

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0739	Issue Date: AUG - 1 2002	CBL: 072 A003001
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Location of Construction: 601 Danforth St	Owner Name: Merrill Industries Inc	Owner Address: 601 Danforth St	Phone: 207-772-3254
Business Name: n/a	Contractor Name: Merrill Industries, Inc	Contractor Address: 601 Danforth Street Portland	Phone: 2077723254
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Commercial	Zone: WPDZ

Past Use: Commercial / Vacant	Proposed Use: Commercial / New 58,292 sq. ft. Warehouse for the Maine Port Authority. Site plan approval for project was granted by Planning Board April 23, 2002.	Permit Fee: \$11,998.00	Cost of Work: \$1,700,000.00	CEO District: 3
Proposed Project Description: Build New 58,292 sq. ft. Warehouse for the Maine Port Authority.		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: S2 Type: 2C 8/1/02	
		Signature: [Signature]	Signature: [Signature]	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: gg	Date Applied For: 06/28/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/9/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	-WPDZ excerpts from shoreland setback Panel 16 Zone C 2002-0079		

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: Gary Sutryn, P.E.
Rubb Inc.

DATE: 7/01/02

Job Name: Merrill #6

Address of Construction: Merrill Industries, 601A Danforth St., Portland, ME.

THE BOCA NATIONAL BUILDING CODE/1999 Fourteenth EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year: BOCA 1999 Use Group Classification(s): S - 1

Type of Construction: 2-C Bldg. Height: 38.1' AVG. Roof Bldg. Sq. Footage: 58,270

Seismic Zone: Aa = Av = 0.1 Group Class: Exposure Group 1

Roof Snow Load Per Sq. Ft.: 50 psf Ground Dead Load Per Sq. Ft.: 6.5 psf

Basic Wind Speed (mph): 90 Effective Velocity Pressure Per Sq. Ft.: Pv = 20.7

Floor Live Load Per Sq. Ft.: N/A

Structure has full sprinkler system? Yes No Alarm System? Yes No
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

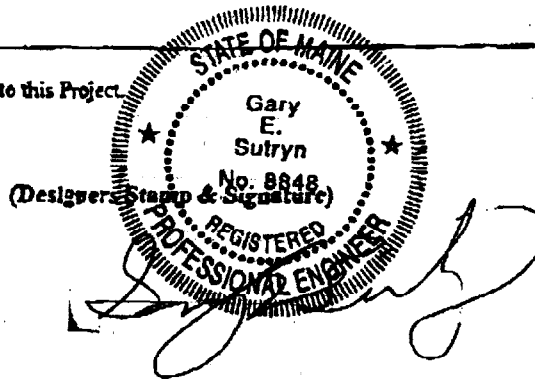
Is structure being considered unlimited area building: Yes No

If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

Occupant Loading = 2 Average

PSH 6/07/2K



DEPARTMENT DIRECTOR
Lee D. Urban



DIVISION DIRECTORS
Mark B. Adelson
Housing & Neighborhood Services

Alexander Q. Jaegerman
Planning

John N. Lufkin
Economic Development

DEPARTMENT OF PLANNING AND DEVELOPMENT

August 1, 2002

P.D. Merrill
601 Danforth St.
Portland, ME 04102

Re: Building Permit#020739/58,292 sq. ft. membrane structure

Dear Mr. Merrill,

The above referenced permit has been reviewed and is issued subject to conditions. The following is our understanding of the relevant facts:

- 1) The City has adopted the 1999 BOCA code as amended.
- 2) Section 3103 of the Code defines and sets forth regulations for the erection of membrane structures.
- 3) For the purposes of this application, this structure is defined as permanent membrane covered frame structure, Type 2C construction.
- 4) The design professional has indicated that this structure is to be designated as an unlimited area building, subject to the standards of Section 507.0 of the Code.
- 5) The proposal is to store densely packed, rolled newsprint in the structure.
- 6) The proposal does not contemplate an NFPA 13 Fire suppression system.
- 7) The Proposal contemplates four fire suppression hoses, one in each corner of the structure, to remain accessible at all times.
- 8) The applicant has requested a waiver from fire suppression and fire separation distance standards.

Based on the information provided and interviews with Lt. Gaylen McDougall, and Chief Fred Lamontange, Portland Fire Department, this office finds the following:

- 1) The material is packed at a density that makes combustion improbable under normal conditions.
- 2) Section 507.1, exemption 1 of the Building Code provides for the erection of "Special Industrial occupancies" without fire suppression if the system would be detrimental to the specific occupancy, as approved by the Code Official.
- 3) "Special Industrial Occupancies" as contemplated by the above exemption are limited to S2 and F2 uses.
- 4) If stored in compliance with NFPA regulations, this office will classify this specific and limited use as an S2 use.

This office will allow the construction as requested with the following conditions.

- 1) The rolls of newsprint will be stored in compliance with NFPA regulations. Any variation from this arrangement must be approved in writing from this office.
- 2) No other combustible product may be stored in this building, as it would then be considered an S1 Use Group as defined in table 311.2 and subject to all of the provisions of Section 507. including Fire suppression and Fire separation protection.
- 3) If the Easterly abutter develops the parcel in a manner that places a structure closer than 30 feet to the membrane structure, the membrane structure will be retrofitted with materials having a fire resistance rating consistent with Section 507.2 of the Building Code

Please feel free to contact me at 874-8700 if you have any questions.

Sincerely,

Mike Nugent
Manager of Inspections Services

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 02-0815	Issue Date: 11 21 2002	CBL: 072 A003001
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Location of Construction: 601 Danforth St	Owner Name: Merrill Industries Inc	Owner Address: 601 Danforth St	Phone: 772-3254
Business Name:	Contractor Name:	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Foundation Only/Commercial	Zone:

Past Use: Vacant Portion of Commercial Use	Proposed Use: FOUNDATION ONLY 58,292 Sq. Ft. proposed structure	Permit Fee: \$37.00	Cost of Work: \$0.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>SI</i> Type: <i>2</i>

Proposed Project Description:
Foundation Permit

Signature: *SEE # 020739* Signature: *[Handwritten Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: mjn	Date Applied For: 07/23/2002	Zoning Approval
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/21/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>#020739</i>	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Insp Copy

2002-0079

Application I. D. Number

Merrill Industries Inc

Applicant

601 Danforth St, Portland, ME 04102

Applicant's Mailing Address

Merrill Industries, Inc.

Consultant/Agent

Applicant Ph: (207) 772-3254 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

3/21/02

Application Date

Rubb V1

Project Name/Description

601 - 601 Danforth St, Portland, Maine

Address of Proposed Site

072 A003001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

58273 sq. ft.

Proposed Building square Feet or # of Units

29 Acres

Acreage of Site

WPDZ

Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$500.00** Subdivision _____ Engineer Review _____ Date **3/21/02**

Insp Approval Status:

- Approved Approved w/Conditions See Attached Denied

Reviewer 

Approval Date 7/1/02 Approval Expiration 7/1/03 Extension to _____ Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee

- Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 020815

Please Read Application And Notes, if Any, Attached

This is to certify that Merrill Industries Inc

has permission to Foundation Permit

AT 601 Danforth St 072 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

[Signature] 2/23/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

MERRILL

Since 1929

*Cargo
Transport
Specialists*

28 June 2002

Planning Department
City of Portland
Attn: Marge Schmuckel
389 Congress Street
Portland, ME 04101

Re: Application for Building Permit

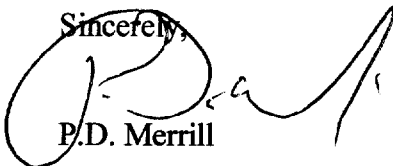
Dear Marge:

Enclosed is our check in the amount of \$10,224 together with drawings and CAD format as indicated below in connection with the construction of a new warehouse for the Maine Port Authority to be located on an easement given MePA this date by Merrill Industries, Inc.

Site plan approval for this project was granted by the Planning Board on 23 April 2002 (CBL:072-A003001) report 24-02.


This project has been unexpectedly delayed; we would very much appreciate your consideration in facilitating the review process.

Thank you for your help.

Sincerely,

P.D. Merrill

Enclosures:

- 1 - 11x17
- 1 - Full Size
- 1 - 8-1/2 x 11 (Rub) (Rub)
- 1 - Disc


**Merrill's
Marine Terminal**

601A Danforth Street
Portland, Maine USA
04102-3903

Tel: 207-772-3254
Fax: 207-772-3156

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 020739

Please Read Application And Notes, If Any, Attached

This is to certify that Merrill Industries Inc/Merrill Industries
has permission to Build New 58,292 sq. ft. Warehouse for Mainport Authority
AT 601 Danforth St 072 A003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland Site Plan Application

If you or the property owner owe real estate taxes, personal property taxes or user charges on any property within the City of Portland, payment arrangements must be made before permit applications can be received by the Inspections Dept.

Address of Construction: <u>601 Denmark St</u>		Zone: <u>04102</u>
Total Square Footage of Proposed Structure <u>58273</u>		Square Footage of Lot <u>29 Ac</u>
Tax Assessor's Chart, Block & Lot Chart# <u>072</u> Block# <u>A</u> Lot# <u>003</u>	Property owner, mailing address: <u>McNeill Enterprises, Inc</u> <u>601 Denmark St</u> <u>Portland, ME 04102</u>	Telephone: <u>207 772 3254</u>
Consultant/Agent, mailing address, phone & contact person <u>P.D. Merrill</u>	Applicant name, mailing address & telephone: <u>Same</u>	Project name: <u>Russell</u> <u>Bubb VI</u>
Proposed Development (check all that apply) <input checked="" type="checkbox"/> New Building <input type="checkbox"/> Building Addition <input type="checkbox"/> Change of Use <input type="checkbox"/> Residential <input type="checkbox"/> Office <input type="checkbox"/> Retail <input type="checkbox"/> Manufacturing <input checked="" type="checkbox"/> Warehouse/Distribution <input type="checkbox"/> Parking lot <input type="checkbox"/> Subdivision, amount of lots <u> </u> \$25.00 per lot \$ <u> </u> <input type="checkbox"/> Site Location of Development \$3,000, except for residential lots which are then \$200 per lot <u> </u> <input type="checkbox"/> Traffic Movement \$1,000 <input type="checkbox"/> Stormwater Quality \$250.00 <input type="checkbox"/> Other <u> </u> <input type="checkbox"/> After the fact review - Major project \$1,500.00 <input type="checkbox"/> After the fact review - Minor project \$1,200.00		
Major Development <input checked="" type="checkbox"/> \$500.00 Minor Development <input type="checkbox"/> \$400.00 Plan Amendments: <input type="checkbox"/> Board review \$200.00 <input type="checkbox"/> Staff review \$100.00		
Who billing will be sent to: Mailing address: <u>601 Denmark St</u> State and Zip: <u>Portland, ME 04102</u> Contact person: <u>P.D. Merrill</u> Phone: <u>772 3254</u>		

Submittals shall include (9) separate folded packets of the following:

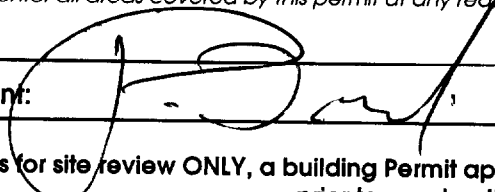
- a. copy of application
- b. cover letter stating the nature of the project
- c. site plan containing the information found in the attached sample plans check list

Amendment to Plans: Amendment applications should include 6 separate packets of the above (a, b, and c)

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process, copies are available at the counter at .50 per page (8.5 x11) you may also visit the web site: ci.portland.me.us chapter 14

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>3/21/02</u>
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This application is for site review ONLY, a building Permit application and associated fees will be required prior to construction.

MERRILL

Since 1929

*Cargo
Transport
Specialists*

20 March 2002

Planning Department
City of Portland
Attn: Marge Schmuckel
389 Congress Street
Portland, ME 04101

Re: Application for Site Plan Review
MePA Warehouse

Dear Marge:

Enclosed herewith please find our check in the amount of \$500 together with 9 sets of site plans (plus one set 11x17) setting forth the location and exterior views of a new warehouse structure to be erected on our site by the Maine Port Authority.

The purpose of this warehouse is to reduce our operating costs by minimizing off-site shuttle trucking of in or outbound cargoes to or from vessels at our berth by allowing cargo to be moved to/from an on-site warehouse. Currently, as much as half of our breakbulk cargoes move directly from vessel to/from warehouses in South Portland, Scarborough or the Riverside area of Portland. This will smooth out highway traffic flow to/from the terminal by eliminating peak volumes during vessel operations.

The warehouse will be owned by the State of Maine Port Authority and operated under license by Merrill Marine Terminal Services, Inc. It will be heat and humidity controlled and used primarily for the storage of newsprint, baled woodpulp or tapioca bulk bags.

The site as it currently exists is entirely covered with an impermeable soil cement membrane. It has been used for the stockpiling of coal, salt and steel for over 20 years. There will be no loss of vegetated area.

The structure will be as manufactured by Rubb Building Systems, Inc. of Sanford, Maine similar to 5 other such structures currently in use at our terminal. This is a permanent building with galvanized steel frame supporting a vinyl cover on a concrete foundation and floor slab.

The building will consist of a 53,200 sf warehouse with an attached 5073 sf truck discharge shelter for a total project of 58,273 sf. Top of slab elevation will be +20' mlw. Electrical and mechanical service will enter from the northwest corner. One half of the stormwater discharge from the main building will flow to the storm drains in the adjacent West Commercial Street; the other half will flow directly to the Fore River via the adjacent rip rap embankment. Stormwater from the truck shelter will drain to the Vortech unit which is approximately 125' sw of the truck shelter.

Merrill Industries, Inc.
601A Danforth Street
Portland, Maine USA
04102-3903

Tel: 207-772-3254
Fax: 207-761-3782

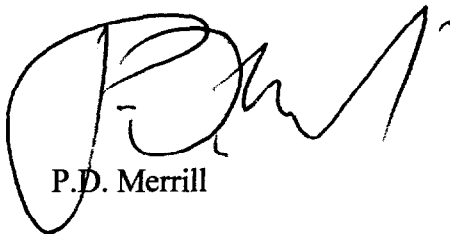
Planning Department
City of Portland
Attn: Marge Schmuckel
March 20, 2002
Page 2.

The project will be constructed over a six month period and is scheduled to be in service in late September.

No additional waste will be generated. No additional outside lighting will be erected. No additional waste water will be generated. No additional parking will be required.

As you develop questions, please call me at any time (772-3254 x100). Thank you for your consideration.

Sincerely,



P.D. Merrill

Encl: Drawings 9 – Master Site Plan 6/24/00 (with proposed warehouse added)
9 – Rubb Building Systems Plan View and Elevation dwg 36206
9 – Rubb Building Systems Anchor Bolt Layout dwg 36205
1 each of above as 11 x 17

cc: Sara Hopkins

02 0739

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): 601 Danforth St.: SE pad			
Total Square Footage of Proposed Structure 58,292		Square Footage of Lot 1,263,240	
Tax Assessor's Chart, Block & Lot Number Chart# 72-4-003 Block# Map 72 Lot# 3A, 7A, 15A		Owner: Maine Port Authority	Telephone#: 772-3254
Owner's Address: 601 Danforth Street Portland, ME 04102		Lessee/Buyer's Name (If Applicable) Merrill Marine Terminal Services Buyer for ME Port Authority	Cost Of Work: Fee \$ 1,700,000 \$ 10,224 11,924
Proposed Project Description:(Please be as specific as possible) Commercial and industrial marine cargo warehouse constructed on an easement given by Merrill Industries, Inc. Vinyl cover over galvanized tubular steel frame, similar to four other buildings on site.			
Contractor's Name, Address & Telephone Self			Rec'd By
Current Use: stockpile pad		Proposed Use: warehouse	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

** IF Available also
Submit Plans on
ADOBE or CAD Format*

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

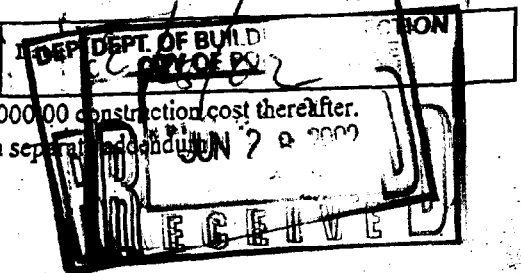
- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant:

Building Permit Fee: \$30.00 for the 1st \$1000 cost plus \$6.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum.





RUBB, INC.
P.O. Box 711, 1 Rubb Lane
Sanford, Maine 04073 USA
Tel: 207 324 2877
Fax: 207 324 2347
E-mail: info@rubbusa.com

July 22, 2002

Mr. Michael Nugent
Inspection Services Manager
City of Portland
389 Congress Street
Portland, ME 04101

Re: Merrill #6 Rubb Structure

By Telefax: (207) 874-8716

Dear Mike:

In accordance with section 1705 of 1999 BOCA Building Code we are providing the following for special inspection:

Rubb, Inc. is ISO 9001 certified and SGS International Certification Services, Inc. (Meadows Office Complex, 301 Route 17 North, Rutherford, NJ 07070) periodically audits our facility for compliance. The ISO 9001 program incorporates the full range of issues from design to the completed, delivered structure. Our Quality Assurance Manual and Quality Procedures assure that our structures meet all required standards and codes. All of the inspections are performed by qualified Rubb personnel.

- **Fabrication:** Our welders are certified to AWS D1.1 and D1.3. All welds are visually inspected.
- **Material Receiving:** All structural steel and bolts are verified to meet requirements.
- **Erection:** Installation does not require any structural steel field welding. All bolting is performed to meet the 9th Edition of the ASIC Steel Manual. All bolts that require torquing are listed on the construction drawings and use the turn-of-the-nut method from the 9th Edition of the AISC Steel Manual.

If any additional information is required please let us know. I can be reached at 1-800-289-7822.

Sincerely,
Rubb, Inc.


Gary E. Sutryn, P.E.
Chief Engineer

\\Rubb2\documents\GARYNugent, Michael 7-22-02.tsp



RUBB BUILDINGS LTD.
Tel: +44 191 482 2211
Fax: +44 191 482 2516

RUBB MOYOR A/S
Tel: +47 55 316088
Fax: +47 55 317510



GAGNON ENGINEERING, INC.
Structural Consultants

Merrill's Marine Terminal
601A Danforth Street
Portland, Maine 04102-3903

July 22, 2002

Att: P.D. Merrill

Re: Proposed Rubb Building, BOCA 1705, Special Inspections

- a) Prepared Fill (1705.7)
- b) Concrete Construction (1705.4)

Dear P. D.:

This letter serves as "a statement of special inspections" in accordance with BOCA 1705.1.1. Please refer to Contract Plans for a complete list of materials, quality and testing requirements. Individuals, approved agencies, and firms intended to be retained for such inspections (BOCA 1705.1.1), are as follows:

I. Prepared Fill (1705.7)

- o Gagnon Engineering & Cianbro Corporation will inspect Site Preparation prior to the installation of fills and/or Concrete foundations, as appropriate.
- o S.W. Cole Engineering (Gray office) will be used to test proposed Gravel (and Selected Fills) Gradations prior to installation of any proposed fills; Gagnon Engineering will determine Contract Compliance of such proposed Gravels (and Selected Fills) prior to their use.
- o S.W.Cole Engineering will measure in-place densities of Approved Gravels (& Selected Fills) as they are installed.
- o Gagnon Engineering will evaluate the compliance of installed compacted Gravels (and Selected Fills.)

II. Concrete Construction (1705.4)

- o Gagnon Engineering & Peter Craig (J.K. Sales) will review proposed Concrete Mix Designs.
- o Gagnon Engineering will inspect prepared Reinforcing in advance of all Concrete Placements.
- o Gagnon Engineering & Cianbro Corporation will inspect Concrete Formwork.
- o S.W. Cole Engineering will Sample Fresh Concrete for Slump, Air, and Temperature, and make Fresh Concrete Test Cylinders, and later Break them for Compressive Strength evaluation.
- o Gagnon Engineering will inspect critical Concrete Placements, and randomly inspect other Concrete Placements.
- o Gagnon Engineering will randomly inspect the effectiveness of Concrete Curing Methods.

P.D. Merrill (Merrill's Marine Terminal)

July 22, 2002

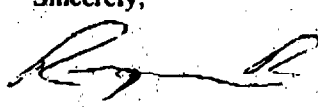
Page two of two

Report Requirements (1705.1.2)

All testing operations will be documented, and filed with Gagnon Engineering. Reports will be sent to the Portland Code Enforcement Office in a timely manner. Compliance discrepancies will be reported to Cianbro Corporation for correction and/or appropriate remedial action. Non-compliant, non-corrected installed work will be brought to the attention of the Portland Code Enforcement Office.

I trust that this information adequately describes the projects compliance with BOCA Special Inspections. Please call if there is any need for clarification or, if there are any related issues.

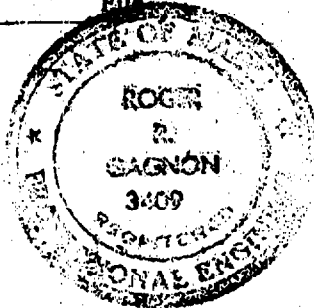
Sincerely,

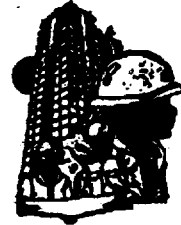


Roger R. Gagnon, P.E.

CC: Michael Nugent (Portland)
Lou Campbell (Cianbro)

File





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Gary Sutryn P.E.

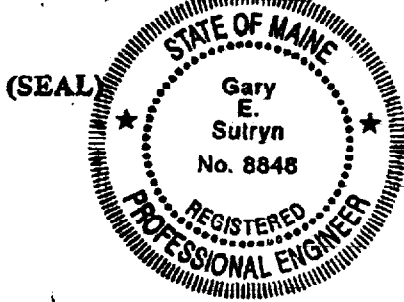
RE: Certificate of Design

DATE: 7/03/02

These plans and/or specifications covering construction work on:

Merrill #6 Tension Membrane Structuring

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature *Gary E. Sutryn*

Title Chief Engineer

Firm Rubb Inc.

Address P.O. Box 711, 1 Rubb Lane Sanford, ME. 04073

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: Gary Sutryn

Address of Project Merrill Industries, 601A Danforth St. Portland, ME.

Nature of Project Merrill # 6 : Tension Membrane Structure

Date 7/19/02

The technical submissions covering the proposed construction work as described above have been have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)

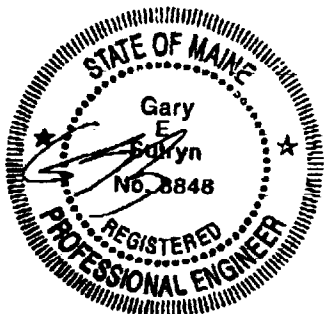
Signature *Gary Sutryn*

Title Chief Engineer

Firm Rubb, Inc.

Address P.O. Box 711, 1 Rubb Lane
Sanford, ME. 04073

Telephone (207)326-2877



Mike - Please put this
with the Rubb Bldg
Permit - 601 Danforth

MERRILL

Since 1929

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Marge

Via Fax

To: City of Portland Planning Board
Attn: Marge Schmuckal, Zoning Administrator
From: Susan Queen for P.D. Merrill
Date: 8 July 2002
Re: Transmittal

Please find following letter dated May 14, 2002 from Jaimey Caron, Chair, Portland Planning Board regarding Warehouse Construction CBL 072-A003001.



**Merrill's
Marine Terminal**

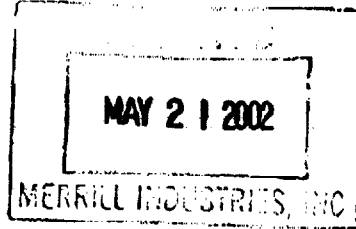
601A Danforth Street
Portland, Maine USA
04102-3903

Tel: 207-772-3254
Fax: 207-772-3156

756-8257

CITY OF PORTLAND, MAINE
PLANNING BOARD

Jaimey Caron, Chair
Deborah Krichels, Vice Chair
Mark Malone
Orlando E. Delogu
Sarah Luck
Kevin Beal
Lee Lowry III



May 14, 2002

P.D. Merrill
Merrill Industries
601A Danforth St.
Portland, ME 04102-3903

RE: Warehouse Construction

CBL: 072-A003001

Dear Mr. Merrill:

On April 23, 2002, the Portland Planning Board voted unanimously (7-0) to approve the site plan for construction of a 53,200 sq.ft. warehouse and 5,092 sq.ft. truck shelter at 601A Danforth Street. The approval also included Site Location of Development review, as authorized by the Maine Department of Environmental Protection. The approval was granted for the project with the following condition:

- i. that the requirements, as set forth in Steve Bushey's memo dated April 19, shall be addressed by the applicant prior to issuance of a building permit.

The approval is based on the submitted site plan and the findings related to site plan review standards as contained in Planning Report #24-02 and Planning Board memorandum dated April 23, 2002, which are attached.

Please note the following provisions and requirements for all site plan approvals:

1. While no performance guarantee will be required, an inspection fee payment of \$300.00 and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.
2. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

3. Prior to construction, a preconstruction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the preconstruction meeting.
5. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Department at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Sarah Hopkins at 874-8720.

Sincerely,



Jaimy Caron, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Program Manager
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Jodine Adams, Inspections
William Bray, Director of Public Works
Larry Ash, Traffic Engineer
Tony Lombardo, Project Engineer
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Lt. Gaylen McDougall, Fire Prevention
Don Hall, Appraiser, Assessor's Office
Susan Doughty, Assessor's Office
Approval Letter File
Correspondence File



RUBB, INC.
P.O. Box 711, 1 Rubb Lane
Sanford, Maine 04073 USA
Tel: 207 324 2877
Fax: 207 324 2347
E-mail: info@rubbusa.com

July 17, 2002

Mr. Michael Nugent
Inspection Services Manager
City of Portland
389 Congress Street - Room 315
Portland, ME 04101

By Telefax: 874-8716

Dear Mr. Nugent:

Thank you for your time yesterday with P.D. Merrill and me. Per our conversation I am writing to confirm that there is precedent both in the U.S. and abroad for waiver of code specified fire suppression systems in Rubb buildings. The primary rationale for this is the self-venting capability of our structure's PVC coated polyester membrane. This material essentially self-vents in a fire situation thus allowing heat and smoke to escape and provide safe access to the fire by fire department personnel. In such an instance the structure is more or less analogous to having stored materials outdoors.

After our conversation yesterday, I confirmed that there are a number of unsprinklered Rubb buildings in Maine which have been permitted without sprinklers and which are used for paper storage. I also called our office in the United Kingdom to check on the location of the paper storage facility that I showed you on page 32 of our brochure. It turns out that that facility is in Dundee, Scotland and that there are numerous paper and lumber storage facilities in the UK which are not sprinklered. These include a number of buildings at the Port of London (Tilbury) the largest of which is approximately 200,000 square feet. Many of these structures were permitted with hose reel stations in lieu of sprinklers. One argument for the use of the hose reels was the potential damage to stored paper which could result from a sprinkler discharge.

Aside from paper storage facilities, Rubb structures have been permitted for high hazard occupancies such as aircraft hangars. In these situations, some precedent has been established for waiver or modification of NFPA 409 hangar protection standards. Enclosed you will find Factory Mutual letters related to a project with Sun Country Airlines in 1998 that approves omission of a sprinkler system. On a similar project in 1992 with United Airlines in Boston, a 32,000 square foot Rubb hangar was supplied with under-wing protection only. There was no fire protection system for the structure itself as it was not deemed necessary.

\\Rubb2\documents\DAVE\Nugent, Michael 7-17-02.fwp



RUBB BUILDINGS LTD.
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RUBB MOTOR A/S
Tel: +47 52 318032
Fax: +47 55 317510





Mr. Michael Nugent
July 17, 2002
Page 2 of 2

I hope the enclosed is of interest to you and that it serves to reinforce the position that either a waived or modification of standard requirements does have some precedent based upon the specific construction of our product.

Please let me know if further detail is required and thank you for your attention to this matter.

Sincerely,
Rubb, Inc.

A handwritten signature in black ink, appearing to read "David C. Nickerson", with a long, sweeping horizontal stroke extending to the right.

David C. Nickerson
VP/GM

cc: P.D. Merrill



Factory Mutual
4325 Abbott Ave. N.
Robbinsdale, MN 55422

June 11, 1998

Rubb Inc.
Sanford Airport
P.O. Box 711
Sanford, Maine 04073

Attention: Matthew Kromke

RE: Sun Country Temporary Hangar
Index No. 61210.82
Account No. 2-49816

Dear Matthew:

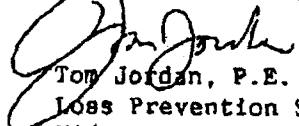
This letter will confirm my receipt of various literature on your tension membrane structures (TST). Also included, was a copy of the Factory Mutual (FM) Technical Report which details the full scale fire test performed on a TST using a Shelter-Rite Style B028 fabric membrane. This fabric membrane is being used on the Sun Country hangar.

The fire test results showed the referenced membrane will not propagate flame or sustain combustion when exposed to a severe fire. Therefore, regarding the "hot work" comment in my May 29, 1998 letter, this membrane should not be treated as combustible construction. Use of the FM Hot Work permit system should still be adhered to on this project as any other MAC construction project.

I have enclosed a copy of our Data Sheet 1-54 (Roof Loads for New Construction) and Data Sheet 1-28 (Wind Loads to Roof Systems and Roof Deck Securement. Properties insured by the FM System should meet the these and all other applicable FM standards.

If you have any questions or comments, please contact me.

Very Truly Yours,


Tom Jordan, P.E.
Loss Prevention Specialist
Midwest Operations

(1.0)

cc: LE & FC
cc: Arkwright - MWRO

cc: Metropolitan Airports Commission
6040 28th Avenue South
Minneapolis, MN 55450
Attn.: Bill Hoyt

cc: MAC Fire Department
6307 34th Ave. S.
Minneapolis, MN 55450-2906
Attn.: Rocky

FACTORY MUTUAL



Factory Mutual Engineering Association
Interchange North Building
300 South Highway 169
Suite 130
Minneapolis, Minnesota 55426
Telephone (612) 542-9389
Fax (612) 542-9466

May 29, 1998

Metropolitan Airports Commission
Airport Fire Department
6307 34th Avenue South
Minneapolis, MN 55450-2906

Attention: Mr. Gerald "Rocky" Roskowiak, Fire Marshal

RE: Sun Country Temporary Hangar
Index No. 61210.82
Account No. 2-49816

Dear Rocky:

During my April 26, 1998 visit the airport, I obtained one set of construction documents for the Sun Country Temporary Hangar from you. The hangar is to be used for light maintenance of 727 and DC10 aircraft with fuel in the tanks. It would be capable of holding one DC10 and two 727's.

The 210 x 230 ft. hangar will be constructed south of the existing Sun Country Hangar. It will be constructed of steel framing with a tension membrane exterior cladding. The membrane will be a PVC coated polyester fabric manufactured by Seaman Corporation. The roof framing slope progression from section to section is 5, 15, 25 and 35° from peak to eave. The building height will range from 30 ft. at the eave to 72 ft. at the peak.

The floor slab will be sloped 1/8 in./ft. toward point floor drains. A total of twelve 4 in. drains will be provided and lead to flammable waste trap and connection to the sanitary sewer.

Building heat will be provided by natural gas fired, infrared unit heaters with ratings of 100,000 and 120,000 Btu/hr. Lighting will be provided by 1000 W metal-halide lamps in enclosed fixtures.

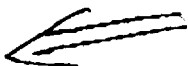
I have the following comments regarding this project:

1. During construction, temporary bracing of steel framing should be provided in accordance with recognized construction standards.
2. When installation of the membrane begins, smoking should be restricted on the job site and any hot work should be supervised with Factory Mutual (FM) Hot Work Permit System. Permits should be obtained from the Kraus-Anderson Construction Manager.

SEE
G/A LETTER

Metropolitan Airports Commission
Page 2

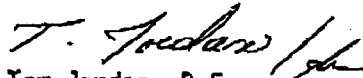
Index No. 61210.82
Account No. 2-49816

3. Unbalanced snow load design calculations should be submitted for roof the system.
4. The manufacture of the building membrane should provide results from modeling or testing that membrane securement will provide a 90 psf windstorm securement.
5. The omission of automatic sprinkler protection is acceptable to FM based on the loss exposure and cost to provide proper protection. Fire protection would require ceiling and underwing automatic, foam-water deluge systems. The water demand for these systems would require at least two booster pumps. 
6. Consideration should be given for installation of small foam-water hose stations around the perimeter of the building and a building fire detection system.

Subject to the above comments, the construction proposal is considered acceptable. I am retaining the one set of construction drawings for our files.

If you have any questions or comments, please contact me.

Very Truly Yours,



Tom Jordan, P.E.
Loss Prevention Specialist
Midwest Operations

(4.0)

lcc: LE & FC
lcc: Arkwright - MWRO

lcc: Metropolitan Airports Commission
6040 28th Avenue South
Minneapolis, MN 55450
Attn.: Bill Hoyt

lcc: Rubb Inc.
Sanford Airport
P.O. Box 711
Sanford, Maine 04073
Attn.: Matthew Kromke



RUBB, INC.
P.O. Box 711, 1 Rubb Lane
Sanford, Maine 04073 USA
Tel: 207 324 2877
Fax: 207 324 2347
E-mail: info@rubbusa.com

July 12, 2002

Mr. Michael Nugent
Inspection Services Manager
City of Portland
389 Congress Street
Portland, ME 04101

Re: BOCA 1999 Code Analysis

By Telefax: (207) 874-8716

Dear Mike:

We believe that the Merrill's #6 structure at 58,270 square feet meets the 1999 BOCA code as an unlimited area structure without sprinklers based on the following:

Section 507.1: Structure is use Group S - 1, does not exceed one story and is less than 85 feet in height. Structure is of Type 2C construction.

Exception # 1 Allowed by 507.1: Buildings of industrial occupancies where the sprinklers would be detrimental to the specific occupancy shall be exempted from height limitations, fire separation distance requirements and requirements for automatic fire suppression systems. In this situation a discharge of the sprinkler system would ruin the newsprint paper stored within the structure. The fire separation distances of section 507.2 are also waived under this exception. The fire separation distance requirement is 30 feet. There is an existing building on an adjacent lot that is over 70 feet away and the nearest corner of Merrill's guard shack is approximately 40 feet away. All other structures are further than these.

This section allows the local code official to approve this use of the structure as configured and without a fire suppression system. Our structures have a very good reputation with the Portland Fire Department. The fabric vents almost immediately and allows ready access for fire fighting from the exterior of the structure. In effect, the structure is essentially transparent to fire and so is not unlike outdoor storage with respect to fire.

Please don't hesitate to call me with any questions on the above.

Sincerely,
Rubb, Inc.


Gary E. Subryn, P.E.
Chief Engineer

cc: P.D. Merrill

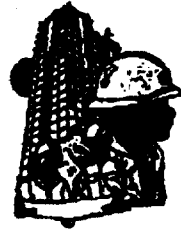
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RUBB BUILDINGS LTD.
Tel: +44 191 482 2211
Fax: +44 191 482 2616

RUBB MOTOR A/S
Tel: +47 55 315032
Fax: +47 55 317510





**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Gary Sutryn P.E.

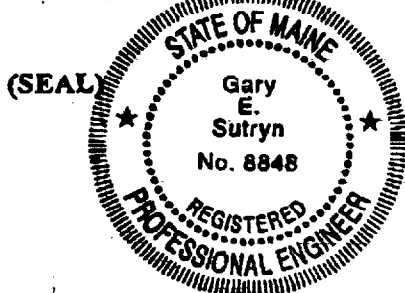
RE: Certificate of Design

DATE: 7/03/02

These plans and/or specifications covering construction work on:

Merrill #6 Tension Membrane Structuring

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature *Gary E. Sutryn*
Title Chief Engineer

Firm Rubb Inc.

Address P.O. Box 711, 1 Rubb Lane Sanford, ME. 04073

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

We Cover The World.[®]



BUILDING SYSTEMS

TELEFAX

COMPANY: _____
ATTN: Michael Nugent
FROM: Gary Sutryn, P.E.
FAX NO: 207-874-8716
NO. SHEETS: 2
REF: _____
DATE: 7/10/02

RUBB INC.,
Sanford Airport
P.O. Box 711
Sanford, Maine 04073
Tel: (207) 324-2877
Fax: (207) 324-2347
E-mail: info@rubbusa.com

Sent []



AN INTERNATIONAL COMPANY



CERTIFICATE No. US9710897



MERRILL
Marine Terminal Services, Inc.

Via Fax 874-8716
Registered Mail

July 18, 2002

City of Portland
Attn: Michael J. Nugent, Inspection Services Manager
Housing and Neighborhood Services Division
City Hall Room 315
389 Congress Street
Portland, ME 04101

Re: Building Permit Application
601 Danforth Street

Dear Mr. Nugent:

Thank you for meeting with David Nickerson and I Tuesday to review the need for a sprinkler system in the subject warehouse. You requested information on the location of structures used for similar purposes where local authorities have not required sprinkler systems.

The following information may be useful:

A) State of Maine

- 1) The Maine Port Authority (MePA), owner of the proposed Building, recognizes that the use of a sprinkler system in this application can be more damaging to cargo than an actual fire and therefore does not require a sprinkler system in this or other buildings it owns or plans to own in Searsport for forest products.

Contact Brian Nutter, Administrator (207) 624-3564

- 2) The Eastport Port Authority has a similar policy with respect to the four conventional steel warehouses at its facilities used for baled woodpulp and paper rolls. I spoke with the City Manager this afternoon and he confirmed this policy and related his personal experience which supports his judgment on it. He said he would be glad to discuss it with you if you would like.

Contact: City Manager Bud Finch (207) 853-2300

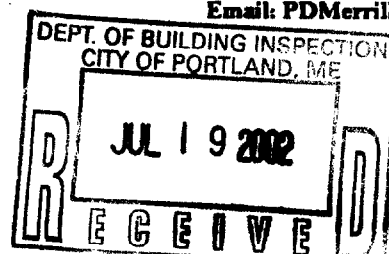
Manager of Fednav (operator) Skip Rogers (207) 853-6096

City of Portland
Cargo Transport Specialists Since 1929
601 Danforth Street - Portland, Maine USA 04102-3903
www.merrillsmarine.com

Tel: 207-772-3224 ext. 100

Fax: 207-772-3166

Email: PDMerrill@merrillsmarine.com



City of Portland
Michael J. Nugent
July 18, 2002
Page 2

B) Out of State

- 1) Mid Florida Freezer is currently operating 4 warehouses used for newsprint cargo. Three buildings have no sprinkler system and one has an installed but deactivated system. As long as that building in newsprint use, the local fire chief allows the system to be shut down entirely. He says in new buildings the system is required even though it is not activated so that the hardware will be in place in case of a changed use.
Contact: Dick Sargeant (321) 783-4424
- 2) In Great Britain, Rubb reports that local authorities allow no sprinkler system but fire hose reels at strategic locations have been utilized as an alternate protection system.

In summary, it seems that there is a wide range of approaches to this subject. Obviously we would plead that Portland recognize the special nature of a marine terminal operation and allow our fire protection provision to conform to accepted practice of the Maine Port Authority and Eastport. That is, not to require sprinklers in the building.

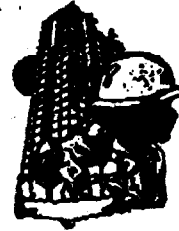
If that would be acceptable, we would propose the following:

- 1) Installation of an approved smoke detection system.
- 2) As an alternative to an overhead system, we would suggest a "hose reel" system that allows a targeted and controlled suppression capacity while minimizing the serious risk of catastrophic water damage.
- 3) With regard to the fire rating issue on the east wall, we would agree to retrofit that wall in the event that the adjacent property owner redevelops his property to include structures within 30' of our building.

I trust this is responsive to your concerns. I will call you shortly to answer any further questions. Thank you for your consideration.

Sincerely,


P.D. Merrill



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Rm 315
Portland, ME 04101**

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Gary Sutryn P.E.

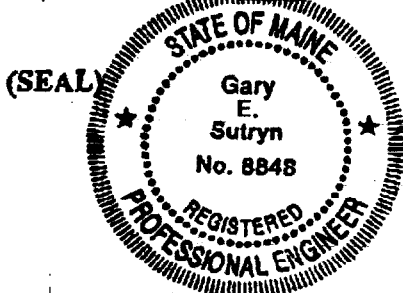
RE: Certificate of Design

DATE: 7/03/02

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Merrill #6 Tension Membrane Structuring

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments.



Signature *Gary E. Sutryn*

Title Chief Engineer

Firm Rubb Inc.

Address P.O. Box 711, 1 Rubb Lane Sanford, ME. 04073

As per Maine State Law:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



198 MAIN STREET
GORHAM, MAINE 04038
Fax: 207-839-8109

FAX TRANSMISSION COVER SHEET

Date: 7/3/02 From: Roger G.

Attn. To: Michael Nugent Fax No. 874-8716

Co./Org.: City of Portland No. of Pgs: 3 (Including Cover Page)

Re: Proposed "Rubb" Bldg
Merrill's Marine Terminal / W. Commer.

Please Call 207-839-8085 if you have any problems receiving this fax.

This message is intended only for the use of the individual or entity to which it is addressed or copied (below), and may contain information that is privileged and confidential. If the reader of this message is not the intended recipient, any dissemination, distribution, or copying of this communication is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone.

Special instructions or message: Michael, As Requested

PLEASE REVIEW AND CALL IF YOU HAVE ANY QUESTIONS/PROBLEMS. THANK YOU

Copied: Lou Campbell
(Ciambro / Prld)
File 773 7617

Thanks
Roger G.



**CITY OF PORTLAND
ACCESSIBILITY CERTIFICATE**

Designer: Roger R. Gagnon, P.E.

Address of Project Merrill's Marine Terminal
West Commercial St.

Nature of Project Industrial Storage Facility

Date July 3, 2002

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.

(SEAL)



Signature *Roger R. Gagnon*

Title Principal

Firm Gagnon Engineering, Inc.

Address 198 Main St.

Gorham, ME 04038

Telephone (207) 839-8085



**CITY OF PORTLAND
BUILDING CODE CERTIFICATE**
389 Congress St., Rm 315
Portland, ME 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: Roger R. Gagnon, P.E.

RE: Certificate of Design

DATE: July 2, 2002

These plans and/or specifications covering construction work on:

Foundation for RUBB Building (proposed)

Merrill Marine Terminal, West Commercial St

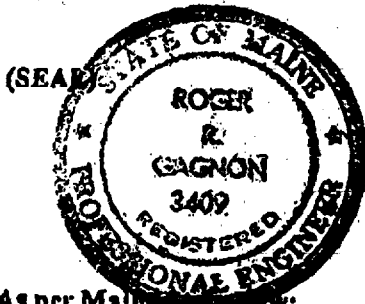
Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1999 Fourteenth Edition, and local amendments. Loads Provided by Rubb Building Systems, Sanford, Maine

Signature

Title Principal,

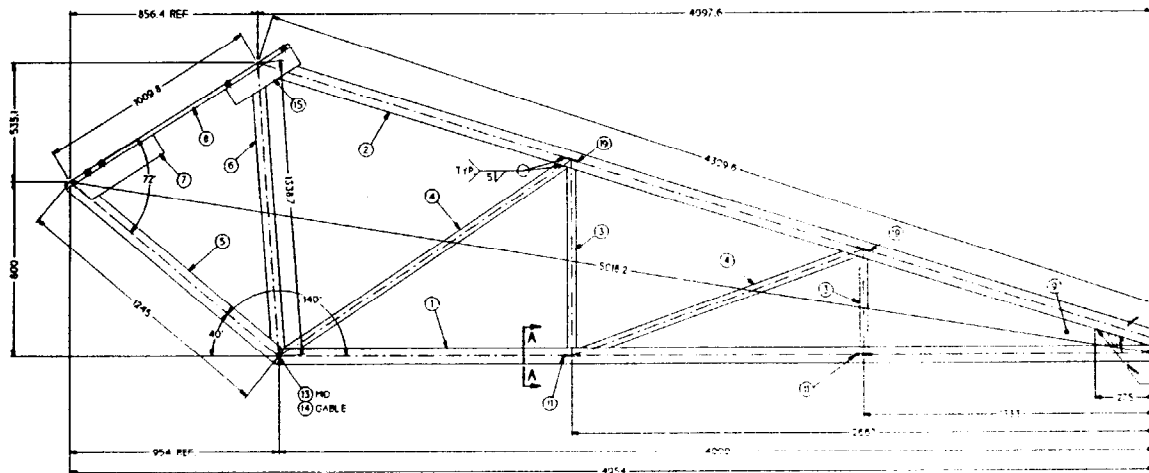
Firm Gagnon Engineering, Inc.

Address 198 Main St. Gorham, ME 04038

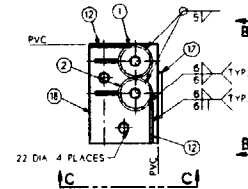
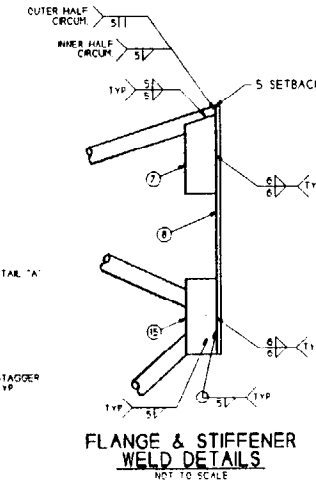
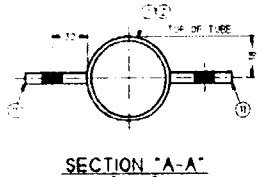
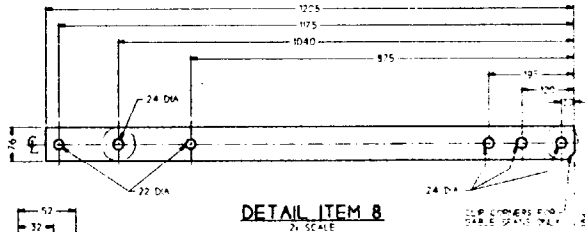
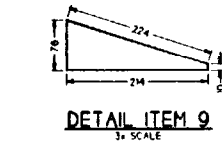
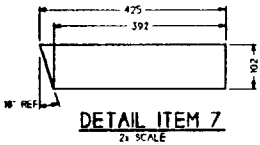


As per Maine Code:

\$50,000.00 or more in new construction, repair, expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.

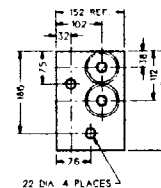


LEG TRUSS
NON-GABLE LEG SHIRT

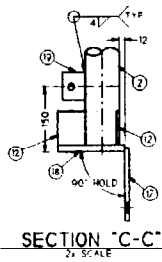
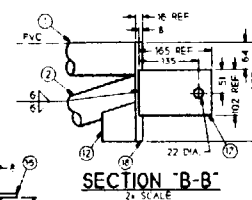
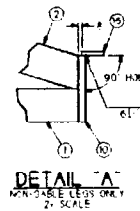
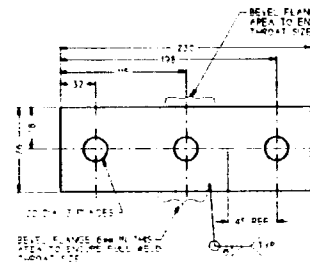
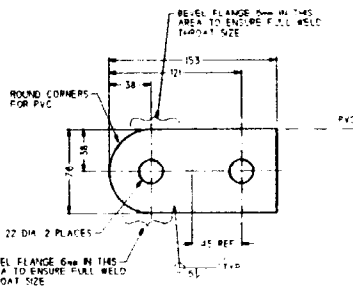
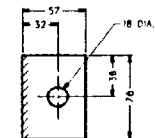
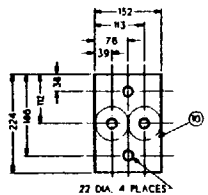


GABLE BASEPLATE

NOTE: THIS IS A SPECIAL CONFIGURATION FOR JOB #98020 ONLY.



DETAIL ITEM 19
1/2 LOG - 5x SCALE

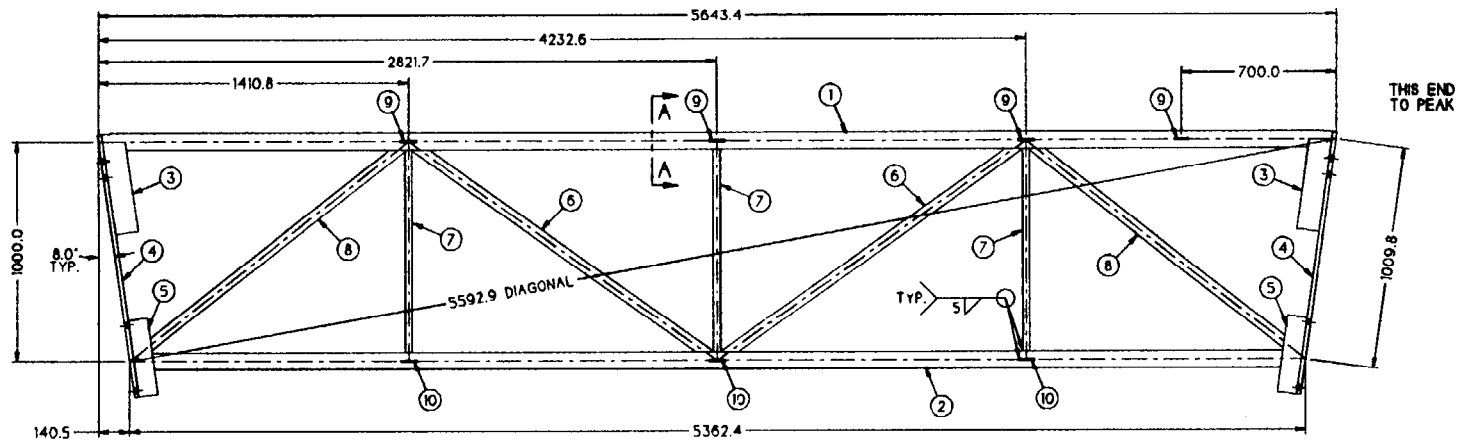


ITEM	QTY	DESCRIPTION	SPEC	UOM
1	1	TUBE 3/4" DIA. x 1/8" THICK	AS2008	EO 11
2	2	TUBE 1 1/2" DIA. x 1/8" THICK	AS2008	EO 11
3	2	TUBE 3/8" DIA. x 1/8" THICK	AS2008	EO 11
4	2	TUBE 3/8" DIA. x 1/8" THICK	AS2008	EO 11
5	1	TUBE 3/8" DIA. x 0.120	AS2008	EO 11
6	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
7	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
8	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
9	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
10	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
11	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
12	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
13	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
14	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
15	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
16	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
17	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
18	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
19	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
20	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
21	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
22	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
23	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
24	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
25	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
26	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
27	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
28	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
29	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11
30	1	PLATE 1/8" x 3/8" x 105	AS2008	EO 11

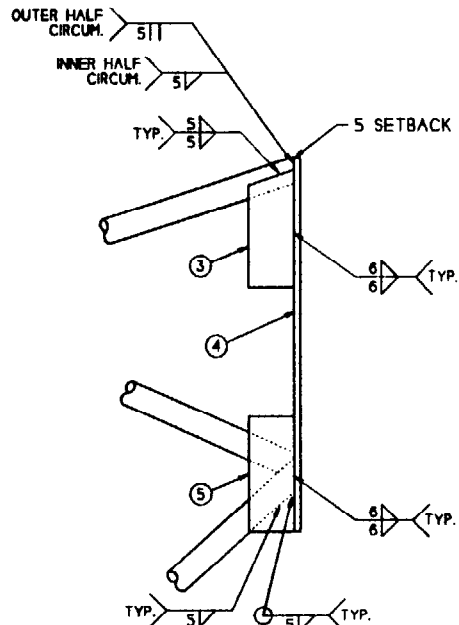
- 1) BREAK SHARP CORNERS FOR PVC
- 2) SEE DRAWING BOBS FOR GENERAL WELD NOTES
- 3) BEEL OF MATERIAL IS FOR ONE ASSEMBLY
- 4) SEE STEEL LAYOUT FOR LOCATION
- 5) ALL DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS
- 6) VENT ALL TUBES FOR GALVANIZING

REV	DESCRIPTION	DRAWN	APP.	DATE
1	CHANGE ITEM #11 IN SECTION 'C-C'			
<p>We Cover The Work RUBB BUILDING SYSTEMS</p>				
DATE	1. 20	This drawing is the property of RUBB and may not be reproduced or used for any manufacturing purpose without the express written consent of RUBB INC.		
DES.	4-24-98	38020		
BY	SATELLITE SYSTEMS			
RUBB INC. SAFFORD HALL 04073				
TEL: 207-334-2877 FAX: 207-334-2347				
				29256

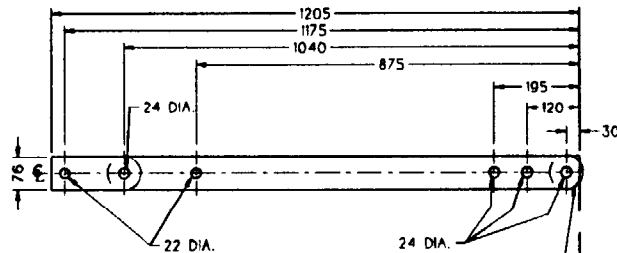
SHOP NOTE: 1/2" OFFSET FROM END OF PLATE FOR LEG TUBES AND ITEM 12



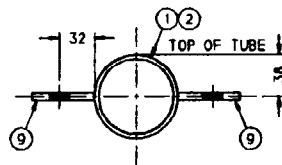
PEAK ROOF TRUSS



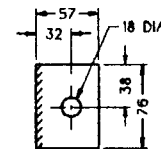
**FLANGE & STIFFENER
WELD DETAILS**
NOT TO SCALE



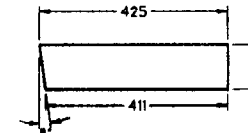
DETAIL ITEM 4
2x SCALE



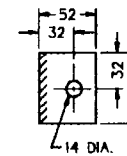
SECTION "A-A"
5x SCALE



DETAIL ITEM 9
5x SCALE



DETAIL ITEM 3
2x SCALE
OUTER STIFFENER

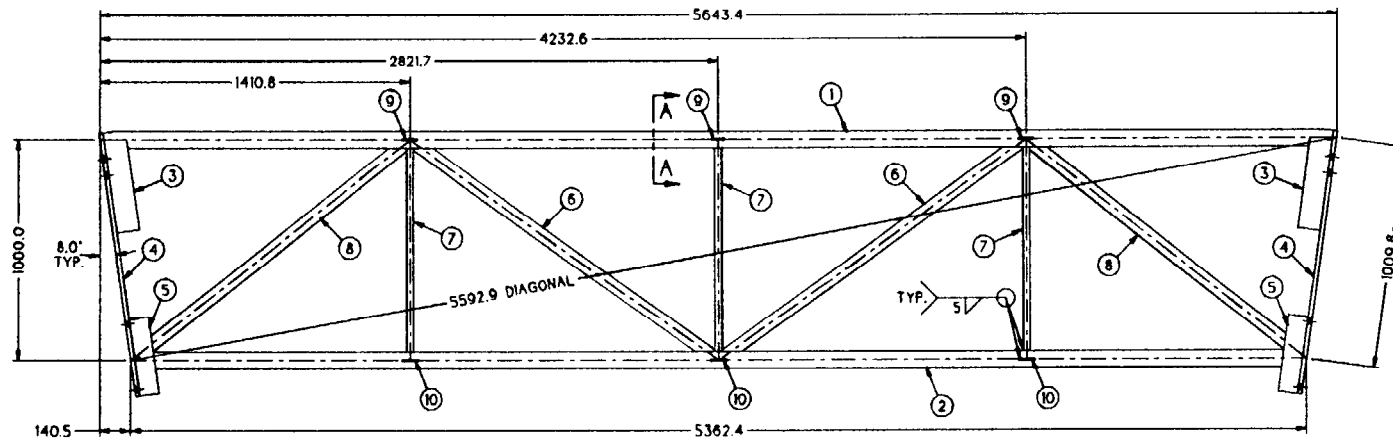


DETAIL ITEM 10
52 LUG - 5x SCALE

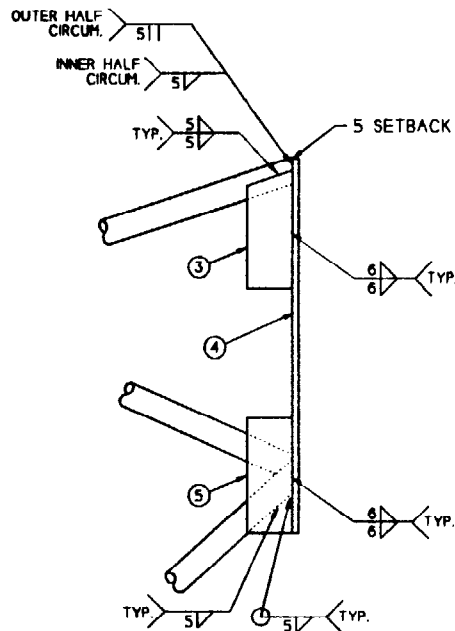
- NOTES:
 1) BREAK SHARP CORNERS FOR PVC.
 2) SEE DRAWING 1006 FOR GENERAL WELD NOTES.
 3) BILL OF MATERIAL IS FOR ONE ASSEMBLY.
 4) SEE STEEL LAYOUT FOR LOCATION.
 5) ALL DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS.
 6) VENT ALL TUBES FOR GALVANIZING.

ITEM	QTY.	DESCRIPTION	SPEC	F.W. MIN
1	1	TUBE 3" DIA. x 0.156"	A500B	50 KSI
2	1	TUBE 3" DIA. x 0.120"	A500B	50 KSI
3	4	FLAT 4" x 3/8" x 425"	A36	50 KSI
4	2	FLAT 3" x 3/4" x 1205"	A36	50 KSI
5	4	FLAT 3 1/2" x 3/8" x 350"	A36	50 KSI
6	2	TUBE 1 9/8" DIA. x 0.109"	A500B	50 KSI
7	3	TUBE 1 7/8" DIA. x 0.095"	A500B	50 KSI
8	2	TUBE 1 9/8" DIA. x 0.109"	A500B	50 KSI
9	4/8	FLAT 3" x 3/8" x 57"	A36	36 KSI
10	3/8	FLAT 2 1/2" x 1/4" x 52"	A36	36 KSI

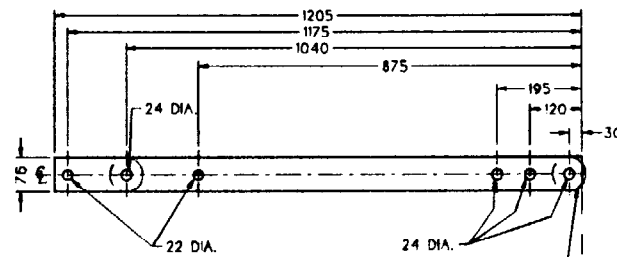
REV.	DESCRIPTION	DRAWN	APP.	DATE
<p>We Cover The World RUBB BUILDING SYSTEMS</p>				
<p>23.088m BVE / 4m LEG PEAK ROOF TRUSS</p>		<p>DATE: SKK 4-21-98 SCALE: 1 : 15 JOB #: 98020 DATE: 20 APR 1998 PROJECT: SATELLITE SHELTERS</p>		
<p>RUBB, INC. SANFORD MAINE 04073 TEL: 207-324-2677 FAX 207-324-2347</p>				<p>29757</p>



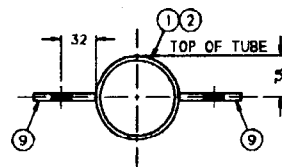
NON-PEAK ROOF TRUSS



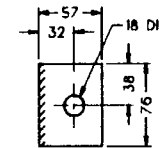
**FLANGE & STIFFENER
WELD DETAILS**
NOT TO SCALE



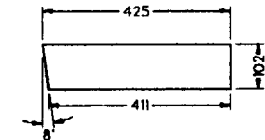
DETAIL ITEM 4
2x SCALE



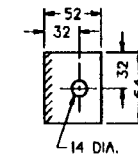
SECTION "A-A"
5x SCALE



DETAIL ITEM 9
5x SCALE



DETAIL ITEM 3
2x SCALE
OUTER STIFFENER

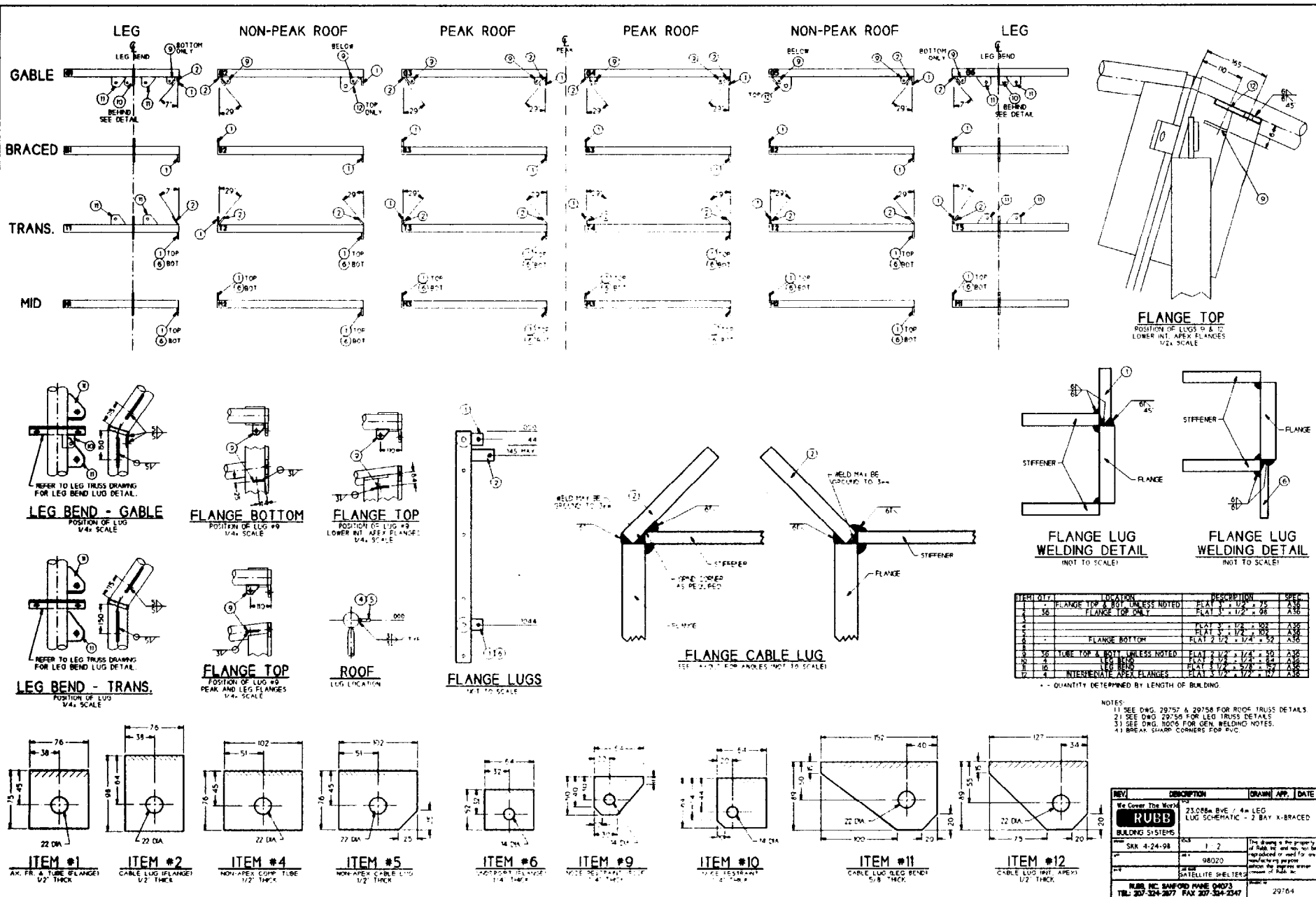


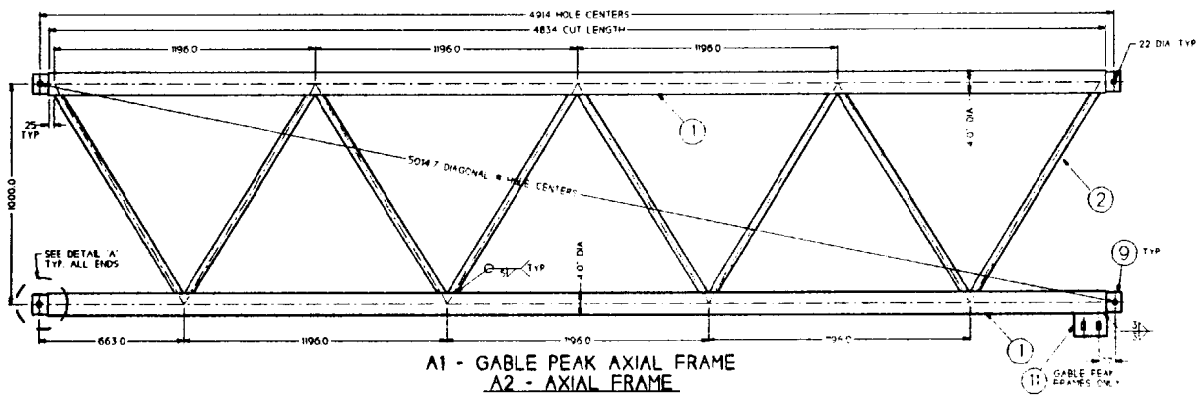
DETAIL ITEM 10
52 LUG - 5x SCALE

- NOTES:
- 1) BREAK SHARP CORNERS FOR PVC.
 - 2) SEE DRAWING 1006 FOR GENERAL WELD NOTES.
 - 3) BILL OF MATERIAL IS FOR ONE ASSEMBLY.
 - 4) SEE STEEL LAYOUT FOR LOCATION.
 - 5) ALL DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS.
 - 6) VENT ALL TUBES FOR GALVANIZING.

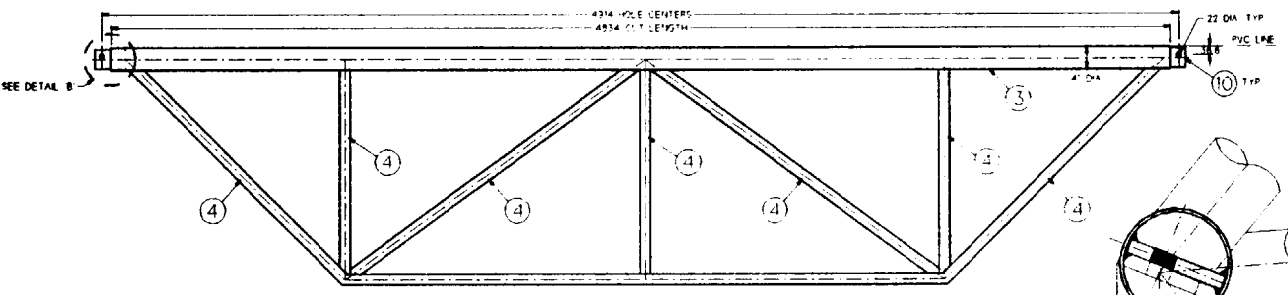
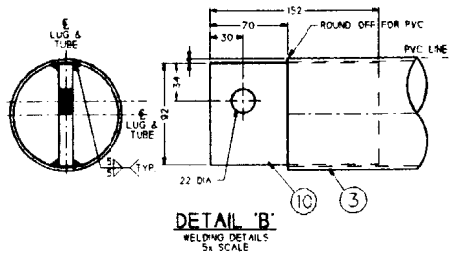
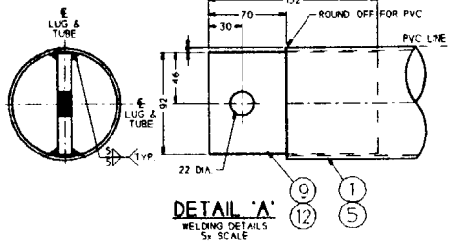
ITEM	QTY	DESCRIPTION	SPEC	Fy MIN.
1	1	TUBE 3" DIA. x 0.156"	A500B	50 ksi
2	1	TUBE 3" DIA. x 0.156"	A500B	50 ksi
3	4	FLAT 4" x 3/8" x 425	A36	50 ksi
4	2	FLAT 3" x 3/4" x 1205	A36	50 ksi
5	4	FLAT 3 1/2" x 3/8" x 350	A36	50 ksi
6	2	TUBE 2 3/8" DIA. x 0.12"	A500B	50 ksi
7	3	TUBE 1 25" DIA. x 0.095"	A500B	50 ksi
8	2	TUBE 2 3/8" DIA. x 0.156"	A500B	50 ksi
9	3/6	FLAT 3" x 3/8" x 57	A36	36 ksi
10	3/6	FLAT 2 1/2" x 1/4" x 52	A36	36 ksi

REV.	DESCRIPTION	DRAWN	APP.	DATE
<p>We Cover The World</p> <p>RUBB</p> <p>BUILDING SYSTEMS</p>				
<p>23,088m BVE / 4m LEG NON-PEAK ROOF TRUSS</p>		<p>SKK 4-21-98</p> <p>SCALE 1 : 15</p> <p>JOB # 98020</p> <p>SATellite SHELTERS</p>		
<p>RUBB, INC. SANFORD MAINE 04073 TEL: 207-324-2877 FAX 207-324-2347</p>				<p>29758</p>

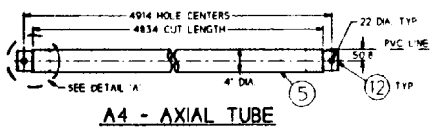
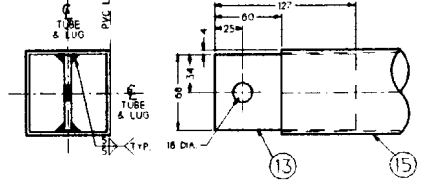
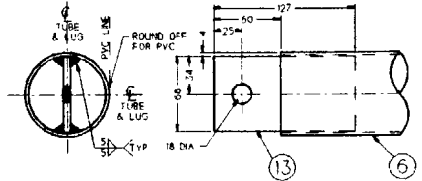




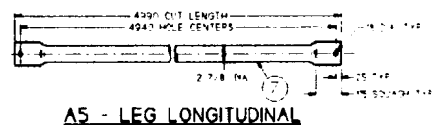
A1 - GABLE PEAK AXIAL FRAME
A2 - AXIAL FRAME



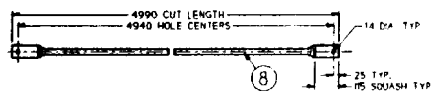
A3 - LEG BEND AXIAL D-FRAME



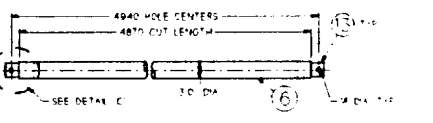
A4 - AXIAL TUBE



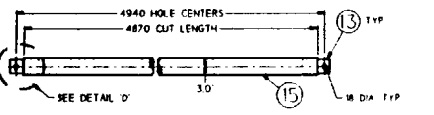
A5 - LEG LONGITUDINAL



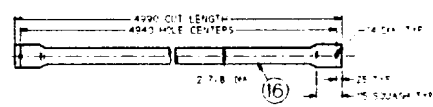
A6 - UNDERGIRT



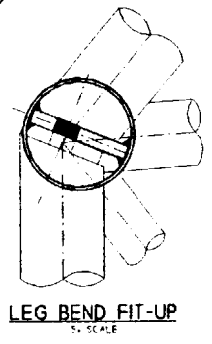
A7 - ACC. DR. HEADER TUBE



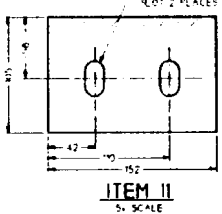
A8 - ROOF LONGITUDINAL



A9 - NODE RESTRAINT TUBE



LEG BEND FIT-UP
5x SCALE



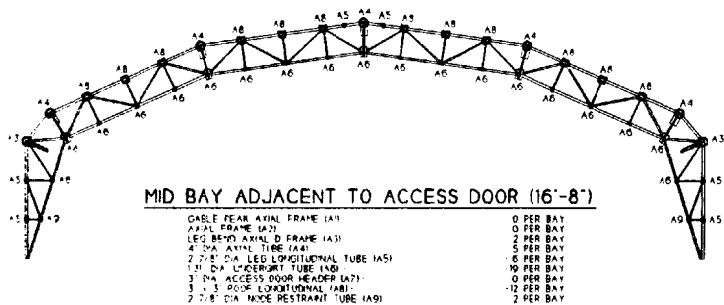
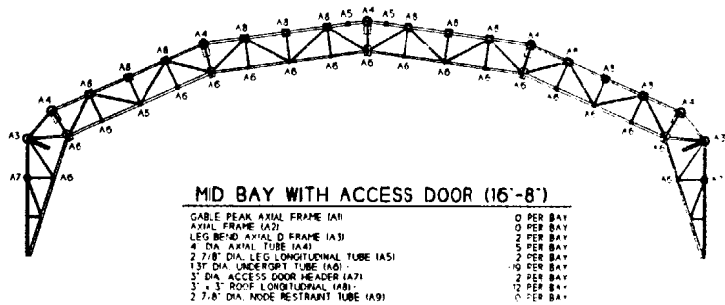
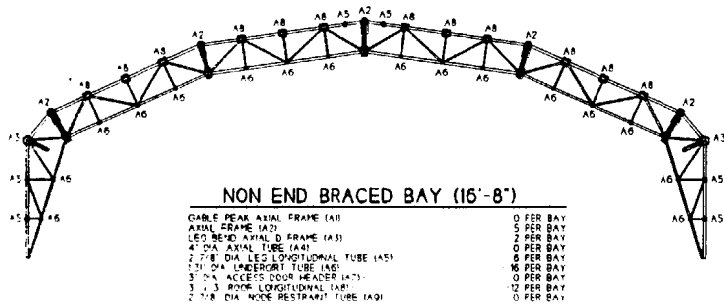
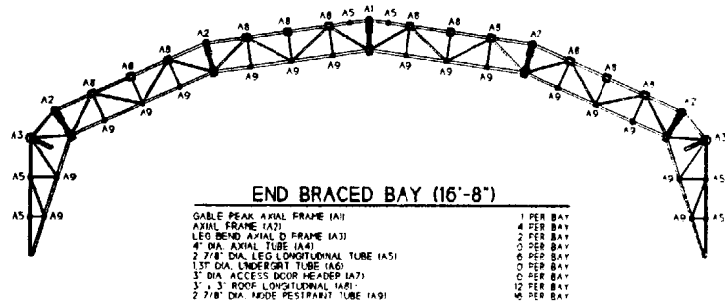
ITEM II
5x SCALE

NOTES
1) BREAK SHARP CORNERS FOR PVC
2) SEE DIMS HOOD FOR GEN WELD NOTES
3) BILL OF MATERIALS DOES NOT REFLECT QUANTITY
4) VENT TUBE FOR GALVANIZING
5) ALL ASS'Y MATERIAL TO BE Fy=50 KSI MIN UNLESS NOTED OTHERWISE

ITEM	QTY	DESCRIPTION	SPEC
1	1	TUBE 4 DIA x 0.025 x 4834	AS200
2	1	TUBE 12 DIA x 0.025 x 4834	AS200
3	1	TUBE 4 DIA x 0.015 x 4834	AS200
4	1	TUBE 12 DIA x 0.015 x 4834	AS200
5	1	TUBE 3 DIA x 0.025 x 4834	AS200
6	1	TUBE 12 DIA x 0.010 x 4990	AS200
7	1	TUBE 12 DIA x 0.010 x 4990	AS200
8	1	TUBE 12 DIA x 0.010 x 4990	AS200
9	1	PLAT 8 x 1/2 x 3/8	AS200
10	1	PLAT 8 x 1/2 x 3/8	AS200
11	1	PLAT 8 x 1/2 x 3/8	AS200
12	1	PLAT 8 x 1/2 x 3/8	AS200
13	1	PLAT 8 x 1/2 x 3/8	AS200
14	1	PLAT 8 x 1/2 x 3/8	AS200
15	1	PLAT 8 x 1/2 x 3/8	AS200
16	1	TUBE 2 7/8 DIA x 0.020 x 4990	AS200
17	1	TUBE 2 7/8 DIA x 0.020 x 4990	AS200

REV	DESCRIPTION	DRAWN	APP.	DATE
1	ISSUED FOR FABRICATION			
2	REVISED PER COMMENTS			

We Cover The World
RUBE
 BUILDING SYSTEMS
 23,080s BVE / 4w LEG
 AXIAL STEEL
 10'-8" BAY SPACING
 SKR 4-24-98
 GES 4-27-98
 98020
 SATELLITE SHELTERS
 RUBE INC. SANFORD MAINE 04073
 TEL: 207-324-2877 FAX 207-324-2347 20765



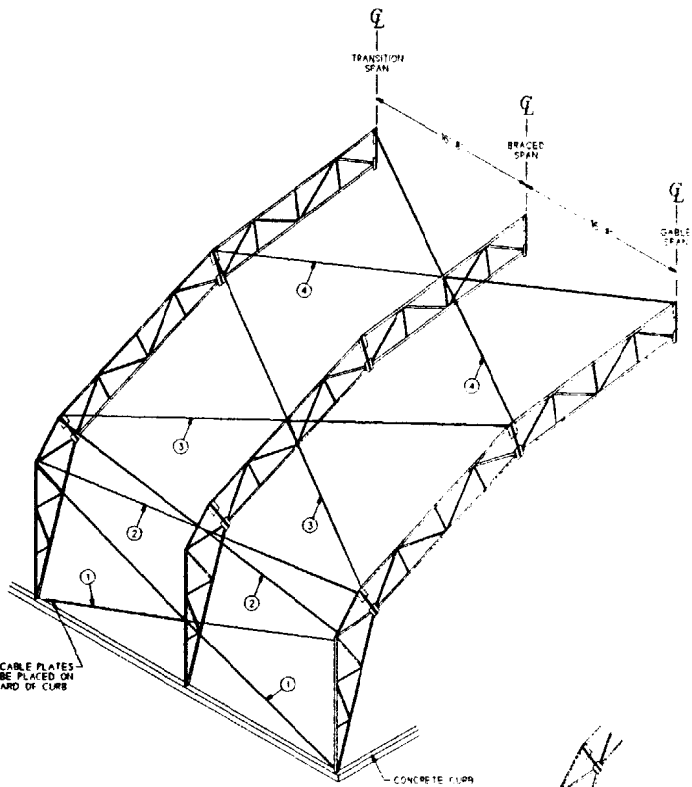
BOLTING SCHEDULE

AXIAL FRAMES (A1 & A2)	3/4" DIA x 2 1/4" A325
LEG BEND AXIAL D FRAME (A3)	3/4" DIA x 2 1/4" A325
4" DIA. AXIAL TUBE (A4)	3/4" DIA x 2 1/4" A325
2 7/8" DIA. LEG LONGITUDINAL TUBE (A5)	5/8" DIA x 1 3/4" A325
1 3/4" DIA. UNDERBOLT TUBE (A6)	1/2" DIA x 1 1/2" GRADE 2
3" DIA. ACCESS DOOR HEADER (A7)	5/8" DIA x 1 3/4" A325
3" x 3" ROOF LONGITUDINAL (A8)	5/8" DIA x 1 3/4" A325
2 7/8" DIA. NODE RESTRAINT TUBE (A9)	1/2" DIA x 1 1/2" GRADE 2

REV	DESCRIPTION	DRAWN	APP.	DATE
AR	4-28-98	REV	1:25	
01		08020		
02		SATELLITE SHELTERS		

RUBB INC. DANFORD PLANT 04023
Tel: 207-324-2877 FAX 207-324-2347

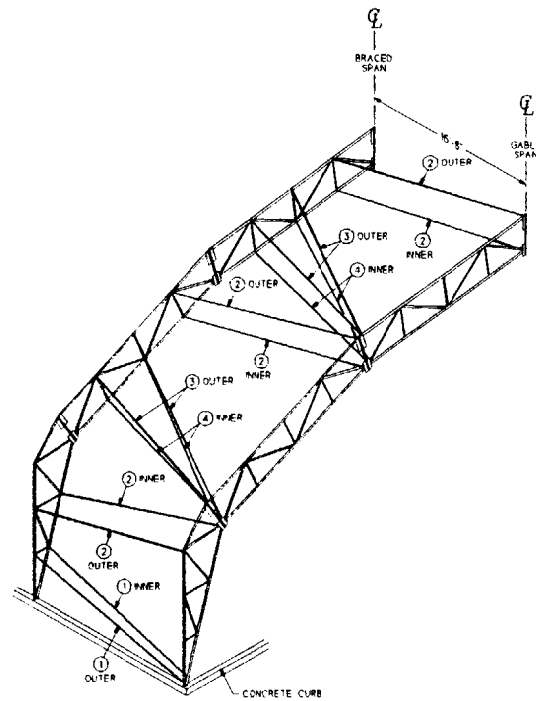
29774



CABLES ATTACH TO CABLE PLATES HERE WHICH ARE TO BE PLACED ON CONCRETE SLAB INBOARD OF CURB

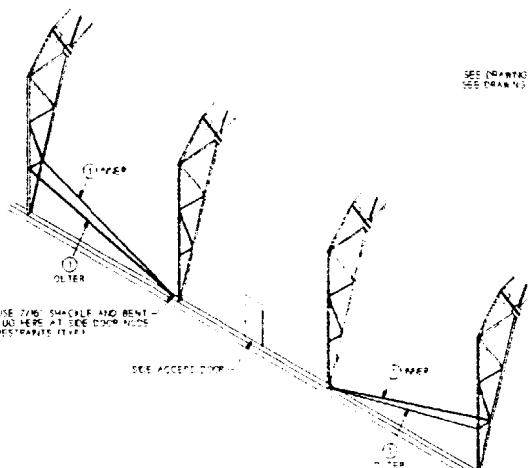
SEE DRAWING 20805 FOR ASSEMBLIES 1 - 4.

WIND BRACING ISOMETRIC



SEE DRAWING 20806 FOR ASSEMBLIES 1 & 2
SEE DRAWING 20807 FOR ASSEMBLIES 3 & 4

NODE RESTRAINT ISOMETRIC

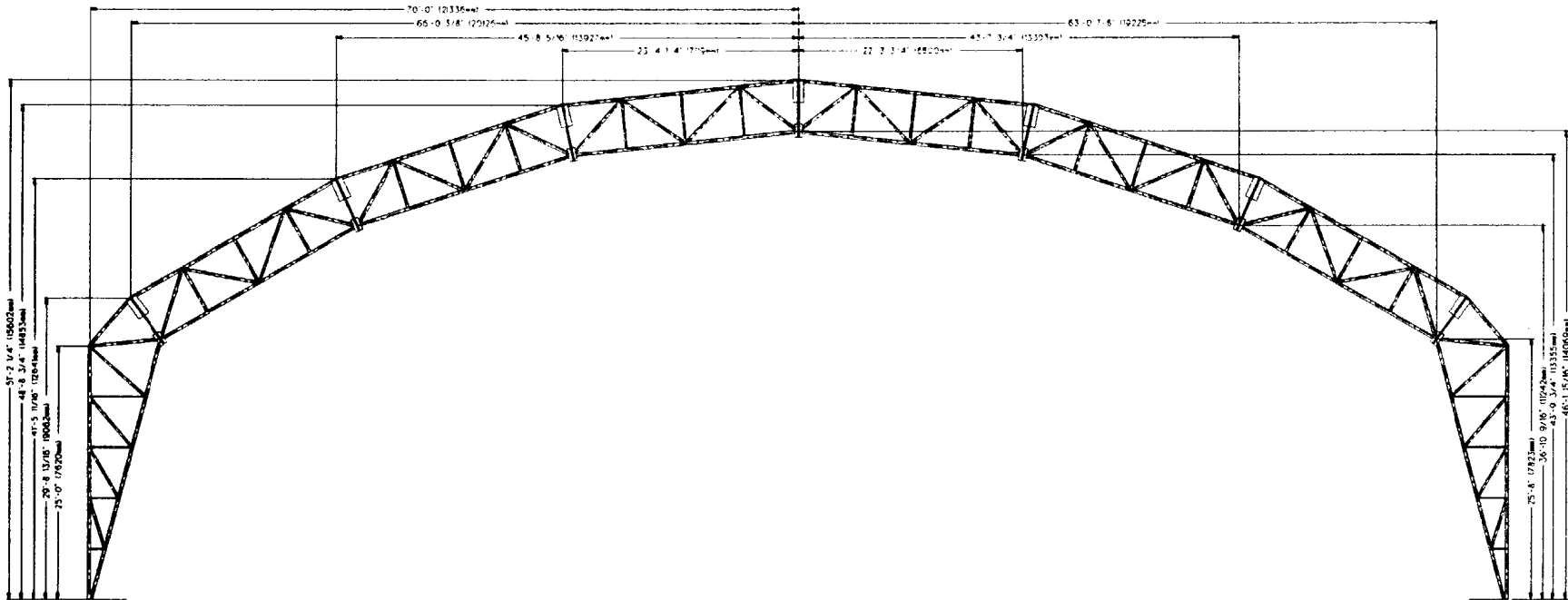


USE 2" W/ SHACKLE AND BENT -
LOAD HERE AS SEE DRAW NODE
RESTRAINT 1 & 2

SEE ACCESS DOOR

NODE RESTRAINTS AT SIDE DOORS

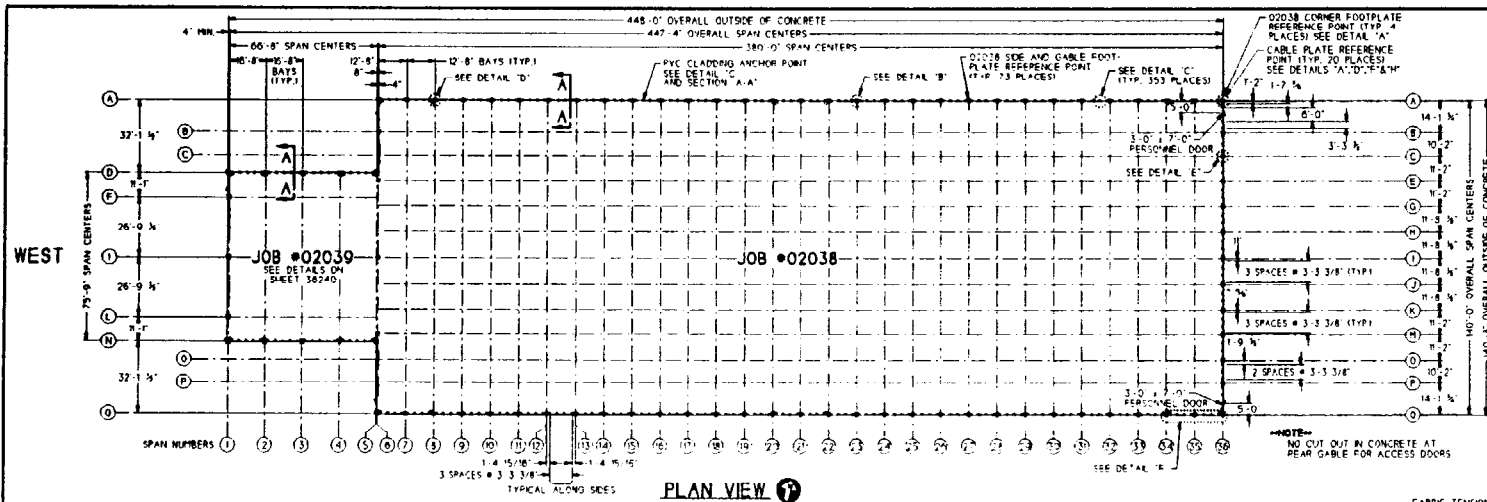
REV.	DESCRIPTION	DRAWN	APP.	DATE
1	23.2m BVE / 4m LEG WIND BRACING CABLE AND NODE RESTRAINT ISOMETRIC			
AR	5-4-98	1:100		This drawing is the property of RUBE Inc. and may not be reproduced or used for any manufacturing purpose without the written permis- sion of RUBE Inc.
			98020	
			RAJESH K. SHELTER	
	RUBE INC. DANFORD PLANE 94273 TEL: 207-324-2077 FAX: 207-324-2547			22804



SPAN PROFILE

REV	DESCRIPTION	DRAWN	APP.	DATE
	42.68m BVE / 7.62m LEG SPAN PROFILE			
	RUBB			
	BUILDING SYSTEMS			
	MJG 3-12-02		1:60	
	02038			
	MICROLL INDUSTRIES			
	RUBB INC. SANFORD MANE 04073			
	TEL: 207-324-2077 FAX: 207-324-2047			36204

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STRUCTURAL NOTES:

GENERAL:

DURING CONSTRUCTION, TEMPORARY BRACING AND/OR SHORING SHALL BE PROVIDED WHEREVER NECESSARY TO RESIST ALL LOADS TO WHICH THE STRUCTURE UNDER CONSTRUCTION AS WELL AS EXISTING STRUCTURES, MAY BE SUBJECTED TO. THESE LOADS SHALL INCLUDE, BUT NOT BE LIMITED TO, EQUIPMENT AND THE OPERATION OF SAME. ADEQUACY OF SHORING TO RESIST THESE LOADS IS THE CONTRACTOR'S RESPONSIBILITY.

CODES AND SPECIFICATIONS (LATEST EDITIONS):

- 1) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)
- 2) BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE (ACI 308)
- 3) AMERICAN INSTITUTE OF STEEL CONSTRUCTION - ALLOWABLE STRESS DESIGN (AISC-ASD)
- 4) MANUAL OF STANDARD PRACTICE, CONCRETE REINFORCEMENT STEEL INSTITUTE (CRSI)

BASIS FOR ALLOWABLE DESIGN STRESSES:

- 1) CONCRETE (28 DAY COMPRESSIVE STRENGTH)
- 1) ALL CAST IN PLACE CONCRETE UNLESS OTHERWISE NOTED: f_c = 3000 PSI MINIMUM
- 2) REINFORCING STEEL
- 2) MAIN REINFORCING STEEL: ASTM A615, GRADE 60.
- 2) TIES AND STIRRUPS: ASTM A615, GRADE 40 OR 60.
- 2) WELDED WIRE FABRIC (PLAIN): ASTM A185.
- 3) STRUCTURAL STEEL
- 3) ROLLED SHAPES, PLATES AND BARS: ASTM A36
- 3) ANCHOR BOLTS AND/OR THREADED FASTENERS: ASTM A325 OR B7
- 3) BOLTS: ASTM A325 OR GRADE 2.
- 4) WELDING
- 4) ALL WELDING ELECTRODES: AWS E70

ANCHOR BOLTS:

- 1) 5/8" DIA. ANCHOR BOLTS TO PROTRUDE A MINIMUM OF 2" FROM CONCRETE SURFACE
- 2) 3/4" DIA. ANCHOR BOLTS TO PROTRUDE 2 1/2" MINIMUM FROM CONCRETE SURFACE
- 3) 7/8" DIA. ANCHOR BOLTS TO PROTRUDE 3" MINIMUM FROM CONCRETE SURFACE

CAST IN PLACE CONCRETE AND REINFORCING:

- 1) ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE
- 2) ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS
- 3) MINIMUM PROTECTION OF ALL REINFORCING STEEL SHALL BE MAINTAINED AS SHOWN
- 4) CLEARANCE OF MAIN REINFORCING BARS FROM ADJACENT CONCRETE SURFACES SHALL BE:
- 4.1) WHERE FORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH, 3" EXCEPT SLABS, 1 1/2"
- 4.2) WHERE FORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH OR IS EXPOSED TO THE WEATHER:
- 4.3) THE MAXIMUM ALLOWABLE DEVIATION FROM THE FIGURES ABOVE SHALL BE 1/2" FOR CONCRETE SHAPES MORE THAN 10" IN WIDTH OR DEPTH
- 5) MINIMUM LAP SPICE FOR #4 BARS IS 30"

SOIL:

MINIMUM BEARING CAPACITY TO BE 1500 psf.

DESIGN LOADS:

GROUND SNOW LOAD = 50 psf

WIND LOAD BASED ON 70 mph WIND PER ASCE 7-98, EXPOSURE C

FOUNDATION FORCES: (WORST CASE)

THE FOLLOWING ARE THE WORST CASE RESULTANT FORCES OUT OF ALL THE CODE REQUIRED LOAD CASE COMBINATIONS

1999 BOCA BUILDING CODE
50 psf GROUND SNOW LOAD
TO WIND EXPOSURE C

I) ALONG GRID LINES D & N

DEAD - LIVE: F_x = 18.4L LATERAL
F_y = 24.0N DOWN
DEAD - SIDE WIND: F_x = 3.3L LATERAL
F_y = 7.9N NET UPLIFT

II) AT GRID LOCATIONS D1, D2, D4, D5, N1, N2, N4, N5

DEAD - GABLE WIND - LIVE: F_x = 10L LATERAL
F_y = 4.3L NET UPLIFT
F_z = 9.7L LATERAL
OR:
F_x = 10L LATERAL
F_y = 7.0L DOWN
F_z = 9.7L LATERAL

III) END WALL LOCATIONS AT GABLE COLUMNS F1, I1, L1

WIND F_x = 5.8L LATERAL (MAX)

IV) ALONG GRID LINES A & O

DEAD - LIVE: F_x = 18.4L LATERAL
F_y = 31.8N DOWN
DEAD - SIDE WIND: F_x = 10.6L LATERAL
F_y = 18.5N NET UPLIFT

V) AT GRID LOCATIONS A6, A8, A20, A22, A34, A36, O6.

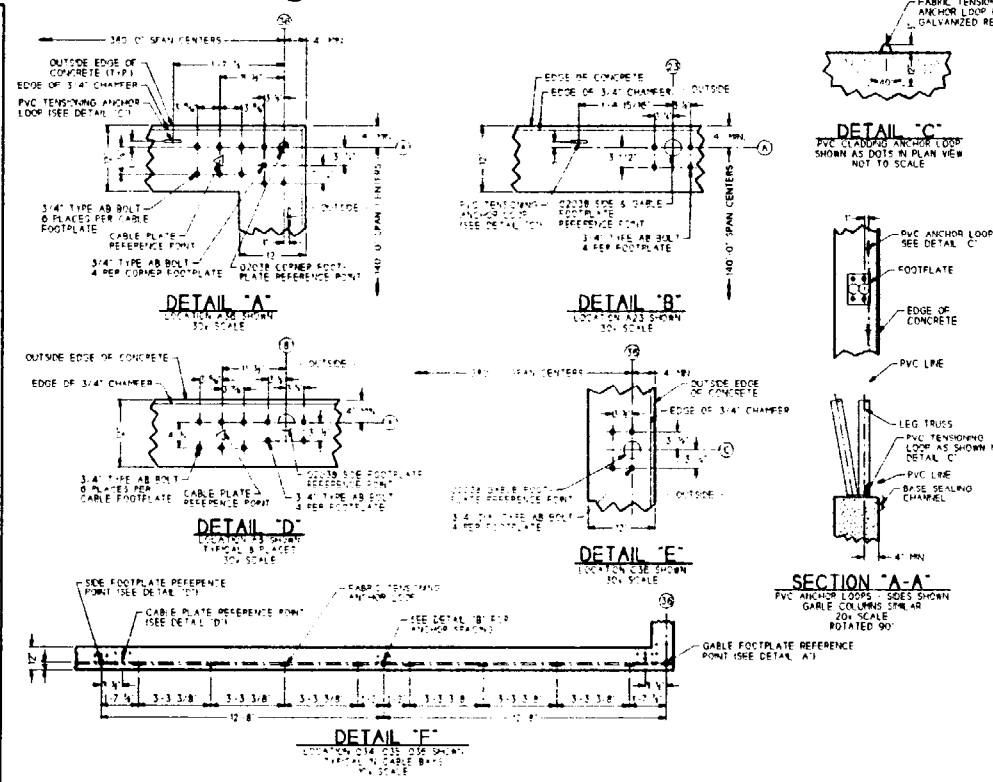
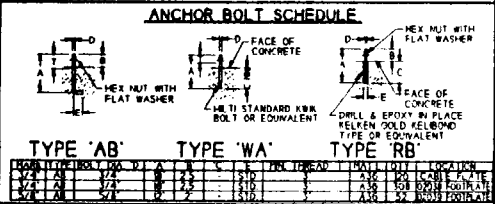
DEAD - GABLE WIND - LIVE: F_x = 0.4L LATERAL
F_y = 12.2L NET UPLIFT
F_z = 14.6L LATERAL
OR:
F_x = 5.4L LATERAL
F_y = 26.9N DOWN
F_z = 0.4L LATERAL

VII) END WALL LOCATIONS AT GABLE COLUMNS B6, B36, C36, E6, E36, G36, H36, I6, J36, J36, K36, M6, M36, O36, P36

WIND F_x = 10.9L LATERAL (MAX)

NOTES:

- 1) THE FORCES IN I & N ARE FOR ONE BAY LENGTH. THE LATERAL LOAD AND DOWNWARD LOAD IS A POINT LOAD AT EACH COLUMN. THE UPLIFT IS A DISTRIBUTED LOAD ALONG THE ENTIRE BAY LENGTH.
- 2) FORCES IN B, W, Y & W ARE ALL POINT LOADS AT COLUMN LOCATIONS INDICATED.



DETAIL C: PVC CLADDING ANCHOR LOOP SHOWN AS DOTS IN PLAN VIEW NOT TO SCALE

DETAIL B: LOCATION A23 SHOWN 20x SCALE

DETAIL D: TYPICAL 3' PLATE 20x SCALE

DETAIL E: LOCATION A23 SHOWN 20x SCALE

SECTION A-A: PVC ANCHOR LOOPS, SEES SHOWN 20x SCALE. GABLE COLUMNS 20x SCALE. ROTATED 90°

NOTES:

- 1) ACCESS DOOR BASEPLATES NOT SHOWN. USE ACTUAL SIDE TRIMMES AS TEMPLATE TO MARK HOLES AND DRILL.
- 2) ANCHOR BOLTS, ANCHOR BOLT TEMPLATES AND FABRIC TENSORING LOOPS TO BE PROVIDED BY RUBB INC. AND INSTALLED BY OTHERS. TEMPLATES MUST BE PLACED ACCURATELY TO FACILITATE EASY FIT-UP AND FAST ERECTION OF BUILDING.
- 3) CONCRETE SHOWN REPRESENTATIVE ONLY. ACTUAL DESIGN IS THE RESPONSIBILITY OF OTHERS.
- 4) FOR DETAILS NOT SHOWN HERE SEE DRAWING 35240.

NO.	REVISION	DATE	BY	APP.	DATE
1	REVISED ACCESS DOOR LOCATION	JAN	JR	JV	3-28-07
2	REVISED BAY SPACING	JAN	JR	JV	3-28-07

We Cover The Work!

RUBB

42 08m BVE / 7.62m LEG
23.17m BVE / 4.0m LEG
ANCHOR BOLT LAYOUT "RUBB V1"

BUILDING 51-210-G

JAB 03-11-02

SCALE: 1:500

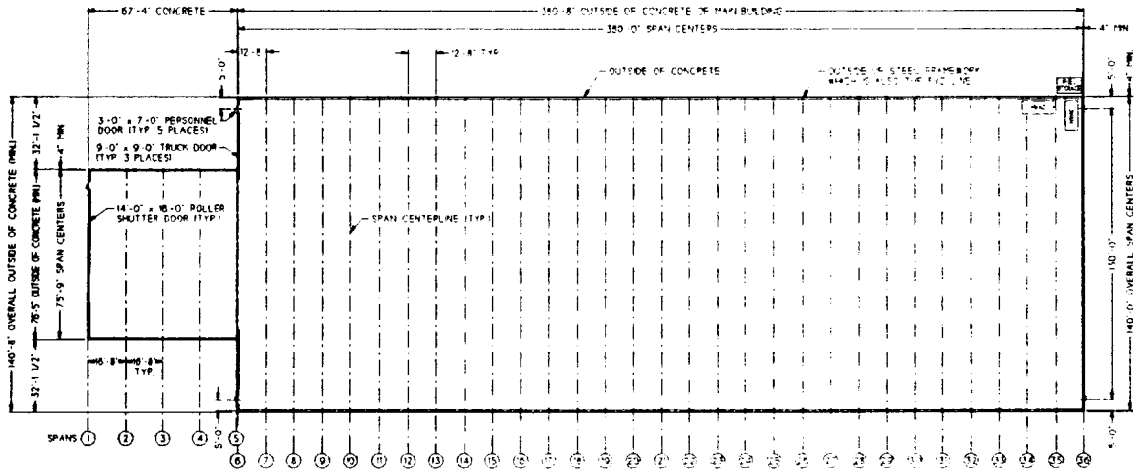
02038 / 02039

MERRILL INDUSTRIES

RUBB INC. SANFORD MAINE 04073
TEL: 207-324-2877 FAX: 207-324-2547

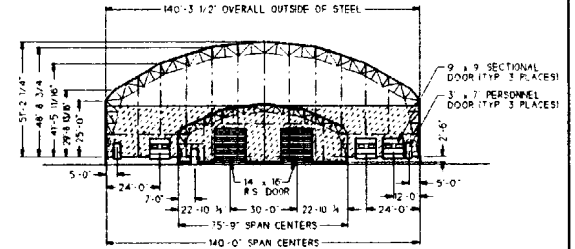
36205

FRONT (WEST)

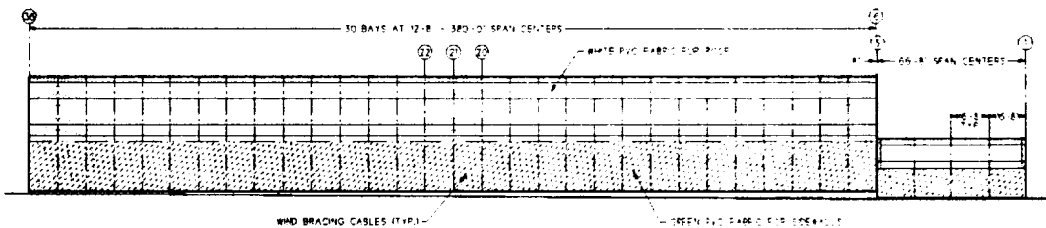


PLAN VIEW ①

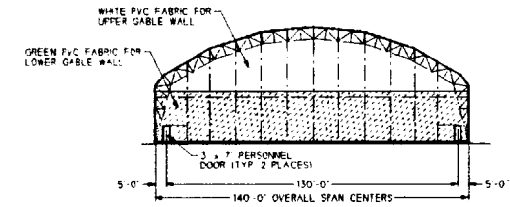
REAR (EAST)



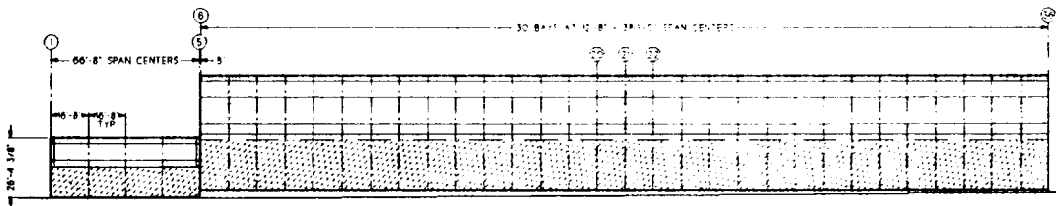
FRONT ELEVATION
WEST SIDE



LEFT SIDE ELEVATION
NORTH SIDE FACING MERPELL'S ENTRANCE



REAR ELEVATION
EAST SIDE FACING LEEN COMPANY

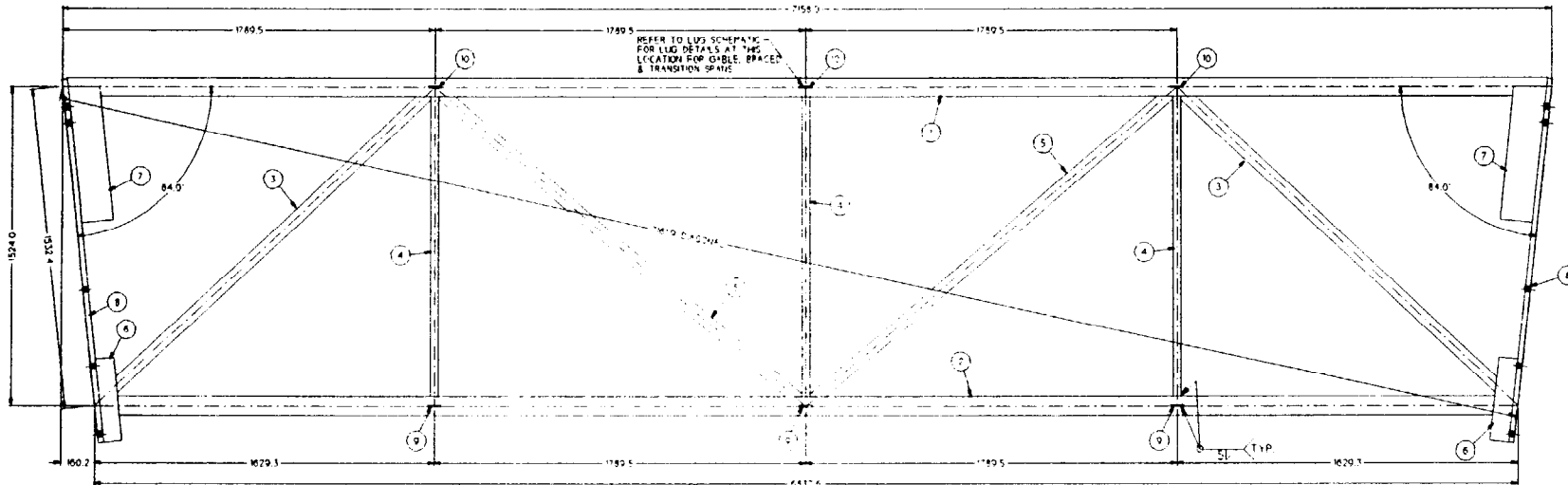


RIGHT SIDE ELEVATION
SOUTH SIDE FACING WATER

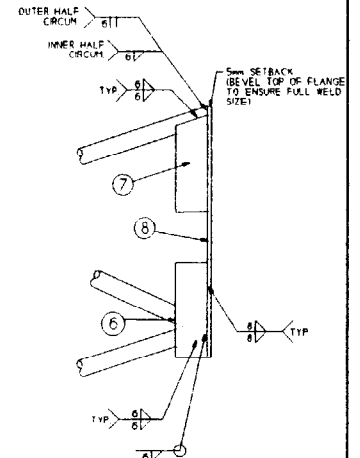
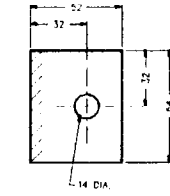
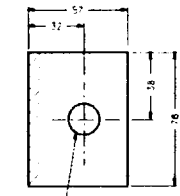
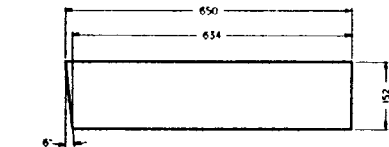
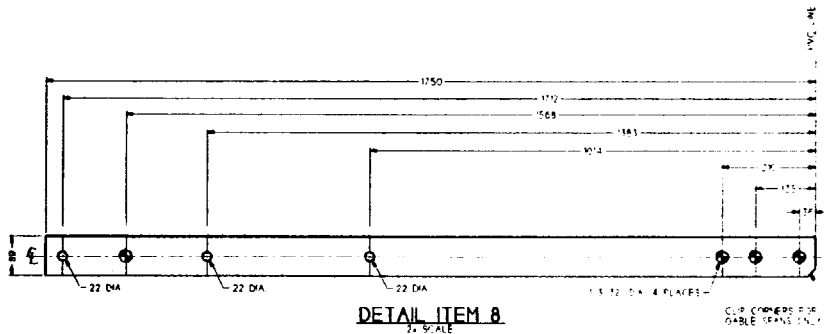
NOTES:

- 1) COVERING MATERIAL IS A PVC IMPREGNATED POLYESTER HEAVY FABRIC, SELF EXTINGUISHING TO FEDERAL TEST STANDARD 191 METHOD 5003 AND COMPLES WITH NFPA STANDARD 701, LBC 55-1 AND CALIFORNIA STATE FIRE MARSHALL'S OFFICE.
- 2) STRUCTURAL FRAMEWORK IS GALVANIZED TUBULAR STEEL TRUSS FRAMES INTERCONNECTED WITH GALVANIZED TUBULAR STEEL BOLTS. STEEL PLATE AND SHAPES ARE A36 STEEL TUBING IS #5008.

REV	REVISED ACCESS DOOR LOCATION	AR	11	5.20.02
REV	REVISED BAY MARKING	AR	11	5.20.02
REV	DESCRIPTION	DRAWN	APP.	DATE
1	We Cover The World RUBB 42.7m BVE / 7.6m LEG 23.17m BVE / 4.0m LEG PLAN VIEW AND ELEVATIONS 'RUBB VI'			
2	BUILDING SYSTEMS			
3	AR 3-12-02	1:300		This drawing is the property of Rubb Inc. and may not be reproduced or used for any engineering purpose without the express consent of Rubb Inc.
4	02038 / 02039			
5	MERPELL INDUSTRIES			
RUBB INC. SAUFORD HAME 04073 TEL: 207-324-2077 FAX: 207-324-2547				36206



PEAK ROOF TRUSS
NO. SPAN TO RW

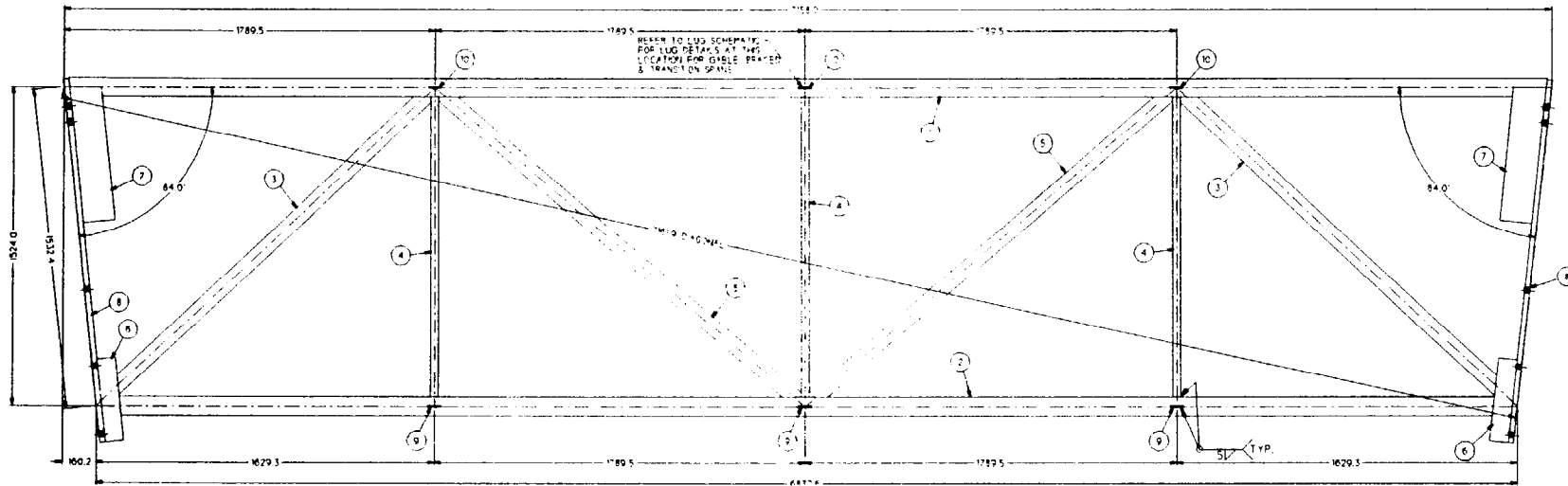


REV	DESCRIPTION	DATE	BY	CHK
1	ISSUE FOR CONSTRUCTION	2002-03-12	JUG	JUG
2	REVISED PER COMMENTS	2002-03-12	JUG	JUG
3	REVISED PER COMMENTS	2002-03-12	JUG	JUG
4	REVISED PER COMMENTS	2002-03-12	JUG	JUG
5	REVISED PER COMMENTS	2002-03-12	JUG	JUG
6	REVISED PER COMMENTS	2002-03-12	JUG	JUG
7	REVISED PER COMMENTS	2002-03-12	JUG	JUG
8	REVISED PER COMMENTS	2002-03-12	JUG	JUG
9	REVISED PER COMMENTS	2002-03-12	JUG	JUG
10	REVISED PER COMMENTS	2002-03-12	JUG	JUG

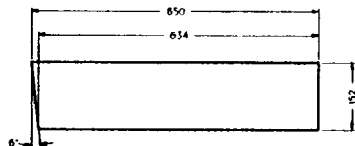
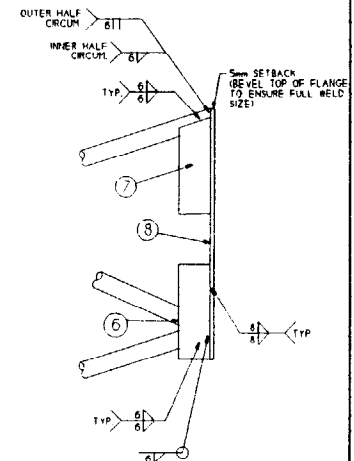
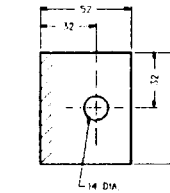
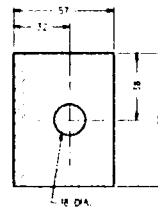
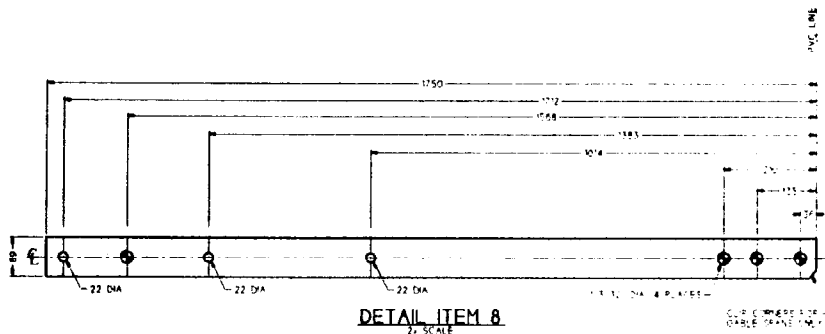
- NOTES:
 1) BREAK SHARP CORNERS FOR PVC
 2) SEE DRG 1000S FOR GEN WELD NOTES
 3) SEE LUG SCHEMATIC FOR FLANGE LUG LOCATIONS
 4) VENT ALL TUBES AS REQUIRED FOR GALVANIZING
 5) ALL DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS
 6) BILL OF MATERIALS IS FOR ONE ASSEMBLY.

REV	DESCRIPTION	DATE	BY	CHK
1	ISSUE FOR CONSTRUCTION	2002-03-12	JUG	JUG
2	REVISED PER COMMENTS	2002-03-12	JUG	JUG
3	REVISED PER COMMENTS	2002-03-12	JUG	JUG
4	REVISED PER COMMENTS	2002-03-12	JUG	JUG
5	REVISED PER COMMENTS	2002-03-12	JUG	JUG
6	REVISED PER COMMENTS	2002-03-12	JUG	JUG
7	REVISED PER COMMENTS	2002-03-12	JUG	JUG
8	REVISED PER COMMENTS	2002-03-12	JUG	JUG
9	REVISED PER COMMENTS	2002-03-12	JUG	JUG
10	REVISED PER COMMENTS	2002-03-12	JUG	JUG

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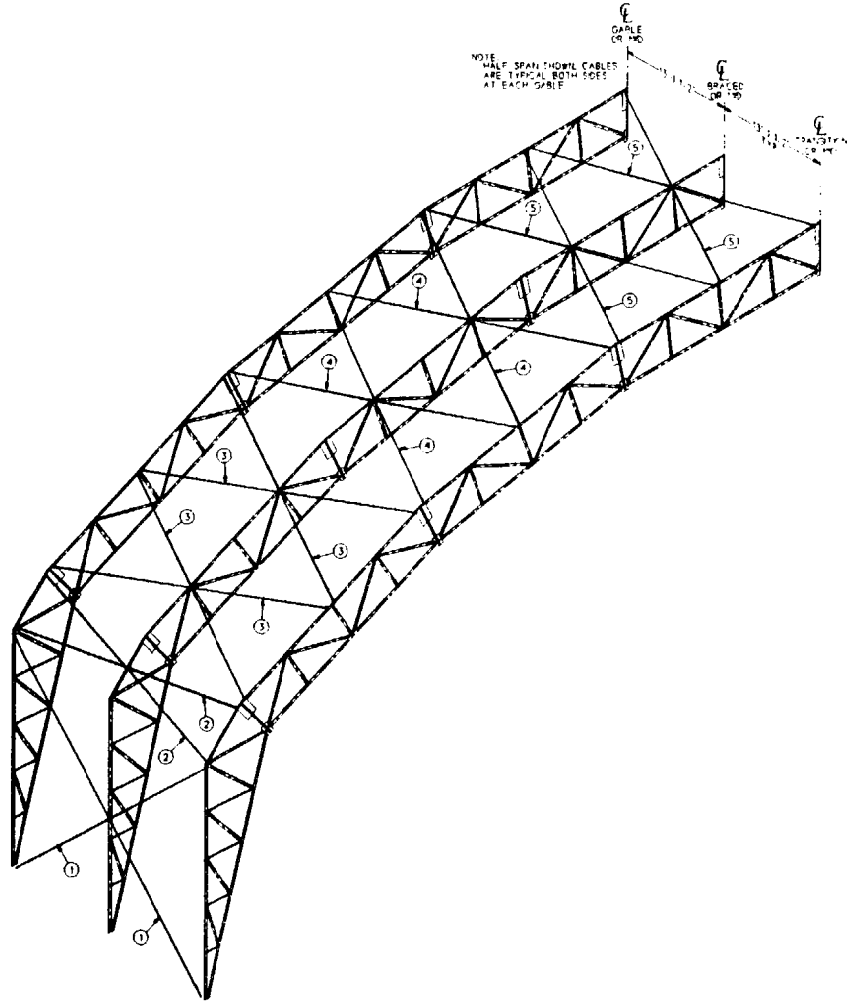
LOWER ROOF TRUSS
1/2" SCALE



NO.	DESCRIPTION	QTY	UNIT
1	14 DIA TUBE	2	EA
2	18 DIA TUBE	2	EA
3	12 DIA TUBE	2	EA
4	12 DIA TUBE	2	EA
5	12 DIA TUBE	2	EA
6	12 DIA TUBE	2	EA
7	12 DIA TUBE	2	EA
8	12 DIA TUBE	2	EA
9	12 DIA TUBE	2	EA
10	12 DIA TUBE	2	EA
11	12 DIA TUBE	2	EA
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13	12 DIA TUBE	2	EA
14	12 DIA TUBE	2	EA
15	12 DIA TUBE	2	EA
16	12 DIA TUBE	2	EA
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42	12 DIA TUBE	2	EA
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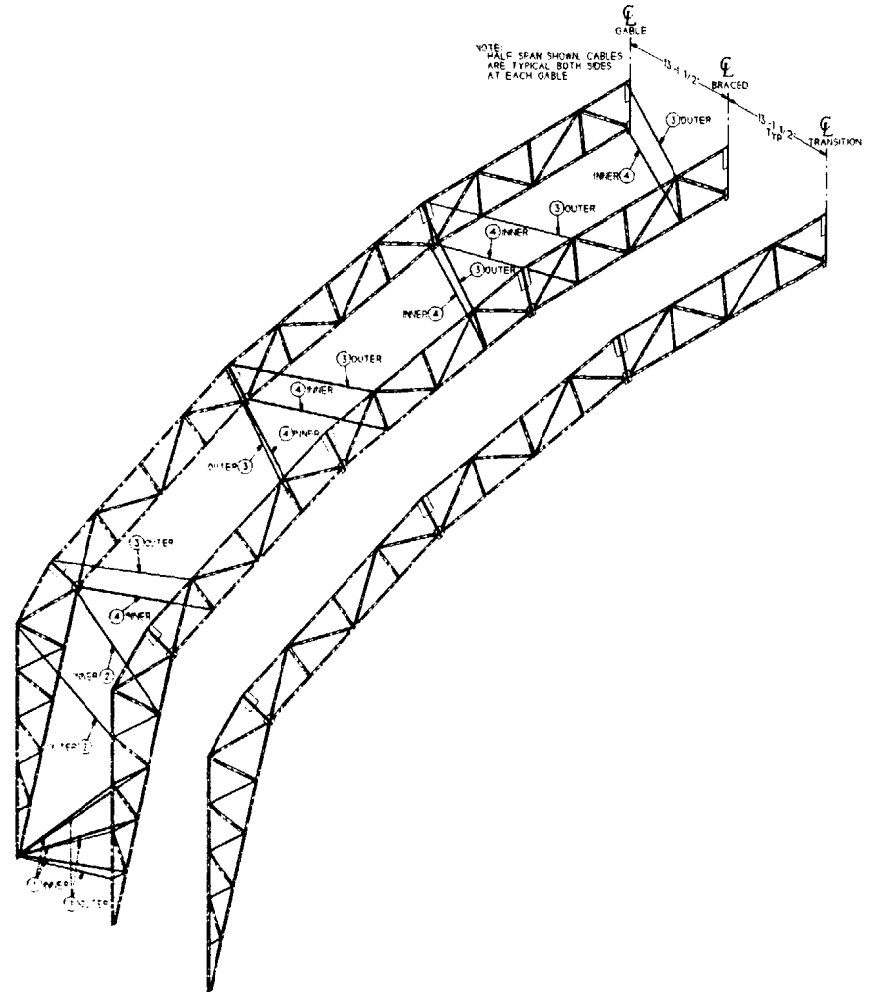
- NOTES:
 1) BREAK SHARP CORNERS FOR PVC
 2) SEE DWG 11000 FOR WELD NOTES
 3) SEE LUG SCHEMATIC FOR FLANGE LUG LOCATIONS
 4) VENT ALL TUBES AS REQUIRED FOR DEWATERING
 5) ALL DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS
 6) BILL OF MATERIALS IS FOR ONE ASSEMBLY

REV	DESCRIPTION	DRAWN	APP	DATE
01	42.00m BVE / 7.62m LEG LOWER ROOF TRUSS			
RUBB				
BUILDING SYSTEMS				
Proj	HJG 3-12-02	Scale	1:10	This drawing is the property of Rubb Inc and may not be reproduced or used for any manufacturing purpose without the written consent of Rubb Inc.
Rev	02038	Drawn by		
Rev		Checked by		
RUBB INC. SAIFORD WARE 04073 TEL: 207-324-2077 FAX: 207-324-2047				
				36209



WIND BRACING CABLES

ASSEMBLY	DESCRIPTION	QUANTITY
1	PEAK ROOF	162.0
2	UPPER SLOPE	162.0
3	LOWER SLOPE	162.0
4	HORIZONTAL	162.0
5	VERTICAL	162.0



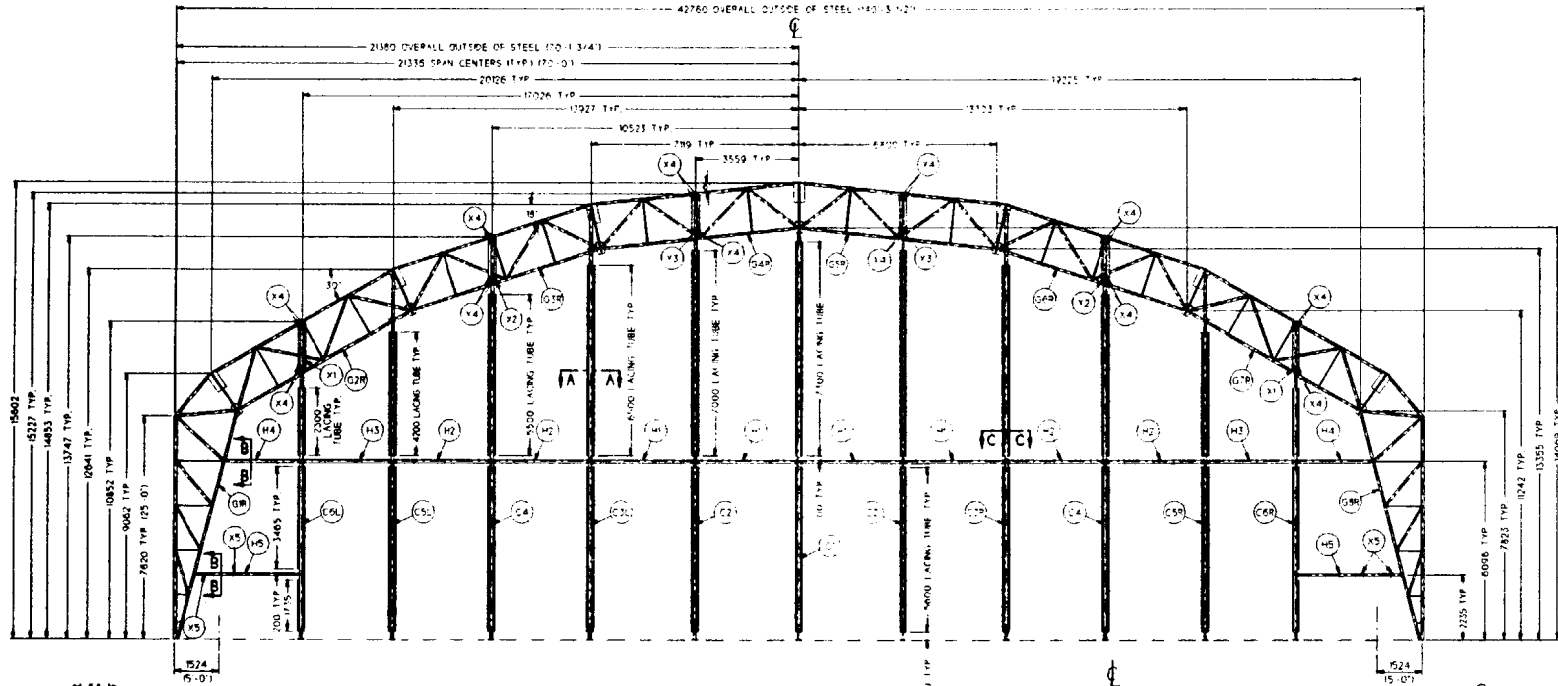
NODE RESTRAINTS

ASSEMBLY	DESCRIPTION	QUANTITY
1	LOWER LEG RESTRAINT	162.0
2	UPPER LEG RESTRAINT	162.0
3	UPPER JOINT RESTRAINT	162.0
4	LOWER JOINT RESTRAINT	162.0
5	UPPER JOINT RESTRAINT	162.0
6	LOWER JOINT RESTRAINT	162.0

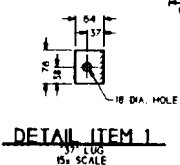
NOTES:
 1) QUANTITY LISTED IS TOTAL QUANTITY REQUIRED.

REV	DESCRIPTION	DRAWN	APP.	DATE
1	42.7m BVE / 7.0m LEG WIND BRACING & NODE RESTRAINT ISOMETRIC			
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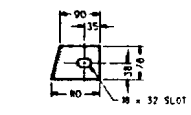
RUBB INC. SANFORD HAME 04073
 TEL: 207-324-2077 FAX: 207-324-2547
 36213



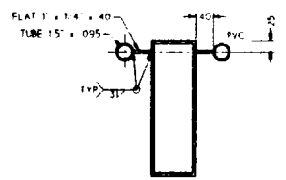
REAR GABLE STEEL



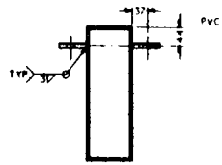
DETAIL ITEM 1
1/8" SCALE



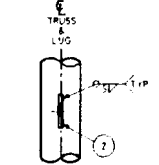
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1/8" SCALE



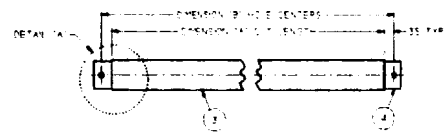
SECTION 'A-A'
1/8" SCALE



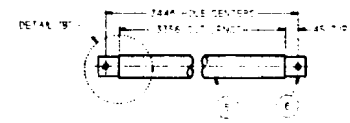
SECTION 'C-C'
1/8" SCALE



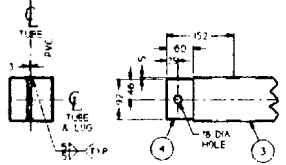
SECTION 'B-B'
1/8" SCALE



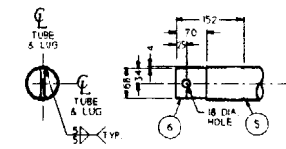
DETAIL ASSEMBLY H1 - H4



DETAIL ASSEMBLY H5



DETAIL 'A'
1/8" SCALE



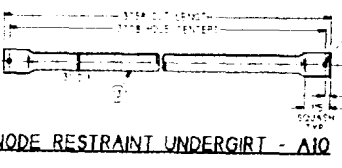
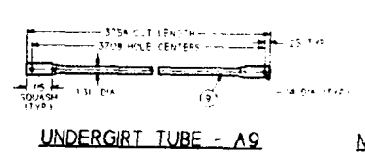
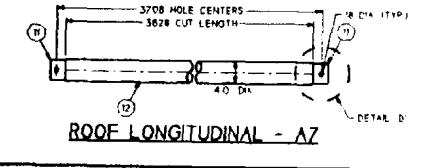
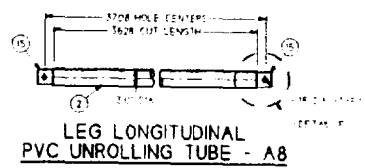
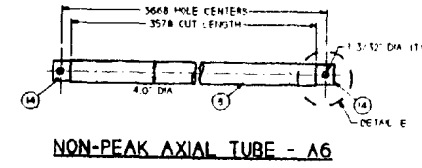
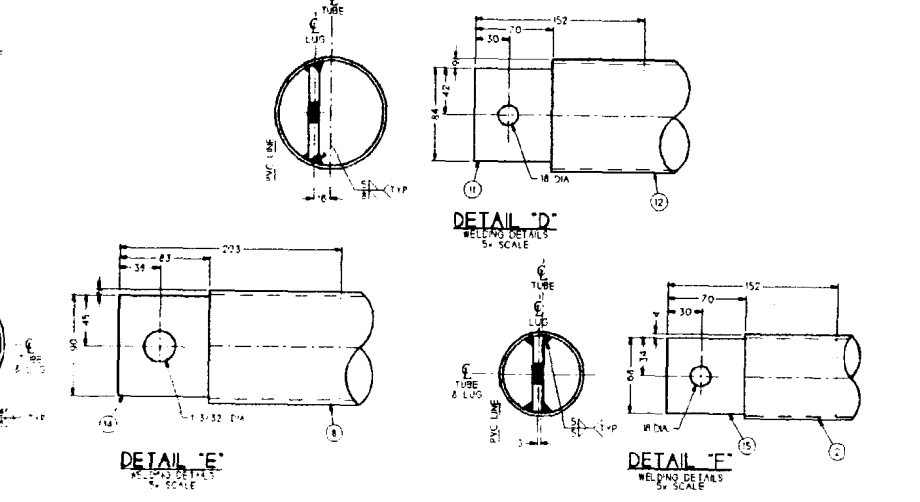
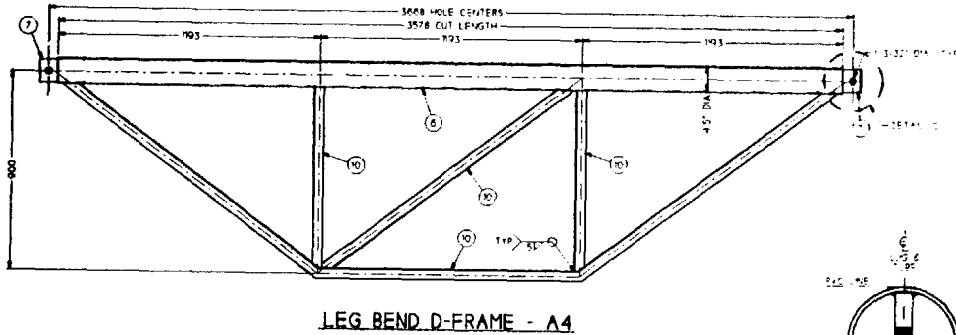
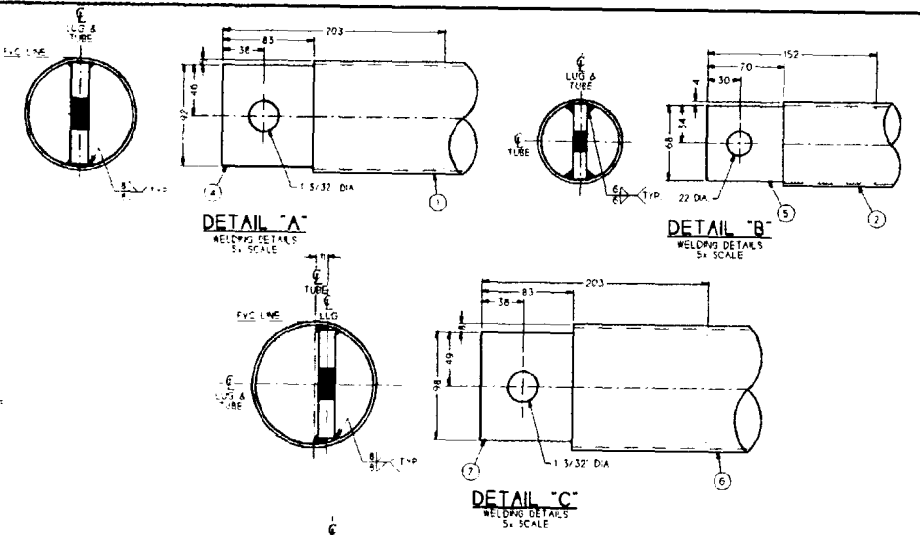
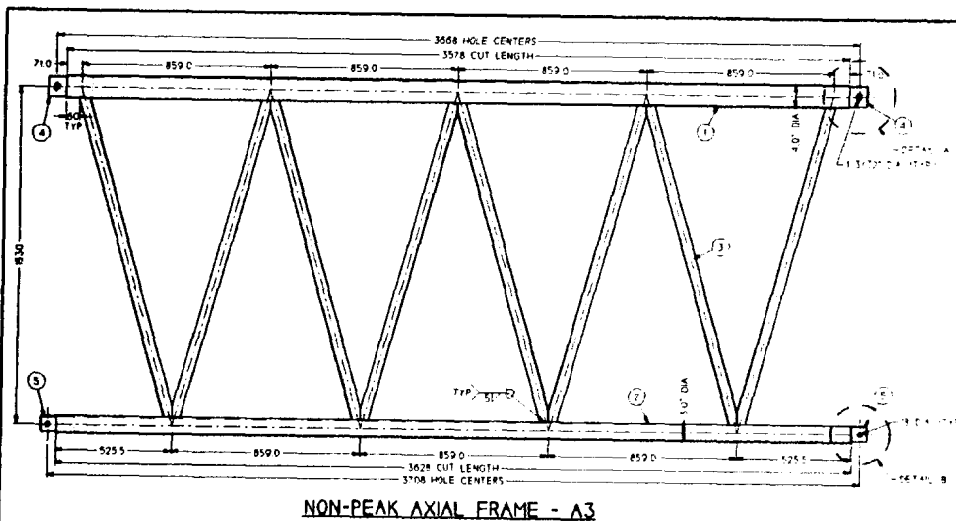
DETAIL 'B'
1/8" SCALE

ITEM	DESCRIPTION	QTY	UNIT
1	FLAT 14 x 40	4	EA
2	FLAT 3 x 1/2 x 90	8	EA
3	FLAT 3 x 1/2 x 120	8	EA
4	FLAT 3 x 1/2 x 90	8	EA
5	FLAT 3 x 1/2 x 90	8	EA
6	TUBE 15 x 15 x 10	1	ASSEMBLY
7	TRUSS 15	1	ASSEMBLY
8	LUG 15	1	ASSEMBLY
9	PVC	1	ASSEMBLY

ITEM	DESCRIPTION	ASSEMBLY	QTY	UNIT
1	REAR GABLE LEG TRUSS	15240	1	ASSEMBLY
2	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
3	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
4	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
5	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
6	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
7	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
8	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
9	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
10	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
11	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
12	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
13	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
14	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
15	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
16	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
17	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
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95	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
96	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
97	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
98	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
99	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY
100	REAR QUARTER INTERMEDIATE ROOF TRUSS	15240	1	ASSEMBLY

NOTES
 1) BREAK SHARP CORNERS FOR PVC
 2) SEE DRAWING INT-06 FOR GENERAL WELD NOTES
 3) BILL OF MATERIAL IS FOR ONE GABLE
 4) DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS
 5) GENT ALL TUBES AS REQUIRED FOR GALVANIZING
 6) ALL ASS008 MATERIAL TO BE Fy = 50 KI MINIMUM

REV	DESCRIPTION	DRAWN	APP.	DATE																																			
1	4274 RVE / 7.6m LEG REAR GABLE STEEL LAYOUT																																						
<table border="1"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DRAWN</th> <th>APP.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>4274 RVE / 7.6m LEG REAR GABLE STEEL LAYOUT</td> <td></td> <td></td> <td></td> </tr> <tr> <td>2</td> <td>AR 3-13-02</td> <td></td> <td></td> <td></td> </tr> <tr> <td>3</td> <td>1:75</td> <td></td> <td></td> <td></td> </tr> <tr> <td>4</td> <td>03038</td> <td></td> <td></td> <td></td> </tr> <tr> <td>5</td> <td>10/03</td> <td></td> <td></td> <td></td> </tr> <tr> <td>6</td> <td>10/03</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>					REV	DESCRIPTION	DRAWN	APP.	DATE	1	4274 RVE / 7.6m LEG REAR GABLE STEEL LAYOUT				2	AR 3-13-02				3	1:75				4	03038				5	10/03				6	10/03			
REV	DESCRIPTION	DRAWN	APP.	DATE																																			
1	4274 RVE / 7.6m LEG REAR GABLE STEEL LAYOUT																																						
2	AR 3-13-02																																						
3	1:75																																						
4	03038																																						
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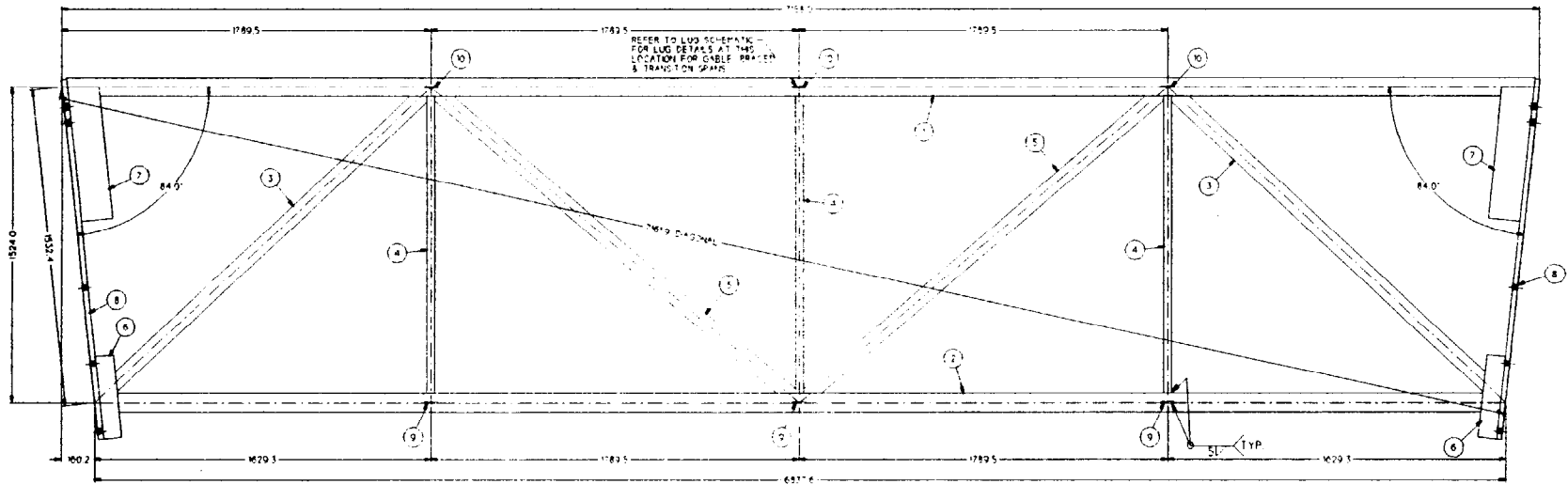


QUANTITY	DESCRIPTION	SPEC.	PS.	MIN.	MAX.
1	TUBE 4 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	TUBE 4 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	TUBE 1.5 DIA. x 20.0' x 4288	ASSOUB	40	40	40
2	PLATE 6 x 6 x 1/2	ASSOUB	40	40	40
2	TUBE 2 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	TUBE 1.5 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	TUBE 1.5 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	TUBE 4 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	PLATE 6 x 6 x 1/2	ASSOUB	40	40	40
2	TUBE 4 DIA. x 17.5' x 3578	ASSOUB	40	40	40
2	PLATE 6 x 6 x 1/2	ASSOUB	40	40	40
2	PLATE 6 x 6 x 1/2	ASSOUB	40	40	40

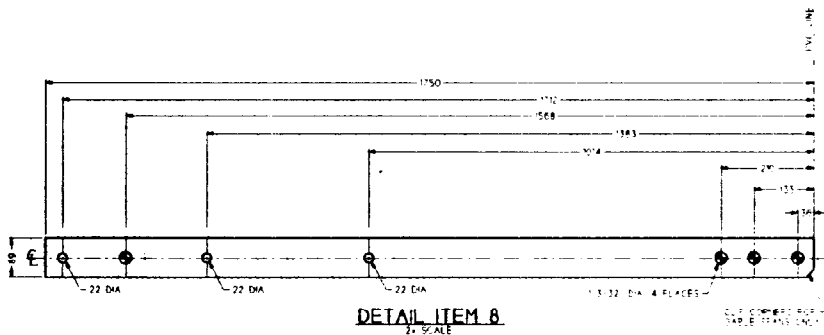
NOTES
 01 BREAK SHARP CORNERS FOR PVC
 02 SEE DWG. 11008 FOR GENERAL WELD NOTES
 03 BILL OF MATERIALS IS FOR ONE ASSEMBLY OF EACH
 04 VENT TUBES FOR GALVANIZING
 05 ALL ASSOUB MATERIAL TO BE F41 - 40 IN. MIN.
 06 DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS

REV.	DESCRIPTION	DRAWN	APP.	DATE
1	42.7" BVE / 7.54" LEG NON-PEAK AXIAL STEEL - 3861 SPACING BUILDING 5-STERS			
2	HUG 3-20-02			1-10
3	G2033			
4	REVEL INDUSTRIES			

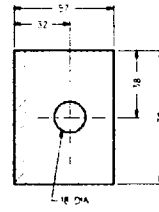
RUBB INC. BANGOR PLANT 04073
 TEL: 207-324-2077 FAX: 207-324-2847



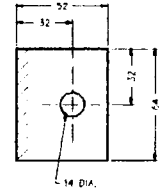
INTERMEDIATE ROOF TRUSS



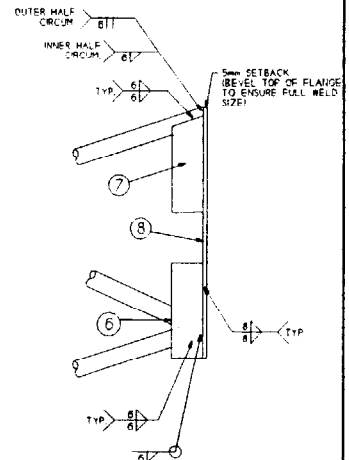
DETAIL ITEM 8
2x SCALE



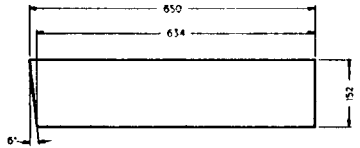
DETAIL ITEM 10
3x SCALE



DETAIL ITEM 9
3x SCALE



FLANGE & STIFFENER WELD DETAILS

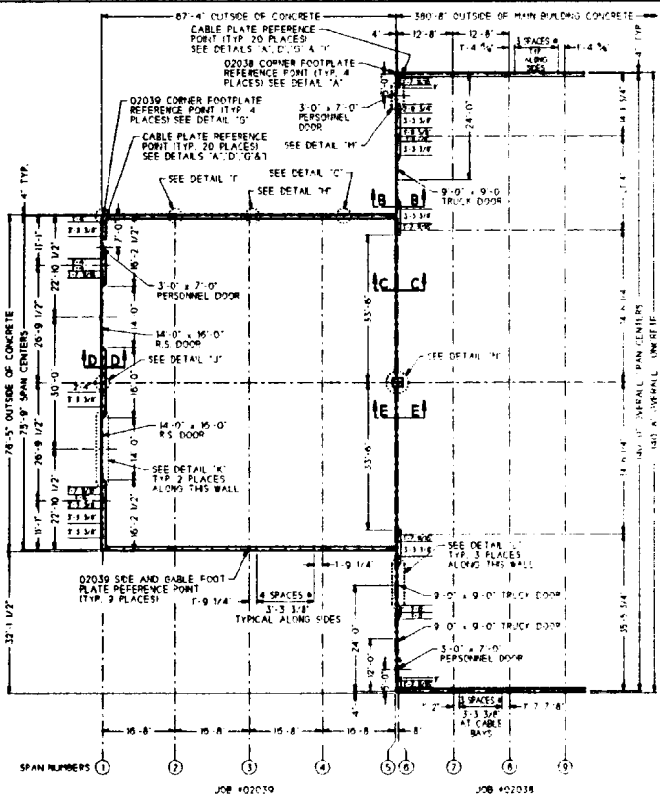


DETAIL ITEM 7
2x SCALE

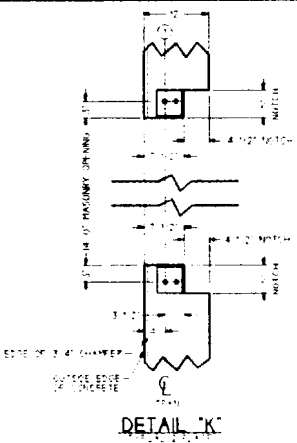
NO.	REV.	DESCRIPTION	DATE	BY	CHKD.
1		ISSUED FOR CONSTRUCTION	02/20/02		
2		REVISED TO REFLECT CHANGES	03/12/02		
3		REVISED TO REFLECT CHANGES	03/12/02		
4		REVISED TO REFLECT CHANGES	03/12/02		
5		REVISED TO REFLECT CHANGES	03/12/02		
6		REVISED TO REFLECT CHANGES	03/12/02		
7		REVISED TO REFLECT CHANGES	03/12/02		
8		REVISED TO REFLECT CHANGES	03/12/02		
9		REVISED TO REFLECT CHANGES	03/12/02		
10		REVISED TO REFLECT CHANGES	03/12/02		
11		REVISED TO REFLECT CHANGES	03/12/02		
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15		REVISED TO REFLECT CHANGES	03/12/02		
16		REVISED TO REFLECT CHANGES	03/12/02		
17		REVISED TO REFLECT CHANGES	03/12/02		
18		REVISED TO REFLECT CHANGES	03/12/02		
19		REVISED TO REFLECT CHANGES	03/12/02		
20		REVISED TO REFLECT CHANGES	03/12/02		

- NOTES:
- BREAK SHARP CORNERS FOR FWC
 - SEE DWG HOOD FOR GEN WELD NOTES
 - SEE LUG SCHEMATIC FOR FLANGE LUG LOCATIONS
 - VENT ALL TUBES AS REQUIRED FOR DRAINAGING
 - ALL DIMENSIONS NOT LABELED WITH UNITS ARE IN MILLIMETERS
 - QTY OF MATERIALS IS FOR ONE ASSEMBLY

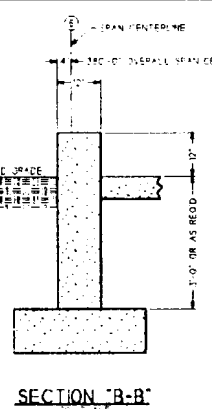
NO.	DESCRIPTION	DRAWN	APP.	DATE
1	42.08m BVE / 7.62m LEG INTERMEDIATE ROOF TRUSS			
RUSS BUILDING SYSTEMS				
DATE	MUG 3-12-02	SCALE	1:10	This drawing is the property of RUSS INC and may not be reproduced or used for any manufacturing purpose without the express written consent of RUSS INC.
BY		CHKD.	02038	
BY		CHKD.		
MERRILL INDUSTRIES				
RUSS INC. BAUFORD HALL 04023 TEL: 207-324-2677 FAX: 207-324-2647				36236



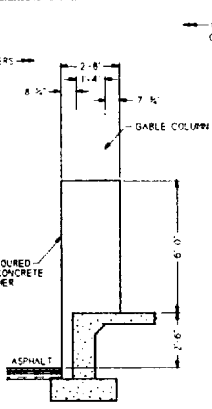
PARTIAL PLAN VIEW
2x SCALE



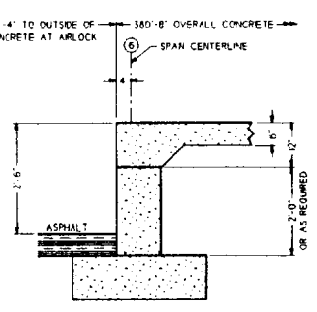
DETAIL 'K'
2x SCALE



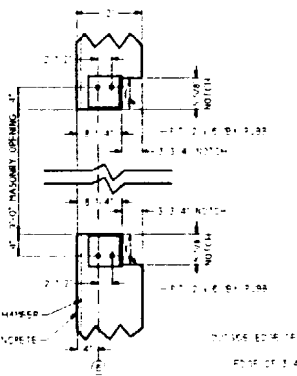
SECTION 'B-B'
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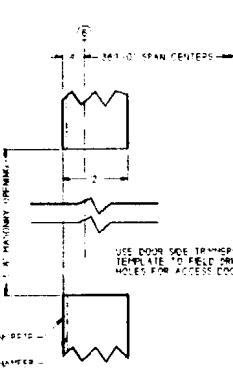
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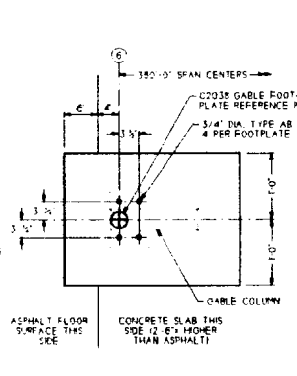
SECTION 'C-C'
20x SCALE



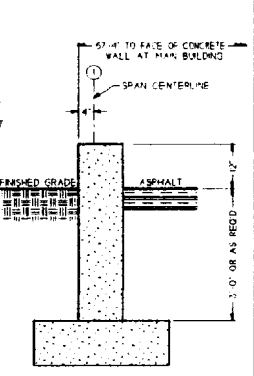
DETAIL 'L'
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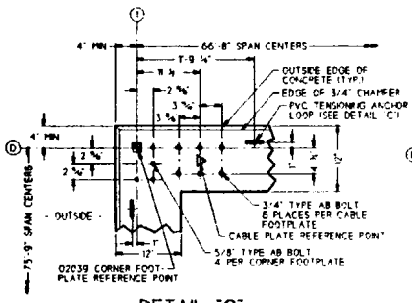
DETAIL 'M'
20x SCALE



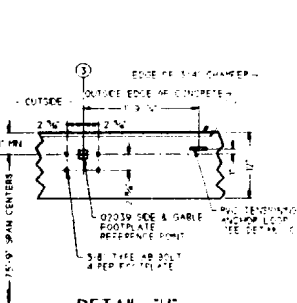
DETAIL 'N'
20x SCALE



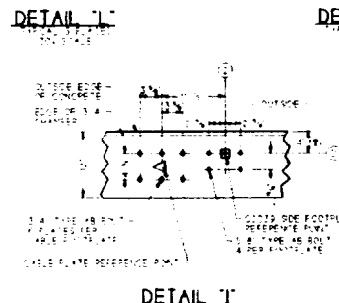
SECTION 'D-D'
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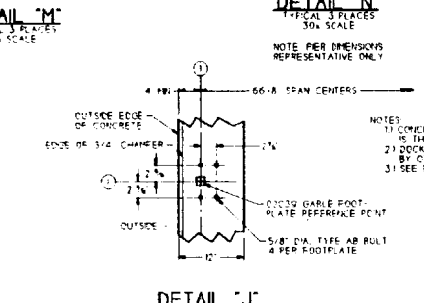
DETAIL 'G'
20x SCALE



DETAIL 'H'
20x SCALE



DETAIL 'I'
20x SCALE



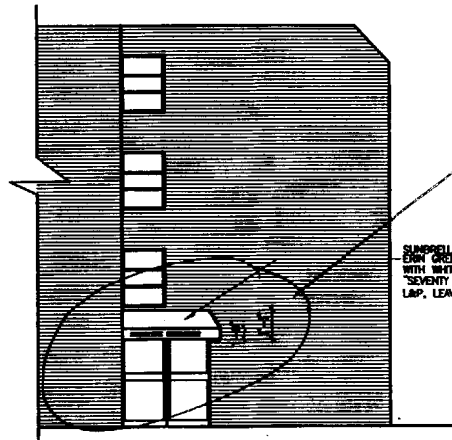
DETAIL 'J'
20x SCALE

- NOTES
- 1) CONCRETE SHOWN IS REPRESENTATIVE ONLY. ACTUAL DESIGN IS THE RESPONSIBILITY OF OTHERS.
 - 2) DOCK LEVELERS BY OTHERS. DESIGN OF PIT FOR DOCK LEVELERS BY OTHERS.
 - 3) SEE DRAWING 30205 FOR ADDITIONAL NOTES AND DETAILS.

REV	DESCRIPTION	DESIGNED BY	DATE
1	REVISED PER DETAIL & ACCESS DOOR LOCATION	JHS	
2	REVISED PER DETAIL & ACCESS DOOR LOCATION	JHS	

NO	DESCRIPTION	QUANTITY	UNIT
1	42.65x B5E / 7.62x LEO		
2	23.75x B1E / 4.04x LEO		
3	ANCHOR BOLT DETAILS "RUBB W"		

NO	DESCRIPTION	QUANTITY	UNIT
1	42.65x B5E / 7.62x LEO		
2	23.75x B1E / 4.04x LEO		
3	ANCHOR BOLT DETAILS "RUBB W"		

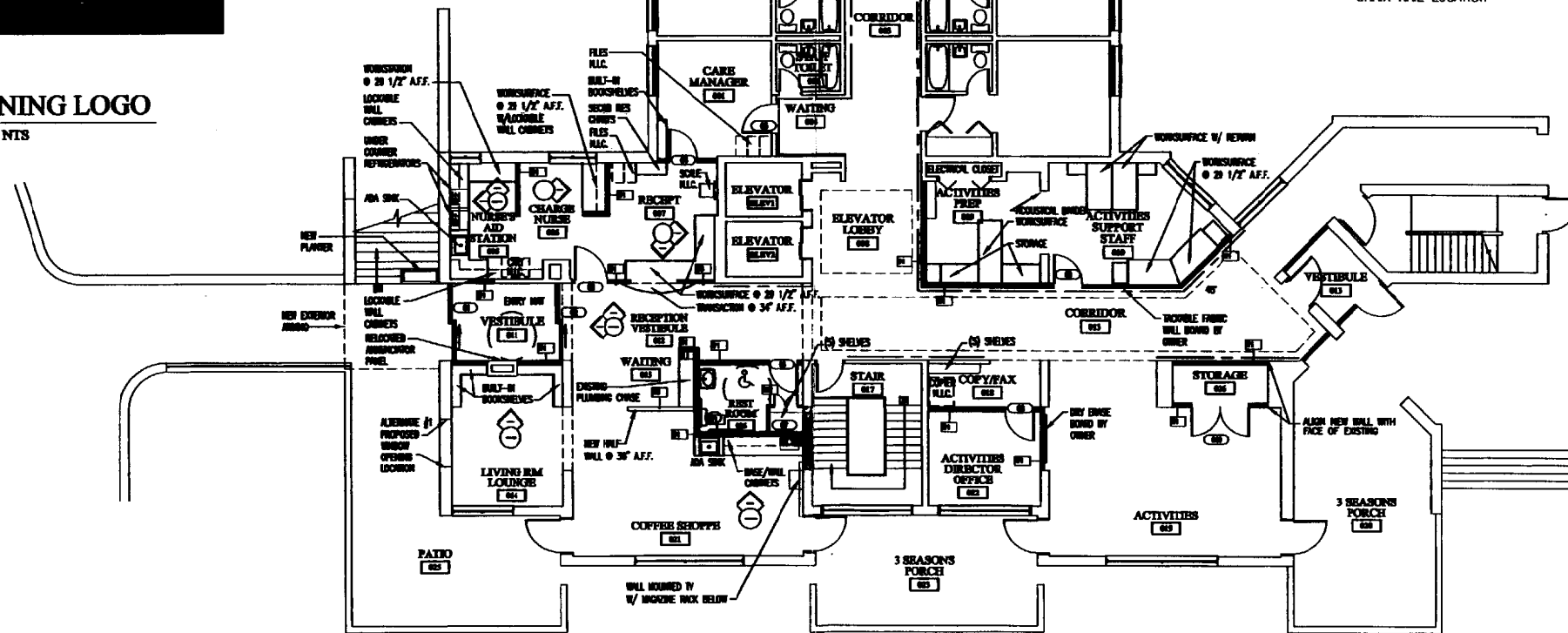


SUNBRELLA
E811 GREEN #4000
WITH WHITE LETTERING
SEVENTY FIVE STATE STREET
LAP, LEVITT AND PARRIS, INC.

MATERIAL TO BE CONSTRUCTED OF SUNBRELLA - SOLUTION
DYES ACRYLIC WOVEN AWNING FABRIC
CONTACT LAP, LEVITT AND PARRIS, INC. FOR DETAILS

4 ELEVATION AT ENTRANCE
A-100 SCALE: 1/8" = 1'-0"

3 AWNING LOGO
A-100 SCALE: NTS



2 FLOOR PLAN
A-100 SCALE: 1/8" = 1'-0"

*Separate
Permit
Required
for signage*

ALTERNATES:

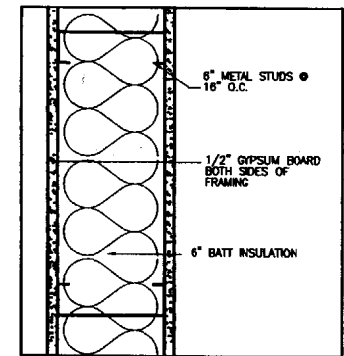
ALT. #1. REMOVE 5'-0" OF EXTERIOR WALL FOR NEW WINDOW IN LIVING ROOM LOUNGE 014.

NOTES:

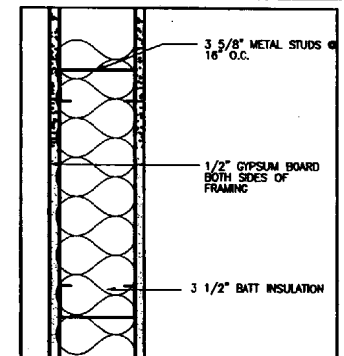
1. PREPARE CORRIDOR 003 FOR NEW PAINT, CARPET VINYL BASE AND CEILING.
2. G.C. TO VERIFY ALL DIMENSIONS.

PARTITION LEGEND

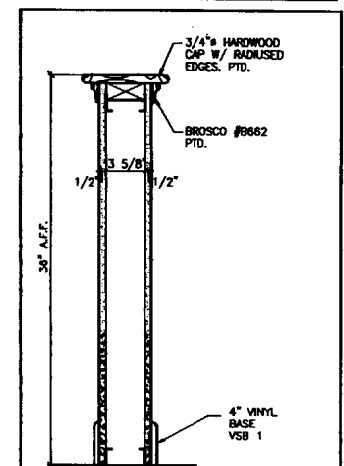
- EXISTING PARTITIONS TO REMAIN
- NEW PARTITIONS
- CHAIR RAIL LOCATION



1 WALL TYPE SCALE: NTS



2 WALL TYPE SCALE: NTS



3 WALL TYPE SCALE: NTS

1 WALL TYPES
A-100 SCALE: NTS



GAWRON ARCHITECTS
29 Black Point Road
Scarborough, ME 04074
www.gawron.com
Tel. 207.883.6307
Fax. 207.883.0361

SEVENTY-FIVE STATE STREET
South Commons Portland, Maine

REVISIONS

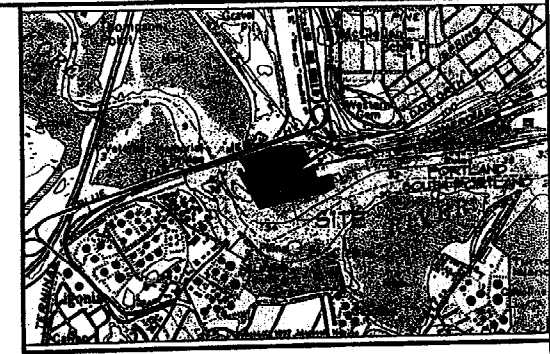
#	DATE	DESCRIPTION

DATE:	05.09.02
PROJECT #:	011600.05
DRAWN BY:	DLPLAA
CHECKED BY:	MEY
DRAWING SCALE:	1/8" = 1'-0"

SHEET TITLE

FLOOR PLAN AND EXT. ELEVATION

A-100



LOCATION MAP N.T.S.

GENERAL NOTES:

- RECORD OWNER OF PROPERTY IS MERRILL INDUSTRIES, INC. WHOSE MAILING ADDRESS IS 601 DANFORTH STREET, PORTLAND, MAINE 04102, AND IS RECORDED BY DEED BOOK 4066, PAGE 319 IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
- THE LOCUS PROPERTY IS SHOWN ON THE CITY OF PORTLAND TAX MAP 12, LOTS 3A, 7A, AND 15A.
- TOPOGRAPHIC SURVEY WAS PERFORMED BY SEBAGO TECHNICS, INC. JUNE, 1997. ELEVATIONS ARE RELATED TO MEAN LOW WATER (MLW + 0).
- PROPERTY IS LOCATED WITHIN THE (UPDZ) WATERFRONT PORT DEVELOPMENT ZONE.
 DIMENSION REQUIREMENTS
 MINIMUM LOT SIZE NONE
 MINIMAL FRONTAGE NONE
 SETBACK REQUIREMENTS NONE
 MAXIMUM LOT COVERAGE 100%
 MAXIMUM BUILDING HEIGHT 45' (UNLESS SUBJECT TO EXCEPTIONS)
- PLAN REFERENCE
 A. PLAN OF PROPERTY IN PORTLAND, MAINE MADE FOR MERRILL'S MARINE TERMINAL, EXISTING CONDITIONS PLAN BY H.I. AND E.C. JORDAN - SURVEYORS, DATED DECEMBER 18, 1989 AND STAMPED BY JOHN P. MCGONIGLE, JR., P.L.S. 556.
 B. PLAN AND PROFILE OF 26" MAIN UNDER VETERAN'S BRIDGE AT MERRILL'S COAL CO.'S PLAN BY PORTLAND WATER DISTRICT, 225 DOUGLASS STREET, PORTLAND, MAINE 04104. LAST REV. DATE 3/2/89. THE EASEMENT FOR THE PORTLAND WATER DISTRICT WATER MAIN IS RECORDED AT THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 8019, PAGE 12.
- PRIOR TO BEGINNING ANY CONSTRUCTION THE OWNER SHALL ACQUIRE ALL THE NECESSARY PERMITS FROM THE CITY OF PORTLAND AND NOTIFY DIS SAFE 12 HOURS IN ADVANCE OF COMMENCING EXCAVATION ACTIVITIES.
- UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE.
- CONTRACTOR OR EXCAVATOR TO FIELD VERIFY INVERTS OF EXISTING STRUCTURES TO BE ALTERED PRIOR TO EXCAVATION ACTIVITIES.
- THE ADDITIONAL EXISTING CONDITIONS DATA REFERENCED IN REVISION 'C' WAS FIELD LOCATED BY INSTRUMENT SURVEY ON 12-14-01 11-23-02.

PRELIMINARY
NOT FOR CONSTRUCTION

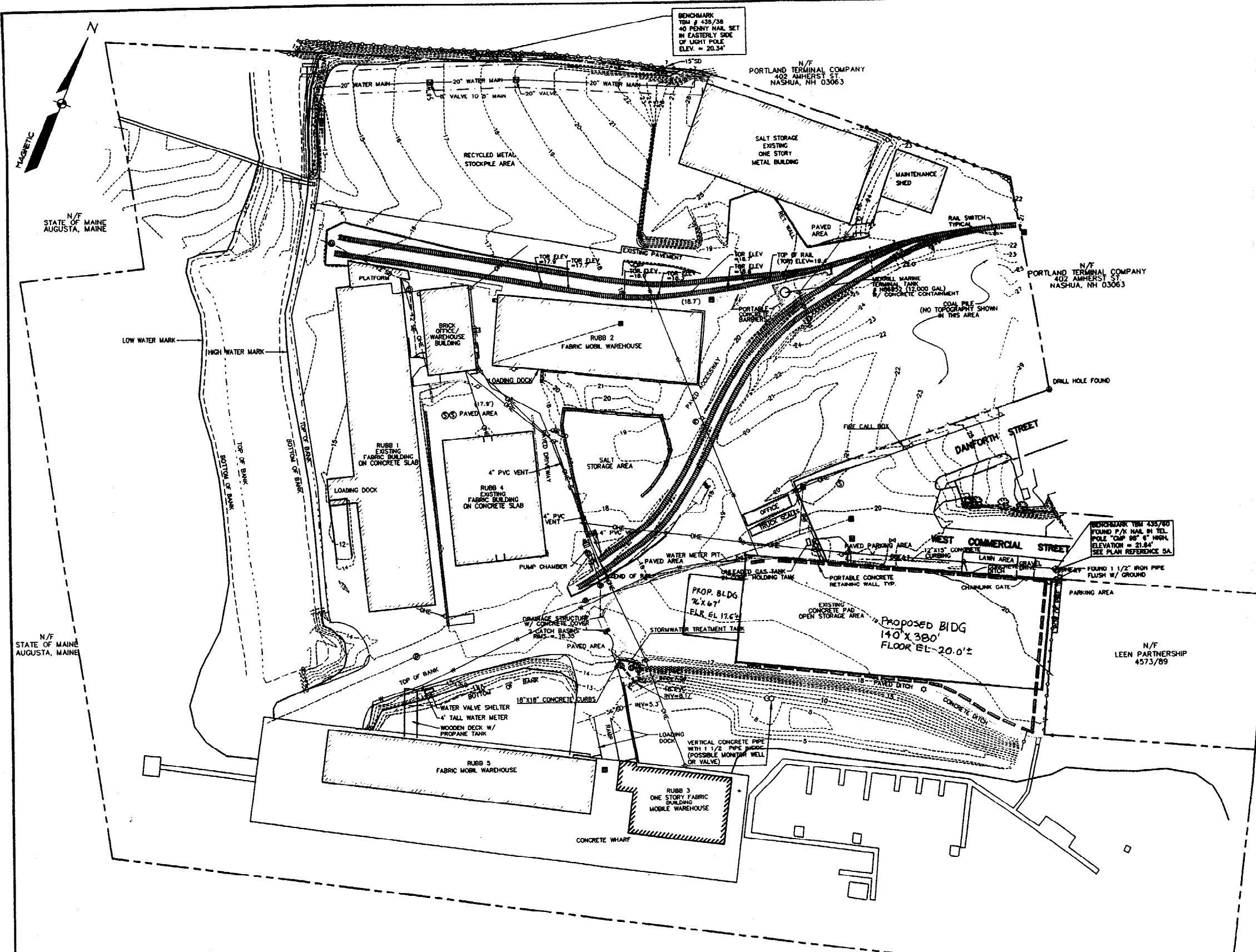
N/F
CIAMBRO CORPORATION
326 WEST COMMERCIAL ST.
PORTLAND, MAINE 04102

D	DTM	3-04-02	REMOVE NOTE 10 & HYDROGRAPHIC SURVEY
C	DRL	1-30-02	ADD ADDITIONAL EXISTING CONDITIONS SURVEY DATA & NOTES 9&10
B	DTM	11/22/00	MODS REQUESTED BY CLIENT
A	DTM	06-28-00	SUBMITTED TO CLIENT FOR REVIEW
REV:	BY:	DATE:	STATUS:

THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHNICS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHNICS, INC.

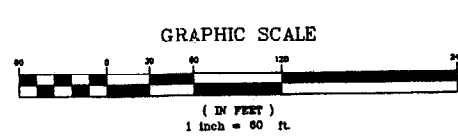
MASTER SITE PLAN
OF:
MERRILL'S MARINE TERMINAL
DANFORTH AND WEST COMMERCIAL STREETS
PORTLAND, MAINE
FOR:
MERRILL INDUSTRIES, INC.
601A DANFORTH STREET
PORTLAND, MAINE 04102

DESIGN BY:
DRAWN BY: BRF/DRL
CHECKED BY: DTM
DATE: 06-24-00
SCALE: 1"=60'
FIELD BK: 370&435a
PROJ. NO: 00139
DRAWING: 00139msp
SHEET 1 OF 1

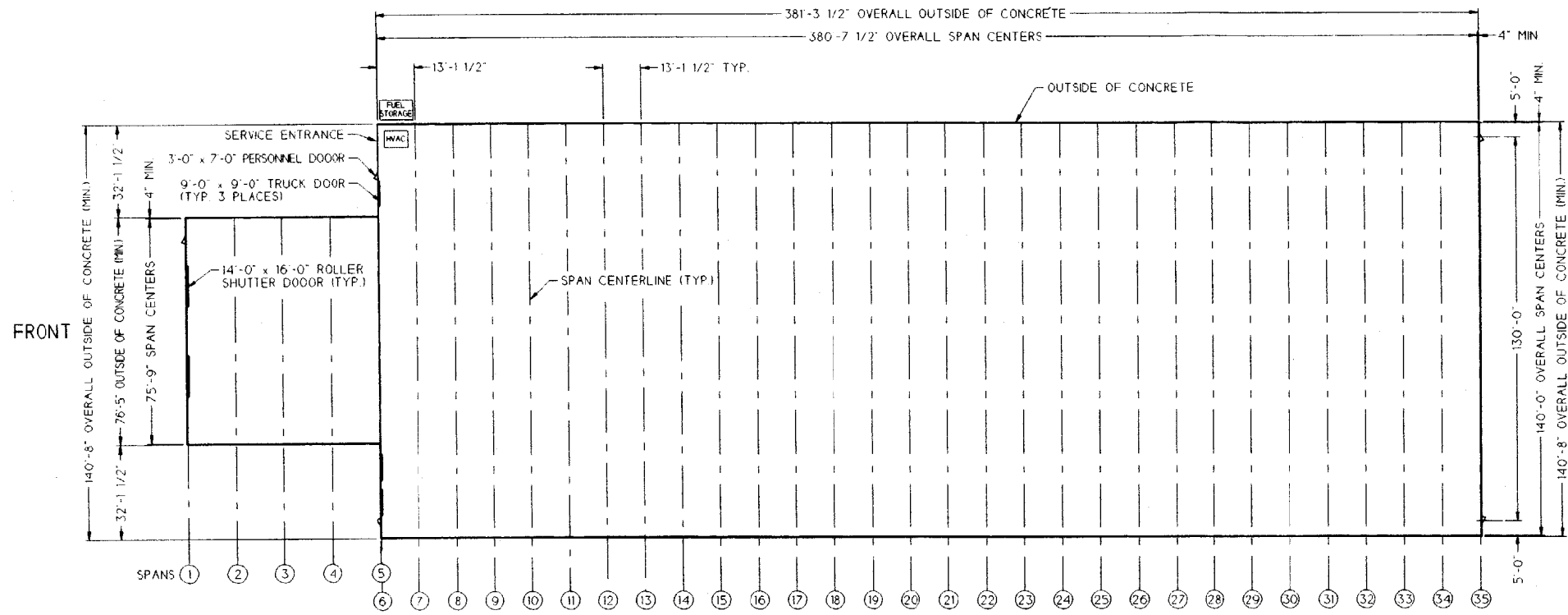


LEGEND

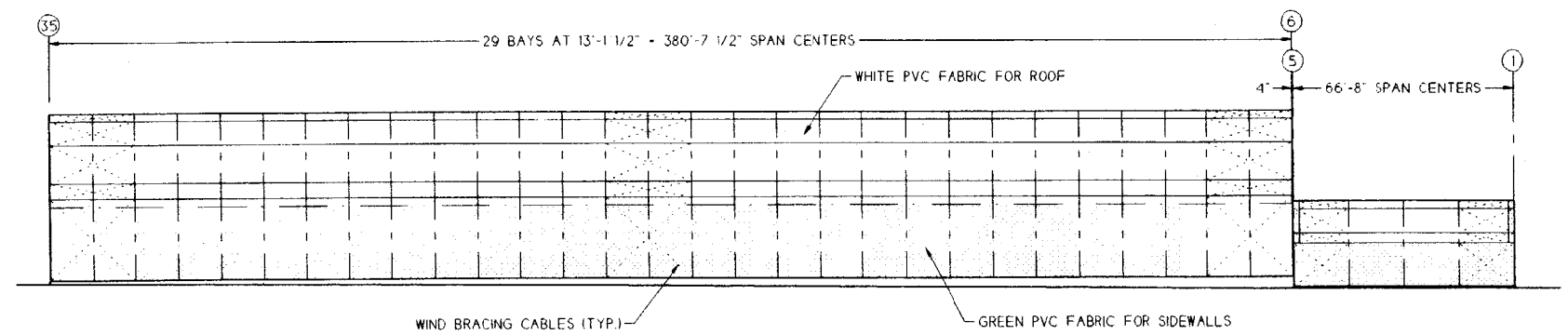
EXISTING	DESCRIPTION	PROPOSED	EXISTING	DESCRIPTION	PROPOSED
---	PROPERTY/ROW	---	---	OVER-HEAD ELEC. & TEL.	---
---	BUILDING	---	---	GATE VALVE	---
---	EDGE PAVEMENT	---	---	UTILITY POLE	---
---	GRAVEL ROAD	---	---	HYDRANT	---
---	CURBLINE	---	---	CATCH BASIN	---
---	CONTOURS	---	---	MANHOLE	---
---	8" W	---	---	CULVERT	---
---	WATER	---	---	RAILROAD	---
---	8" S	---	---	BENCHMARK	---
---	SEWER	---	---		
---	12" SD	---	---		
---	STORM DRAIN	---	---		



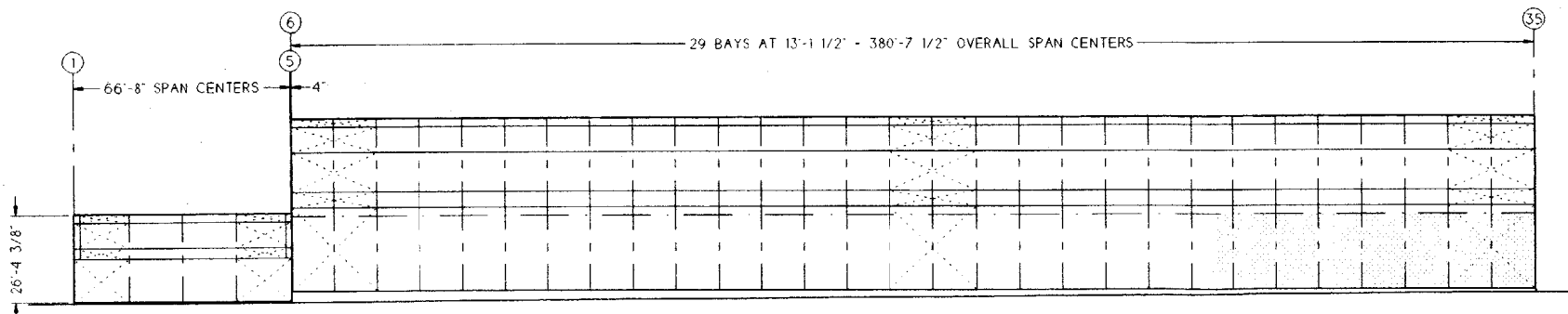
(SEE NOTE 10)
PORT RIVER / PORTLAND BANK



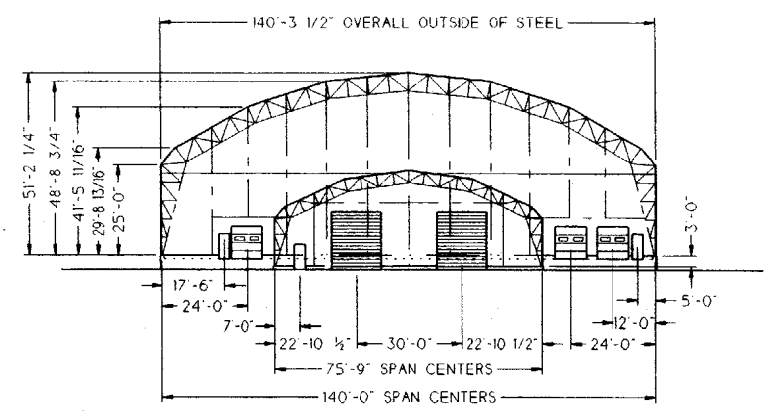
PLAN VIEW



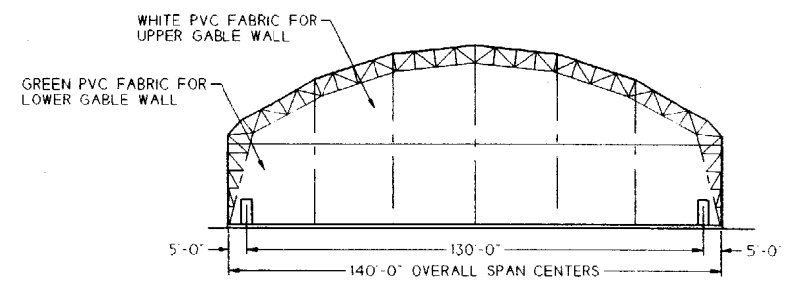
LEFT SIDE ELEVATION
NORTH SIDE FACING MERRILL'S ENTRANCE



RIGHT SIDE ELEVATION
SOUTH SIDE FACING WATER



FRONT ELEVATION
WEST SIDE

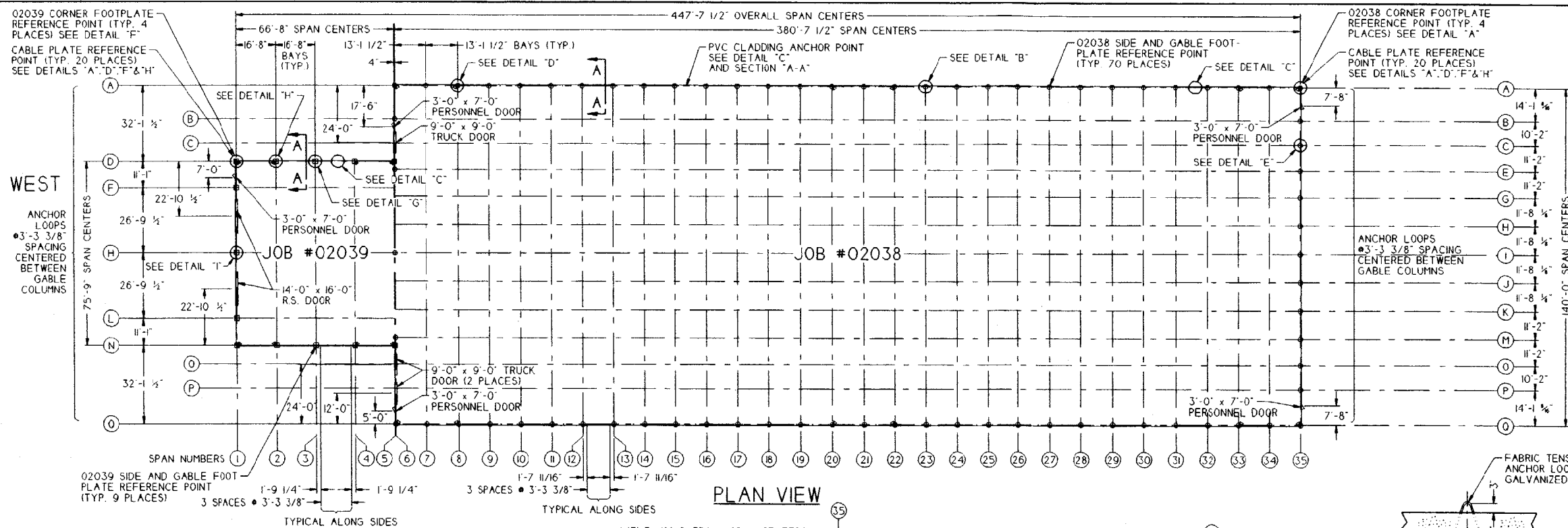


REAR ELEVATION
EAST SIDE FACING LEEN COMPANY

- NOTES:
- COVERING MATERIAL IS A PVC IMPREGNATED POLYESTER WEAVE FABRIC, SELF EXTINGUISHING TO FEDERAL TEST STANDARD 191 METHOD 5903 AND COMPLIES WITH NFPA STANDARD 701, UBC 55-1, AND CALIFORNIA STATE FIRE MARSHALL'S OFFICE.
 - STRUCTURAL FRAMEWORK IS GALVANIZED TUBULAR STEEL TRUSS FRAMES INTERCONNECTED WITH GALVANIZED TUBULAR STEEL PURLINS, STEEL PLATE AND SHAPES ARE A36. STEEL TUBING IS A500B.

PRELIMINARY
NOT FOR CONSTRUCTION

REV	DESCRIPTION	DRAWN	APP.	DATE
1	42.7m BVE / 7.6m LEG PLAN VIEW AND ELEVATIONS			
AR	3-12-02	1	300	
APP	02038	This drawing is the property of Rubb, Inc. and may not be reproduced or used for any manufacturing purpose without the express written consent of Rubb, Inc.		
DATE	MERRILL'S			
RUBB, INC. SANFORD MAINE 04073		DRAWING NO.		
TEL: 207-324-2877 FAX 207-324-2347		36206		



- STRUCTURAL NOTES:**
- GENERAL:**
 DURING CONSTRUCTION, TEMPORARY BRACING AND/OR SHORING SHALL BE PROVIDED WHEREVER NECESSARY TO RESIST ALL LOADS TO WHICH THE STRUCTURE UNDER CONSTRUCTION AS WELL AS EXISTING STRUCTURES, MAY BE SUBJECTED TO. THESE LOADS SHALL INCLUDE, BUT NOT BE LIMITED TO, EQUIPMENT AND THE OPERATION OF SAME. ADEQUACY OF SHORING TO RESIST THESE LOADS IS THE CONTRACTOR'S RESPONSIBILITY.
- CODES AND SPECIFICATIONS (LATEST EDITIONS):**
 1.) BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE (ACI 318)
 2.) BUILDING CODE REQUIREMENTS FOR STRUCTURAL PLAIN CONCRETE (ACI 318.1)
 3.) AMERICAN INSTITUTE OF STEEL CONSTRUCTION - ALLOWABLE STRESS DESIGN (AISC-ASD)
 4.) MANUAL OF STANDARD PRACTICE, CONCRETE REINFORCEMENT STEEL INSTITUTE (CRSI).
- BASIS FOR ALLOWABLE DESIGN STRESSES:**
 1.) CONCRETE (28 DAY COMPRESSIVE STRENGTH)
 1.1) ALL CAST IN PLACE CONCRETE UNLESS OTHERWISE NOTED: $f_c = 3000$ PSI MINIMUM.
 2.) REINFORCING STEEL
 2.1) MAIN REINFORCING STEEL: ASTM A615, GRADE 60.
 2.2) TIES AND STIRRUPS: ASTM A615, GRADE 40 OR 60.
 2.3) WELDED WIRE FABRIC (PLAIN): ASTM A185.
 3.) STRUCTURAL STEEL
 3.1) ROLLED SHAPES, PLATES AND BARS: ASTM A36.
 3.2) ANCHOR BOLTS AND/OR THREADED FASTENERS: ASTM A325 OR B7.
 3.3) BOLTS: ASTM A325 OR GRADE 2.
 4.) WELDING:
 4.1) ALL WELDING ELECTRODES: AWS E70.
- ANCHOR BOLTS:**
 1.) 5/8" DIA. ANCHOR BOLTS TO PROTRUDE A MINIMUM OF 2" FROM CONCRETE SURFACE.
 2.) 3/4" DIA. ANCHOR BOLTS TO PROTRUDE 2 1/2" MINIMUM FROM CONCRETE SURFACE.
 3.) 7/8" DIA. ANCHOR BOLTS TO PROTRUDE 3" MINIMUM FROM CONCRETE SURFACE.
- CAST IN PLACE CONCRETE AND REINFORCING:**
 1.) ALL ANCHOR BOLTS ARE TO BE SET WITH TEMPLATES. ANCHOR BOLT PROJECTIONS NOTED OR SHOWN ON DRAWINGS SHALL BE MEASURED FROM ROUGH CONCRETE.
 2.) ALL REINFORCING STEEL SHALL BE CONTINUOUS AROUND CORNERS.
 3.) MINIMUM PROTECTION OF ALL REINFORCING STEEL SHALL BE MAINTAINED AS SHOWN.
 4.) CLEARANCE OF MAIN REINFORCING BARS FROM ADJACENT CONCRETE SURFACES SHALL BE:
 4.1) WHERE UNFORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH, 3" EXCEPT SLABS, 1 1/2".
 4.2) WHERE FORMED FACE OF CONCRETE IS IN CONTACT WITH EARTH OR IS EXPOSED TO THE WEATHER, 2".
 4.3) THE MAXIMUM ALLOWABLE DEVIATION FROM THE FIGURES ABOVE SHALL BE 1/2" FOR CONCRETE SHAPES MORE THAN 10" IN WIDTH OR DEPTH.
 5.) MINIMUM LAP SPLICE FOR #4 BARS IS 30".
- SOIL:**
 MINIMUM BEARING CAPACITY TO BE 1500 psf.
- DESIGN LOADS:**
 GROUND SNOW LOAD - 50 psf
 WIND LOAD BASED ON 90 mph WIND PER ASCE 7-98, EXPOSURE C.

FOUNDATION FORCES: (WORST CASES)

THE FOLLOWING ARE THE WORST CASE RESULTANT FORCES OUT OF ALL THE CODE REQUIRED LOAD CASE COMBINATIONS:

1999 BOCA BUILDING CODE
 50 psf GROUND SNOW LOAD
 90 mph WIND EXPOSURE C

I) ALONG GRID LINES D & N
 DEAD + LIVE: $F_x = 18.4k$ LATERAL
 $F_y = 24.0k$ DOWN
 $F_z = 7.9k$ NET UPLIFT

II) AT GRID LOCATIONS D1, D2, D4, D5, N1, N2, N4, N5
 DEAD + GABLE WIND + LIVE: $F_x = 1.0k$ LATERAL
 $F_y = 4.8k$ NET UPLIFT
 $F_z = 9.7k$ LATERAL

III) END WALL LOCATIONS AT GABLE COLUMNS F1, H1, L1
 WIND: $F_z = 5.1k$ LATERAL (MAX)

IV) ALONG GRID LINES A & Q
 DEAD + LIVE: $F_x = 19.8k$ LATERAL
 $F_y = 31.8k$ DOWN
 DEAD + SIDE WIND: $F_x = 10.6k$ LATERAL
 $F_y = 18.5k$ NET UPLIFT

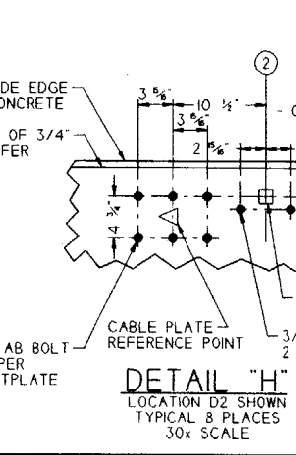
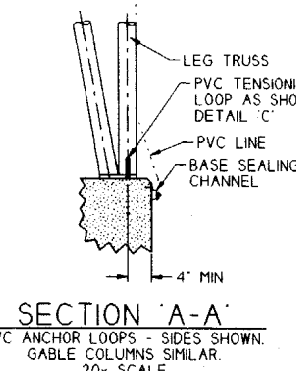
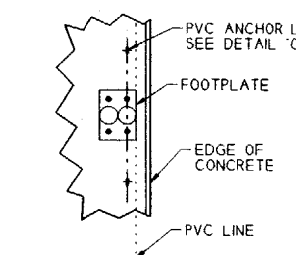
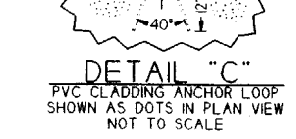
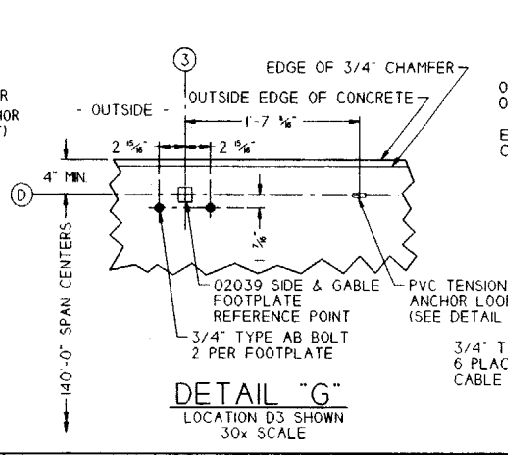
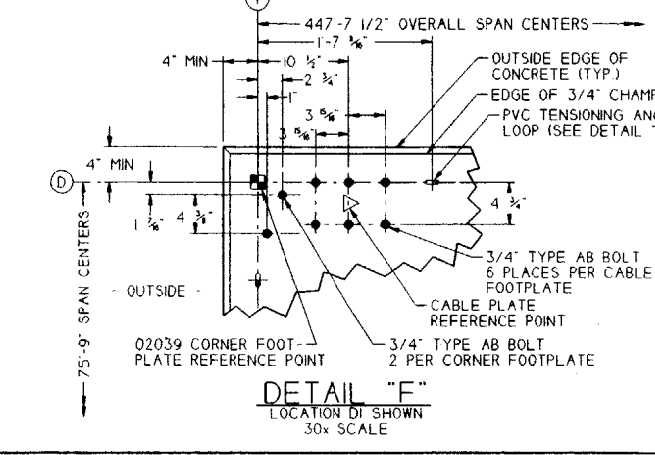
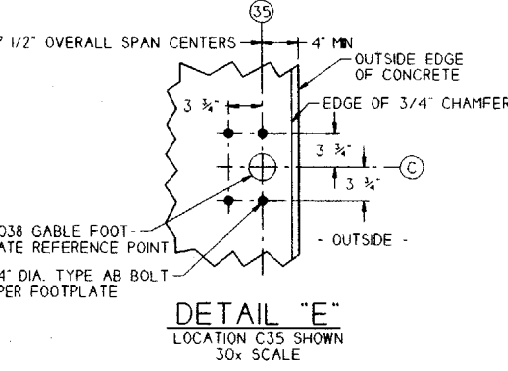
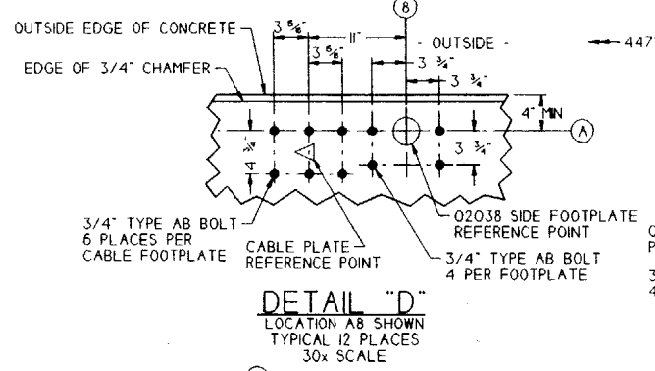
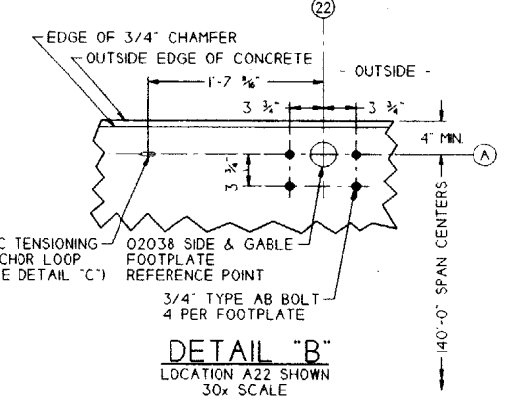
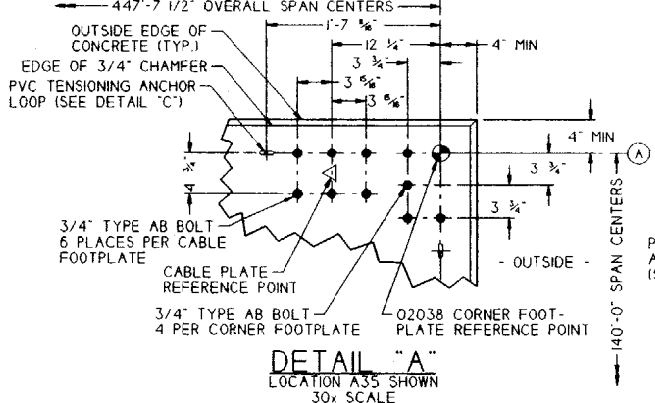
V) AT GRID LOCATIONS A6, A8, A20, A22, A33, A35, Q6, Q8, Q20, Q22, Q33, Q35
 DEAD + GABLE WIND + LIVE: $F_x = 0.4k$ LATERAL
 $F_y = 12.2k$ NET UPLIFT
 $F_z = 14.6k$ LATERAL

VI) END WALL LOCATIONS AT GABLE COLUMNS B6, B35, C35, E6, E35, G35, H35, I35, J35, K35, M6, M35, O35, P35
 WIND: $F_z = 5.6k$ LATERAL (MAX)

NOTES:
 1) THE FORCES IN I & IV ARE FOR ONE BAY LENGTH. THE LATERAL AND DOWNWARD LOAD IS A POINT LOAD AT EACH COLUMN. THE UPLIFT IS A DISTRIBUTED LOAD ALONG THE ENTIRE BAY LENGTH.
 2) FORCES IN II, III & VI ARE ALL POINT LOADS AT SPAN OR COLUMN LOCATIONS INDICATED.

ANCHOR BOLT SCHEDULE

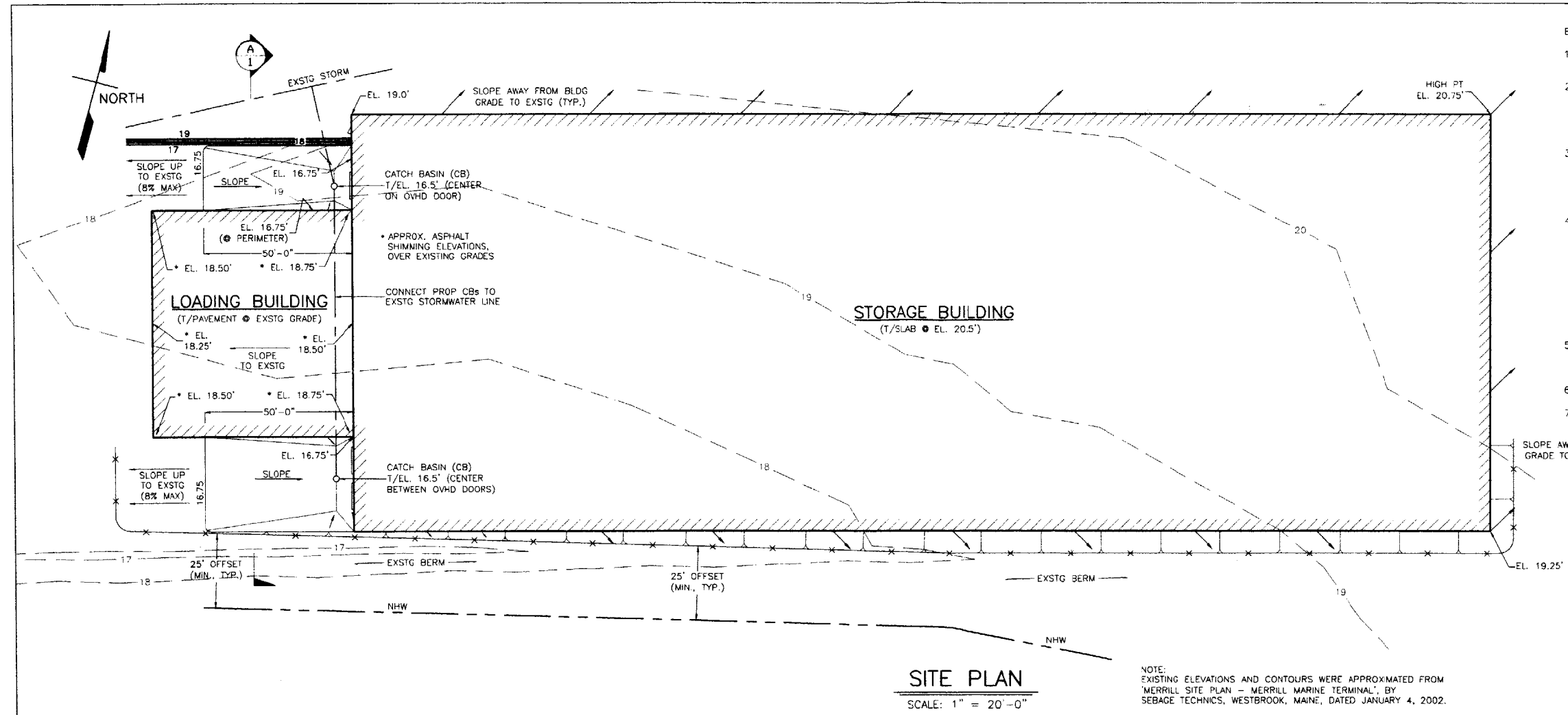
MARK	TYPE	BOLT DIA	D	A	B	C	E	MIN. THREAD	MAT'L	QTY	LOCATION
3/4"	AB	3/4"	18"	2 1/2"	-	STD	3"	A36	120	CABLE PL	
3/4"	AB	3/4"	12"	2 1/2"	-	STD	3"	A36	322	LEG FT PL	



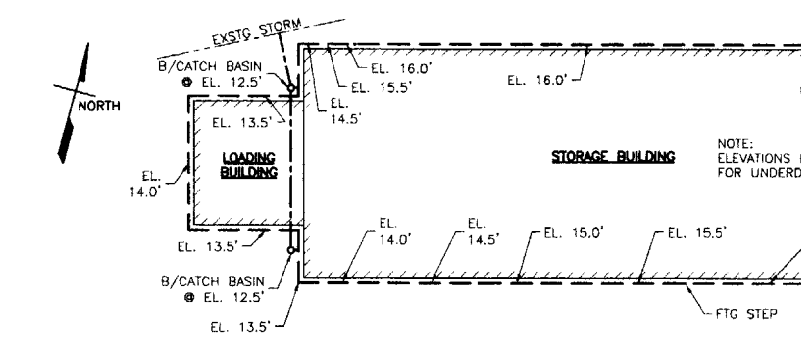
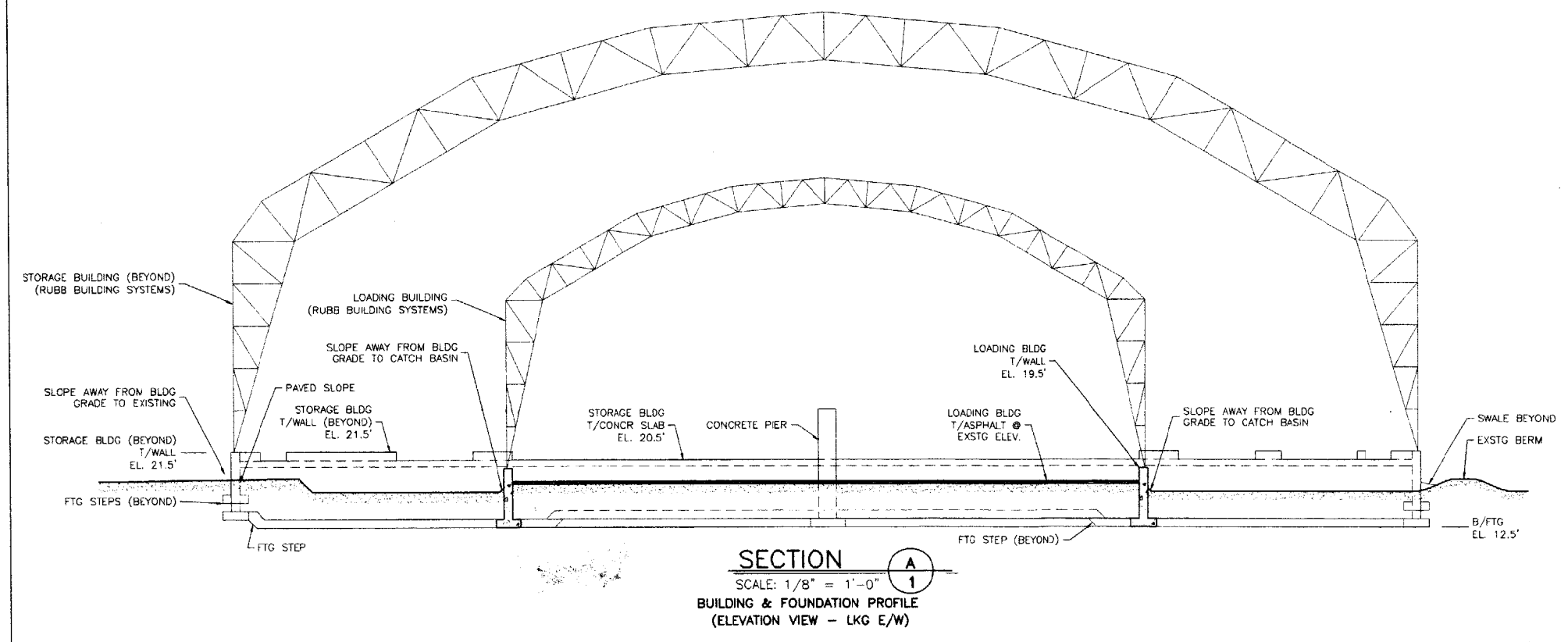
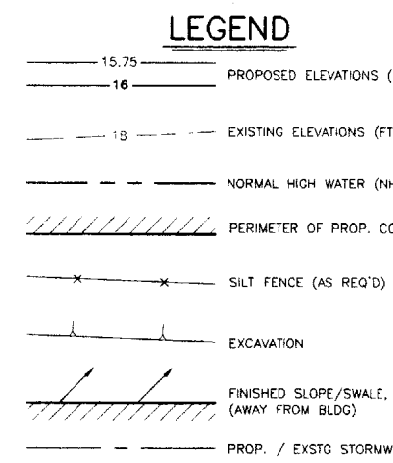
PRELIMINARY
NOT FOR CONSTRUCTION

- NOTES:**
- ACCESS DOOR AND ROLLER SHUTTER DOOR STEEL BASEPLATES NOT SHOWN. USE ACTUAL SIDE TRIMMERS AS TEMPLATE TO MARK HOLES AND DRILL.
 - ANCHOR BOLTS, ANCHOR BOLT TEMPLATES AND FABRIC TENSIONING LOOPS TO BE PROVIDED BY RUBB, INC. AND INSTALLED BY OTHERS. TEMPLATES MUST BE PLACED ACCURATELY TO FACILITATE EASY FIT-UP AND FAST ERECTION OF BUILDING.
 - CONCRETE SHOWN REPRESENTATIVE ONLY. ACTUAL DESIGN IS BY OTHERS.

REV	DESCRIPTION	DRAWN	APP.	DATE
1	42.68m BVE / 7.62m LEG 23.17m BVE / 4.0m LEG ANCHOR BOLT LAYOUT 'RUBB VI'			
JAB 03-II-02	SCALE: 1:300			
JAB 03-II-02	JOB # 02038 / 02039			
JAB WIRE	JOB WIRE: MERRILL INDUSTRIES			
	RUBB, INC. SANFORD MAINE 04073 TEL: 207-324-2877 FAX 207-324-2347			

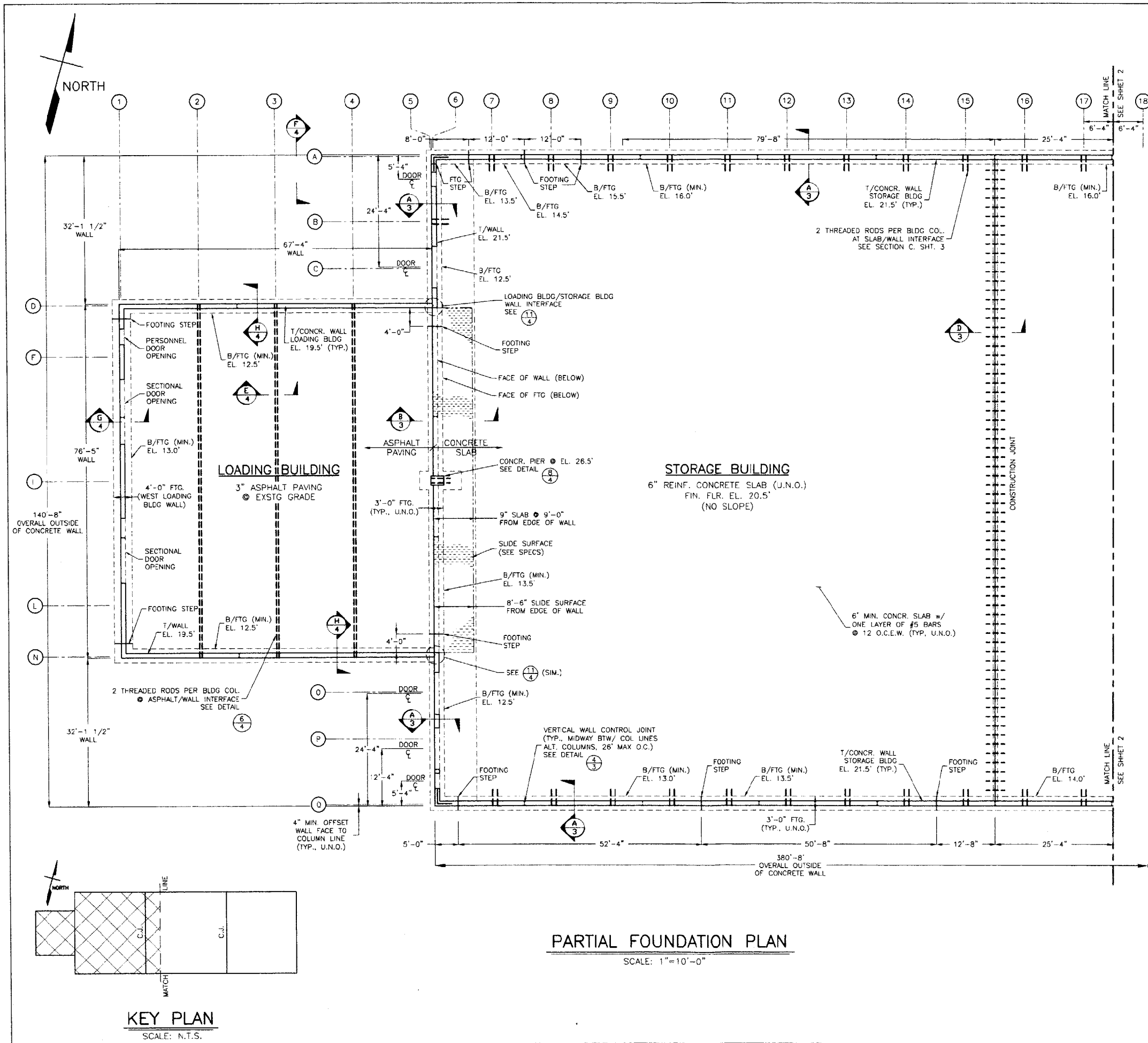


- EARTHWORK NOTES:**
- Maintain minimum 25 ft offset from Normal High Water (Tide). Install Slope as required to Excavate for Foundations North of the 25 ft offset distance.
 - Excavate to the bottom of footing Elevations, designated on the Plans. After excavating, notify the Engineer so that he can inspect and approve the subgrade prior to the installation of footings (including forms). Do not over-excavate, do not install crushed stone, filter fabric, gravel, concrete or other materials except as directed by the Engineer.
 - Soil Cement Slab Removal. Remove all hardened soil cement slabs with a minimum of finished floor level (Elev. 20.50 ft) in the Storage Building. Remove soil cement in way of foundation work, and designated Truck Docking Area North & South of the Loading Building), as shown on the Plans. Excavate Soil Cement separate from other soils, for recycling.
 - Clean Soil Cement, uncontaminated by fine or dirty soils, may be crushed and recycled for backfill provided it is clean, and compacted to 93% (with maximum of ASTM D1557 (or approved equal), and that, by gradation testing, meets the specifications for MDOT "Gravel Borrow" (MDOT 703.20). Use as follows:
 Inside Storage Building: 12 inches below finished Slab (Floor) level,
 Paved & Traffic Areas: 12 inches below finished pavement
 Other Areas: 6 inches below finished grade
 - Subgrade Gravel. Install clean compact gravel that (as a minimum) meets the requirements of MDOT "Aggregate for Sub-base, Type D" (MDOT 703.06). Compact with moisture control to 95% of ASTM D1557.
 - Crushed Stone. One inch nominal size, MDOT 703.22 Type B or Type C.
 - Filter Fabric. Woven or Non-woven "Stabilization" Geotextile (MDOT 722.06).



NOTE: UNCERTIFIED (MAINE P.E.) PLANS ARE FOR INFORMATION ONLY.

1	5/13/02	BDW	UNDERDRAIN LAYOUT & P
REV	DATE	BY	DESCR
WORK			
CIANBRO CORPORAT			
MERRILL INDUSTRIES, RUBB			
DRAWING			
PROPOSED SITE PLAN			
SCALE: AS SHOWN			
DATE: 4/24/02			
DRAWN: BDW			
DESIGN: RG			
GAGNON ENGINEERING IN			
Professional Consultant 198 MAIN STREET GORHAM, MAINE 04938			



GENERAL NOTES:

- Work these plans with "Rubb Building Systems, Merrill Industries", Job #02038 & #02039 Contract Plans and Specifications. Refer to Contract Plans (& Specifications) for layout, dimensions, and details not shown herein. Incorporate all "Rubb Building System" construction details (bolts, anchorages, base plates, etc) and notes with GEI construction conditions. Do not proceed with dependent work until discrepancies have been resolved.
- Report any discrepancies between these Plans and Contract Plans, Formwork Details by conditions.

CONCRETE NOTES:

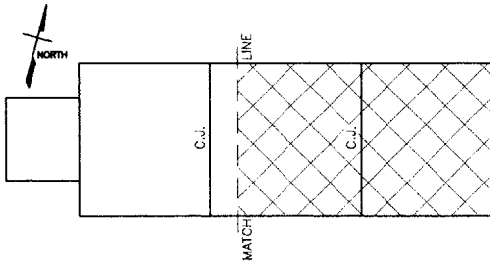
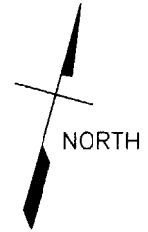
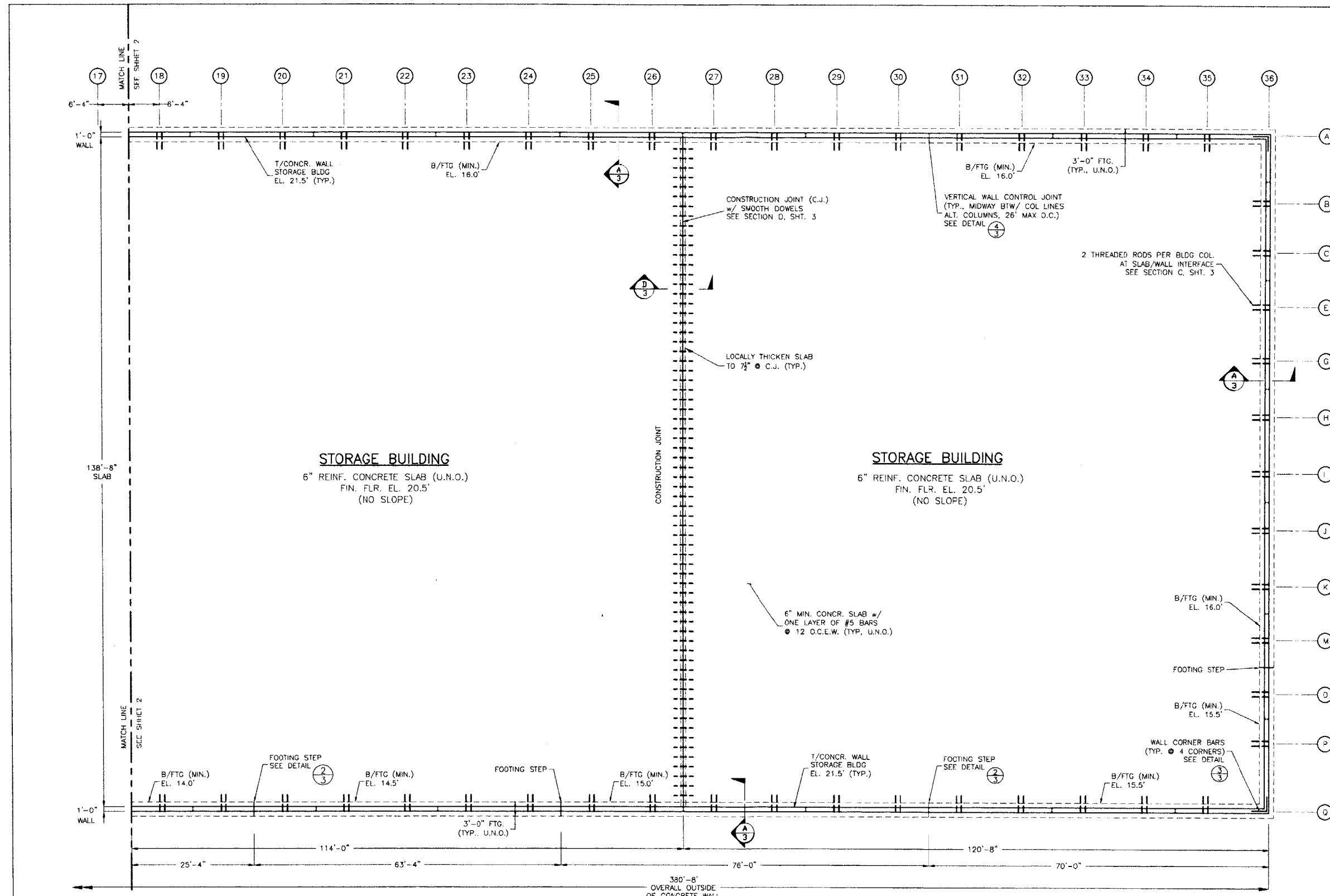
- Concrete shall meet the following requirements:

Location	Compr. Stren	% Air	Slump (Plain/MRWR)	Notes & Additive
Footings	3000 psi	5%-7%	6" / 10"	
Walls	3500 psi	5%-7%	3 1/2" / 5 1/2"	Mid-Range Water As required
Floor	3500 psi	2 1/2%-3 1/2%	3 1/2" / 5 1/2"	MRWR as req'd, Grace Shrinkage UCO Sealer-Hard
- Concrete Supply. Concrete shall be supplied by MDOT-approved commercial batching plant if pre-approved by the Engineer.
- Contractor shall engage the services of an approved Concrete Testing Agency to perform tests on fresh and hardened concrete in accordance with ASTM C31 & C39, respectively. Air content, and Slump tests shall be performed in accordance with appropriate ASTM methods.
- Unless otherwise directed, one test cylinder shall be broken at 7 days, and two cylinders from each sampled truckload. The fourth cylinder shall be held in reserve at the Contractor's discretion for possible further testing at the discretion of the Engineer, for the duration of the project. The first, last, and intermediate truckloads (15% min), randomly selected by the Engineer.
- Engineer may direct improvements in the concrete mix design (for no additional cost to the Contractor) on the basis of early concrete placement 7-day compressive strength test results. Improvements shall be made in all subsequent concrete.
- Forms: Plywood-faced or Steel-faced, smooth finish quality, free of wood-grain and other defects. Forms shall be securely interconnected so as not to become misaligned during concrete placement. Forms shall be adequately cross-tied to resist concrete pressure. Form-panel distortions or excessive deflections between ties. Formwork must be set so as to remain plumb and maintain horizontal alignments during concrete placement. (3/4" x 3/4") at exposed corners and exposed edges, except as otherwise detailed.
- Imbedded Form Ties shall include a 1/2" minimum break-back that will be filled with portland-cement grout (or mortar, as appropriate) immediately after form removal.
- Hardened Concrete Tolerances.
 - Footings: 1"± on width, height, and top elevation.
 - Walls: 1/8"± on width (thickness) and top elevation; 1/16"± per foot on plumbness; 3/16"± per 10' on horizontal alignment at top of wall.
 - Slab-On-Grade: 1/8"± per 10' on top finished surface
- Reinforcing Bars: Grade 60 deformed bars (ASTM A615).
- Smooth Dowels: ASTM A307, A36, or better.
- Bars Splices shall be avoided to the extent possible. Minimum lap-splice lengths shall be as specified for plain bars, unless otherwise noted.
- Reinforcement shall be stored & protected, placed, supported, secured, and fastened in strict compliance with MDOT specifications.
- Concrete placed within formed boundaries or designated construction joints shall be placed in continuous operation. All concrete shall meet maximum slump (and other) requirements. Concrete shall be installed without excessive dropping or other segregation-producing methods. All concrete shall be consolidated using appropriately-sized, mechanical, high-frequency, internal vibrators.
- Place, finish, and cure slab-on-grade concrete using only generally-accepted, good methods and operations, particularly with respect to the timing of critical finishing operations. Except as otherwise specified or detailed on the Plans, follow the recommendations of "Guide for Concrete Floor and Slab Construction". The slab-on-grade is classified as Class 5 (ACI 302.1R), single-course, industrial floor; with a float and hard-steel trowel.
- Footing forms may be removed after 24 hours provided the footing is immediately braced. Wall forms may be removed after 48 hours of placement provided approved chemical curing agent is immediately applied to exposed surfaces, or the forms are kept continuously wet by approved water-curing methods; otherwise, wall forms shall be kept continuously wet for at least 7 days after concrete placement.
- The Slab-on-Grade surface shall be water-cured by keeping the concrete continuously moist and fresh water for at least 7 days after concrete placement.
- No vehicular loads will be allowed on the Slab-on-Grade within 7 days of concrete placement and only light (passenger) vehicle will be allowed on the slab within 7 days thereafter (14 days of concrete placement).
- Additives: Dose, Mix, Apply, and otherwise install Concrete Admixtures, Sealers, Hardening Agents, etc. in strict compliance with the respective manufacturer's recommendations.



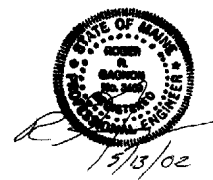
1	5/13/02	BDW	UNDERDRAIN LAYOUT & FOUNDATION PLAN
REV	DATE	BY	DESCRIPTION
WORK			
CIAMBRO CORPORATION MERRILL INDUSTRIES, RUBB BUILDING SYSTEMS			
DRAWING: PARTIAL FOUNDATION PLAN			
SCALE: AS SHOWN			
DATE: 4/24/02			
DRAWN: BDW			
DESIGN: RC			

NOTE:
 UNCERTIFIED (MAINE P.E.) PLANS ARE FOR INFORMATION ONLY.



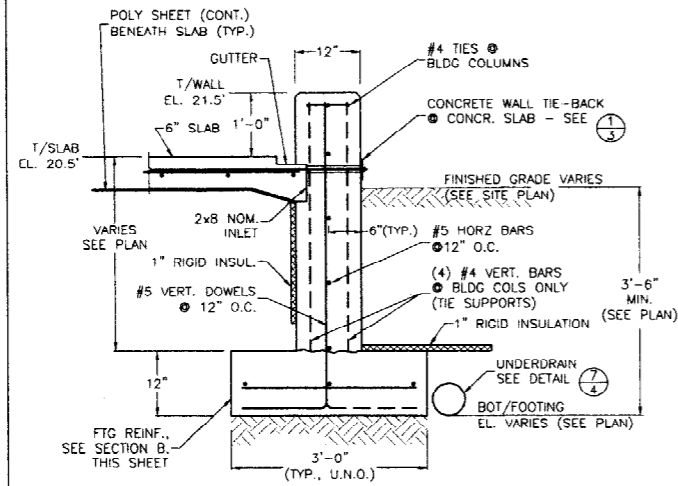
PARTIAL FOUNDATION PLAN

SCALE: 1"=10'-0"

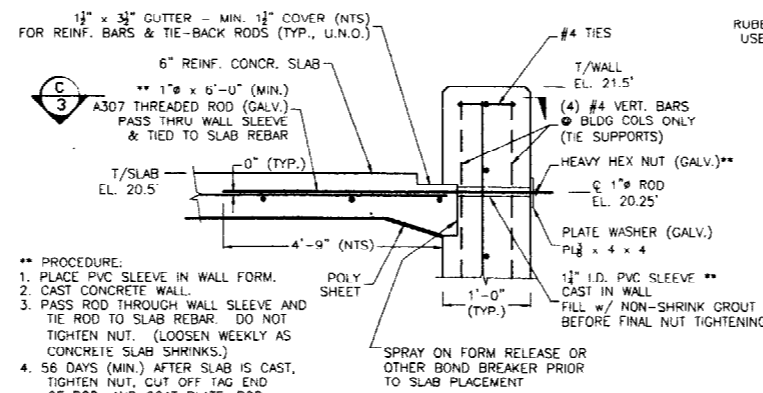


NOTE:
UNCERTIFIED (MAINE P.E.) PLANS
ARE FOR INFORMATION ONLY.

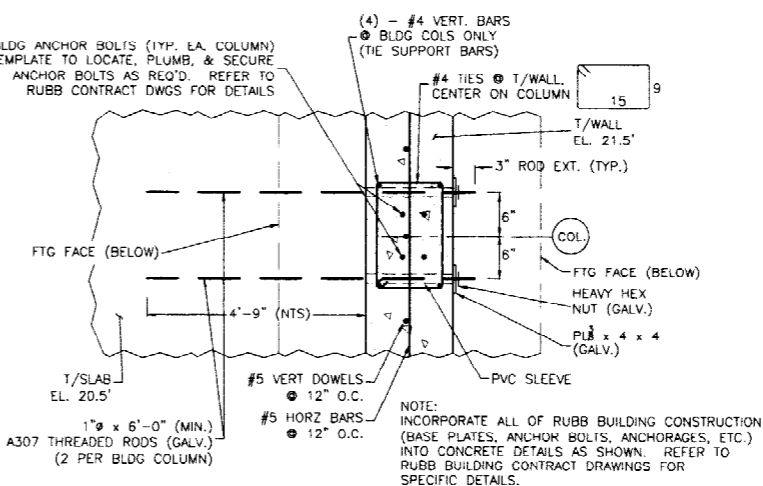
REV	DATE	BY	DESCRIPTION
1	5/13/02	BDM	UNDERDRAWN LAYOUT & F...
CIANBRO CORPORATION MERRILL INDUSTRIES, RUBB B...			
DRAWING: PARTIAL FOUNDATION PL...			
SCALE: AS SHOWN DATE: 4/24/02 DRAWN: BDM DESIGN: RG			
GAGNON ENGINEERING INC. 190 MAIN STREET GERHART, MAINE 04038			



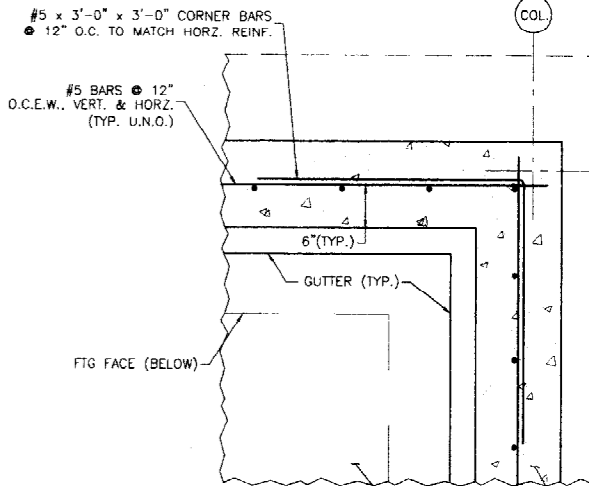
SECTION A
SCALE: 3/4" = 1'-0"
TYP. FNDN WALL CONCRETE STORAGE BLDG (ELEVATION VIEW)



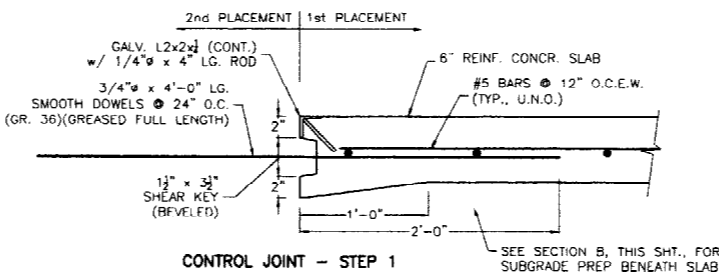
DETAIL 1
SCALE: 1" = 1'-0"
WALL TIE-BACK CONCRETE SLAB STORAGE BLDG (ELEVATION VIEW)



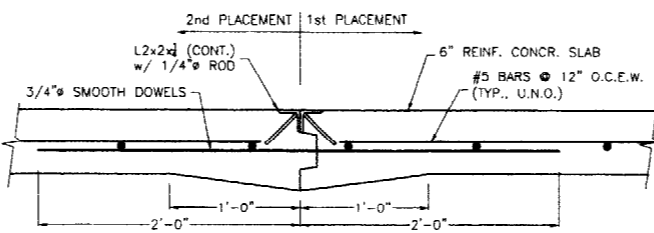
SECTION C
SCALE: 1" = 1'-0"
TYP. WALL TIE-BACK CONCRETE SLAB (PLAN VIEW - LKG DOWN)



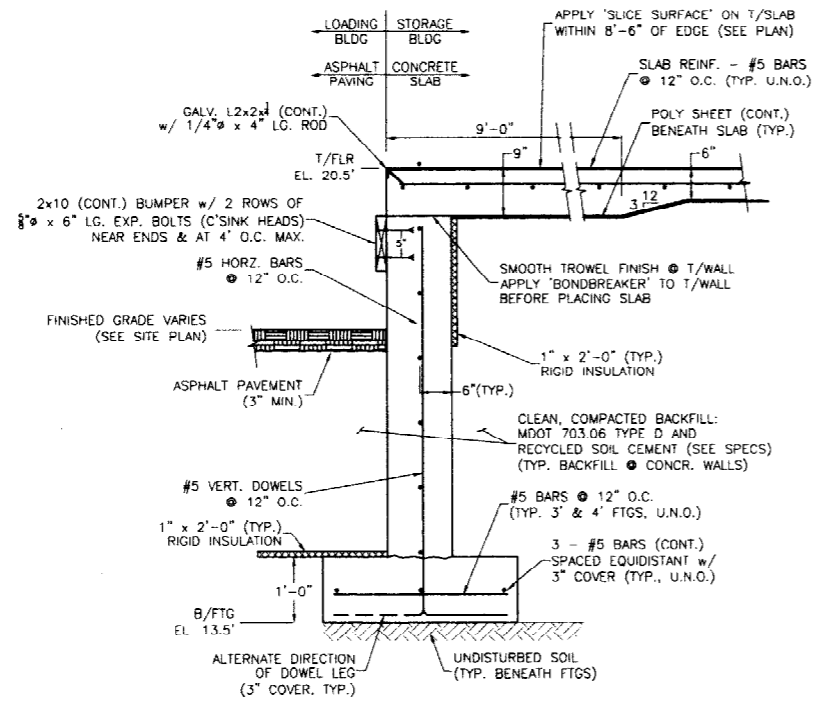
DETAIL 3
SCALE: 1" = 1'-0"
HORIZONTAL BARS FNDN WALL CORNERS (PLAN VIEW - LKG DOWN)



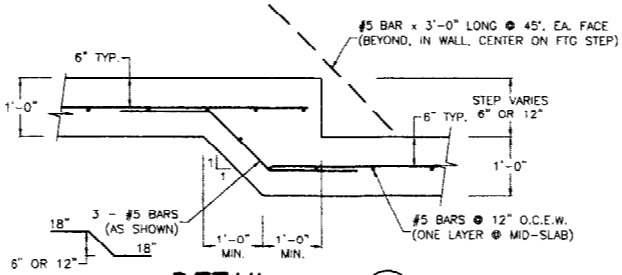
CONTROL JOINT - STEP 1
SEE SECTION B, THIS SHT., FOR SUBGRADE PREP BENEATH SLAB



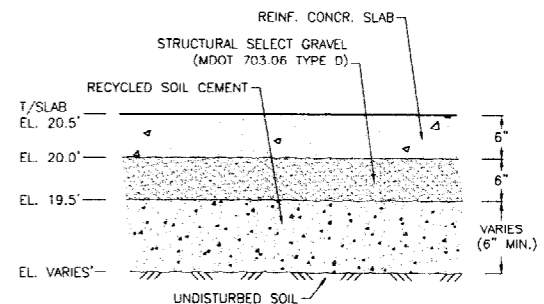
CONTROL JOINT - STEP 2
SECTION D
SCALE: 1 1/2" = 1'-0"
SLAB CONSTRUCTION JOINT (ELEVATION VIEW)



SECTION B
SCALE: 3/4" = 1'-0"
FNDN WALL CONCRETE STORAGE BLDG (ELEVATION VIEW)



DETAIL 2
SCALE: 3/4" = 1'-0"
STEPPED FOOTING (ELEVATION VIEW)



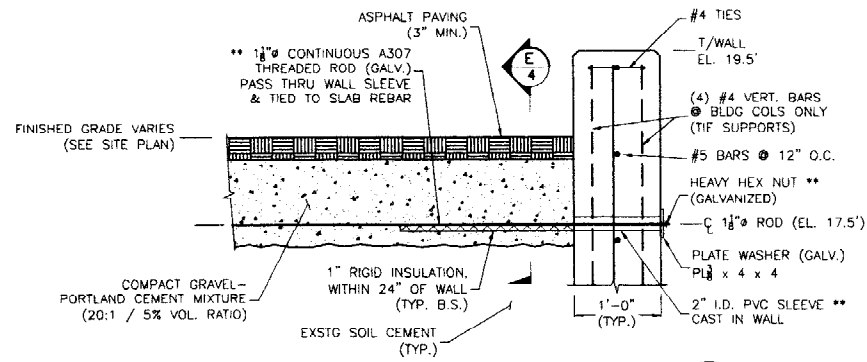
DETAIL 5
SCALE: 1" = 1'-0"
TYP. SUBGRADE BENEATH STORAGE BLDG SLAB (SECTION VIEW)

NOTES:
THESE PLANS DO NOT ILLUSTRATE RUBB BUILDING SYSTEM DETAILS THAT ARE REQUIRED FOR PROPER BUILDING STRUCTURE ANCHORAGE TO THE CONCRETE FOUNDATION.
REFER TO RUBB BUILDING SYSTEM CONTRACT DRAWINGS AND SPECIFICATIONS FOR ALL SPECIFIC DETAILS, LAYOUT, PROCEDURES, AND MANUFACTURER'S RECOMMENDATIONS.
INCORPORATE ALL OF RUBB BUILDING SYSTEM CONSTRUCTION DETAILS (BASE PLATES, ANCHOR BOLTS, ANCHORAGES, ETC.) INTO GEI CONCRETE FOUNDATION DETAILS AS REQUIRED.
USE ALL CONSTRUCTION METHODS AND PROCEDURES (TEMPLATES, ETC.) TO LOCATE, PLUMB, AND SECURE ALL ANCHOR BOLTS (AND SIMILAR BUILDING ANCHORAGES) AS REQUIRED.

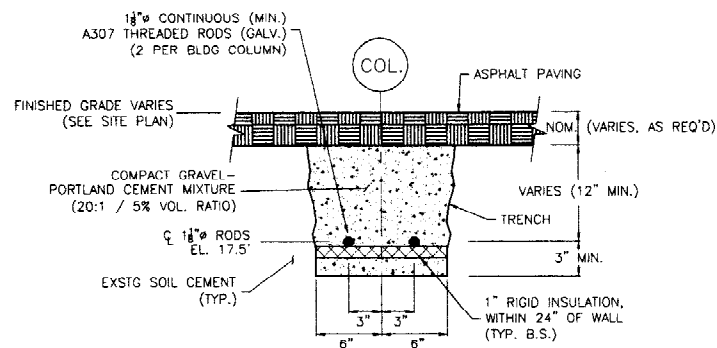
NOTE: UNCERTIFIED (MAINE P.E.) PLANS ARE FOR INFORMATION ONLY.



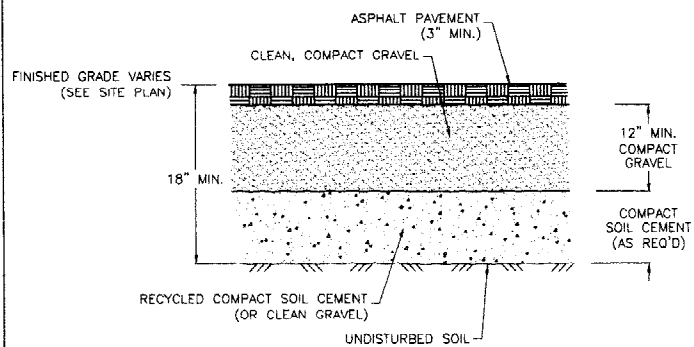
1	5/13/02	BDM	UNDERDRAIN LAYOUT & F...
REV	DATE	BY	DESCRIP
WORK			
CIAMBRO CORPORATI			
MERRILL INDUSTRIES, RUBB E			
DRAWING			
FOUNDATION DETAILS			
SCALE: AS SHOWN			
DATE: 4/24/02			
DRAWN: BDM			
DESIGN: RG			
GAGNON ENGINEERING INC			
198 MAIN STREET			
GORHAM, MAINE 04038			



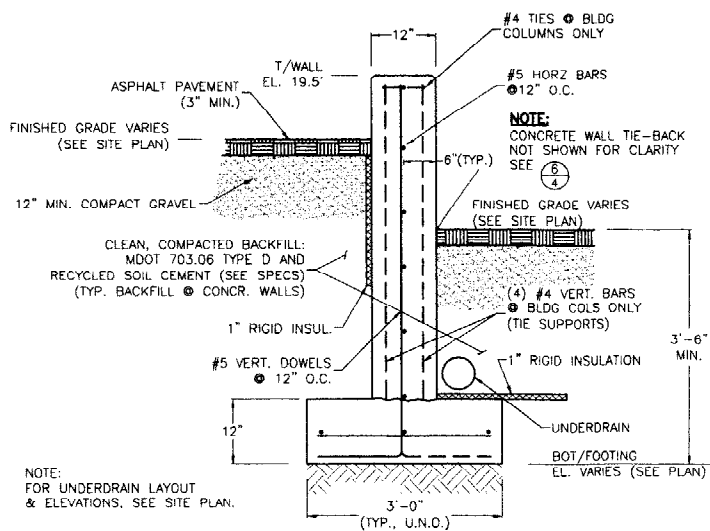
DETAIL 6
SCALE: 1" = 1'-0"
WALL TIE-BACK @ LOADING BUILDING
(ELEVATION VIEW)



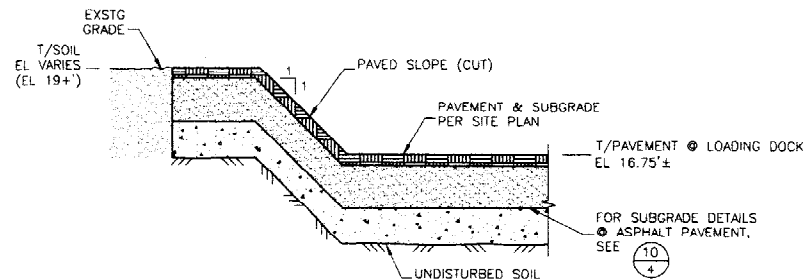
SECTION E
SCALE: 1 1/2" = 1'-0"
WALL TIE-BACK @ ASPHALT PAVEMENT



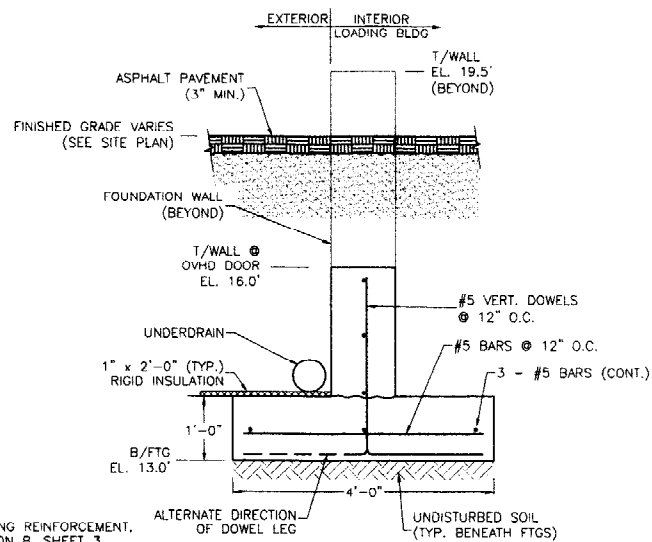
DETAIL 10
SCALE: 1" = 1'-0"
TYP. SUBGRADE @ PAVED TRUCK DOCKS
(SECTION VIEW)



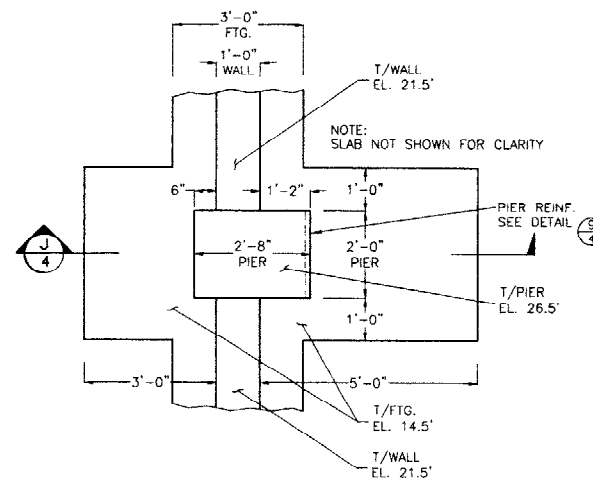
SECTION H
SCALE: 3/4" = 1'-0"
FNDN WALL @ LOADING BLDG (N & S WALLS)
(ELEVATION VIEW)



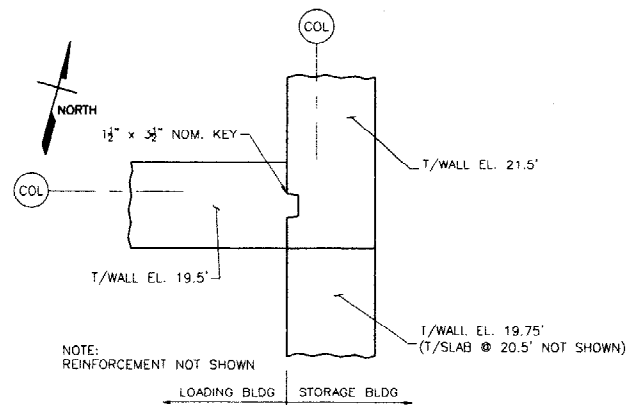
SECTION F
SCALE: 1/2" = 1'-0"
PAVED SLOPE - (ELEVATION VIEW)



SECTION G
SCALE: 3/4" = 1'-0"
FNDN WALL @ DOOR (WEST WALL, LOADING BLDG)
(ELEVATION VIEW)

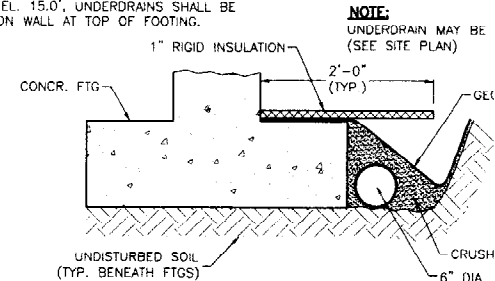


DETAIL 8
SCALE: 1/2" = 1'-0"
CONCRETE PIER
(PLAN VIEW - LKG DOWN)



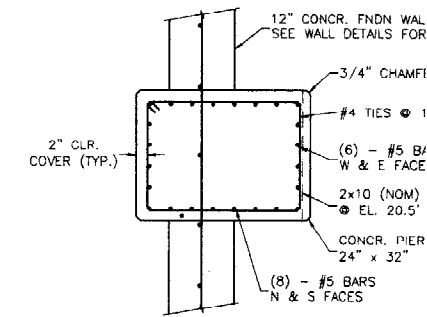
DETAIL 11
SCALE: 1" = 1'-0"
LOADING & STORAGE BLDGS WALL INTERFACE
(PLAN VIEW - LKG DOWN)

NOTE:
FOR BOT/FTG EL. 16.0', UNDERDRAINS SHALL BE PLACED ALONG OUTSIDE BOTTOM EDGE OF FOOTING (AS SHOWN HERE).
FOR BOT/FTG AT/BELOW EL. 15.0', UNDERDRAINS SHALL BE PLACED ALONG FOUNDATION WALL AT TOP OF FOOTING.

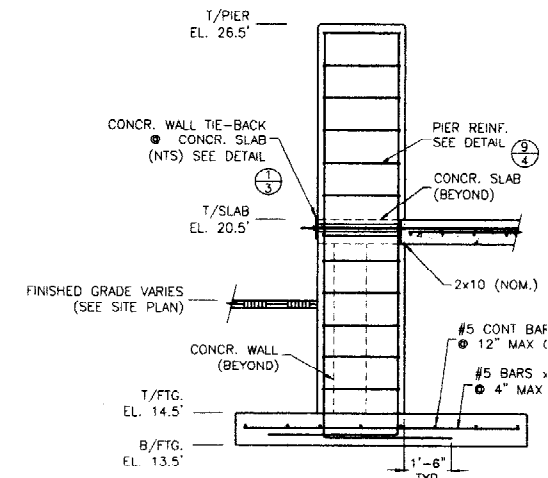


NOTE:
ALL UNDERDRAINS ARE TO BE CONSTRUCTED ACCORDING TO DETAIL 7. FOR UNDERDRAIN LAYOUT & ELEVATIONS, SEE SITE PLAN.

DETAIL 7
SCALE: 1" = 1'-0"
UNDERDRAIN @ FOOTING
(ELEVATION VIEW)



DETAIL 9
SCALE: 3/4" = 1'-0"
REINF. CONCR. PILLAR
(PLAN VIEW - LKG DOWN)



SECTION J
SCALE: 3/8" = 1'-0"
CONCR PIER (RUBB BLDG COLUMN PROTECTION)
(ELEVATION VIEW) (LKG NORTH)

REV	DATE	BY	DESCRIP
1	5/13/02	BDM	UNDERDRAIN LAYOUT & FNDN WALL

WORK: CIAMBRO CORPORAT MERRILL INDUSTRIES, RUBB

DRAWING: FOUNDATION DETAILS

SCALE: AS SHOWN
DATE: 4/24/02
DRAWN: BDM
DESIGN: RG

GAGNON ENGINEERING INC.
198 MAIN STREET
GORHAM, MAINE 04038

NOTE:
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