.00"PCB 1
CB 6	4" DIA.	39.1	17.20"PCB 7 17.20"PCB 6
CB 7	4" DIA.	39.8	18.00"PCB 3 18.00"PCB 2
CB 8	4" DIA.	38.2	18.00"PCB 3 18.00"PCB 2
CB 9	4" DIA.	38.5	22.00"PCB 4 22.00"PCB 3
CB 10	4" DIA.	39.1	18.00"PCB 3 18.00"PCB 2
CB 11	4" DIA.	39.3	18.00"PCB 2 18.00"PCB 1
CB 12	4" DIA.	39.3	18.00"PCB 2 18.00"PCB 1
CB 13	4" DIA.	37.2	18.00"PCB 14 18.00"PCB 13
CB 14	4" DIA.	39.4	18.00"PCB 15 18.00"PCB 14
CB 15	4" DIA.	39.4	22.00"PCB 16 22.00"PCB 15
CB 16	4" DIA.	39.3	18.00"PCB 18 18.00"PCB 17
CB 17	4" DIA.	31.6	18.00"PCB 19 18.00"PCB 18
CB 18	4" DIA.	21.6	18.00"PCB 17 18.00"PCB 16
CB 19	4" DIA.	23.1	17.20"PCB 25 17.20"PCB 24
CB 20	4" DIA.	23.1	18.00"PCB 10 18.00"PCB 9
CB 21	4" DIA.	12.2	8.00"PCB 21 8.00"PCB 20
CB 22	4" DIA.	16.4	7.00"PCB 22 7.00"PCB 21
CB 23	4" DIA.	13.9	8.00"PCB 24 8.00"PCB 23
CB 24	4" DIA.	13.9	8.00"PCB 25 8.00"PCB 24
CB 25	4" DIA.	14.3	8.00"PCB 26 8.00"PCB 25
CB 26	4" DIA.	18.2	18.00"PCB 27 18.00"PCB 26
CB 27	4" DIA.	18.1	18.00"PCB 28 18.00"PCB 27
CB 28	4" DIA.	18.3	18.00"PCB 29 18.00"PCB 28
CB 29	4" DIA.	18.4	18.00"PCB 30 18.00"PCB 29
CB 30	4" DIA.	18.5	18.00"PCB 31 18.00"PCB 30
CB 31	4" DIA.	17.8	11.00"PCB 32 11.00"PCB 31
CB 32	4" DIA.	17.2	11.00"PCB 33 11.00"PCB 32
CB 33	4" DIA.	17.5	12.00"PCB 34 12.00"PCB 33
CB 34	4" DIA.	18.5	12.00"PCB 35 12.00"PCB 34
CB 35	4" DIA.	17.9	12.00"PCB 36 12.00"PCB 35
CB 36	4" DIA.	18.5	12.00"PCB 37 12.00"PCB 36
CB 37	4" DIA.	18.5	12.00"PCB 38 12.00"PCB 37
CB 38	4" DIA.	18.4	12.00"PCB 39 12.00"PCB 38
CB 39	4" DIA.	18.4	12.00"PCB 40 12.00"PCB 39
CB 40	4" DIA.	18.5	12.00"PCB 41 12.00"PCB 40
CB 41	4" DIA.	18.5	12.00"PCB 42 12.00"PCB 41
CB 42	4" DIA.	17.4	12.00"PCB 43 12.00"PCB 42
CB 43	4" DIA.	17.4	12.00"PCB 44 12.00"PCB 43
CB 44	4" DIA.	17.4	12.00"PCB 45 12.00"PCB 44
CB 45	4" DIA.	18.5	12.00"PCB 46 12.00"PCB 45
CB 46	4" DIA.	18.5	12.00"PCB 47 12.00"PCB 46
CB 47	4" DIA.	18.5	12.00"PCB 48 12.00"PCB 47
CB 48	4" DIA.	18.5	12.00"PCB 49 12.00"PCB 48
CB 49	4" DIA.	13.2	8.00"PCB 23 8.00"PCB 22
CB 50	4" DIA.	11.8	7.00"PCB 22 7.00"PCB 21
CB 51	4" DIA.	11.8	7.00"PCB 23 7.00"PCB 22
CB 52	4" DIA.	28.4	22.00"PCB 16 22.00"PCB 15
CB 53	4" DIA.	28.4	22.00"PCB 17 22.00"PCB 16
CB 54	4" DIA.	28.4	22.00"PCB 18 22.00"PCB 17
CB 55	4" DIA.	28.4	22.00"PCB 19 22.00"PCB 18
DMH 1	4" DIA.	21.000	11.00"PCB 12 11.00"PCB 11
DMH 2	4" DIA.	28.000	11.00"PCB 13 11.00"PCB 12
DMH 3	4" DIA.	18.3	11.00"PCB 14 11.00"PCB 13
DMH 4	4" DIA.	18.9	11.00"PCB 15 11.00"PCB 14
DMH 5	4" DIA.	18.1	11.00"PCB 16 11.00"PCB 15
DMH 6	4" DIA.	18.3	11.00"PCB 17 11.00"PCB 16
DMH 7	4" DIA.	18.8	12.00"PCB 18 12.00"PCB 17
DMH 8	4" DIA.	18.8	12.00"PCB 19 12.00"PCB 18
DMH 9	4" DIA.	18.9	12.00"PCB 20 12.00"PCB 19
DMH 10	4" DIA.	18.2	12.00"PCB 21 12.00"PCB 20
DMH 11	4" DIA.	18.3	12.00"PCB 22 12.00"PCB 21
DMH 12	4" DIA.	18.4	12.00"PCB 23 12.00"PCB 22
DMH 13	4" DIA.	18.5	12.00"PCB 24 12.00"PCB 23
DMH 14	4" DIA.	18.5	12.00"PCB 25 12.00"PCB 24
DMH 15	4" DIA.	18.5	12.00"PCB 26 12.00"PCB 25
DMH 16	4" DIA.	18.5	12.00"PCB 27 12.00"PCB 26
DMH 17	4" DIA.	18.8	12.00"PCB 28 12.00"PCB 27
DMH 18	4" DIA.	18.9	12.00"PCB 29 12.00"PCB 28
DMH 19	4" DIA.	18.2	12.00"PCB 30 12.00"PCB 29
DMH 20	4" DIA.	18.2	12.00"PCB 31 12.00"PCB 30
DMH 21	4" DIA.	18.2	12.00"PCB 32 12.00"PCB 31
DMH 22	4" DIA.	18.2	12.00"PCB 33 12.00"PCB 32
DMH 23	4" DIA.	18.2	12.00"PCB 34 12.00"PCB 33
DMH 24	4" DIA.	18.2	12.00"PCB 35 12.00"PCB 34
DMH 25	4" DIA.	18.2	12.00"PCB 36 12.00"PCB 35
DMH 26	4" DIA.	18.2	12.00"PCB 37 12.00"PCB 36
DMH 27	4" DIA.	18.2	12.00"PCB 38 12.00"PCB 37
DMH 28	4" DIA.	18.2	12.00"PCB 39 12.00"PCB 38
DMH 29	4" DIA.	18.2	12.00"PCB 40 12.00"PCB 39
DMH 30	4" DIA.	18.2	12.00"PCB 41 12.00"PCB 40
DMH 31	4" DIA.	18.2	12.00"PCB 42 12.00"PCB 41
DMH 32	4" DIA.	18.2	12.00"PCB 43 12.00"PCB 42
DMH 33	4" DIA.	18.2	12.00"PCB 44 12.00"PCB 43
DMH 34	4" DIA.	18.2	12.00"PCB 45 12.00"PCB 44
DMH 35	4" DIA.	18.2	12.00"PCB 46 12.00"PCB 45
DMH 36	4" DIA.	18.2	12.00"PCB 47 12.00"PCB 46
DMH 37	4" DIA.	18.2	12.00"PCB 48 12.00"PCB 47
DMH 38	4" DIA.	18.2	12.00"PCB 49 12.00"PCB 48
DMH 39	4" DIA.	18.2	12.00"PCB 50 12.00"PCB 49
DMH 40	4" DIA.	18.2	12.00"PCB 51 12.00"PCB 50
DMH 41	4" DIA.	18.2	12.00"PCB 52 12.00"PCB 51
DMH 42	4" DIA.	18.2	12.00"PCB 53 12.00"PCB 52
DMH 43	4" DIA.	18.2	12.00"PCB 54 12.00"PCB 53
DMH 44	4" DIA.	18.2	12.00"PCB 55 12.00"PCB 54
DMH 45	4" DIA.	18.2	12.00"PCB 56 12.00"PCB 55
DMH 46	4" DIA.	18.2	12.00"PCB 57 12.00"PCB 56
DMH 47	4" DIA.	18.2	12.00"PCB 58 12.00"PCB 57
DMH 48	4" DIA.	18.2	12.00"PCB 59 12.00"PCB 58
DMH 49	4" DIA.	18.2	12.00"PCB 60 12.00"PCB 59
DMH 50	4" DIA.	18.2	12.00"PCB 61 12.00"PCB 60
DMH 51	4" DIA.	18.2	12.00"PCB 62 12.00"PCB 61
DMH 52	4" DIA.	18.2	12.00"PCB 63 12.00"PCB 62
DMH 53	4" DIA.	18.2	12.00"PCB 64 12.00"PCB 63
DMH 54	4" DIA.	18.2	12.00"PCB 65 12.00"PCB 64
DMH 55	4" DIA.	18.2	12.00"PCB 66 12.00"PCB 65
DMH 56	4" DIA.	18.2	12.00"PCB 67 12.00"PCB 66
DMH 57	4" DIA.	18.2	12.00"PCB 68 12.00"PCB 67
DMH 58	4" DIA.	18.2	12.00"PCB 69 12.00"PCB 68
DMH 59	4" DIA.	18.2	12.00"PCB 70 12.00"PCB 69
DMH 60	4" DIA.	18.2	12.00"PCB 71 12.00"PCB 70
DMH 61	4" DIA.	18.2	12.00"PCB 72 12.00"PCB 71
DMH 62	4" DIA.	18.2	12.00"PCB 73 12.00"PCB 72
DMH 63	4" DIA.	18.2	12.00"PCB 74 12.00"PCB 73
DMH 64	4" DIA.	18.2	12.00"PCB 75 12.00"PCB 74
DMH 65	4" DIA.	18.2	12.00"PCB 76 12.00"PCB 75
DMH 66	4" DIA.	18.2	12.00"PCB 77 12.00"PCB 76
DMH 67	4" DIA.	18.2	12.00"PCB 78 12.00"PCB 77
DMH 68	4" DIA.	18.2	12.00"PCB 79 12.00"PCB 78
DMH 69	4" DIA.	18.2	12.00"PCB 80 12.00"PCB 79
DMH 70	4" DIA.	18.2	12.00"PCB 81 12.00"PCB 80
DMH 71	4" DIA.	18.2	12.00"PCB 82 12.00"PCB 81
DMH 72	4" DIA.	18.2	12.00"PCB 83 12.00"PCB 82
DMH 73	4" DIA.	18.2	12.00"PCB 84 12.00"PCB 83
DMH 74	4" DIA.	18.2	12.00"PCB 85 12.00"PCB 84
DMH 75	4" DIA.	18.2	12.00"PCB 86 12.00"PCB 85
DMH 76	4" DIA.	18.2	











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POSTAL AND WARE

ISSUED FOR PERMITTING  
12-14-07

DATE	DESCRIPTION	REV

GRAPHIC SCALE:  
0" 1"  
SCALE: AS SHOWN  
PROJECT MANAGER: JRL  
DRAWN BY: MZ/MSM  
DATE OF RECORD: MZ  
CAD FILE: LP501-07139  
PROJECT NO.: 07139  
DATE:  
SHEET TITLE:  
LANDSCAPE DETAILS

SHEET No. **LP501**

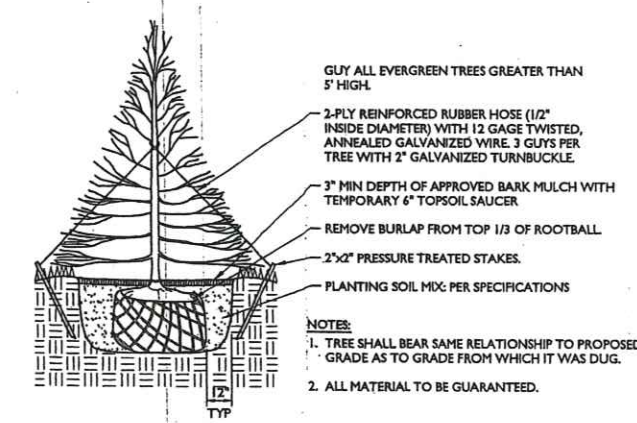
**PLANTING NOTES:**

1. THE LANDSCAPE CONTRACTOR SHALL SUPPLY AND INSTALL ALL PLANTS IN SUFFICIENT QUANTITIES TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS. DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE DRAWINGS AND THE PLANT LIST SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND SHALL NOT ENTITLE THE CONTRACTOR TO ADDITIONAL REMUNERATION.
2. THE LANDSCAPE CONTRACTOR IS ADVISED THAT BELOW GROUND UTILITIES EXIST ON SITE, THE LOCATIONS OF WHICH SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF OPERATIONS. SHOULD THE LOCATION OF ANY PROPOSED PLANTING CONFLICT WITH ANY UTILITY, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR DECISION.
3. ANY AND ALL PAVING, CURBING, UTILITIES, LAWNS, ETC., DAMAGED AS A RESULT OF THE LANDSCAPE CONTRACTOR'S OPERATIONS SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
4. ALL PLANTING BEDS INCLUDING TREE AND SHRUB PITS AS INDICATED SHALL RECEIVE 3" APPROVED CLEAN, UNIFORMLY GROUND OR SHREDDED PINE OR HEMLOCK BARK MULCH.
5. LOCATIONS OF PROPOSED PLANTINGS AND BED LINES SHALL BE REVIEWED BY THE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE CONTRACTOR SHALL RELOCATE ANY PLANT ACCORDING TO THE DIRECTION OF THE ARCHITECT.
7. ALL PLANT MATERIALS CALLED FOR AND INSTALLED SHALL MEET OR EXCEED SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" (LATEST EDITION) AS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSEYMEN.
8. ALL PLANTING BEDS SHALL BE DEFINED BY A NEAT, SHOVEL-CUT BED LINE. BED LINES SHALL BE TRUE TO FORM AS SHOWN ON THE DRAWINGS, CONSISTING OF SMOOTH CURVES AND SHARP LINES AND CORNERS.
9. IF, BECAUSE OF CULTURE REQUIREMENTS, AVAILABILITY, OR OTHER CIRCUMSTANCES, THE LANDSCAPE CONTRACTOR BELIEVES A PARTICULAR PLANT CALLED FOR IS INAPPROPRIATE, THE LANDSCAPE CONTRACTOR SHALL REPORT THE SITUATION IMMEDIATELY TO THE ARCHITECT FOR DECISION.
10. ALL DISTURBED AREAS NOT OTHERWISE COVERED SHALL RECEIVE 6" LOAM AND SEED.

PLANT LIST					
MARK	SCIENTIFIC NAME / COMMON NAME	SIZE CAL.	SIZE HT.	ROOT	REMARKS
FP	Fraxinus pennsylvanica/Green Ash	3"	-	B&B	Full
PS	Pinus strobus/White Pine	-	6'-8'	B&B	-
TOT	Thuja occidentalis 'Techny'/Arborvitae	-	5'-6'	B&B	-

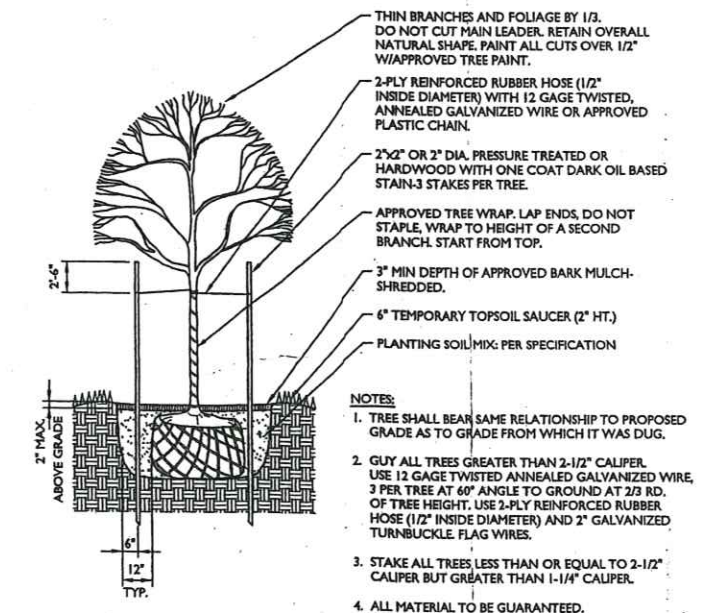
L11 PLANT LIST

NTS LP101



G11 TYPICAL EVERGREEN TREE PLANTING DETAIL

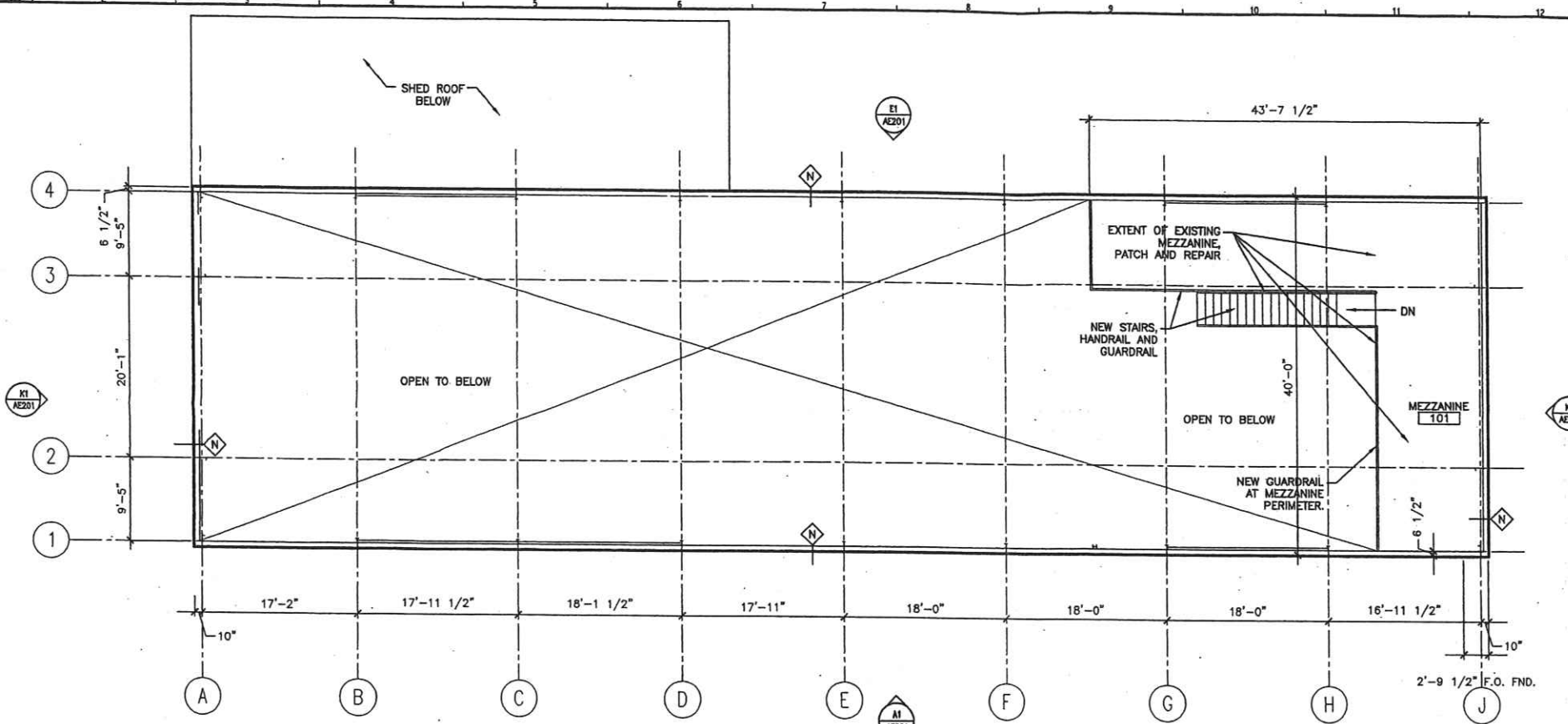
NTS LP101



A11 TYPICAL DECIDUOUS TREE PLANTING DETAIL

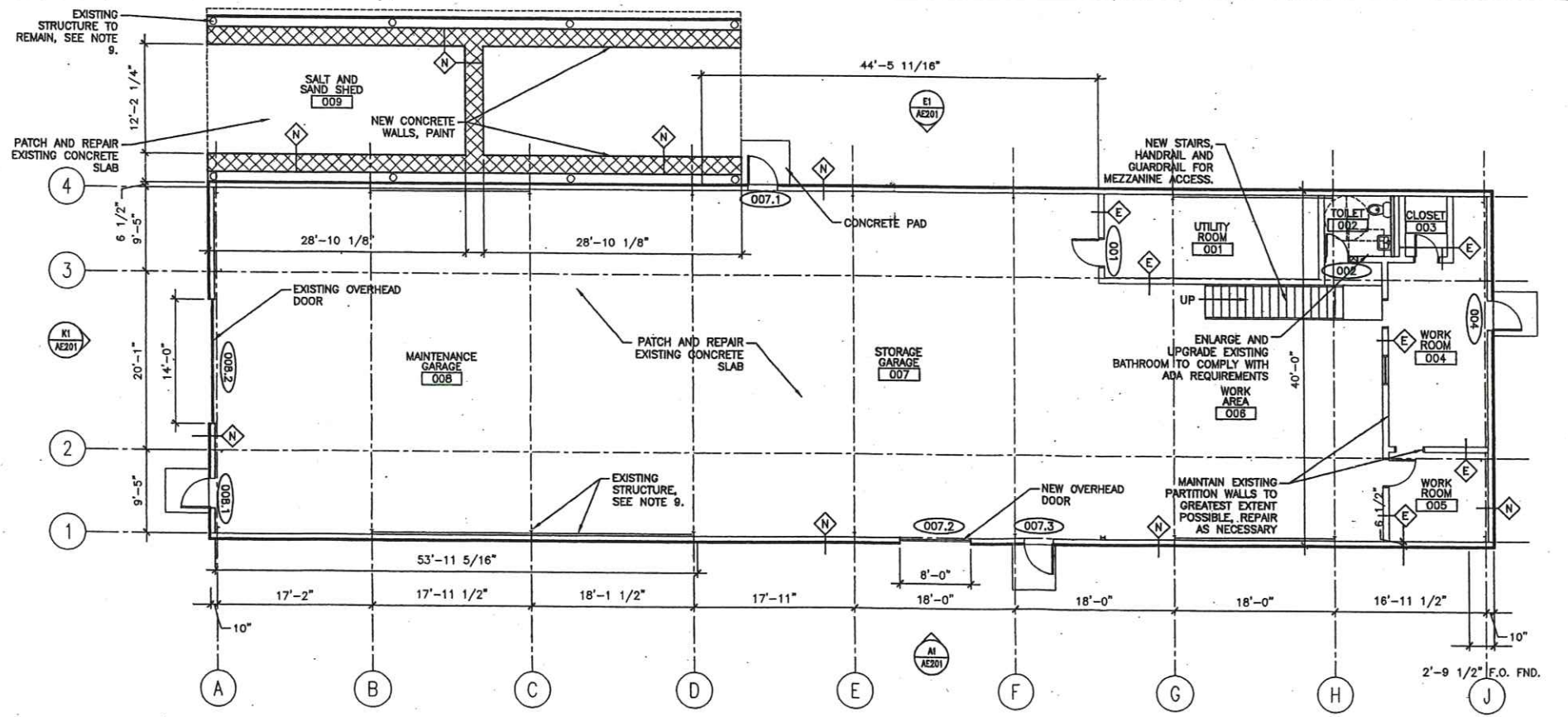
NTS LP101





G1 MEZZANINE LEVEL FLOOR PLAN

1/8"=1'-0"



A1 GROUND LEVEL FLOOR PLAN

1/8"=1'-0"

**CODE SUMMARY**

**GENERAL INFORMATION:**  
 PROJECT NUMBER: 07139-00  
 CODES USED: IBC 2006, NFPA 101, 2006, ADA ACCESSIBILITY GUIDELINES  
 SPRINKLERED: NON-SPRINKLERED

**USE AND OCCUPANCY CLASSIFICATIONS:**  
 PROJECT DESCRIPTION: EXISTING STRUCTURE TO BE USED FOR PROPERTY MAINTENANCE STORAGE

**OCCUPANCY CLASSIFICATION:** IBC: STORAGE GROUP S-1  
 NFPA 101, 2006: STORAGE OCCUPANCY (CHAPTER 42)

**TYPE OF CONSTRUCTION:** IBC: TYPE VB, SECTION 601.  
 NFPA: TYPE V (0.0.0), SECTION 8.2.

**AREA (GROSS):** GROUND LEVEL WITHOUT SHED: 5798sf  
 GROUND LEVEL WITH SHED: 6904sf  
 MEZZANINE LEVEL: 776sf  
 TOTAL AREA WITH MEZZANINE: 7680sf  
 MAXIMUM ALLOWABLE AREA: 9000sf

K13 CODE SUMMARY

**FLOOR PLAN NOTES:**

- DO NOT SCALE THE DRAWINGS.
- FURNITURE AND EQUIPMENT BY OTHERS IS INDICATED FOR COORDINATION AND BLOCKING.
- DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF MASONRY, FACE OF EXISTING PARTITION AND CENTERLINE OF NEW STUD PARTITIONS, UNLESS INDICATED OTHERWISE.
- REFER TO ALL CONSTRUCTION DOCUMENTS FOR REQUIREMENTS WHICH MAY AFFECT THE WORK IN ANOTHER AND COORDINATE WORK.
- REFER TO DETAILS FOR ADDITIONAL DIMENSIONAL INFORMATION.
- DOOR JAMBS SHALL BE LOCATED 4" FROM CORNER IN STUD PARTITIONS AND 8" FROM CORNER IN MASONRY PARTITIONS, UNLESS INDICATED OTHERWISE.
- PROVIDE BLOCKING IN WALLS AS NECESSARY WHERE CASEWORK, SHELVES, HANDRAILS, AND MISC. EQUIPMENT ARE LOCATED.
- PATCH ALL HOLES, WALLS AND CRACKS IN ROOMS TO RECEIVE NEW PAINT.
- EXTERIOR ENVELOPE CONSISTS OF ALL NEW SIDING, INSULATION, DOORS, ROOFING, ETC. EXISTING BUILDING ENVELOPE SHALL BE REMOVED IN ITS ENTIRETY. EXISTING STRUCTURE AND CONCRETE SLABS TO REMAIN.

**LEGEND**

- (N) INDICATES NEW WALL
- (E) INDICATES EXISTING WALL

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 STORAGE BUILDING RENOVATION  
 PORTLAND, MAINE  
 ISSUED FOR PERMITTING  
 12-14-07

NO.	DATE	DESCRIPTION	BY

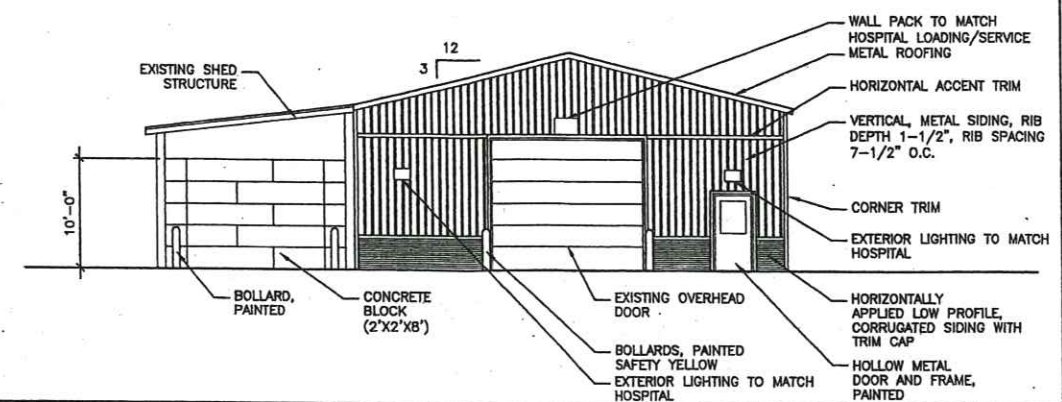
GRAPHIC SCALE  
 0" 1"  
 SCALE: AS NOTED  
 PROJECT MANAGER: JRL  
 DRAWN BY: DM  
 ARE & RECORD: PSS  
 CAD FILE: AE101-07139  
 PROJECT NO: 07139  
 DATE: 12-14-07  
 SHEET TITLE:

FLOOR PLANS

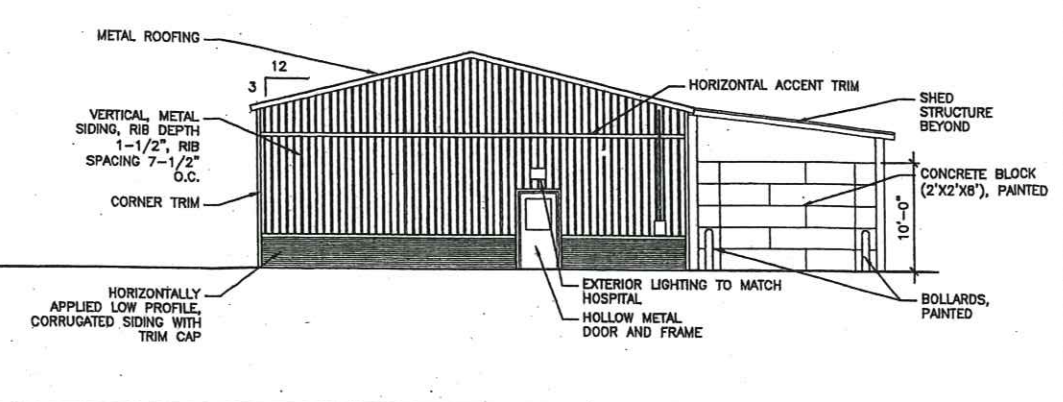
SHEET No. AE101

A13 GENERAL NOTES

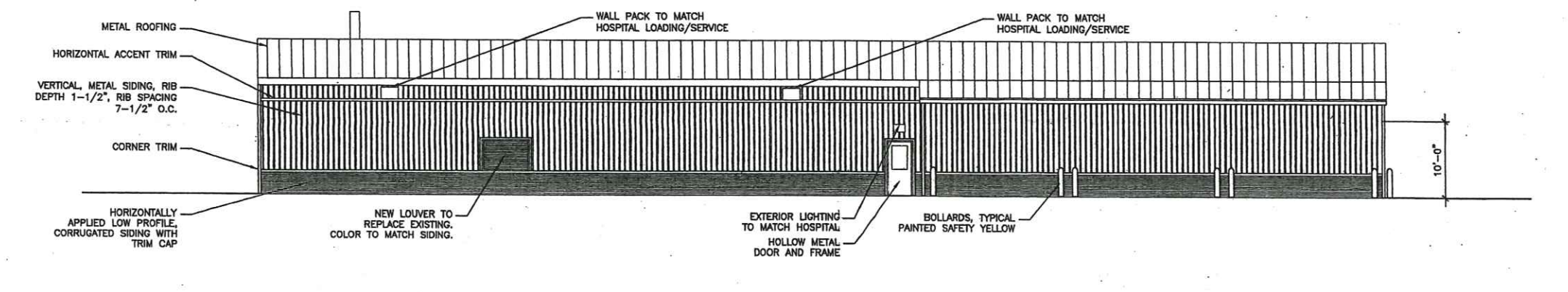




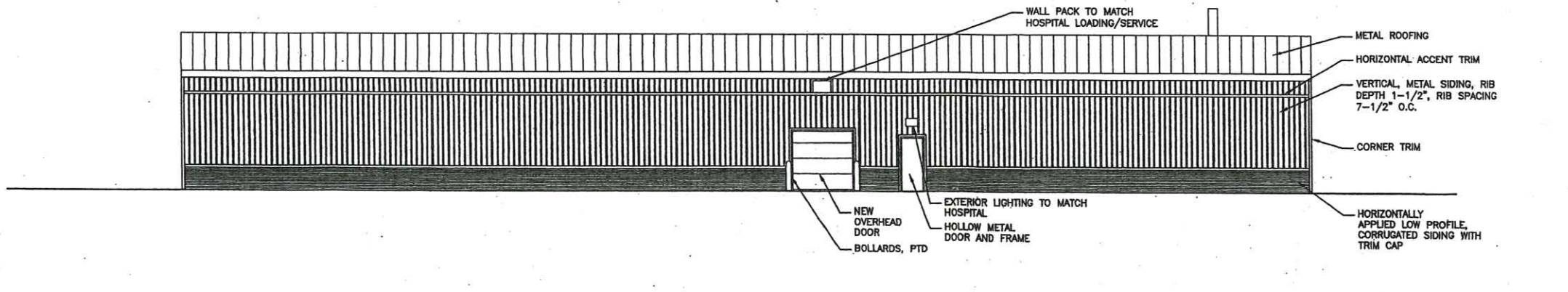
**K1 WEST ELEVATION**  
1/8"=1'-0"



**K7 EAST ELEVATION**  
1/8"=1'-0"



**E1 NORTH ELEVATION**  
1/8"=1'-0"



**A1 SOUTH ELEVATION**  
1/8"=1'-0"

**ELEVATION NOTES:**

1. EXISTING BUILDING ENVELOPE (DOORS, ROOFING, SIDING, ETC.) SHALL BE REMOVED IN ITS ENTIRETY.
2. EXTERIOR HOLLOW METAL DOOR FRAMES AND DOORS SHALL BE PAINTED TO MATCH STANDING SEAM METAL ROOF.

**LEGEND:**

- (X) WINDOW/LOUVER TYPE, SEE AE620 & AE821
- (P-X) METAL PANEL TYPE, RE: AE500
- (S) WALL TYPE, SEE G1002 FOR SCHEDULE

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PORTLAND, MAINE

ISSUED FOR PERMITTING  
12-14-07

CURRENT ISSUE STATUS:

NO.	DATE	DESCRIPTION

GRAPHIC SCALE  
0' 1'

SCALE: AS NOTED

PROJECT MANAGER: JR

DRAWN BY: DF

AE OF RECORD: PS

CD FILE: AE201-0713

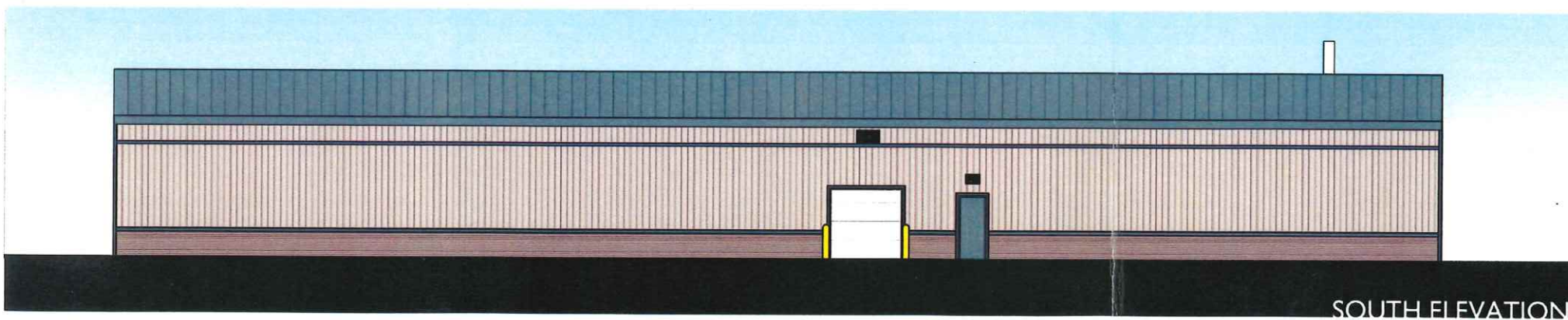
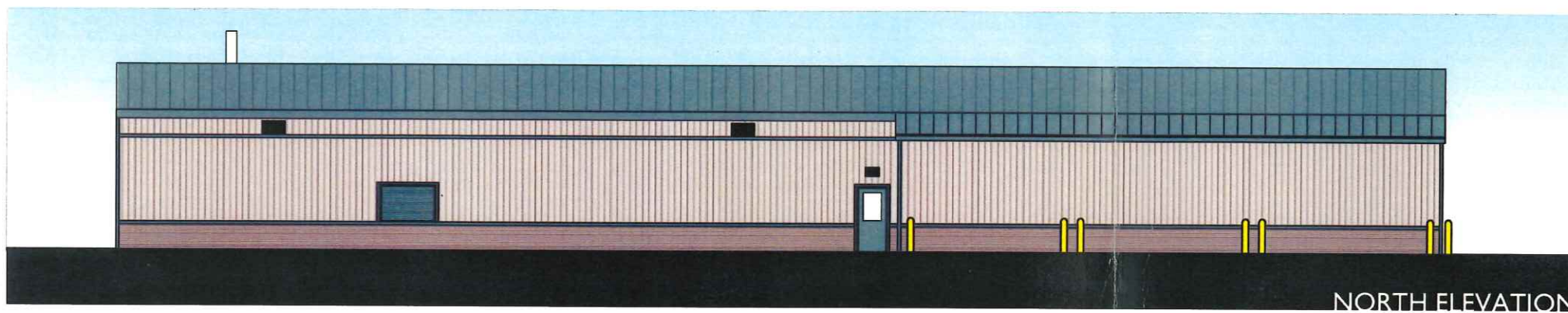
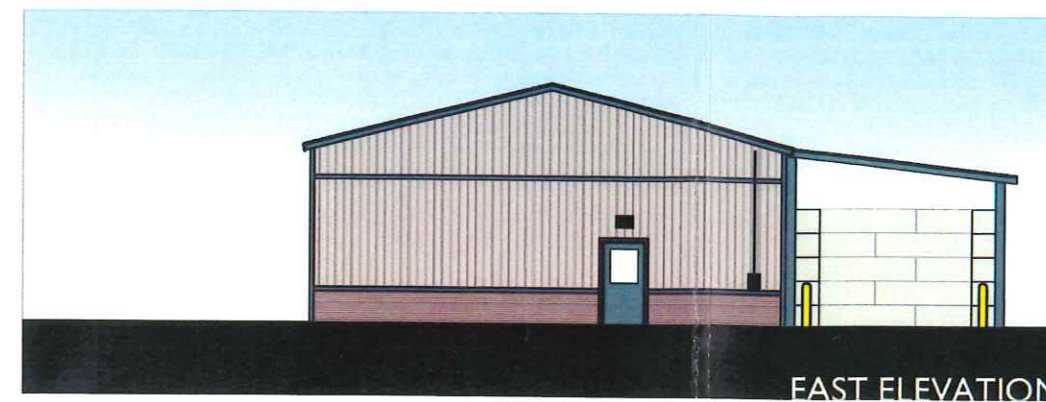
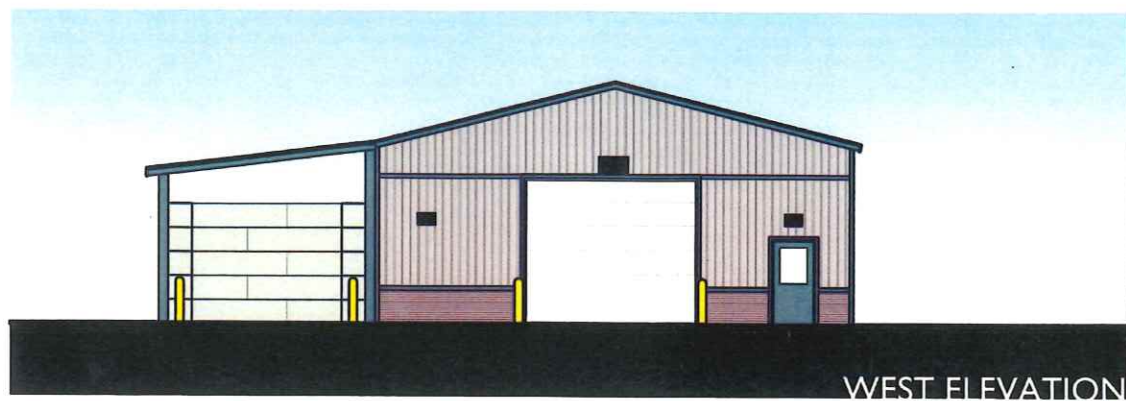
PROJECT NO: 0713

DATE: 12-14-07

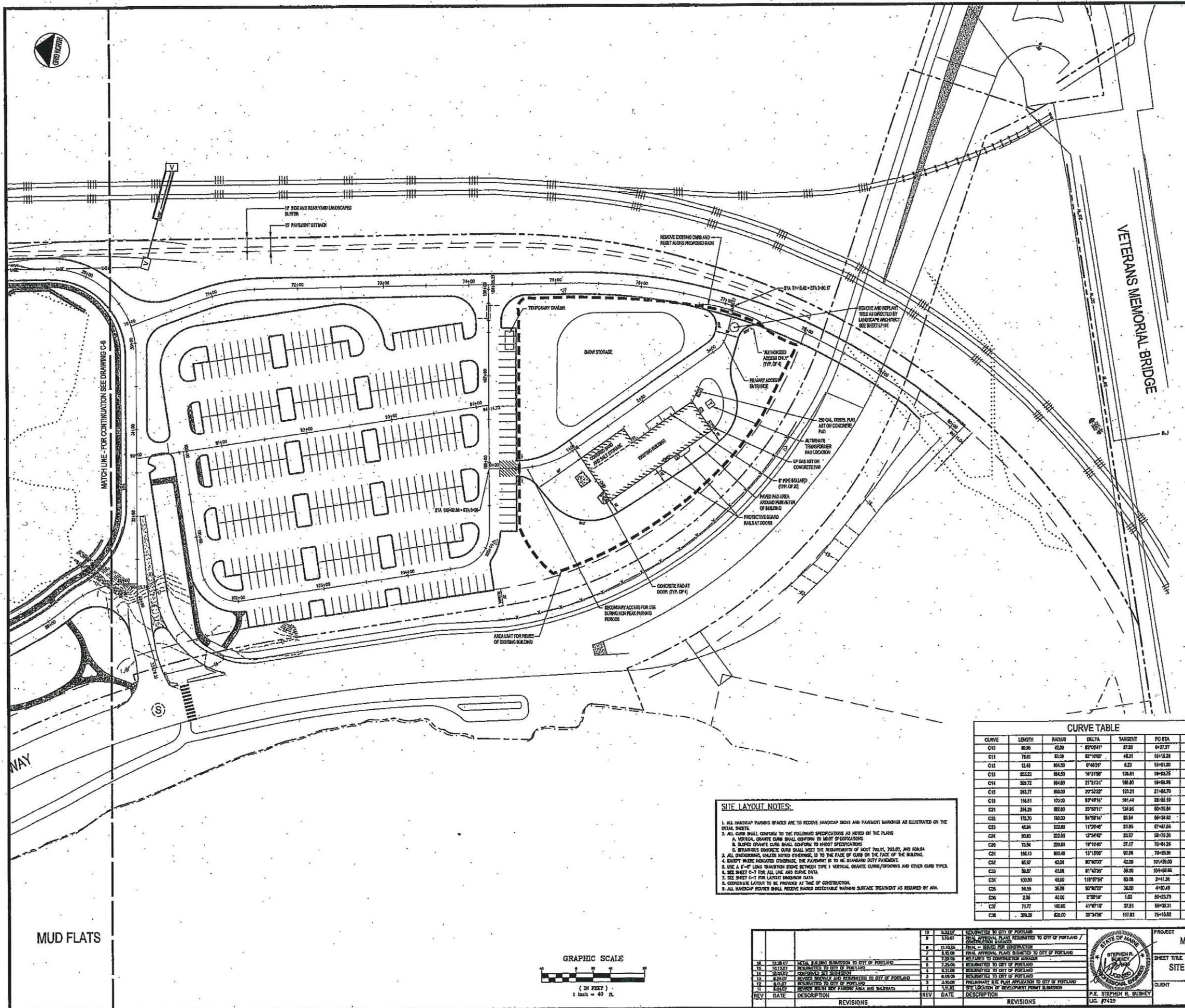
SHEET TITLE: EXTERIOR ELEVATIONS

SHEET No. **AE201**









LINE	LENGTH	BEARING
L14	27.27	S64°34'20\"
L15	515.29	S27°48'25\"
L17	422.72	N14°41'41\"
L18	222.01	S60°30'00\"
L19	22.43	S64°10'20\"
L21	251.00	S61°07'42\"
L22	105.40	S27°48'25\"
L23	142.43	N32°15'41\"
L24	214.83	S27°15'41\"
L25	494.83	N27°15'41\"
L27	262.00	N27°15'41\"
L28	75.37	N27°15'41\"
L29	45.75	N34°12'21\"
L30	13.64	N10°00'00\"
L31	81.28	N20°00'00\"
L32	262.71	N10°00'00\"
L33	474.72	N10°00'00\"
L34	125.00	S71°42'22\"
L35	254.00	S14°10'17\"
L36	276.74	N10°00'00\"
L37	23.78	N47°22'22\"

LINE	LENGTH	BEARING
L1	111.67	N74°00'00\"
L2	314.58	N30°00'00\"
L3	79.21	S27°15'41\"
L4	292.21	S70°00'00\"
L5	8.73	S45°00'00\"
L6	251.00	N27°15'41\"
L7	222.01	S60°30'00\"
L8	22.43	S64°10'20\"
L9	251.00	S61°07'42\"
L10	105.40	S27°48'25\"
L11	142.43	N32°15'41\"
L12	214.83	S27°15'41\"
L13	494.83	N27°15'41\"
L14	262.00	N27°15'41\"
L15	75.37	N27°15'41\"
L16	45.75	N34°12'21\"
L17	13.64	N10°00'00\"
L18	81.28	N20°00'00\"
L19	262.71	N10°00'00\"
L20	474.72	N10°00'00\"
L21	125.00	S71°42'22\"
L22	254.00	S14°10'17\"
L23	276.74	N10°00'00\"
L24	23.78	N47°22'22\"

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C1	65.36	42.00	62°08'41\"	37.20	0+77.27	0+83.23
C11	78.81	83.00	32°10'00\"	48.21	1+15.29	1+41.30
C12	12.48	80.50	0°49'51\"	8.22	1+41.30	1+49.75
C13	252.53	80.50	18°31'59\"	128.81	1+49.75	1+64.80
C14	329.72	80.50	21°21'31\"	168.80	1+64.80	2+108.70
C15	243.77	80.50	20°22'22\"	123.21	2+108.70	2+427.47
C16	194.11	107.00	10°48'11\"	101.44	2+427.47	3+117.70
C17	244.28	82.00	23°07'11\"	121.82	3+117.70	3+272.13
C18	172.30	100.00	34°08'14\"	83.64	3+272.13	3+411.52
C19	48.34	222.00	11°29'48\"	23.85	3+411.52	3+435.83
C20	81.83	222.00	12°24'42\"	35.57	3+435.83	3+460
C21	73.84	222.00	10°19'49\"	37.07	3+460	3+517.81
C22	186.13	805.48	11°19'59\"	92.78	3+517.81	3+611.04
C23	62.57	42.00	82°00'00\"	42.00	3+611.04	3+673.07
C24	38.37	42.00	81°42'32\"	38.30	3+673.07	3+711.83
C25	103.00	42.00	118°07'54\"	83.78	3+711.83	3+824.83
C26	24.15	262.00	82°00'00\"	24.15	3+824.83	3+848.98
C27	2.24	42.00	2°29'14\"	1.00	3+848.98	3+851.22
C28	71.77	42.00	41°07'17\"	37.81	3+851.22	3+923.03
C29	306.25	62.00	38°34'36\"	157.83	3+923.03	4+229.81

**SITE LAYOUT NOTES:**

- ALL HANDICAP PARKING SPACES ARE TO RECEIVE HANDICAP SIGNS AND PARKING MARKINGS AS ILLUSTRATED ON THE TOTAL SHEETS.
- ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS:
  - VERTICAL CURVE SHALL CONFORM TO MOST SPECIFICATIONS.
  - BLIND CURVE SHALL CONFORM TO MOST SPECIFICATIONS.
  - INTERMEDIATE CURVE SHALL MEET THE REQUIREMENTS OF MOST TYPES, TYPES, AND FORMS.
  - ALL DIMENSIONAL VALUES NOTED OTHERWISE, IS TO THE FACE OF CURB ON THE FACE OF THE BUILDING.
  - SHORT MUSIC INDICATED OTHERWISE, THE PAVEMENT IS TO BE STANDARD DUTY PAVEMENT.
- SEE SHEET C-7 FOR LANDSCAPE DATA.
- SEE SHEET C-7 FOR LANDSCAPE DATA.
- CONCRETE PAVEMENT SHALL BE PROVIDED AT THE TIME OF CONSTRUCTION.
- ALL HANDICAP PARKING SPACES SHALL RECEIVE BASED DETECTABLE WARNING SURFACE TREATMENT AS REQUIRED BY ADA.

CURVE	LENGTH	RADIUS	DELTA	TANGENT	PC STA	PT STA
C10	65.36	42.00	62°08'41\"	37.20	0+77.27	0+83.23
C11	78.81	83.00	32°10'00\"	48.21	1+15.29	1+41.30
C12	12.48	80.50	0°49'51\"	8.22	1+41.30	1+49.75
C13	252.53	80.50	18°31'59\"	128.81	1+49.75	1+64.80
C14	329.72	80.50	21°21'31\"	168.80	1+64.80	2+108.70
C15	243.77	80.50	20°22'22\"	123.21	2+108.70	2+427.47
C16	194.11	107.00	10°48'11\"	101.44	2+427.47	3+117.70
C17	244.28	82.00	23°07'11\"	121.82	3+117.70	3+272.13
C18	172.30	100.00	34°08'14\"	83.64	3+272.13	3+411.52
C19	48.34	222.00	11°29'48\"	23.85	3+411.52	3+435.83
C20	81.83	222.00	12°24'42\"	35.57	3+435.83	3+460
C21	73.84	222.00	10°19'49\"	37.07	3+460	3+517.81
C22	186.13	805.48	11°19'59\"	92.78	3+517.81	3+611.04
C23	62.57	42.00	82°00'00\"	42.00	3+611.04	3+673.07
C24	38.37	42.00	81°42'32\"	38.30	3+673.07	3+711.83
C25	103.00	42.00	118°07'54\"	83.78	3+711.83	3+824.83
C26	24.15	262.00	82°00'00\"	24.15	3+824.83	3+848.98
C27	2.24	42.00	2°29'14\"	1.00	3+848.98	3+851.22
C28	71.77	42.00	41°07'17\"	37.81	3+851.22	3+923.03
C29	306.25	62.00	38°34'36\"	157.83	3+923.03	4+229.81

**SIGN LEGEND**

ALL SIGNS SHALL CONFORM TO THE STANDARDS FOR SIZE, MOUNT, LOCATION AND REGISTRATION AS FORTH IN THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

ALL PAVING STALLS TO BE SETPER USING THE MARKING COLORS SPECIFIED IN THE DETAILS.

REFER TO THE PAVING PLAN SHEET C-32 FOR ADDITIONAL SIGNAGE.

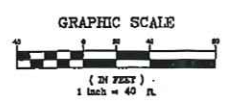
SEE DETAILS FOR SIGN POST INSTALLATION INFORMATION.

**STRIPING LEGEND**

SHOULDER AND PARKING MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) REGARDING SIGN, INSTALLATION, LOCATION, & REGISTRATION.

1\"/>

MUD FLATS



REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	03/20/07	SUBMITTED TO CITY OF PORTLAND	1	03/20/07	SUBMITTED TO CITY OF PORTLAND
2	03/20/07	FINAL APPROVAL PLAN SUBMITTED TO CITY OF PORTLAND /	2	03/20/07	FINAL APPROVAL PLAN SUBMITTED TO CITY OF PORTLAND /
3	03/20/07	FINAL - ISSUED FOR CONSTRUCTION	3	03/20/07	FINAL - ISSUED FOR CONSTRUCTION
4	03/20/07	FINAL APPROVAL PLAN SUBMITTED TO CITY OF PORTLAND	4	03/20/07	FINAL APPROVAL PLAN SUBMITTED TO CITY OF PORTLAND
5	03/20/07	RELAYED TO CONSTRUCTION MANAGER	5	03/20/07	RELAYED TO CONSTRUCTION MANAGER
6	03/20/07	RENDERED TO CITY OF PORTLAND	6	03/20/07	RENDERED TO CITY OF PORTLAND
7	03/20/07	CONSTRUCTION PLAN SUBMISSION	7	03/20/07	CONSTRUCTION PLAN SUBMISSION
8	03/20/07	APPROVED SIGNAGE AND OPERATIONS TO CITY OF PORTLAND	8	03/20/07	APPROVED SIGNAGE AND OPERATIONS TO CITY OF PORTLAND
9	03/20/07	PRELIMINARY SIGN PLAN APPLICATION TO CITY OF PORTLAND	9	03/20/07	PRELIMINARY SIGN PLAN APPLICATION TO CITY OF PORTLAND
10	03/20/07	REVISIONS TO CITY OF PORTLAND	10	03/20/07	REVISIONS TO CITY OF PORTLAND
11	03/20/07	REVISIONS TO CITY OF PORTLAND	11	03/20/07	REVISIONS TO CITY OF PORTLAND
12	03/20/07	REVISIONS TO CITY OF PORTLAND	12	03/20/07	REVISIONS TO CITY OF PORTLAND
13	03/20/07	REVISIONS TO CITY OF PORTLAND	13	03/20/07	REVISIONS TO CITY OF PORTLAND
14	03/20/07	REVISIONS TO CITY OF PORTLAND	14	03/20/07	REVISIONS TO CITY OF PORTLAND
15	03/20/07	REVISIONS TO CITY OF PORTLAND	15	03/20/07	REVISIONS TO CITY OF PORTLAND
16	03/20/07	REVISIONS TO CITY OF PORTLAND	16	03/20/07	REVISIONS TO CITY OF PORTLAND
17	03/20/07	REVISIONS TO CITY OF PORTLAND	17	03/20/07	REVISIONS TO CITY OF PORTLAND
18	03/20/07	REVISIONS TO CITY OF PORTLAND	18	03/20/07	REVISIONS TO CITY OF PORTLAND
19	03/20/07	REVISIONS TO CITY OF PORTLAND	19	03/20/07	REVISIONS TO CITY OF PORTLAND
20	03/20/07	REVISIONS TO CITY OF PORTLAND	20	03/20/07	REVISIONS TO CITY OF PORTLAND

**PROJECT** MERCY AT THE FORE

**SHEET TITLE** SITE LAYOUT PLAN - SOUTH

**CLIENT** MERCY HOSPITAL

**DATE** 11/01/01

**SCALE** 1" = 40'

**CHECKED** SRS LEB NO. 2145.01

**FILE NAME** 2145.01-NP3

**SHEET** C-7

**DH DeLUCA-HOFFMAN ASSOCIATES, INC.**

778 HAWK STREET, SUITE 8 SOUTH PORTLAND, ME 04106

PH: 603-883-1111 FAX: 603-883-1112

WWW.DELUCAHOFFMAN.COM

**DESIGNED** SRS **SCALE** 1" = 40'

**CHECKED** SRS **LEB NO.** 2145.01

**FILE NAME** 2145.01-NP3

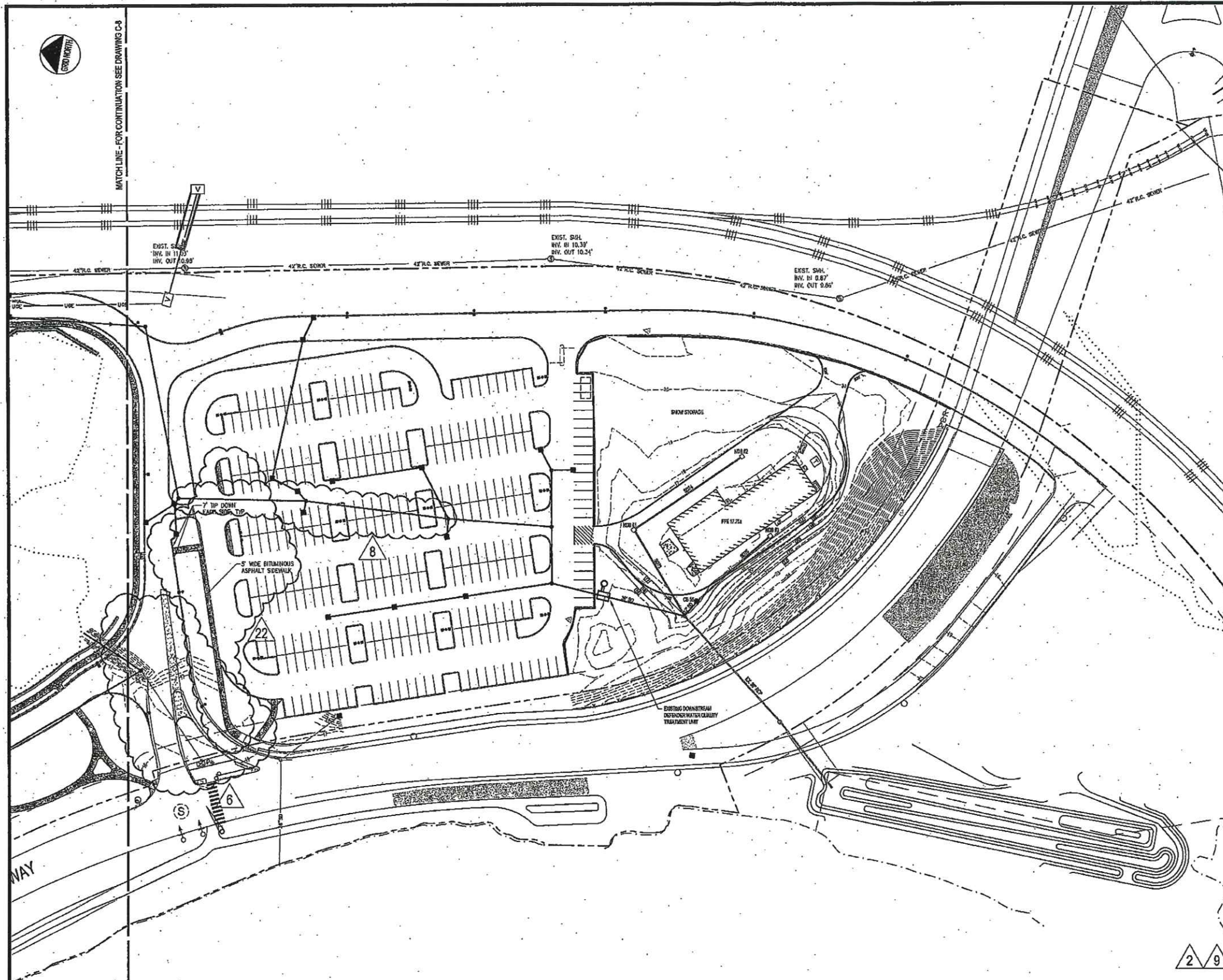
**SHEET** C-7

C:\2145\01\delucahoffman\2145.01-np3.dwg, SITE LAYOUT - SOUTH, 1/2/2008 1:25:45 PM, mchadwick





MATCH LINE - FOR CONTINUATION SEE DRAWING C-3



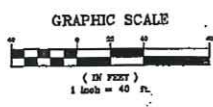
**STORM DRAIN PIPE SCHEDULE**

LINE	FROM	TO	SIZE	LENGTH	DEPTH
SD 01	DM11	EX. CB	30"	40'	0.010
SD 02	CB 1	EX. DCP	24"	8'	0.015
SD 03	UN. DEP.	DM12	24"	12'	0.020
SD 04	WOU2	DM13	30"	116'	0.020
SD 05	DM12	DM11	30"	50'	0.020
SD 06	DM12	WOU2	30"	15'	0.020
SD 07	CB 2	DM12	24"	52'	0.020
SD 08	CB 7	CB 1	24"	130'	0.020
SD 09	CB 8	CB 7	18"	87'	0.020
SD 10	CB 9	CB 8	18"	100'	0.020
SD 11	CB 10	CB 9	18"	44'	0.020
SD 12	DELETED				
SD 13	CB 5	CB 1	12"	25'	0.020
SD 14	CB 5	CB 2	12"	147'	0.020
SD 15	CB 4	CB 3	12"	67'	0.020
SD 16	WOU3	EX. CB	24"	80'	0.020
SD 17	CB 13	WOU3	24"	19'	0.020
SD 18	CB 14	CB 13	18"	97'	0.020
SD 19	CB 15	CB 14	18"	20'	0.020
SD 20	CB 16	CB 15	18"	127'	0.020
SD 21	CB 17	DM13	18"	22'	0.020
SD 22	CB 12	DM13	18"	22'	0.020
SD 23	CB 17	CUTFALL	18"	18'	0.020
SD 24	CB 18	CB 17	18"	87'	0.020
SD 25	CB 19	CB 18	18"	20'	0.020
SD 26	CB 20	CB 19	18"	147'	0.020
SD 27	CB 21	CUTFALL	18"	122'	0.020
SD 28	CB 22	CB 21	18"	20'	0.020
SD 29	CB 23	CB 22	18"	136'	0.020
SD 30	CB 24	CB 23	18"	147'	0.020
SD 31	CB 25	CB 24	18"	84'	0.020
SD 32	WOU4	DM14	30"	70'	0.020
SD 33	DM14	WOU4	30"	48'	0.020
SD 34	DM15	DM14	30"	51'	0.020
SD 35	DM16	DM15	30"	140'	0.020
SD 36	DM17	DM16	24"	132'	0.020
SD 37	DM18	DM17	24"	132'	0.020
SD 38	DM19	DM18	18"	170'	0.020
SD 39	CB 26	DM19	18"	134'	0.020
SD 40	CB 27	CB 26	18"	20'	0.020
SD 41	CB 28	DM20	18"	82'	0.020
SD 42	CB 29	CB 28	18"	70'	0.020
SD 43	CB 30	CB 29	18"	84'	0.020
SD 44	DM21	DM20	18"	147'	0.020
SD 45	CB 31	DM21	18"	20'	0.020
SD 46	CB 32	DM21	18"	107'	0.020
SD 47	CB 33	DM22	18"	84'	0.020
SD 48	CB 34	CB 33	18"	88'	0.020
SD 49	CB 35	CB 34	18"	42'	0.020
SD 50	CB 36	DM23	18"	80'	0.020
SD 51	DM24	DM23	18"	147'	0.020
SD 52	CB 37	DM24	18"	20'	0.020
SD 53	CB 38	DM24	18"	107'	0.020
SD 54	CB 39	CB 38	18"	147'	0.020
SD 55	CB 40	CB 39	18"	20'	0.020
SD 56	CB 41	DM25	18"	8'	0.020
SD 57	CB 42	DM25	18"	8'	0.020
SD 58	CB 43	CB 42	18"	20'	0.020
SD 59	CB 44	CB 43	18"	20'	0.020
SD 60	CB 45	DM26	18"	117'	0.020
SD 61	DM27	DM26	18"	117'	0.020
SD 62	CB 46	DM27	18"	20'	0.020
SD 63	CB 47	DM28	18"	117'	0.020
SD 64	CB 48	CB 47	18"	87'	0.020
SD 65	DM29	DM28	18"	122'	0.020
SD 66	DM30	DM29	18"	122'	0.020
SD 67	DM31	DM30	18"	122'	0.020
SD 68	DM32	DM31	18"	122'	0.020
SD 69	DM33	DM32	18"	122'	0.020
SD 70	DM34	DM33	18"	122'	0.020
SD 71	DM35	DM34	18"	122'	0.020
SD 72	DM36	DM35	18"	122'	0.020
SD 73	HYDROPLAST DRAIN BASIN#1	DM 47	18"	80'	0.05
SD 74	HYDROPLAST DRAIN BASIN#2	DM 48	18"	130'	0.05
SD 75	HYDROPLAST DRAIN BASIN#3	CB 55	18"	50'	0.05

**STORM DRAIN STRUCTURE SCHEDULE**

LINE	TYPE	SIZE	MANUFACTURER	INVERT ELEVATION
DM 1	DM	30"	18" X 30" X 12"	17.020
DM 2	DM	24"	18" X 24" X 12"	16.970
DM 3	DM	30"	18" X 30" X 12"	16.920
DM 4	DM	30"	18" X 30" X 12"	16.870
DM 5	DM	30"	18" X 30" X 12"	16.820
DM 6	DM	30"	18" X 30" X 12"	16.770
DM 7	DM	30"	18" X 30" X 12"	16.720
DM 8	DM	30"	18" X 30" X 12"	16.670
DM 9	DM	30"	18" X 30" X 12"	16.620
DM 10	DM	30"	18" X 30" X 12"	16.570
DM 11	DM	30"	18" X 30" X 12"	16.520
DM 12	DM	30"	18" X 30" X 12"	16.470
DM 13	DM	30"	18" X 30" X 12"	16.420
DM 14	DM	30"	18" X 30" X 12"	16.370
DM 15	DM	30"	18" X 30" X 12"	16.320
DM 16	DM	30"	18" X 30" X 12"	16.270
DM 17	DM	30"	18" X 30" X 12"	16.220
DM 18	DM	30"	18" X 30" X 12"	16.170
DM 19	DM	30"	18" X 30" X 12"	16.120
DM 20	DM	30"	18" X 30" X 12"	16.070
DM 21	DM	30"	18" X 30" X 12"	16.020
DM 22	DM	30"	18" X 30" X 12"	15.970
DM 23	DM	30"	18" X 30" X 12"	15.920
DM 24	DM	30"	18" X 30" X 12"	15.870
DM 25	DM	30"	18" X 30" X 12"	15.820
DM 26	DM	30"	18" X 30" X 12"	15.770
DM 27	DM	30"	18" X 30" X 12"	15.720
DM 28	DM	30"	18" X 30" X 12"	15.670
DM 29	DM	30"	18" X 30" X 12"	15.620
DM 30	DM	30"	18" X 30" X 12"	15.570
DM 31	DM	30"	18" X 30" X 12"	15.520
DM 32	DM	30"	18" X 30" X 12"	15.470
DM 33	DM	30"	18" X 30" X 12"	15.420
DM 34	DM	30"	18" X 30" X 12"	15.370
DM 35	DM	30"	18" X 30" X 12"	15.320
DM 36	DM	30"	18" X 30" X 12"	15.270
DM 37	DM	30"	18" X 30" X 12"	15.220
DM 38	DM	30"	18" X 30" X 12"	15.170
DM 39	DM	30"	18" X 30" X 12"	15.120
DM 40	DM	30"	18" X 30" X 12"	15.070
DM 41	DM	30"	18" X 30" X 12"	15.020
DM 42	DM	30"	18" X 30" X 12"	14.970
DM 43	DM	30"	18" X 30" X 12"	14.920
DM 44	DM	30"	18" X 30" X 12"	14.870
DM 45	DM	30"	18" X 30" X 12"	14.820
DM 46	DM	30"	18" X 30" X 12"	14.770
DM 47	DM	30"	18" X 30" X 12"	14.720
DM 48	DM	30"	18" X 30" X 12"	14.670
DM 49	DM	30"	18" X 30" X 12"	14.620
DM 50	DM	30"	18" X 30" X 12"	14.570
DM 51	DM	30"	18" X 30" X 12"	14.520
DM 52	DM	30"	18" X 30" X 12"	14.470
DM 53	DM	30"	18" X 30" X 12"	14.420
DM 54	DM	30"	18" X 30" X 12"	14.370
DM 55	DM	30"	18" X 30" X 12"	14.320
DM 56	DM	30"	18" X 30" X 12"	14.270
DM 57	DM	30"	18" X 30" X 12"	14.220
DM 58	DM	30"	18" X 30" X 12"	14.170
DM 59	DM	30"	18" X 30" X 12"	14.120
DM 60	DM	30"	18" X 30" X 12"	14.070
DM 61	DM	30"	18" X 30" X 12"	14.020
DM 62	DM	30"	18" X 30" X 12"	13.970
DM 63	DM	30"	18" X 30" X 12"	13.920
DM 64	DM	30"	18" X 30" X 12"	13.870
DM 65	DM	30"	18" X 30" X 12"	13.820
DM 66	DM	30"	18" X 30" X 12"	13.770
DM 67	DM	30"	18" X 30" X 12"	13.720
DM 68	DM	30"	18" X 30" X 12"	13.670
DM 69	DM	30"	18" X 30" X 12"	13.620
DM 70	DM	30"	18" X 30" X 12"	13.570
DM 71	DM	30"	18" X 30" X 12"	13.520
DM 72	DM	30"	18" X 30" X 12"	13.470
DM 73	DM	30"	18" X 30" X 12"	13.420
DM 74	DM	30"	18" X 30" X 12"	13.370
DM 75	DM	30"	18" X 30" X 12"	13.320
DM 76	DM	30"	18" X 30" X 12"	13.270
DM 77	DM	30"	18" X 30" X 12"	13.220
DM 78	DM	30"	18" X 30" X 12"	13.170
DM 79	DM	30"	18" X 30" X 12"	13.120
DM 80	DM	30"	18" X 30" X 12"	13.070
DM 81	DM	30"	18" X 30" X 12"	13.020
DM 82	DM	30"	18" X 30" X 12"	12.970
DM 83	DM	30"	18" X 30" X 12"	12.920
DM 84	DM	30"	18" X 30" X 12"	12.870
DM 85	DM	30"	18" X 30" X 12"	12.820
DM 86	DM	30"	18" X 30" X 12"	12.770
DM 87	DM	30"	18" X 30" X 12"	12.720
DM 88	DM	30"	18" X 30" X 12"	12.670
DM 89	DM	30"	18" X 30" X 12"	12.620
DM 90	DM	30"	18" X 30" X 12"	12.570
DM 91	DM	30"	18" X 30" X 12"	12.520
DM 92	DM	30"	18" X 30" X 12"	12.470
DM 93	DM	30"	18" X 30" X 12"	12.420
DM 94	DM	30"	18" X 30" X 12"	12.370
DM 95	DM	30"	18" X 30" X 12"	12.320
DM 96	DM	30"	18" X 30" X 12"	12.270
DM 97	DM	30"	18" X 30" X 12"	12.220
DM 98	DM	30"	18" X 30" X 12"	12.170
DM 99	DM	30"	18" X 30" X 12"	12.120
DM 100	DM	30"	18" X 30" X 12"	12.070

CSK-2 8.25.00  
 CSK-6 10.17.00  
 CSK-9 10.17.00  
 CSK-11 11.06.00  
 CSK-22 8.16.07



NO.	DATE	DESCRIPTION	BY	DATE	DESCRIPTION
10	8/20/07	ISSUED WITH PERMITS	JMA		
9	1/15/07	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND / PERMITS	JMA		
8	11/30/06	PERMITS FOR CONSTRUCTION	JMA		
7	8/13/06	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND	JMA		
6	7/26/06	RELEASED TO CONSTRUCTION	JMA		
5	7/25/06	PERMITTED TO CITY OF PORTLAND	JMA		
4	6/29/06	PERMITTED TO CITY OF PORTLAND	JMA		
3	6/29/06	PERMITTED TO CITY OF PORTLAND	JMA		
2	3/15/06	PRELIMINARY SITE PLAN APPLICATION TO CITY OF PORTLAND	JMA		
1	1/15/06	SITE LOCATION OF DEVELOPMENT PERMITS SUBMISSION	JMA		

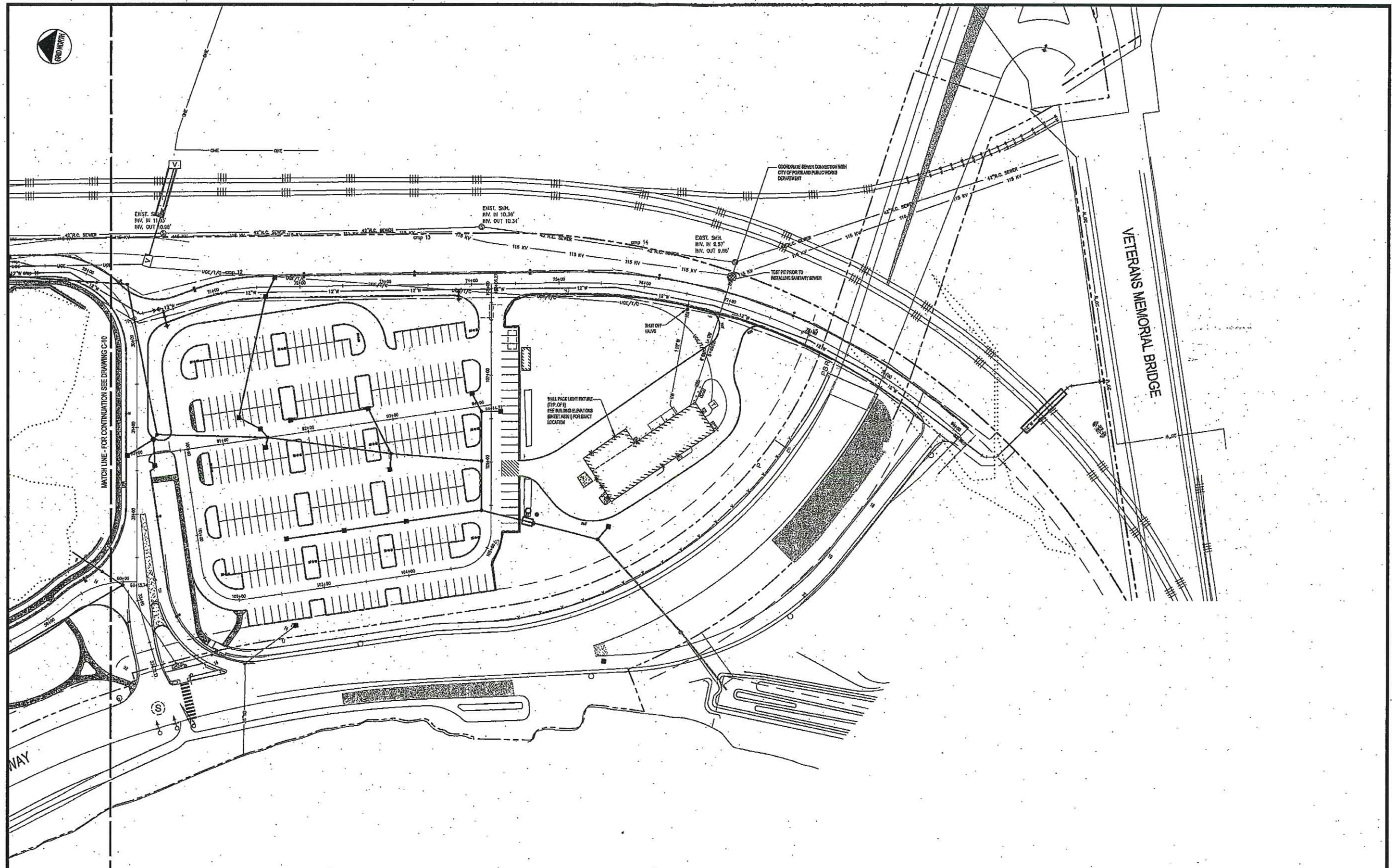
PROJECT: MERCY AT THE FORE  
 SHEET TITLE: GRADING AND DRAINAGE PLAN - SOUTH  
 CLIENT: MERCY HOSPITAL

DESIGNED: SRB SCALE: 1"=40'  
 CHECKED: SRB SCALE: 1"=40'  
 FILE NAME: 2148.01-IMP3  
 SHEET: C-9

DeLUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN STREET, SUITE B  
 SOUTH PORTLAND, ME 04106  
 (207) 758-1100  
 DH@DELUCAHOFFMAN.COM

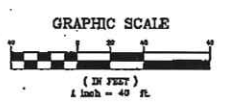
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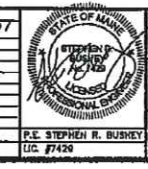


MATCH LINE - FOR CONTINUATION SEE DRAWING C-10

MUD FLATS



REV	DATE	DESCRIPTION	REV	DATE	DESCRIPTION
1	11.15.01	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND / CONSTRUCTION PERMITS	1	11.15.01	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND / CONSTRUCTION PERMITS
2	12.12.01	POWER POLES AND PULP STORAGE	2	12.12.01	POWER POLES AND PULP STORAGE
3	1.15.02	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND	3	1.15.02	FINAL APPROVAL PLANS SUBMITTED TO CITY OF PORTLAND
4	7.28.02	RELEASED TO CONSTRUCTION MANAGER	4	7.28.02	RELEASED TO CONSTRUCTION MANAGER
5	7.28.02	REMITTED TO CITY OF PORTLAND	5	7.28.02	REMITTED TO CITY OF PORTLAND
6	8.15.02	REMITTED TO CITY OF PORTLAND	6	8.15.02	REMITTED TO CITY OF PORTLAND
7	8.15.02	REMITTED TO CITY OF PORTLAND	7	8.15.02	REMITTED TO CITY OF PORTLAND
8	8.15.02	REMITTED TO CITY OF PORTLAND	8	8.15.02	REMITTED TO CITY OF PORTLAND
9	8.15.02	REMITTED TO CITY OF PORTLAND	9	8.15.02	REMITTED TO CITY OF PORTLAND
10	8.15.02	REMITTED TO CITY OF PORTLAND	10	8.15.02	REMITTED TO CITY OF PORTLAND
11	8.15.02	REMITTED TO CITY OF PORTLAND	11	8.15.02	REMITTED TO CITY OF PORTLAND
12	8.15.02	REMITTED TO CITY OF PORTLAND	12	8.15.02	REMITTED TO CITY OF PORTLAND
13	8.15.02	REMITTED TO CITY OF PORTLAND	13	8.15.02	REMITTED TO CITY OF PORTLAND
14	8.15.02	REMITTED TO CITY OF PORTLAND	14	8.15.02	REMITTED TO CITY OF PORTLAND
15	8.15.02	REMITTED TO CITY OF PORTLAND	15	8.15.02	REMITTED TO CITY OF PORTLAND
16	8.15.02	REMITTED TO CITY OF PORTLAND	16	8.15.02	REMITTED TO CITY OF PORTLAND
17	8.15.02	REMITTED TO CITY OF PORTLAND	17	8.15.02	REMITTED TO CITY OF PORTLAND
18	8.15.02	REMITTED TO CITY OF PORTLAND	18	8.15.02	REMITTED TO CITY OF PORTLAND
19	8.15.02	REMITTED TO CITY OF PORTLAND	19	8.15.02	REMITTED TO CITY OF PORTLAND
20	8.15.02	REMITTED TO CITY OF PORTLAND	20	8.15.02	REMITTED TO CITY OF PORTLAND



PROJECT: MERCY AT THE FORE  
 SHEET TITLE: UTILITY PLAN - SOUTH  
 CLIENT: MERCY HOSPITAL

DRAWN: DED DATE: 11.01.01  
 DESIGNED: SRB SCALE: 1"=40'  
 CHECKED: -SRB J JOB NO. 2149.01  
 FILE NAME: 2149.01-MP3  
 SHEET: C-11

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