

- SITE NOTES:**
- REFER TO ARCHITECTURAL PLANS FOR DETAILED FLOOR PLANS, BUILDING HEIGHTS, AND EXTERIOR LIGHTING LAYOUT.
 - TOTAL SITE AREA INCLUDES 0.575 ACRES (25,041 S.F.) AND IS COMPRISED ONE PARCEL, R.O.W. WIDTH FOR NORTHERLY CASSIDY POINT DRIVE IS 66 FEET AND SOUTHERLY CASSIDY POINT DRIVE IS 80 FEET PER EXISTING CONDITIONS PLAN. REFER TO EXISTING CONDITIONS PLAN COMPLETED BY OWEN HASKELL DATED 05/17/18.
 - SITE BOUNDARIES PER EXISTING CONDITIONS PLAN AND PROPERTY PINS TO BE SET BY OWEN HASKELL, INC.
 - SITE IS BOUNDED BY THE WPOZ ZONE PER CITY OF PORTLAND GIS WEBSITE.
 - LOCUS PARCEL IS SHOWN ON THE CITY OF PORTLAND ASSESSOR'S CHART, BLOCK, LOT 72-B-1
 - LOCUS PARCELS DO NOT SCALE IN A SPECIAL FLOOD HAZARD AREA PER FEMA FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 230051 0016B, INDEX DATED 7/17/1986.
 - ALL BUILDING CORNER OFFSETS TO BOUNDARY LINES ARE FROM CORNERBOARDS AND NOT BUILDING FOUNDATION, UNLESS OTHERWISE NOTED.
 - STRIPING AS INDICATED ON SITE PLAN SHALL BE 4" WIDE. ALL STRIPING SHALL BE WHITE UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT MARKINGS SHALL COMPLY TO CITY OF PORTLAND STANDARDS.
 - ANY ASPHALT TO BE REMOVED SHALL BE STRIPPED AND PROPERLY DISPOSED OF OFFSITE.
 - CURB TO BE REMOVED, STOCKPILED AND RESET IN ACCORDANCE WITH DETAIL. BROKEN CURB SHALL BE PROPERLY DISPOSED OF AND SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 - NO PLANTING TO BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
 - ANY SUBSTITUTIONS TO THE PLANTING SCHEDULE ARE TO BE REVIEWED FOR APPROVAL BY THE CITY ARBORIST.
 - CONTRACTOR TO SUBMIT SURFACE MOUNTED BICYCLE RACKS FOR ENGINEER REVIEW.
 - ALL SITE SIGNAGE TO COMPLY WITH MUTCD STANDARDS. THE FINAL WORDING FOR SITE SIGNAGE TYPES 3 AND 4 TO BE DETERMINED BY LANDOWNER. CONTRACTOR TO COORDINATE AND INSTALL.
 - FOLLOWING COMPLETION OF CONSTRUCTION, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND MANAGEMENT OF DRIVEWAYS, SITE LIGHTING, TRASH REMOVAL, RETAINING WALLS, AND SNOW REMOVAL.
 - THE OWNER SHALL BE RESPONSIBLE FOR COMPLYING WITH THE CONDITIONS OF THE SUBMITTED STORMWATER MANAGEMENT PLAN AND THE APPROVED PLANS, AND MEET CITY STANDARDS AND STATE GUIDELINES.

- EASEMENTS:**
- ALL EXISTING EASEMENTS RELEASED PRIOR TO PROJECT START.
- EXISTING EASEMENTS:**
- SUBJECT TO A SEWER EASEMENT GRANTED TO PORTLAND WATER DISTRICT AND FURTHER DESCRIBED IN BOOK 4015, PAGE 224.
 - SUBJECT TO AN EASEMENT GRANTED TO PORTLAND WATER DISTRICT AND FURTHER DESCRIBED IN BOOK 4006, PAGE 304.
 - SUBJECT TO A UTILITY EASEMENT GRANTED TO CENTRAL MAINE POWER AND FURTHER DESCRIBED IN BOOK 3602, PAGE 117.

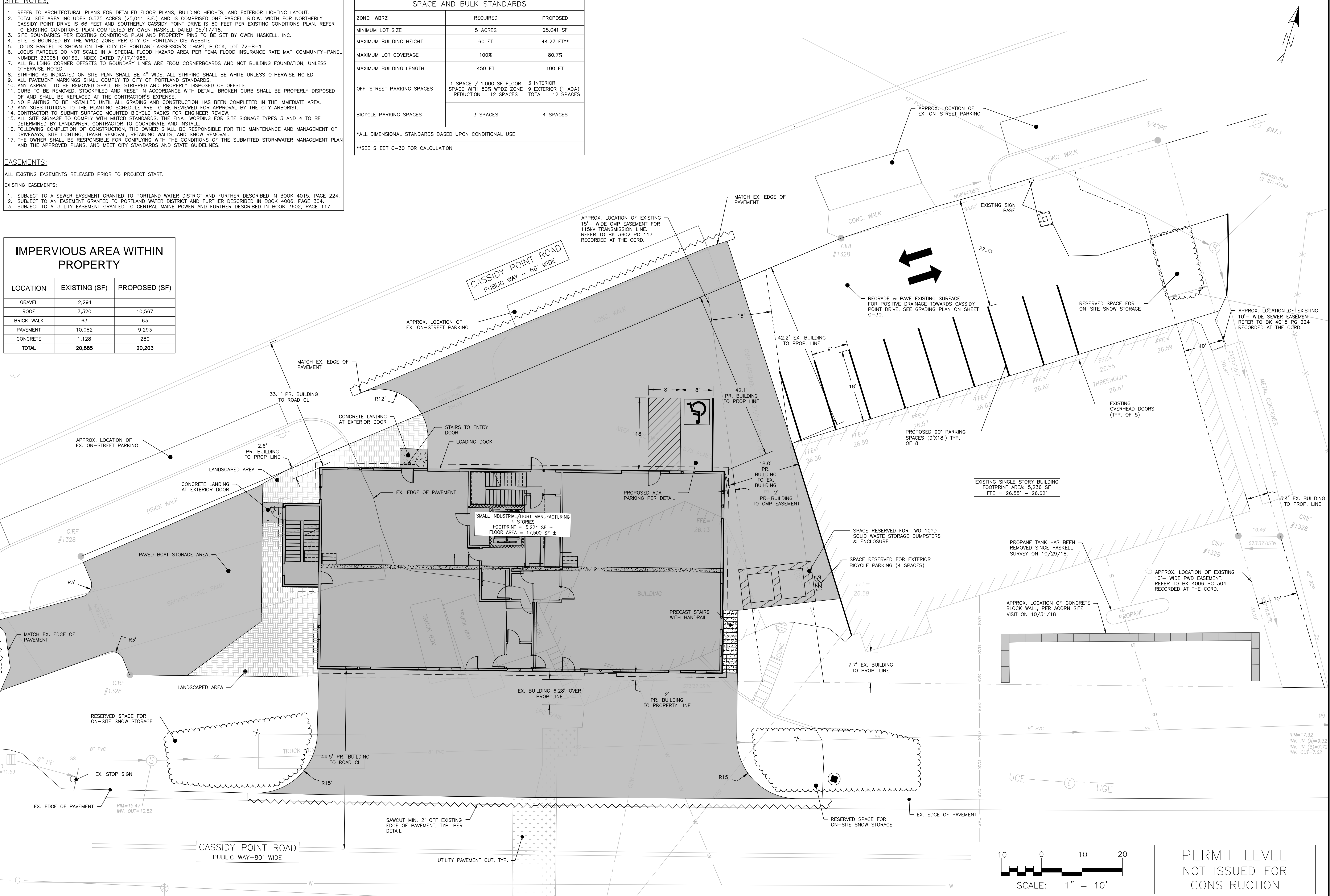
SPACE AND BULK STANDARDS		
ZONE: WBRZ	REQUIRED	PROPOSED
MINIMUM LOT SIZE	5 ACRES	25,041 SF
MAXIMUM BUILDING HEIGHT	60 FT	44.27 FT**
MAXIMUM LOT COVERAGE	100%	80.7%
MAXIMUM BUILDING LENGTH	450 FT	100 FT
OFF-STREET PARKING SPACES	1 SPACE / 1,000 SF FLOOR SPACE WITH 50% WPDZ ZONE REDUCTION = 12 SPACES	3 INTERIOR 9 EXTERIOR (1 ADA) TOTAL = 12 SPACES
BICYCLE PARKING SPACES	3 SPACES	4 SPACES

*ALL DIMENSIONAL STANDARDS BASED UPON CONDITIONAL USE

**SEE SHEET C-30 FOR CALCULATION

IMPERVIOUS AREA WITHIN PROPERTY

LOCATION	EXISTING (SF)	PROPOSED (SF)
GRAVEL	2,291	
ROOF	7,320	10,567
BRICK WALK	63	63
PAVEMENT	10,082	9,293
CONCRETE	1,128	280
TOTAL	20,885	20,203



ISSUED FOR	BY	DATE
PRELIMINARY PLAN	FRT	11/13/18
LEVEL II SITE PLAN	WHS	12/20/18
LEVEL II SITE PLAN	WHS	1/2/19

SITE PLAN

CASSIDY POINT REDEVELOPMENT

PROJECT MANAGEMENT, INC.

225 COMMERCIAL STREET, SUITE 502 PORTLAND, ME 04101

ACORN ENGINEERING, INC.

65 HANOVER ST. PORTLAND MAINE 04101
(207) 775-2855

REGISTERED PROFESSIONAL ENGINEER
STATE OF MAINE
NO. 11418
EXPIRES 12-20-18

FILE: 1113_CIVIL

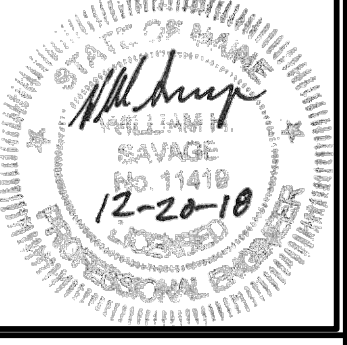
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SCALE: AS NOTED

DESIGNED BY: FRT

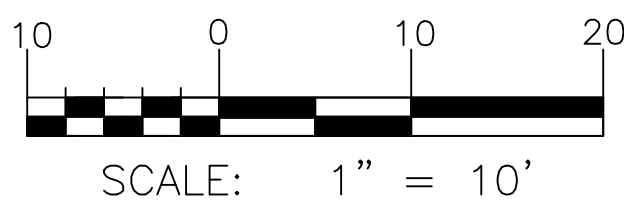
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DRAWING NO.

C-10



PERMIT LEVEL

NOT ISSUED FOR

CONSTRUCTION