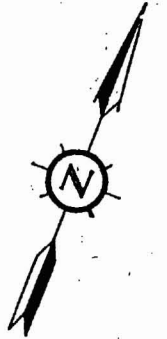
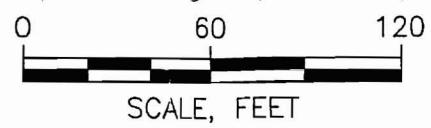
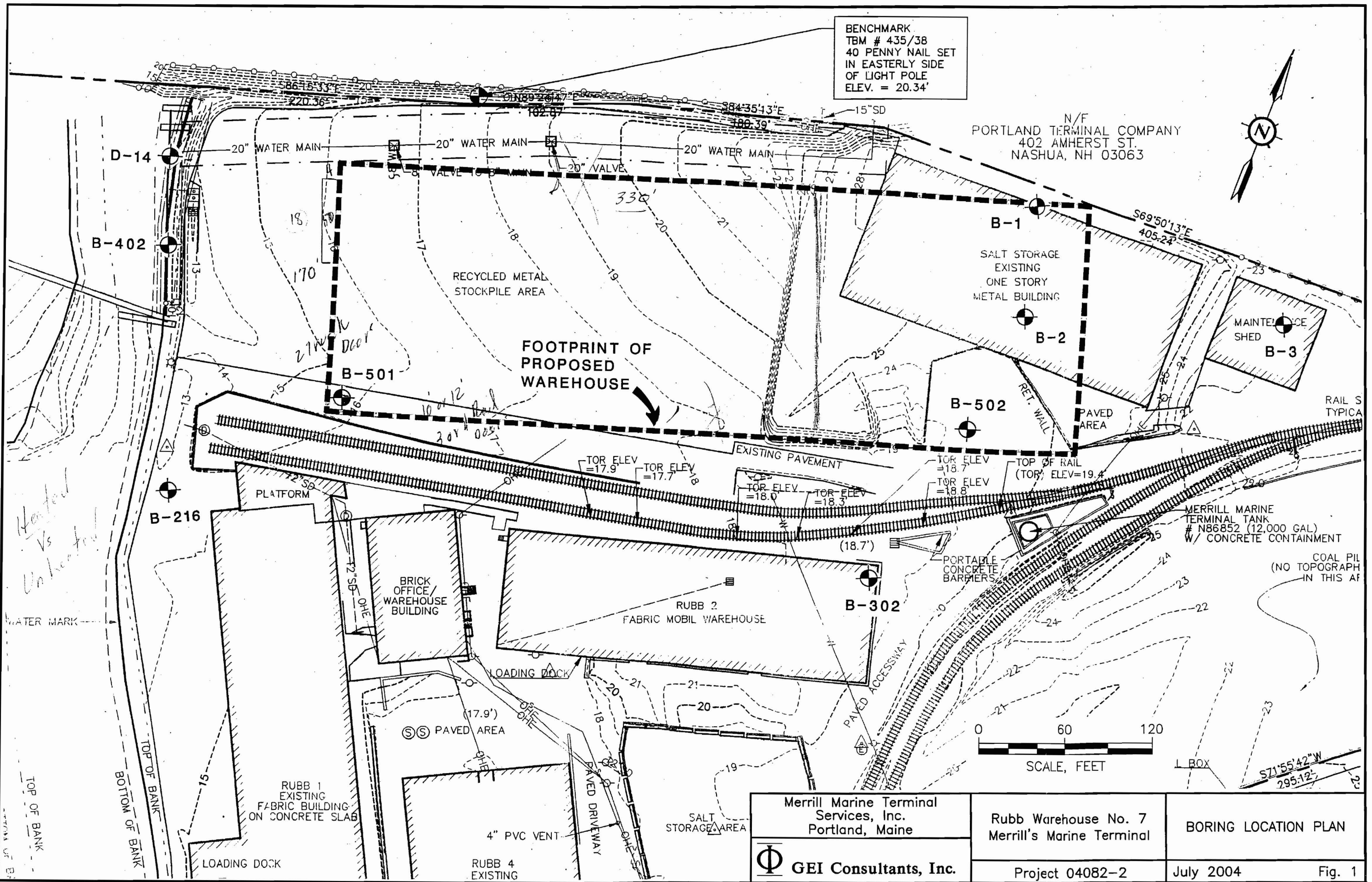


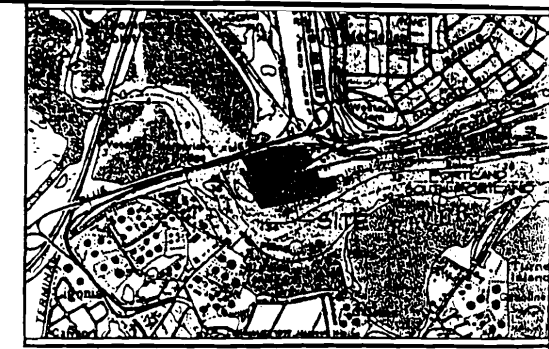
BENCHMARK
 TBM # 435/38
 40 PENNY NAIL SET
 IN EASTERLY SIDE
 OF LIGHT POLE
 ELEV. = 20.34'



N/F
 PORTLAND TERMINAL COMPANY
 402 AMHERST ST.
 NASHUA, NH 03063



Merrill Marine Terminal Services, Inc. Portland, Maine	Rubb Warehouse No. 7 Merrill's Marine Terminal	BORING LOCATION PLAN
Φ GEI Consultants, Inc.	Project 04082-2	July 2004
		Fig. 1

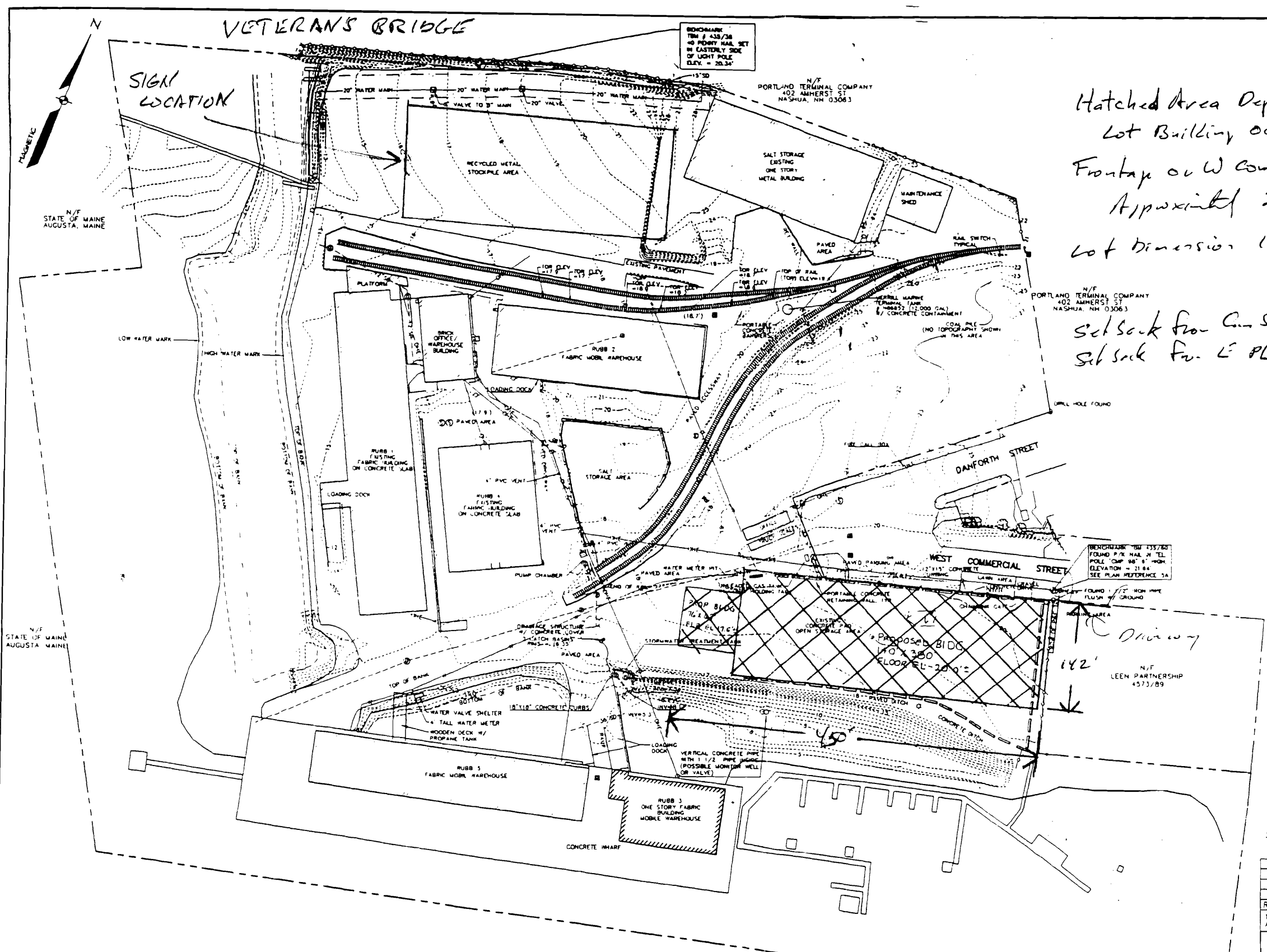


LOCATION MAP

Hatched Area Depicts
 Lot Building Occupies
 Frontage on W Commercial
 Approximately 280'
 Lot Dimension 142' x 450'

GENERAL NOTES:

- RECORD OWNER OF PROPERTY IS MERRILL INDUSTRIES, INC. WORKING ADDRESS IS 601 DANFORTH STREET, PORTLAND, MAINE 04102 AND IS RECORDED BY DEED BOOK 4066, PAGE 315 IN THE CLIMBERLAND COUNTY REGISTRY OF DEEDS.
- THE LOCUS PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 71, LOTS 3A, 1A AND 15A.
- TOPOGRAPHIC SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. JUNE, 1991. ELEVATIONS ARE RELATED TO MEAN LOW WATER (MLW) + 0.
- PROPERTY IS LOCATED WITHIN THE (UPDZ) WATERFRONT PORT DEVELOPMENT ZONE.
 DIMENSION REQUIREMENTS
 MINIMUM LOT SIZE NONE
 MINIMAL FRONTAGE NONE
 SETBACK REQUIREMENTS NONE
 MAXIMUM LOT COVERAGE 100%
 MAXIMUM BUILDING HEIGHT 45' (UNLESS SUBJECT TO EXCEPTIONS)
- PLAN REFERENCE
 A. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR MERRILL'S MARINE TERMINAL, EXISTING CONDITIONS PLAN BY HJ, AND E.C. JORDAN - SURVEYORS, DATED DECEMBER 18, 1989 AND STAMPED BY JOHN P. MCGONIGLE, JR., PLS 356.
 B. PLAN AND PROFILE OF 10" MAIN UNDER VETERAN'S BRIDGE AT MERRILL'S COAL CO.' PLAN BY PORTLAND WATER DISTRICT, 225 DOUGLASS STREET, PORTLAND, MAINE 04104, LAST REV DATE 1/20/89. THE EASEMENT FOR THE PORTLAND WATER DISTRICT WATER MAIN IS RECORDED AT THE CLIMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 8013, PAGE 17.
- PRIOR TO BEGINNING ANY CONSTRUCTION THE OWNER SHALL ACQUIRE ALL THE NECESSARY PERMITS FROM THE CITY OF PORTLAND AND NOTIFY D&G SAFE 72 HOURS IN ADVANCE OF COMMENCING EXCAVATION ACTIVITIES TO VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE.
- CONTRACTOR OR EXCAVATOR TO FIELD VERIFY INVERTS OF EXISTING STRUCTURES TO BE ALTERED PRIOR TO EXCAVATION ACTIVITIES.
- THE ADDITIONAL EXISTING CONDITIONS DATA REFERENCED IN REVISION 12" WAS FIELD LOCATED BY INSTRUMENT SURVEY ON 12-14-01 & 1-13-02.



Setback from Cur St: 1'
 Setback from E PL: 3'

PRELIMINARY
 NOT FOR CONSTRUCTION

N/F
 CIAMBRO CORPORATION
 328 WEST COMMERCIAL ST
 PORTLAND, MAINE 04102

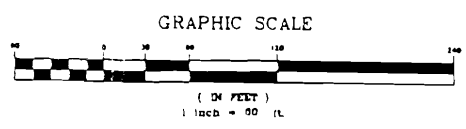
J	DTM	3-04-02	REMOVE NOTE 10 & HYDROGRAPHIC SURVEY
C	DRL	1-30-02	ADD ADDITIONAL EXISTING CONDITIONS SURVEY DATA & NOTES 9&10
B	DTM	11/22/00	MODS REQUESTED BY CLIENT
A	DTM	06-28-00	SUBMITTED TO CLIENT FOR REVIEW
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

MASTER SITE PLAN
 OF:
 MERRILL'S MARINE TERMINAL
 DANFORTH AND WEST COMMERCIAL STREETS
 PORTLAND, MAINE
 FOR:
 MERRILL INDUSTRIES, INC.
 601A DANFORTH STREET
 PORTLAND, MAINE 04102

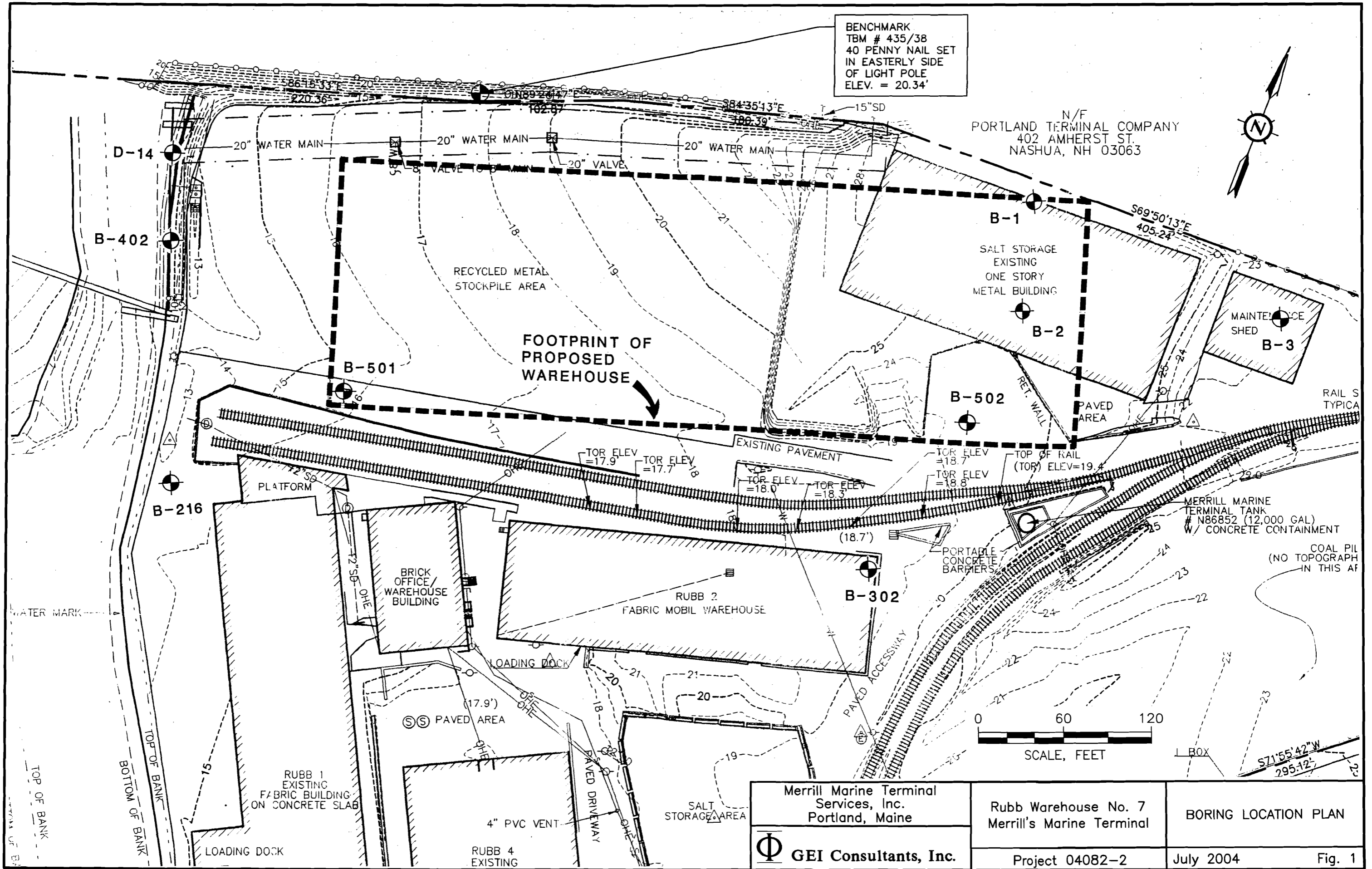
LEGEND

EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY ROW	---	—○—	OVERHEAD ELEC. & TEL	—○—
▭	BUILDING	▭	⊗	GATE VALVE	⊗
---	EDGE PAVEMENT	---	⊕	UTILITY POLE	⊕
---	GRAVEL ROAD	---	⊕	HYDRANT	⊕
---	CURBLINE	---	⊕	CATCH BASIN	⊕
---	CONTOURS	---	⊕	MANHOLE	⊕
---	WATER	---	⊕	CULVERT	⊕
---	SEWER	---	⊕	RAILROAD	⊕
---	STORM DRAIN	---	⊕	BENCHMARK	⊕



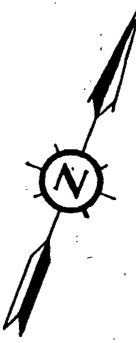
DESIGN BY:
 DRAWN BY: BRF/DRL
 CHECKED BY: DTM
 DATE: 06-24-00
 SCALE: 1"=60'
 FIELD BK: 370&435a
 PROJ. NO.: 00139
 DRAWING: 00139msd
 SHEET 1 OF 1

Sebago Technics
 Engineering & Planning for the Future
 ONE CHABOT STREET
 WESTBROOK, ME 04098-1339
 TEL (207) 696-0277



BENCHMARK
 TBM # 435/38
 40 PENNY NAIL SET
 IN EASTERLY SIDE
 OF LIGHT POLE
 ELEV. = 20.34'

N/F
 PORTLAND TERMINAL COMPANY
 402 AMHERST ST.
 NASHUA, NH 03063



B-1
 SALT STORAGE
 EXISTING
 ONE STORY
 METAL BUILDING

B-3
 MAINTENANCE
 SHED

B-501

FOOTPRINT OF
 PROPOSED
 WAREHOUSE

B-2

B-502

B-216

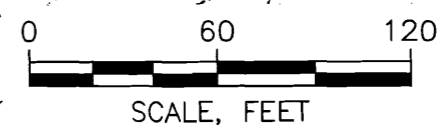
BRICK
 OFFICE/
 WAREHOUSE
 BUILDING

RUBB 2
 FABRIC MOBIL WAREHOUSE

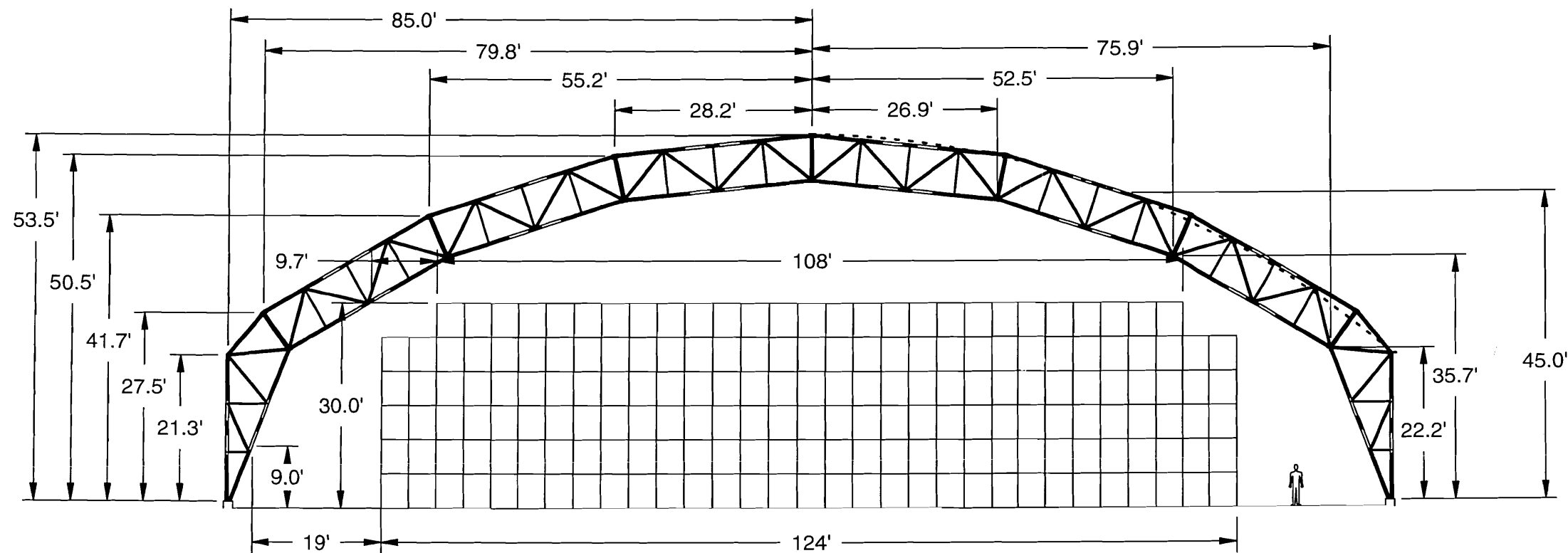
B-302

MERRILL MARINE
 TERMINAL TANK
 # N86852 (12,000 GAL)
 W/ CONCRETE CONTAINMENT

COAL PILE
 (NO TOPOGRAPH
 IN THIS AREA)

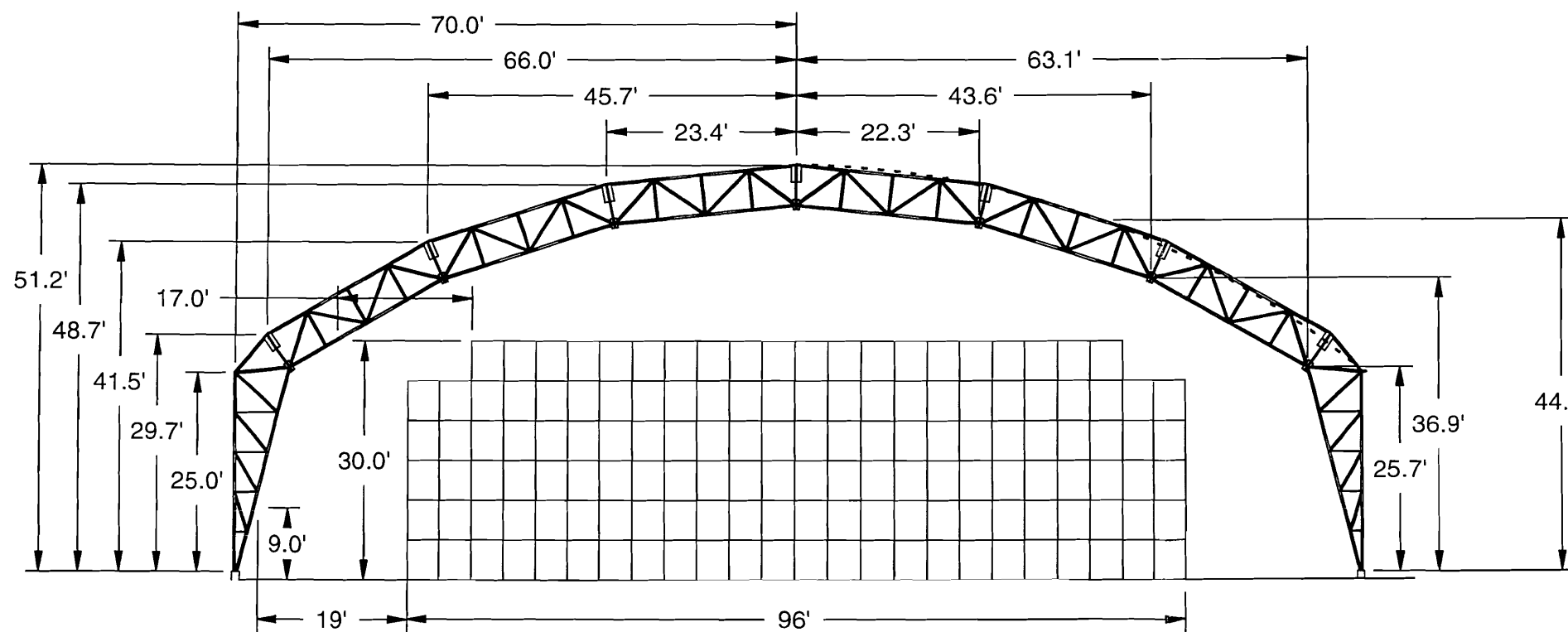


Merrill Marine Terminal Services, Inc. Portland, Maine	Rubb Warehouse No. 7 Merrill's Marine Terminal	BORING LOCATION PLAN	
GEI Consultants, Inc.	Project 04082-2	July 2004	Fig. 1



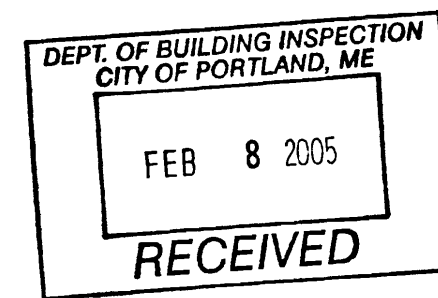
MEAN ROOF HEIGHT ABOVE BASEPLATE

RUBB VII - PROPOSED 170' SPAN BVE RANGE W/21' LEG



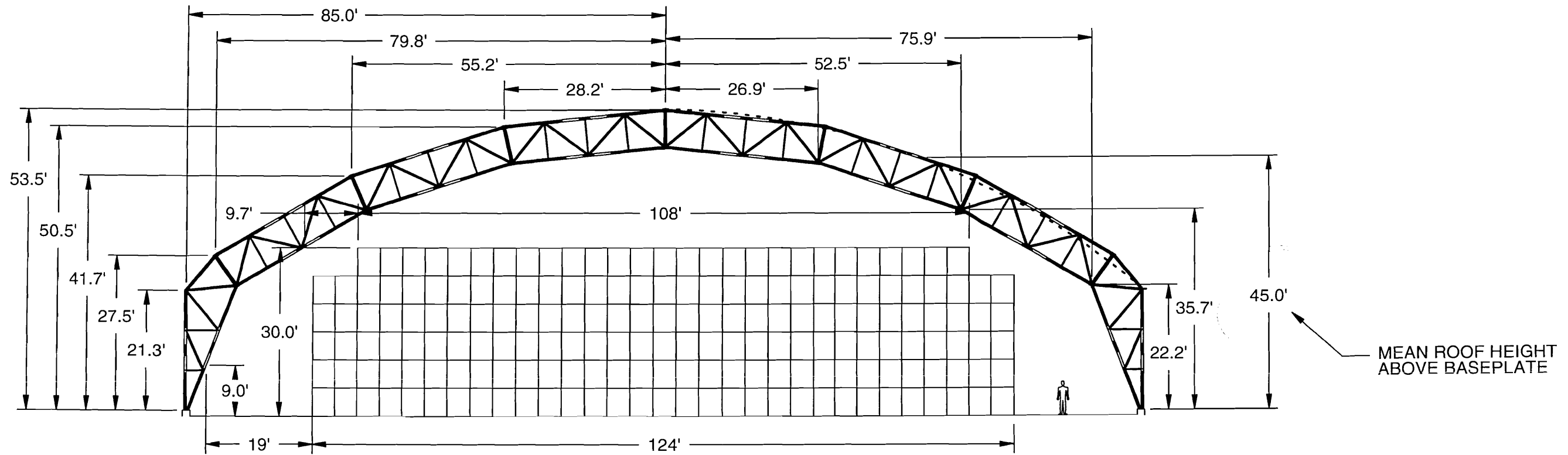
MEAN ROOF HEIGHT ABOVE BASEPLATE

RUBB VI - 140' SPAN BVE RANGE



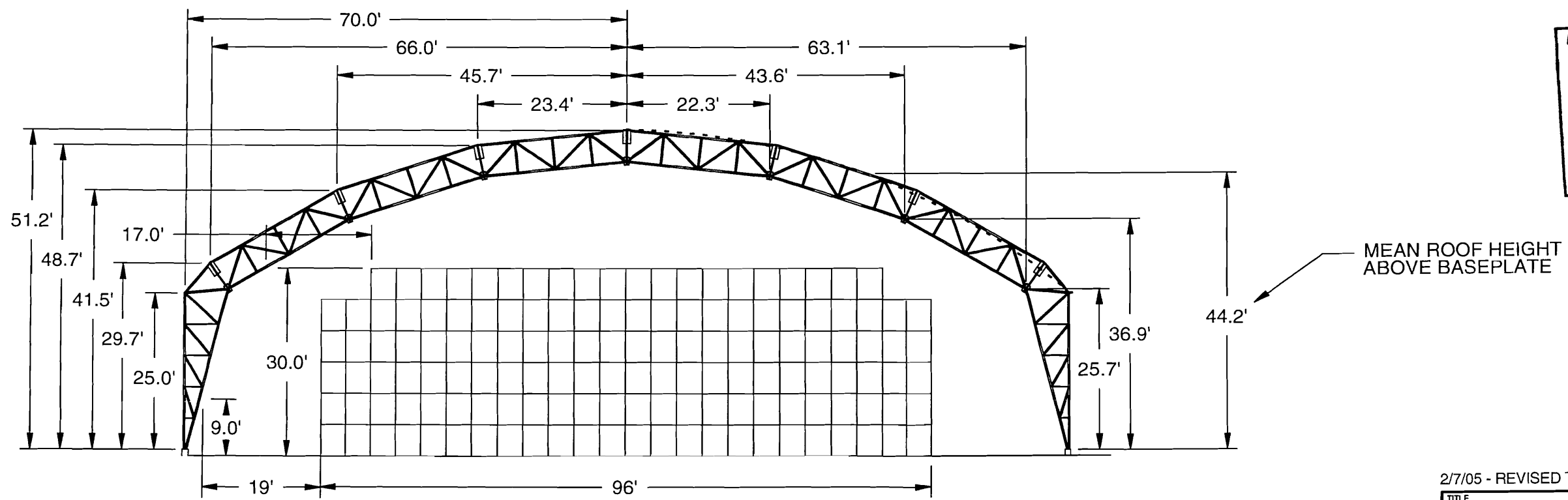
2/7/05 - REVISED TO SHOW DISTANCE FROM CENTER OF ARC

TITLE PROPOSED RUBB VII - COMPARISON OF 170' SPAN BVE w/21' LEG TO RUBB VI - 140' SPAN BVE w/25' LEG				We Cover The World 	
GA	SP	SCALE	DRAWN	DATE	DRAWING NO.
7425 SF	230 LF	1" = 20'	DCN	2/4/05	81982



RUBB VII - PROPOSED 170' SPAN BVE RANGE W/21' LEG

MEAN ROOF HEIGHT ABOVE BASEPLATE



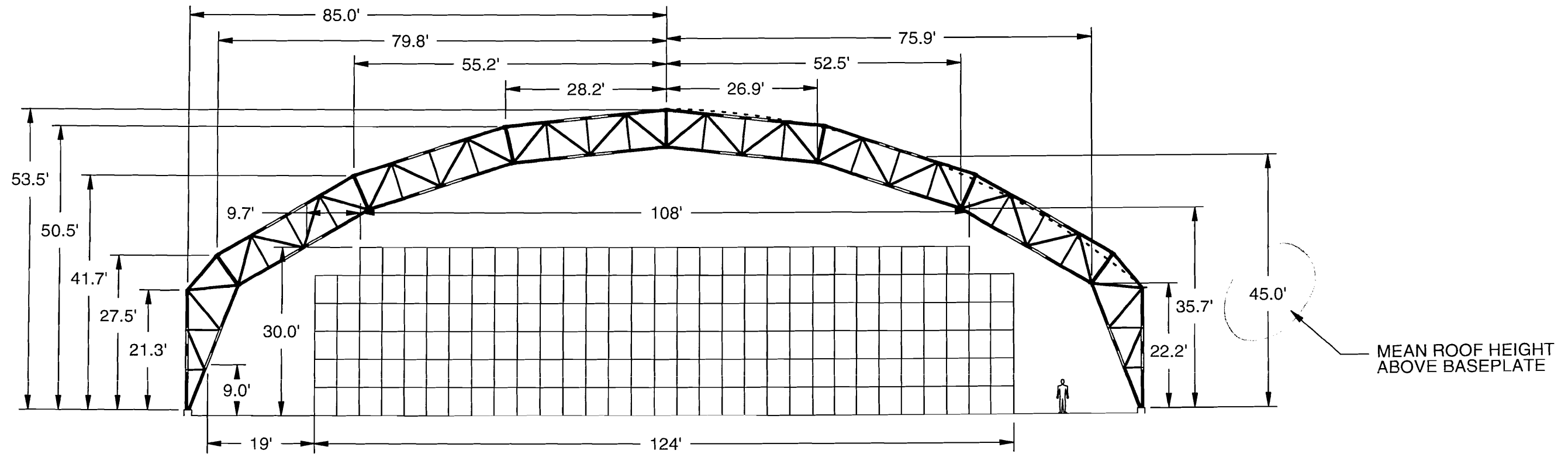
RUBB VI - 140' SPAN BVE RANGE

MEAN ROOF HEIGHT ABOVE BASEPLATE

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
FEB 8 2005
RECEIVED

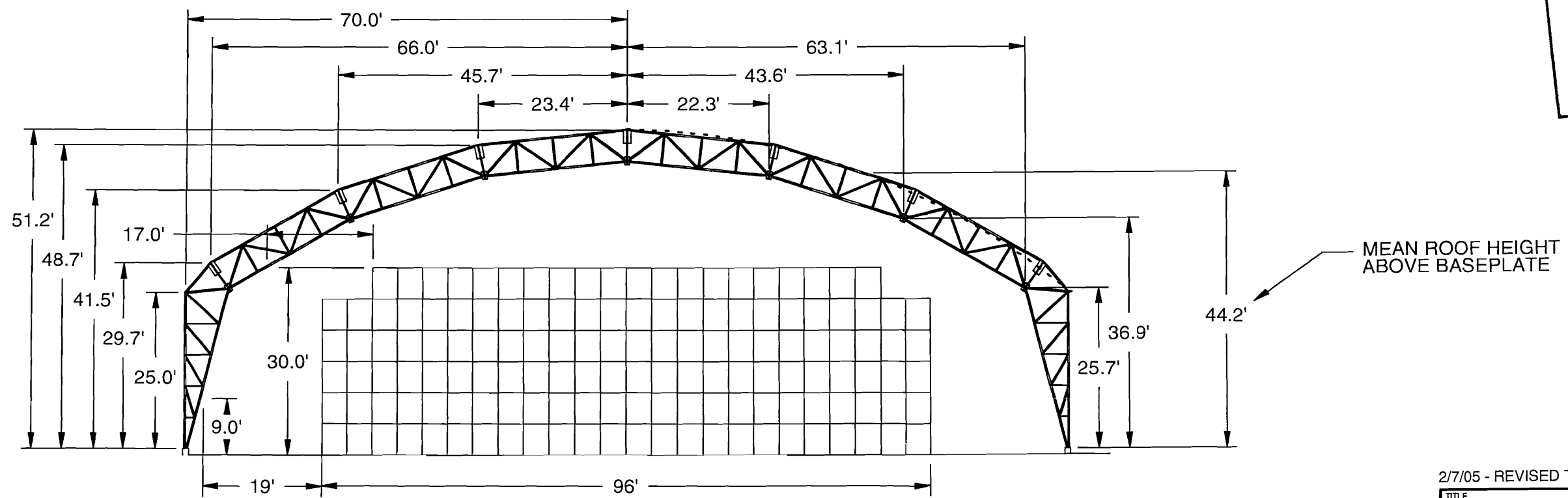
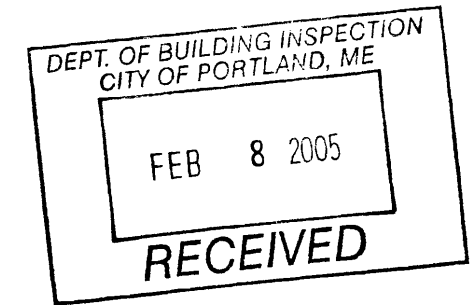
2/7/05 - REVISED TO SHOW DISTANCE FROM CENTER OF ARC

TITLE PROPOSED RUBB VII - COMPARISON OF 170' SPAN BVE w/21' LEG TO RUBB VI - 140' SPAN BVE w/25' LEG					We Cover The World RUBB BUILDING SYSTEMS	
GA 7425 SF	SP 230 LF	SCALE 1" = 20'	DRAWN DCN	DATE 2/4/05	DRAWING NO. 81982	



RUBB VII - PROPOSED 170' SPAN BVE RANGE W/21' LEG

MEAN ROOF HEIGHT ABOVE BASEPLATE



RUBB VI - 140' SPAN BVE RANGE

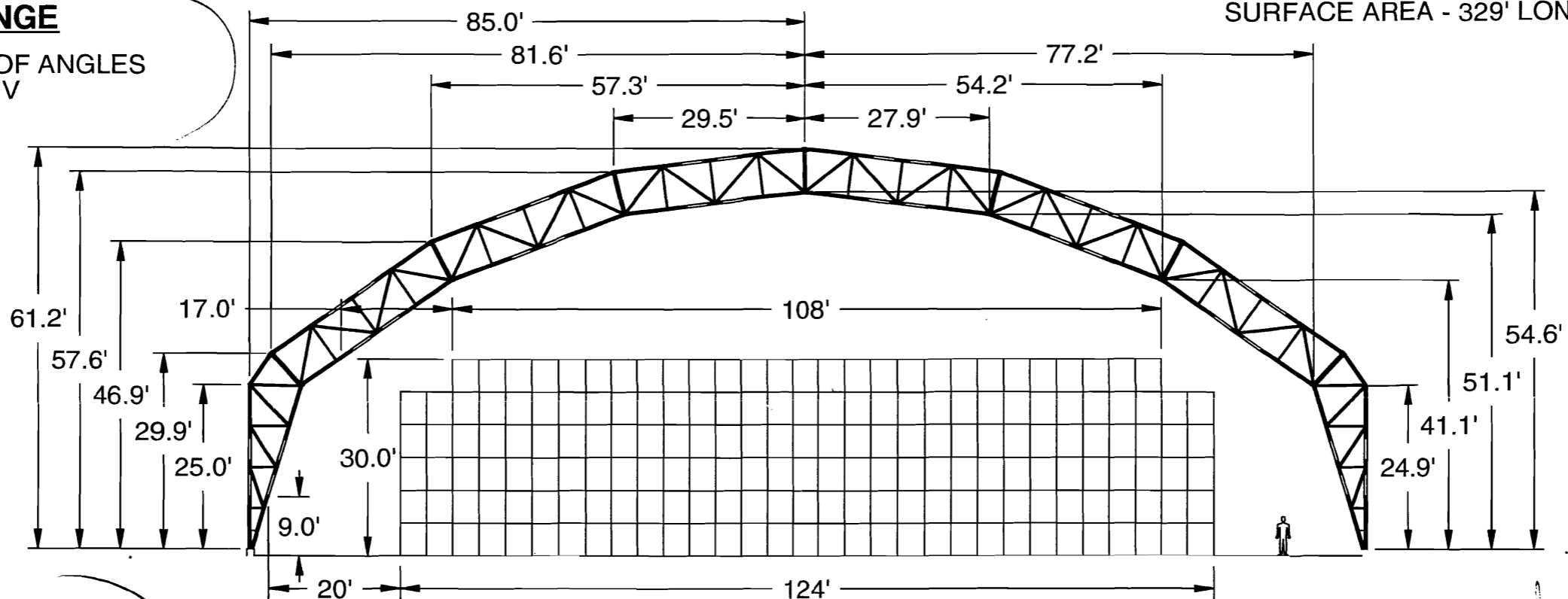
MEAN ROOF HEIGHT ABOVE BASEPLATE

2/7/05 - REVISED TO SHOW DISTANCE FROM CENTER OF ARC

TITLE PROPOSED RUBB VII - COMPARISON OF 170' SPAN BVE w/21' LEG TO RUBB VI - 140' SPAN BVE w/25' LEG				We Cover The World 	
GA	SP	SCALE	DRAWN	DATE	DRAWING NO.
7425 SF	230 LF	1" = 20'	DCN	2/4/05	81982

AVC RANGE

SAME ROOF ANGLES AS RUBB IV

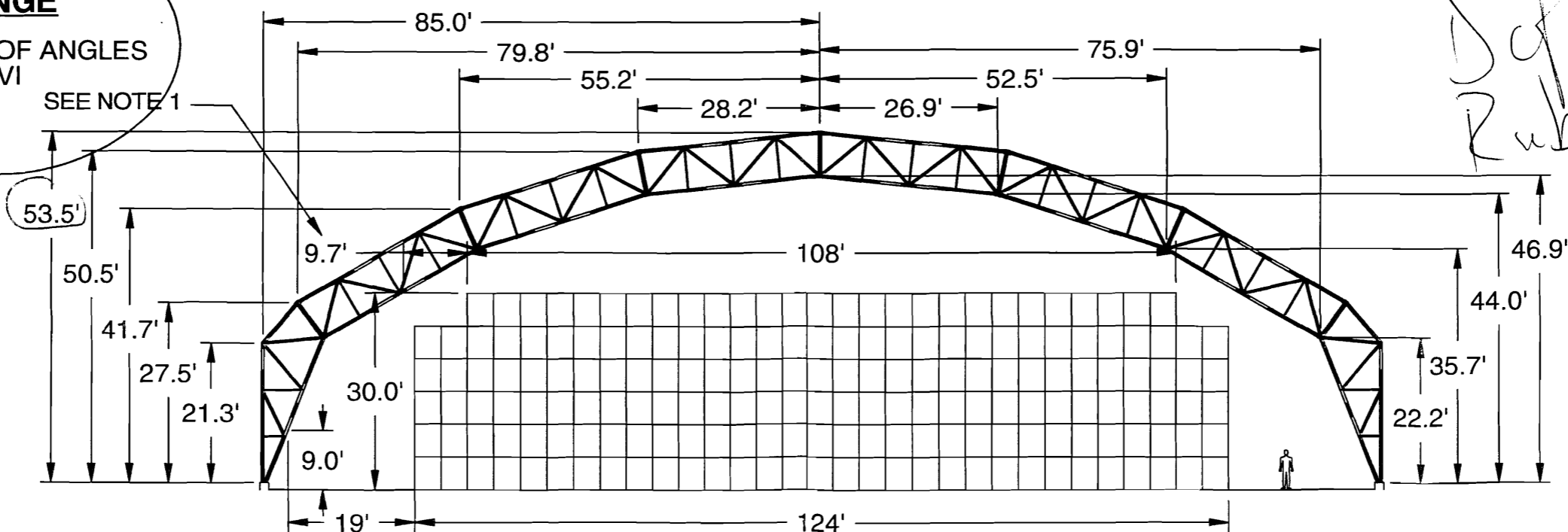


AVC WITH 25' WALL GIVES SPACE FOR 182 - 4' DIA x 5' HIGH ROLLS
SPAN PER. = 240 LF - GABLE = 8,504 SF
SURFACE AREA - 329' LONG = 96,088 SF

BVE RANGE

SAME ROOF ANGLES AS RUBB VI

SEE NOTE 1



Different Rubb Bldgs.

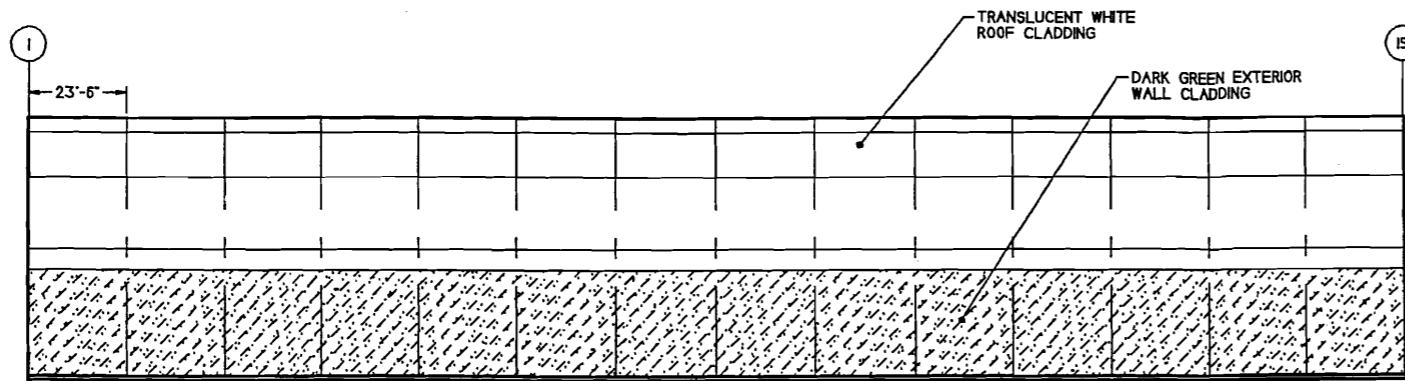
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
FEB 2 2005
RECEIVED

BVE WITH 21' WALL GIVES SPACE FOR 182 - 4' DIA x 5' HIGH ROLLS
SPAN PER. = 230 LF - GABLE = 7,428 SF
SURFACE AREA - 329' LONG = 90,641 SF

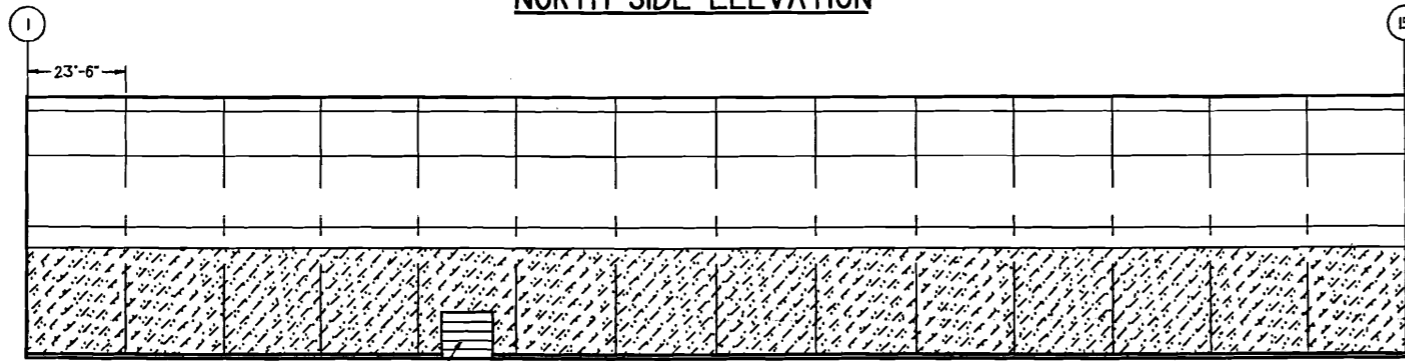
NOTE 1:

INCREASING WALL OF BVE TO 25' BRINGS SURFACE AREA TO 94,337 SF OR 2% LESS THAN AVC WITH 25' WALL. THIS ALSO INCREASE 9.7' CLEARANCE TO 16.1'

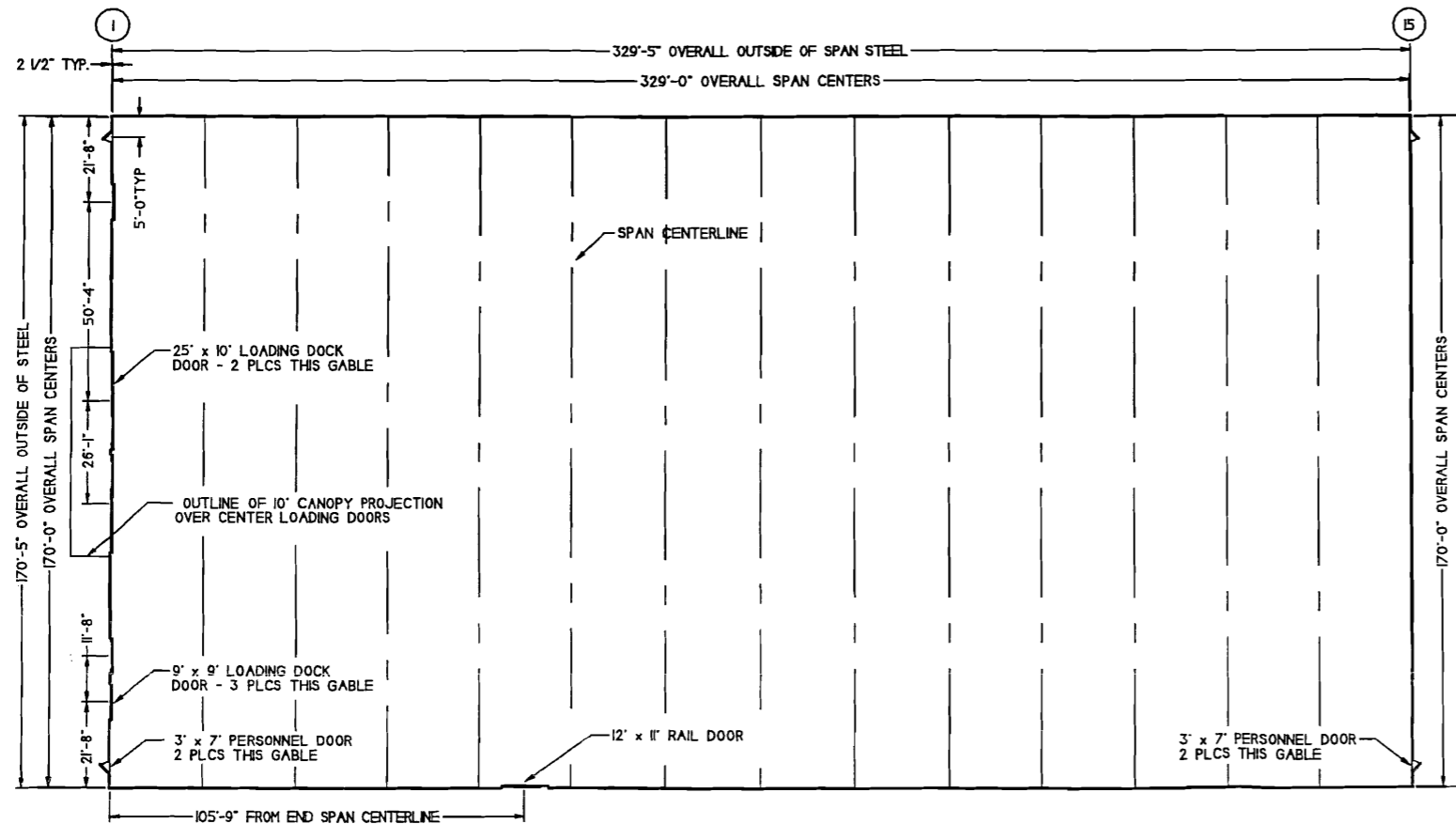
TITLE		We Cover The World	
170' AVC AND BVE / 25' LEG SPAN PROFILE COMPARISON		RUBB BUILDING SYSTEMS	
SCALE	DRAWN	DATE	DRAWING NO.
1 : 350	DCN	1/28/05	81974



NORTH SIDE ELEVATION

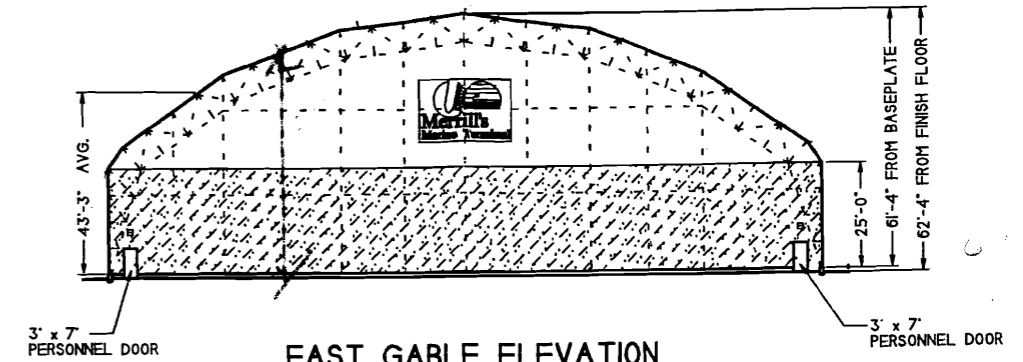


SOUTH SIDE ELEVATION

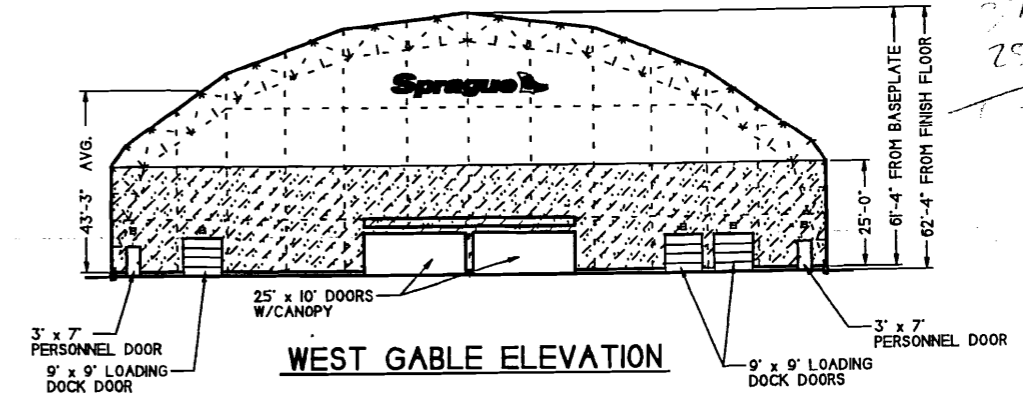


EAST PLAN VIEW

Sprague

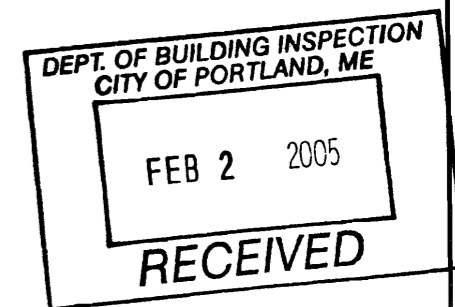


EAST GABLE ELEVATION



WEST GABLE ELEVATION

37.33 - 2'18.67
25.00
43.67



- COVERING MATERIAL IS A PVC IMPREGNATED POLYESTER WEAVE FABRIC SELF EXTINGUISHING TO FEDERAL TEST STANDARD 191 METHOD 5903 AND COMPLIES WITH NFPA STANDARD 701, UBC 55-1 AND CALIFORNIA STATE FIRE MARSHALL'S OFFICE.
- STRUCTURAL FRAMEWORK IS POST PRODUCTION HOT DIP GALVANIZED TUBULAR STEEL TRUSS FRAMES INTERCONNECTED WITH GALVANIZED TUBULAR STEEL PURLINS AND FRAMES. STEEL PLATE AND SHAPES ARE A36. STEEL TUBING IS A500.
- STRUCTURAL LOADS: IBC 2003
WIND LOAD: 100 mph 3 SEC GUST EXPOSURE C $W=0.87$
ROOF LIVE LOAD: 30 pcf GROUND SNOW LOAD: 50 pcf. $S=0.80$

REV	DESCRIPTION	DRAWN	APP.	DATE
1	MERRILL/SPRAGUE RUBB VII 170' SPAN BVL w/25' LEG PLAN VIEW & ELEVATIONS			
DCN 1-27-05	SCALE 1:250	The drawing is the property of Rubb, Inc. and may not be reproduced or used for any engineering purpose without the express written consent of Rubb, Inc.		
	05014			
	MERRILL RUBB VII			
RUBB, INC. SANFORD MAINE 04073 TEL: 207-324-2877 FAX: 207-324-2347				39764