

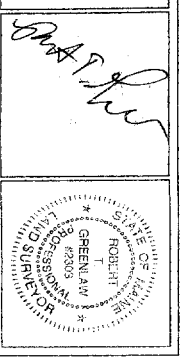
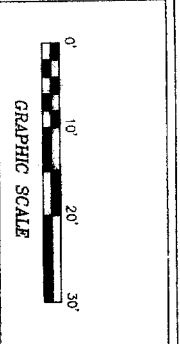
REVISIONS:

11/29/04 - REVISED PROPERTY/LINE STREET ALIGNMENT

LOCATION: 400-408 DANFORTH STREET, PORTLAND, MAINE

STATE OF MAINE, CUMBERLAND SS

RECEIVED AT H M AND RECORDED IN PLAN BOOK PAGE 2004



CERTIFICATE:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

a) NO WRITTEN REPORT

b) NO NEW DESCRIPTION

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC. DATE: NOVEMBER 24, 2004

GENERAL NOTES:

Setback Notes

This site plan is overlaid on a boundary survey which has been revised since the original Minor Site Review application was submitted. The surveyor obtained additional information which helped to locate a buried monument which had been missing at the northwest corner of the 408 Danforth Street lot.

The setback for the proposed garage building is based on an average of the 5'-0" setback at the house at 400 Danforth Street and the assumed maximum setback (25 feet) required for the garage building on the adjacent lot to the west, resulting in a 15 foot setback from the Danforth street property line. The setback from the western property line is 14 feet for a two story building.

The proposed garage is shown placed one foot further in from each setback line to allow for a maximum of two feet of its three foot foot overhang to protrude into the setbacks.

SITE PLAN L1.1

* REVISION 11/11/05

SEE B OF 2 FOR ZONING

SEE PAGE 1 OF 2 FOR FLOOD NOTE

FLOOD NOTE

SEE PAGE 1 OF 2 FOR FLOOD NOTE

LEGEND:

CHS	5/8" Rebar To Be Set	(S&O)	Distance from reference
MON	With Registration # 2303.	N/F	Plan or deed.
	Granite Monument Found		Plan or deed.
	Abutment Line		Plan or deed.
	Easement Line		Plan or deed.
	Edge of Traveled way		Plan or deed.
	Old Lot Line		Plan or deed.
	Property Line		Plan or deed.
	Street Line		Plan or deed.
	Setback Line		Plan or deed.
	Overhead Utility		Plan or deed.
	Contour Line		Plan or deed.
		EX or EXIST	= Existing

TOPOGRAPHY DETAIL PLAN

AT 400 AND 408 DANFORTH STREET, PORTLAND, MAINE

FOR: MARJORIE R. SHAW

PREPARED BY: BACK BAY BOUNDARY, INC.

LAND SURVEYING

65 NEWBURY STREET
PORTLAND, MAINE
207-774-2855 FAX 207-761-2010

DATE OF SURVEY: 10/01/2004

JOB NUMBER: 2004125

SHEET: 2 OF 2

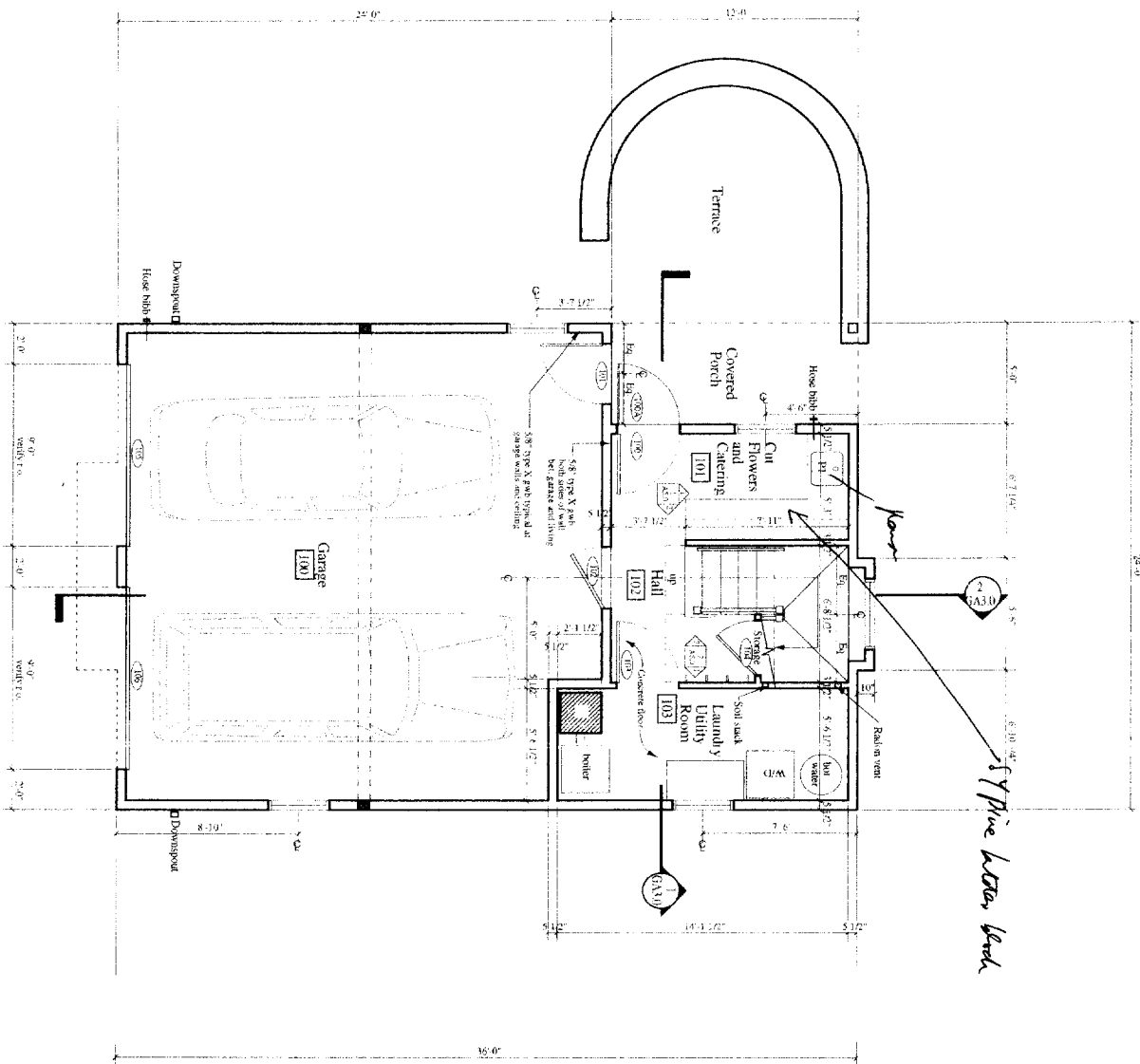
DRAWN BY: DMD / PAM

CHECKED BY:

SCALE: 1" = 10'

DATE: 11/29/04

DRAWER: 2004 NO. 125



First Floor Plan

G.A.1.

Garage Floor Plans

Drawn by: SP Scale: 1/4" = 1' 0 Date: 28 June-2004
 Revisions: 13 October 2004

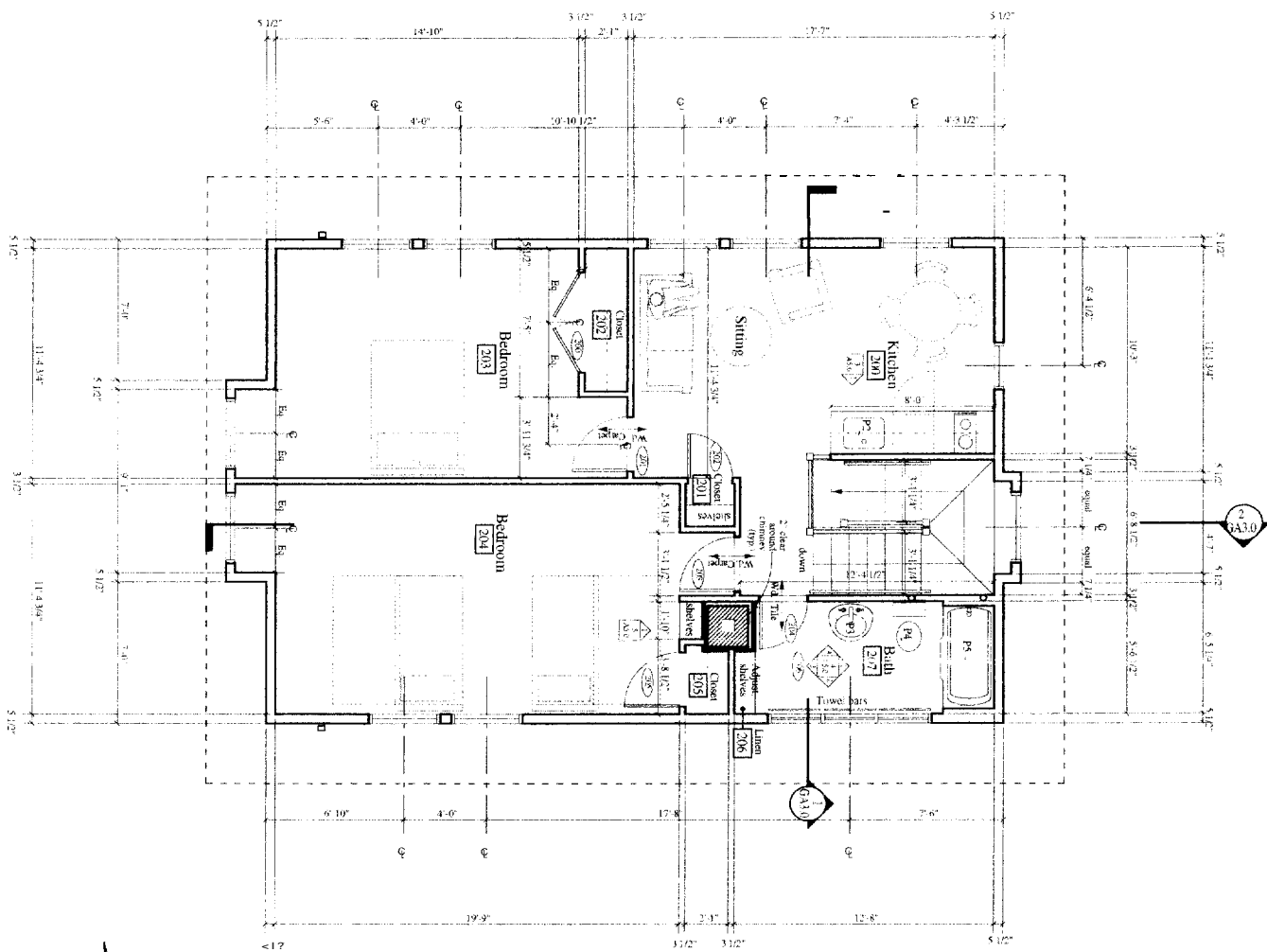
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NOTE:
SEE 6-51-3
SECOND FLOOR PLAN
DIMENSION CHANGES

G.A1.2

Garage Second Floor Plan

Drawn by: SP Scale: 1/4" = 1'-0" Date: 28 June 2004
Revisions: 13 October 2004

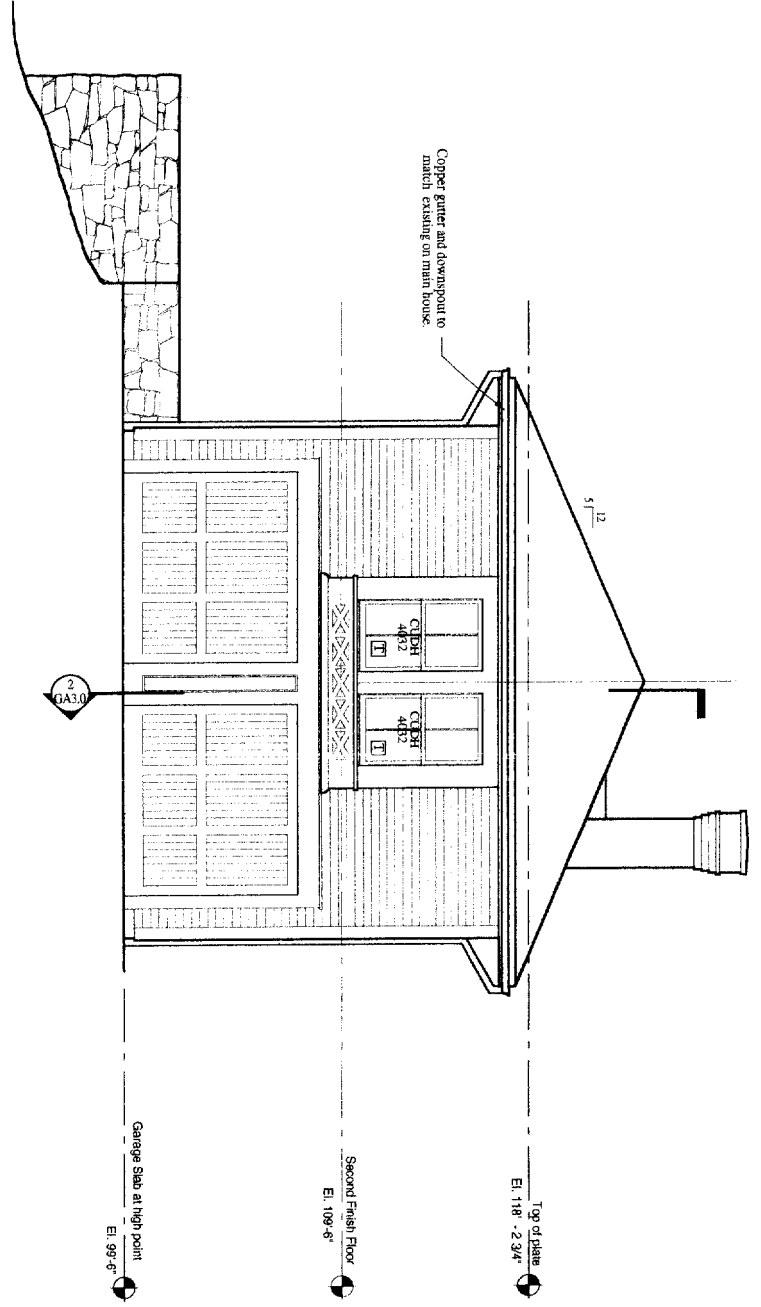
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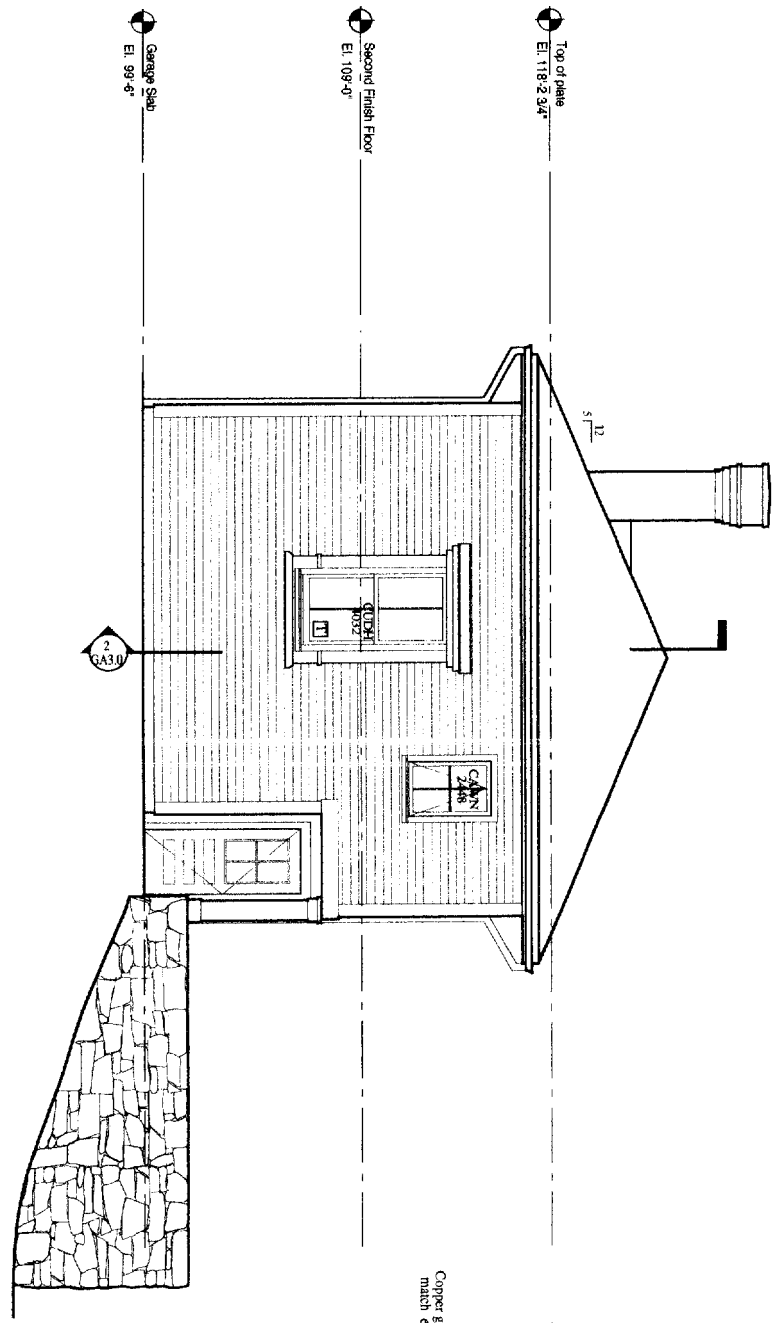
East Elevation

Top of plate
El. 118'-2.3/4"

Second Finish Floor
El. 109'-6"

Garage slab at high point
El. 99'-6"

Copper gutter and downspout to match existing on main house.



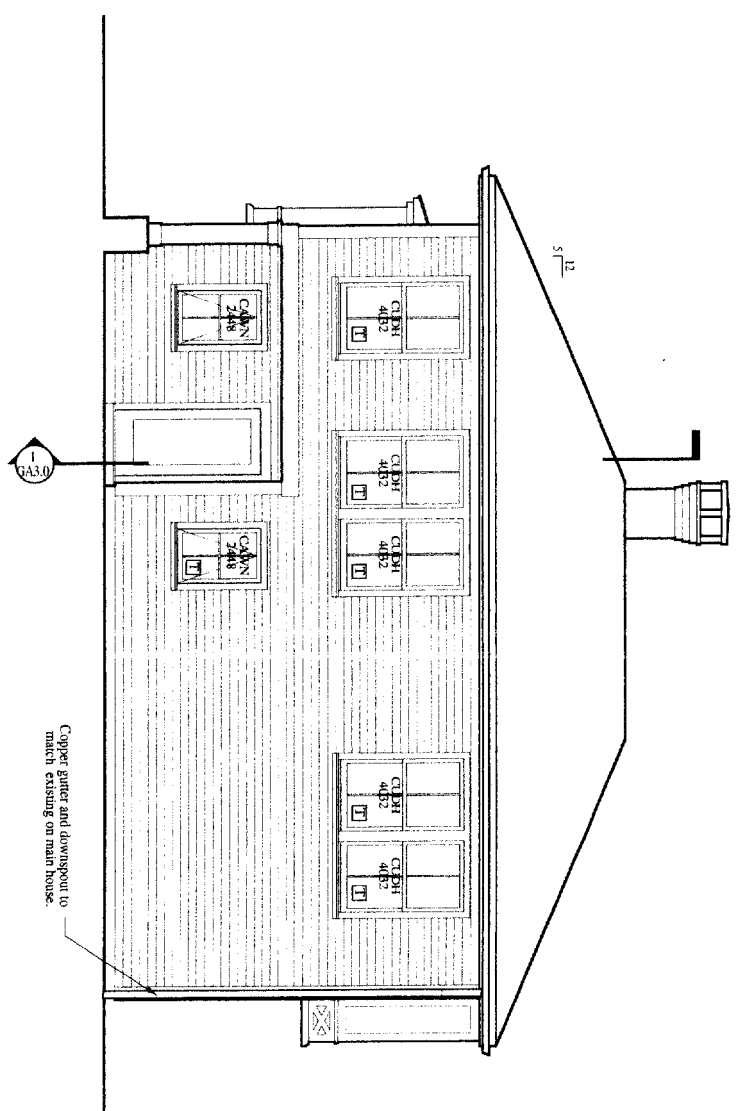
West Elevation

Top of plate
El. 118'-2.3/4"

Second Finish Floor
El. 109'-6"

Garage Slab
El. 99'-6"

Copper gutter and downspout to match existing on main house.



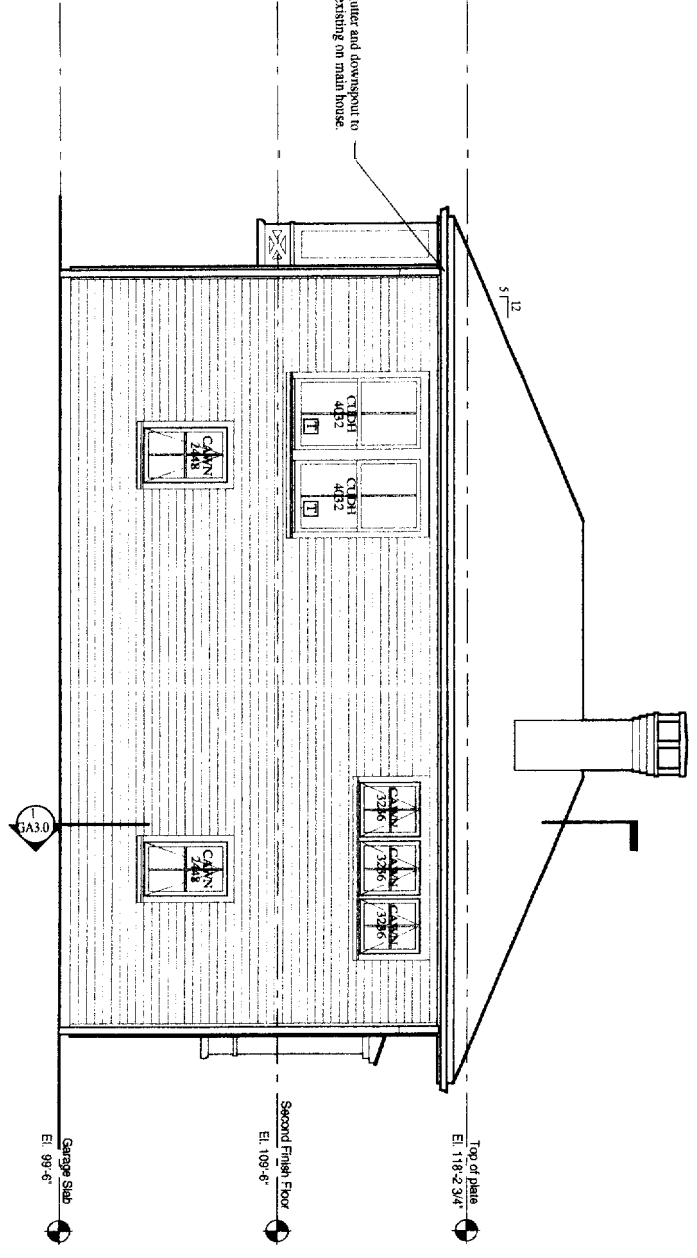
South Elevation

Top of plate
El. 118'-2.3/4"

Second Finish Floor
El. 109'-6"

Garage Slab
El. 99'-6"

Copper gutter and downspout to match existing on main house.



North Elevation

Top of plate
El. 118'-2.3/4"

Second Finish Floor
El. 109'-6"

Garage Slab
El. 99'-6"

GAZ.0

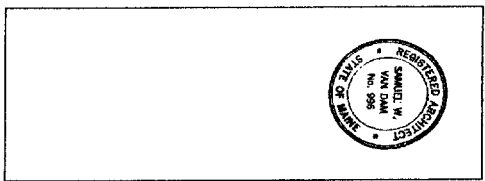
Garage Elevations

Drawn by: CSL Scale: 1/2" = 1'-0" Date: 28 June 04

Revisions: 22 June 04 28 Sept. 04 13 Oct. 2004

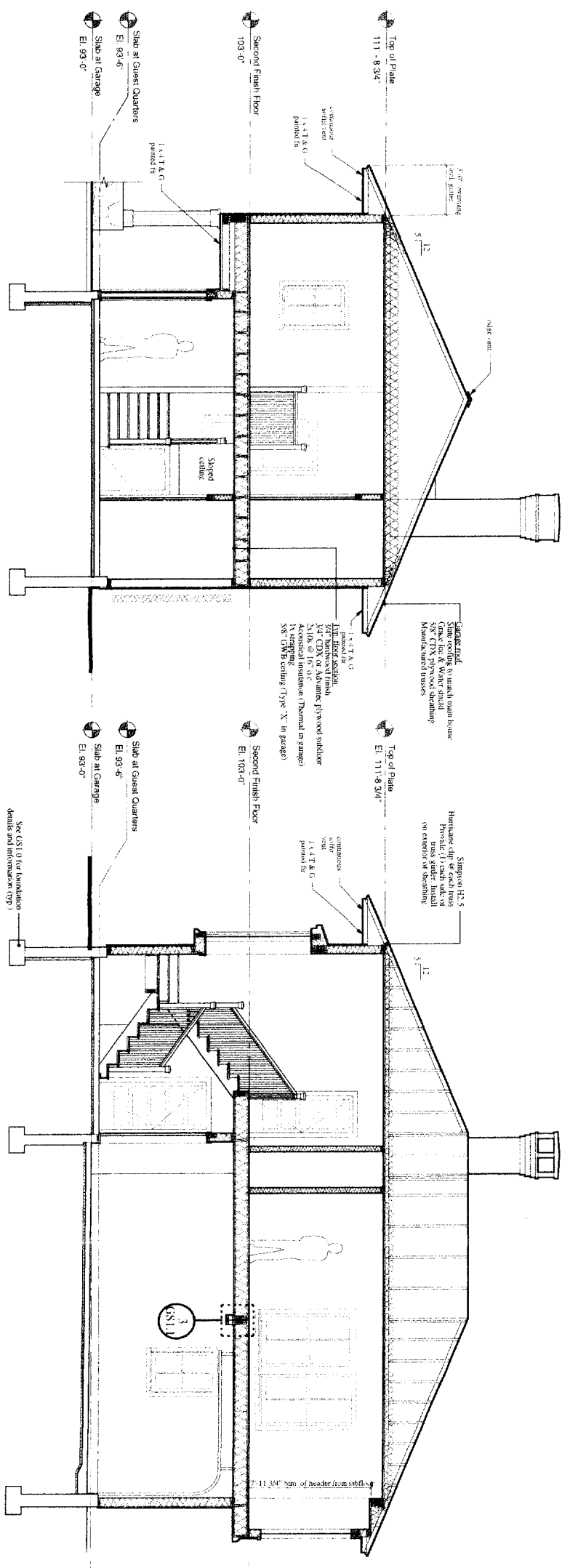
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1 Section
1/4" = 1'-0"

2 Section
1/4" = 1'-0"

NOTE:
SEE 6-2-2
PAINTED SURFACES
w/ KALE VARNISH

GA. 0

Garage Sections

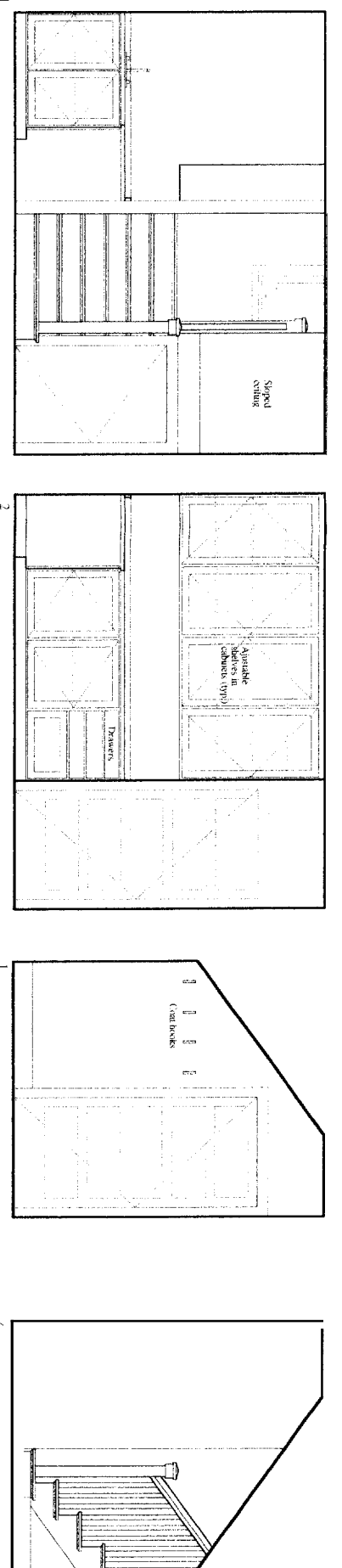
Drawn by: AB Scale: 1/4" = 1'-0" Date: 28 June
Revisions: 13 October 2004

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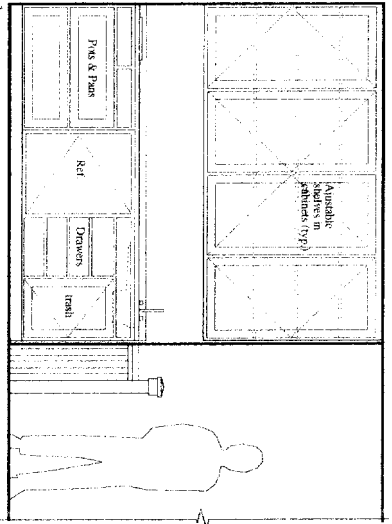
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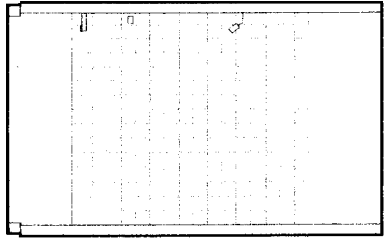
1 Interior Elevations- First Floor #101
1/2" = 1'-0"

2 Interior Elevations- First Floor Hall #102
1/2" = 1'-0"

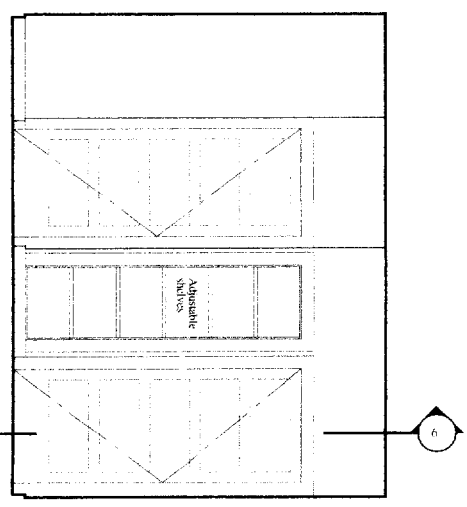
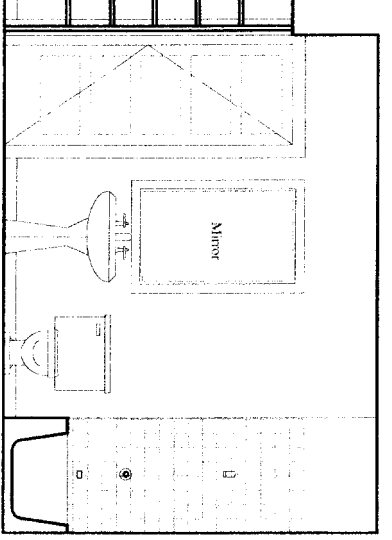
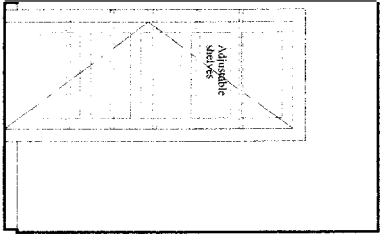
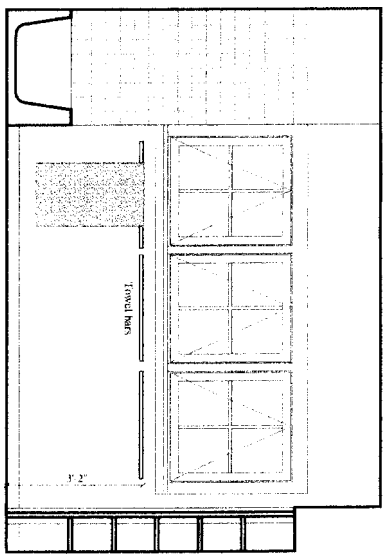


3 Interior Elevations- Kitchen #200
1/2" = 1'-0"

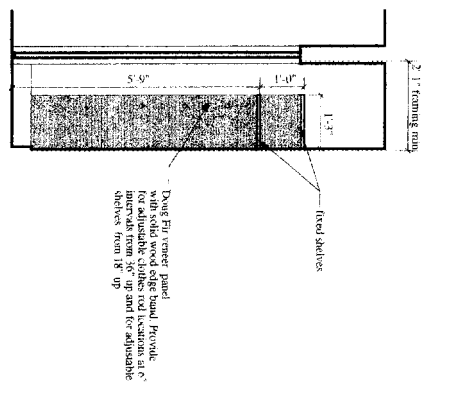
*Note: See 6-51-4
revised elevation*



4 Interior Elevations- Bathroom #207
1/2" = 1'-0"



5 Interior Elevation- Bedroom #204
1/2" = 1'-0"



6 Typical Bedroom Closet Section
SCALE: 1/2" = 1'-0"

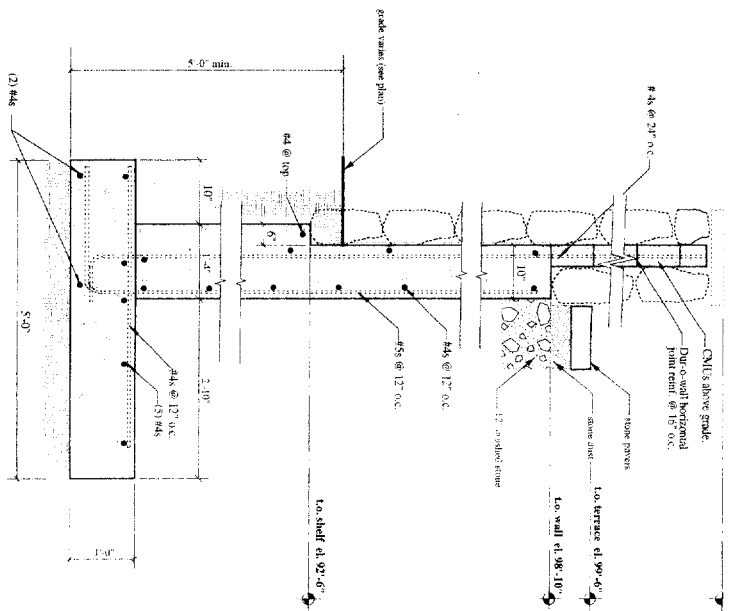
Door #/Location	Door Size	R.O.	Comments
100	120" x 68"	18 1/2"	8 1/2" Simpson F-418 1-3/4" 2x6 wall
100A	120" x 68"	18 1/2"	8 1/2" Simpson F-418 1-3/4" 2x6 wall
101	3-0" x 6-8"	0"	Cabinet
102	3-0" x 6-8"	18 1/2"	8 1/2" Simpson F-418 1-3/4" 2x6 wall
103	3-0" x 6-8"	18 1/2"	8 1/2" Simpson F-418 1-3/4" 2x6 wall
104	2-8" x 4-0"	14 1/2"	8 1/2" Simpson F-55
105	9-0" x 5-0"	0"	Designer Doors overhead
106	9-0" x 8-0"	0"	Designer Doors overhead
200	120" x 68"	18 1/2"	8 1/2" Simpson F-418 1-3/4" 2x6 wall
201	2-8" x 6-8"	14 1/2"	8 1/2" Simpson F-55
202	2-8" x 6-8"	14 1/2"	8 1/2" Simpson F-55
203	2-8" x 6-8"	14 1/2"	8 1/2" Simpson F-55
204	2-8" x 6-8"	14 1/2"	8 1/2" Simpson F-55
205	2-8" x 6-8"	14 1/2"	8 1/2" Simpson F-55
206	2-6" x 6-8"	12 1/2"	8 1/2" Simpson F-55

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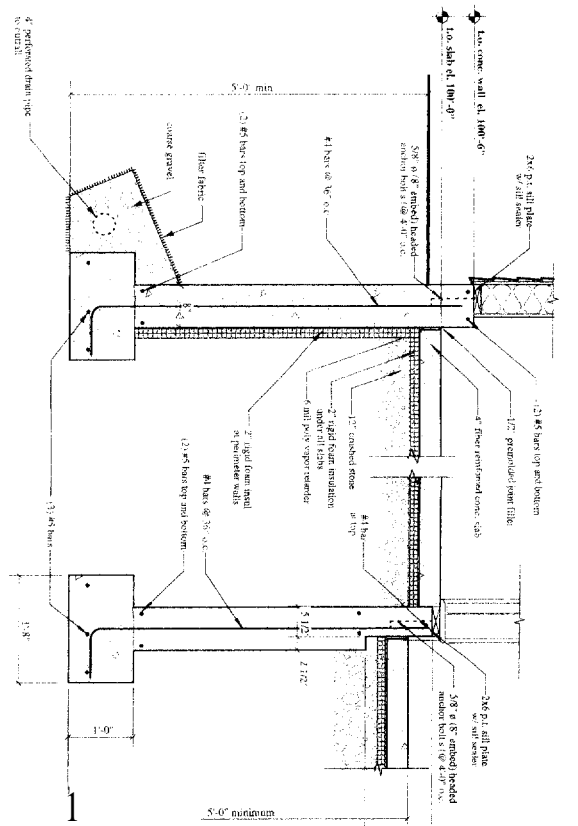


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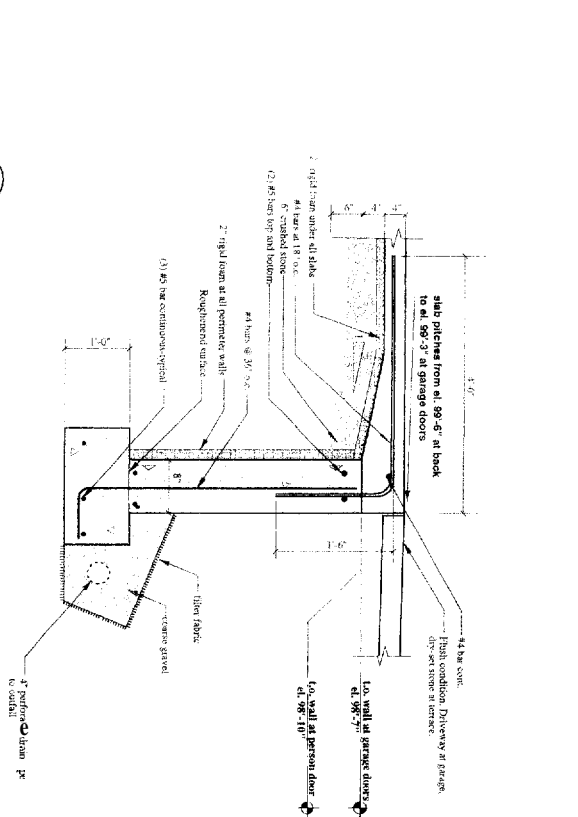
Garage Int. Elevations & Door Schedule
GAS.0
Drawn by: AB Scale: 1/2" = 1'-0" Date: 28 June
Revisions: 13 Oct 04



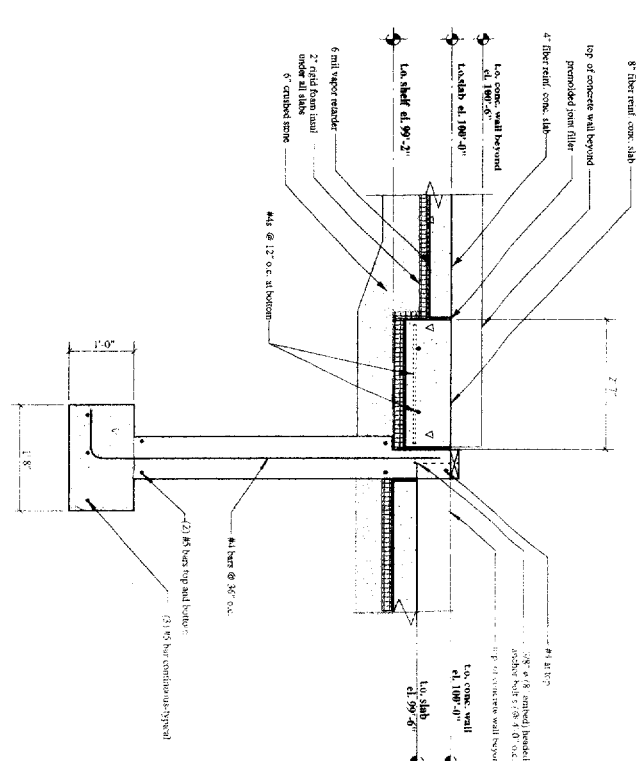
1 Retaining Wall Detail
Scale: 3/4" = 1'-0"



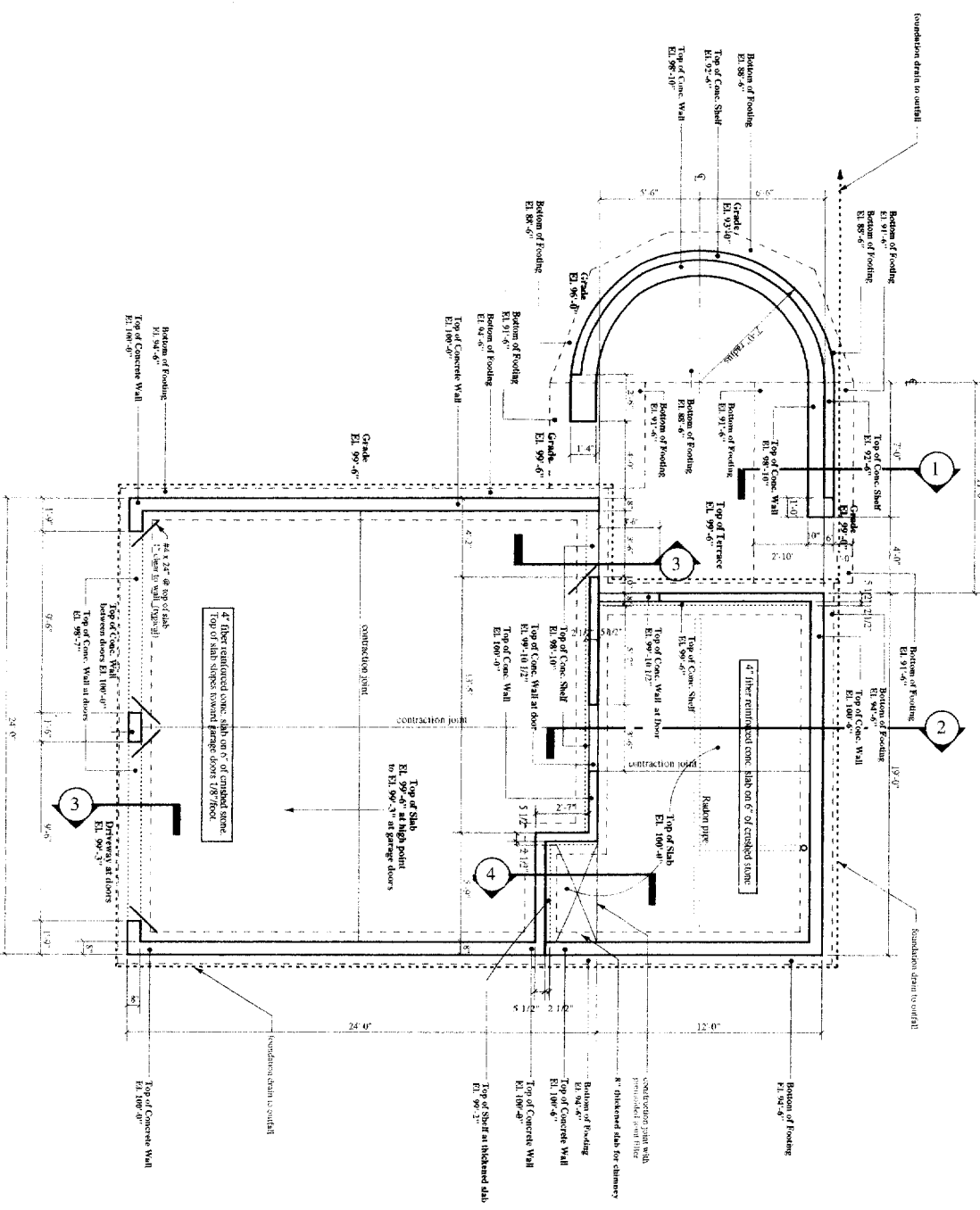
2 Foundation Wall Detail
Scale: 3/4" = 1'-0"



3 Foundation Detail @ Garage Door (Similar @ Person Door)
Scale: 3/4" = 1'-0"



4 Thickened Slab at Chimney Corner
Scale: 3/4" = 1'-0"



Benchmark: All elevations are based upon an elevation of 104.7 at a 3" X 6" granite monument located at the northeast corner of the intersection of Danforth and Vaughn Streets.

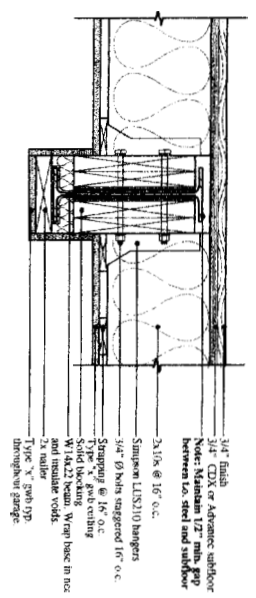
Note:
See 6-5V-1
DIMENSION CHANGE

Garage Foundation Plan
 Drawn by: SP Scale: 1/4" = 1'-0 Date: 28 June 2004
 Revisions: 13 October 2004 11/18/04 11/24/04
GS1.0
 12/01/04

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Professional Engineer
 State of Maine
 License No. 10000
 PAUL B. BROWN
 REGISTERED PROFESSIONAL ENGINEER

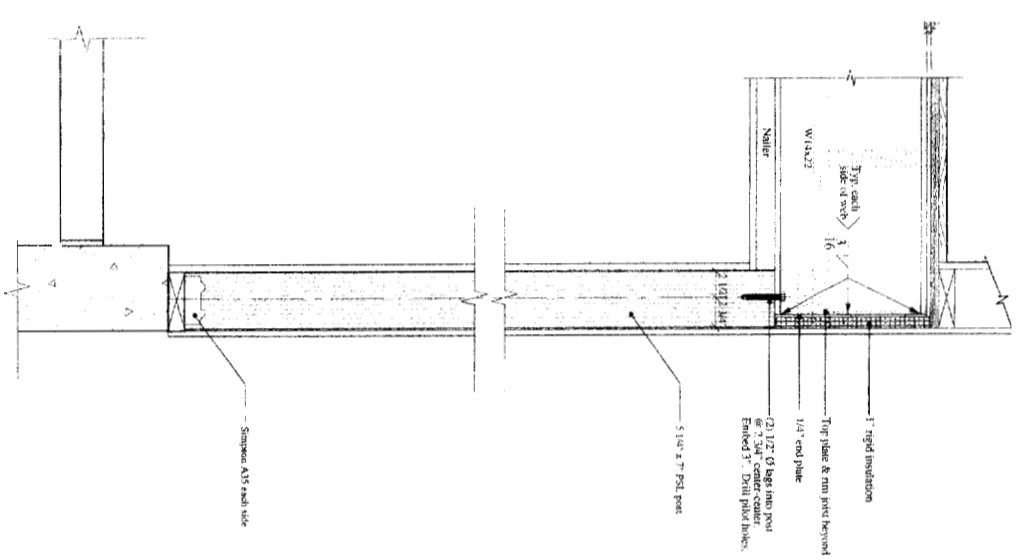
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 info@vandamdesign.com
 vandam@vandamdesign.com



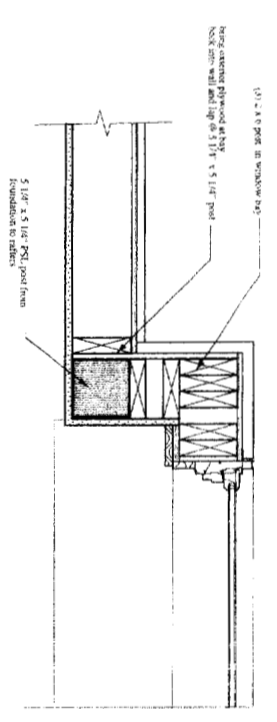
4
1 1/2" = 1'-0"

Note: All Simpson connectors and fasteners into pressure treated lumber shall be a matched system using Simpson Zmax coating and hot dipped galvanized nails (G185) or stainless steel type 304 or type 316.

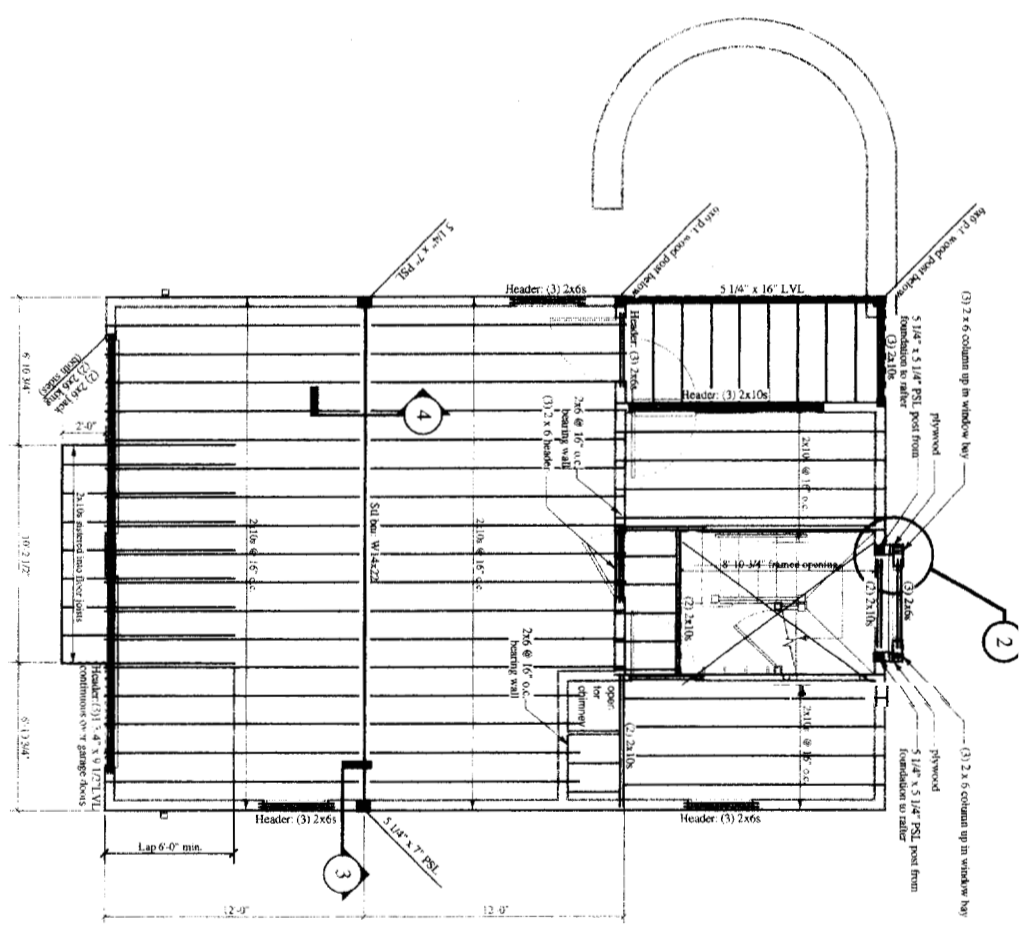
Note: All nails framing into pressure treated lumber, sills, etc. shall be hot dipped galvanized nails (G185) or stainless steel type 304 or type 316. Includes framing and sheathing into pressure treated lumber.



3
1 1/2" = 1'-0"



2
1 1/2" = 1'-0"



1
1/4" = 1'-0"

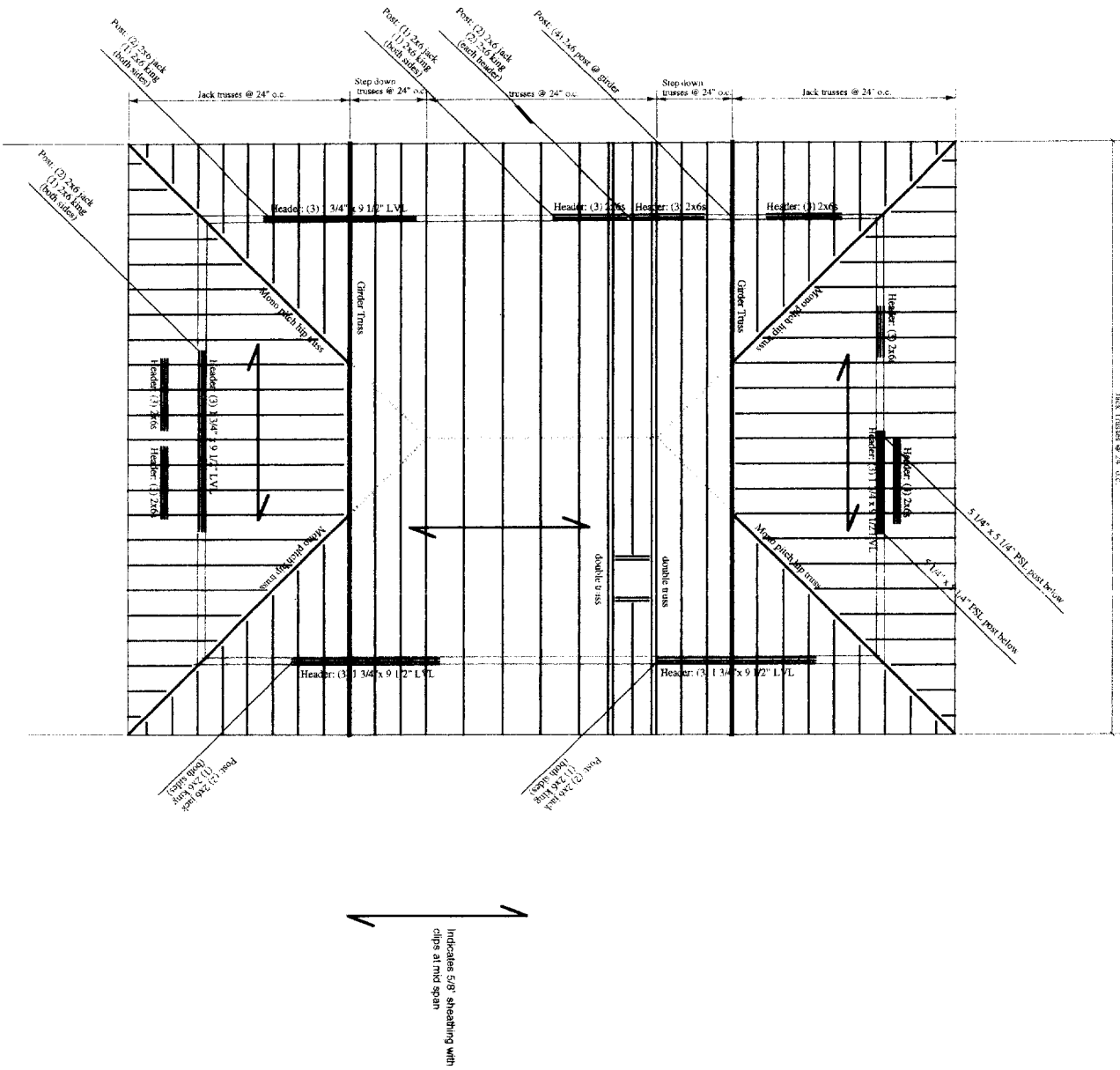
GS1.1
Garage Second Floor Framing Plan
 Drawn by: SP Scale: 1/4" = 1'-0" Date: 28 June 2004
 Revisions: 13 October 2004 11/18/04 11/24/04
 12/01/04

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 REGISTERED PROFESSIONAL ENGINEER
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 License No. 10000
 PAUL B. REBER
 REGISTERED ARCHITECT
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- PREFABRICATED WOOD TRUSS NOTES:**
1. TRUSSES SHALL BE DESIGNED, FABRICATED, ERECTED, AND BRACED IN ACCORDANCE WITH ANSITP1 1-2002, AND ANSITP1 1-2002 APPENDIX A.
 2. ERECTION AND TEMPORARY BRACING SHALL COMPLY WITH BCSP 1-03.
 3. SEE ROOF FRAMING PLAN AND TRUSS ELEVATIONS FOR ORIENTATIONS, PROFILES, LOCATIONS AND BRACING CONDITIONS.
 4. TEMPORARY BRACING SHALL BE LEFT IN PLACE AND SERVE AS THE PERMANENT MEMBER BRACING SYSTEM. COORDINATE PERMANENT MEMBER BRACING LOCATIONS WITH TEMPORARY MEMBER BRACING REQUIREMENTS. PROVIDE ADDITIONAL BRACING RUNS AT PERMANENT BRACING LOCATIONS IF REQUIRED.
 5. TRUSS DESIGNER SHALL DESIGN TRUSSES IN SUCH A MANNER TO MINIMIZE THE REQUIRED PERMANENT CONTINUOUS LATERAL BRACING REQUIRED TO BE INSTALLED IN THE FIELD.
 6. TRUSS DESIGNER SHALL PROVIDE CONNECTION DESIGN AND ASSOCIATED HARDWARE FOR TRUSS-TO-TRUSS CONNECTIONS AND FOR UPLIFT CONNECTIONS.
 7. FABRICATOR SHALL CLEARLY MARK PERMANENT LATERAL BRACING LOCATIONS BY MEANS OF A PAINT MARKS OR TAGS. TAGS SHALL NOT BE REMOVED WITHOUT PERMISSION OF THE ARCHITECT.
 8. PROVIDE GABLE END TRUSSES WITH UPRIGHTS AT 16" O.C. WHERE APPLICABLE.
 9. PROVIDE PREFABRICATED OVERFRAMING TRUSSES WHERE OVERFRAMING IS INDICATED ON THE DRAWINGS.
 11. WOOD TRUSS DESIGN LOADS:
 - TOP CHORD DEAD LOAD: 10 PSF
 - TOP CHORD SNOW LOAD: 46 PSF
 - TOP CHORD UNBALANCED SNOW: 7 PSF
 - LEEWARD: 69 PSF
 - WINDWARD: 14 PSF
 - BOTTOM CHORD DEAD LOAD: 7 PSF
 - WIND PER ASCE 7-98



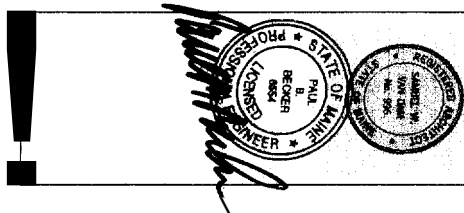
GS1.2

Garage Roof Framing Plan

Drawn by: SP Scale: 1/4" = 1'-0" Date: 28 June 2004
 Revisions: 13 October 2004 11/18/04 11/24/04
 12/01/04

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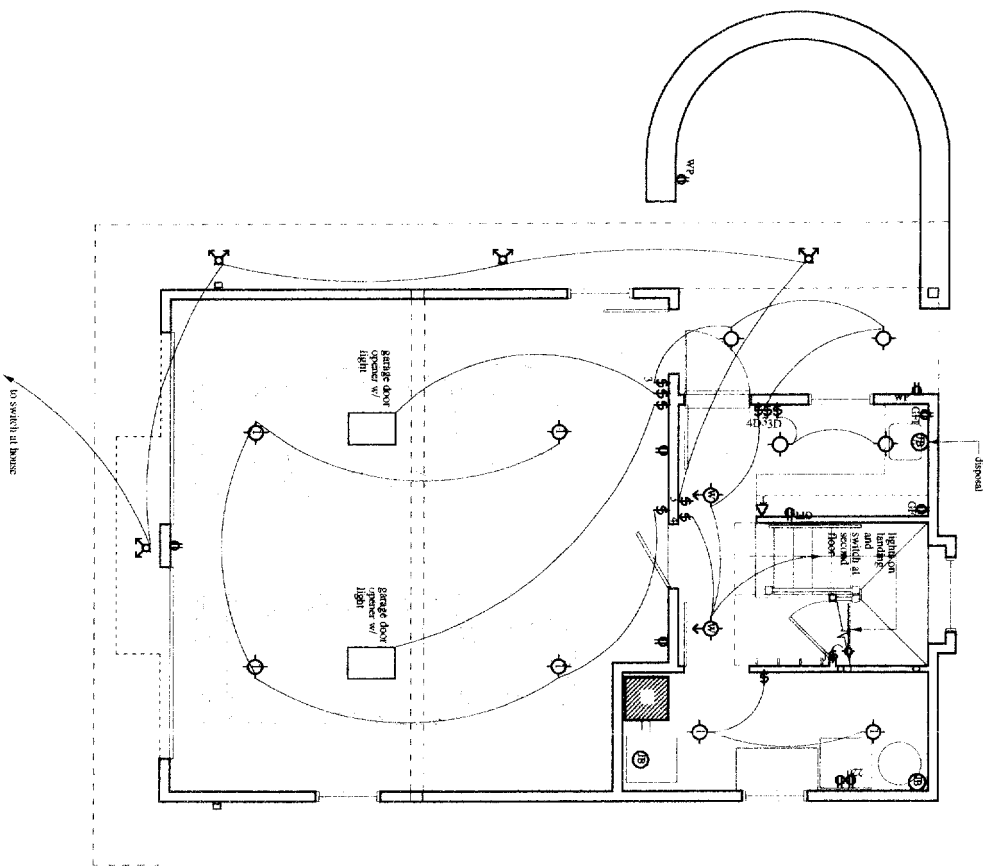
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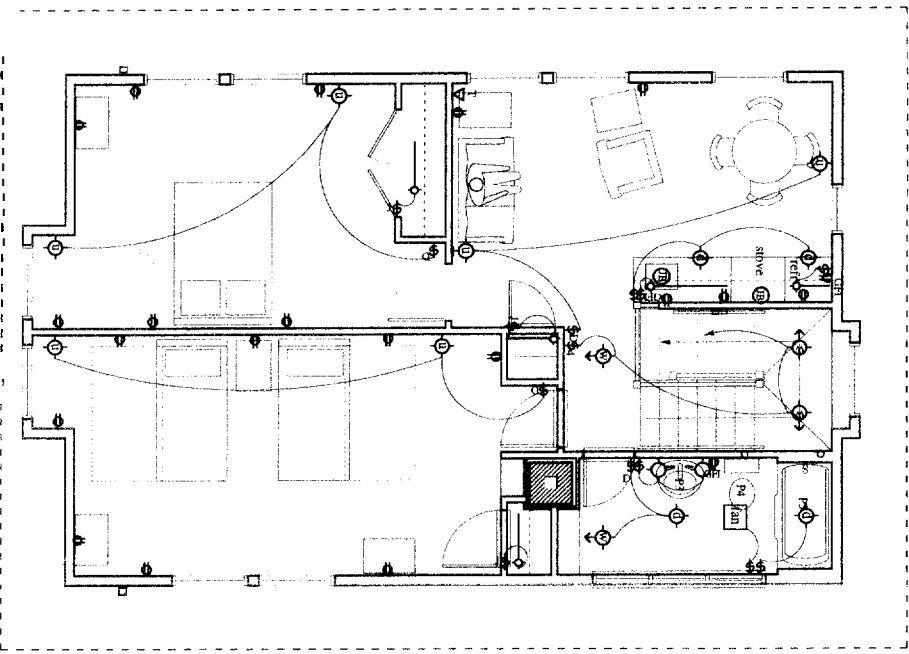
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KEY	
	Telephone Jack
	Cable TV
	Switch
	Outlet
	Outlet-Ground fault interrupter
	Outdoor weatherproof
	Function Box
	3 way switch
	Dimmer switch
	ceiling mounted light fixture
	wall mounted light fixture
	recessed downlighting
	recessed wall washing
	ceiling mounted utility light
	undercabinet or cove light fixture

GEI.1
Garage First Floor Electrical Plan
 Drawn by: SP Scale: 1/4" = 1'-0" Date: 28 June 2004
 Revisions: 13 October 2004 11/18/04 11/24/04

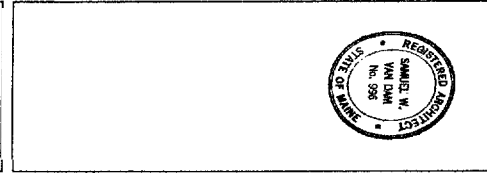
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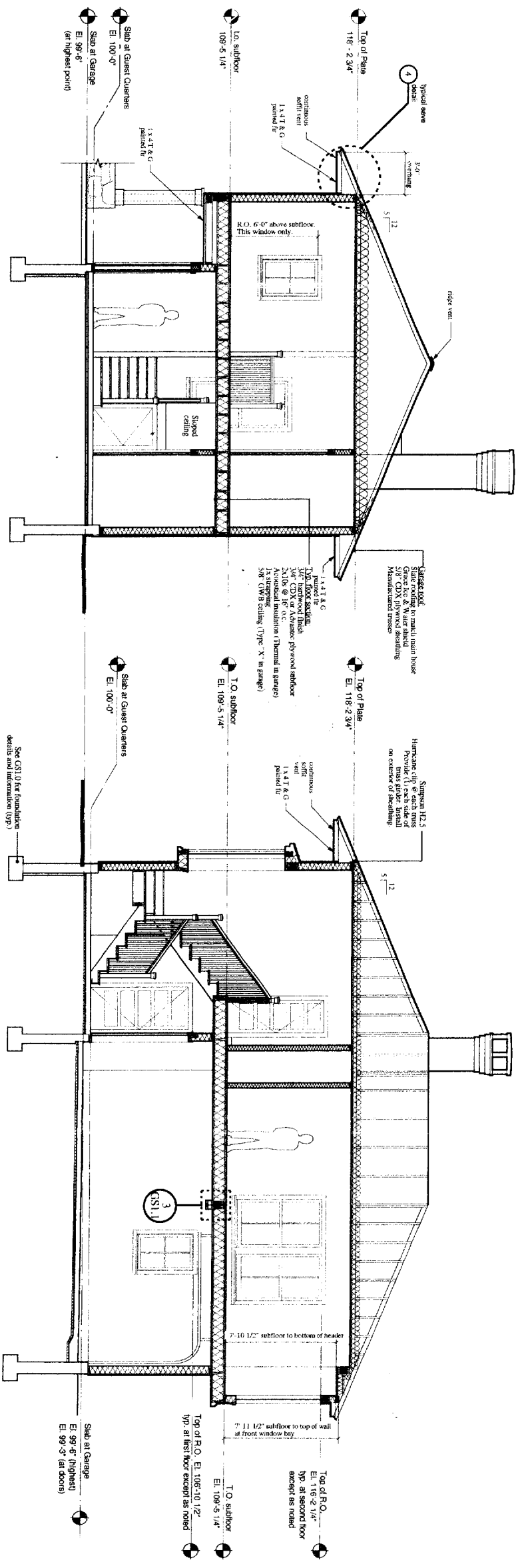
KEY	
	Telephone Jack
	Cable TV
	Switch
	Outlet
	Outdoor Ground Fault Interrupter
	Outdoor weatherproof
	Junction Box
	3-way switch
	Dimmer switch
	ceiling mounted light fixture
	wall mounted light fixture
	recessed downlighting
	recessed wall washing
	ceiling mounted utility light
	undercabinet or closet fixture

**Garage Second Floor
Electrical Plan**
E1.2
 Drawn by: SP Scale: 1/4" = 1' 0" Date: 28 June 2004
 Revisions: 13 October 2004 11/18/04 11/24/04

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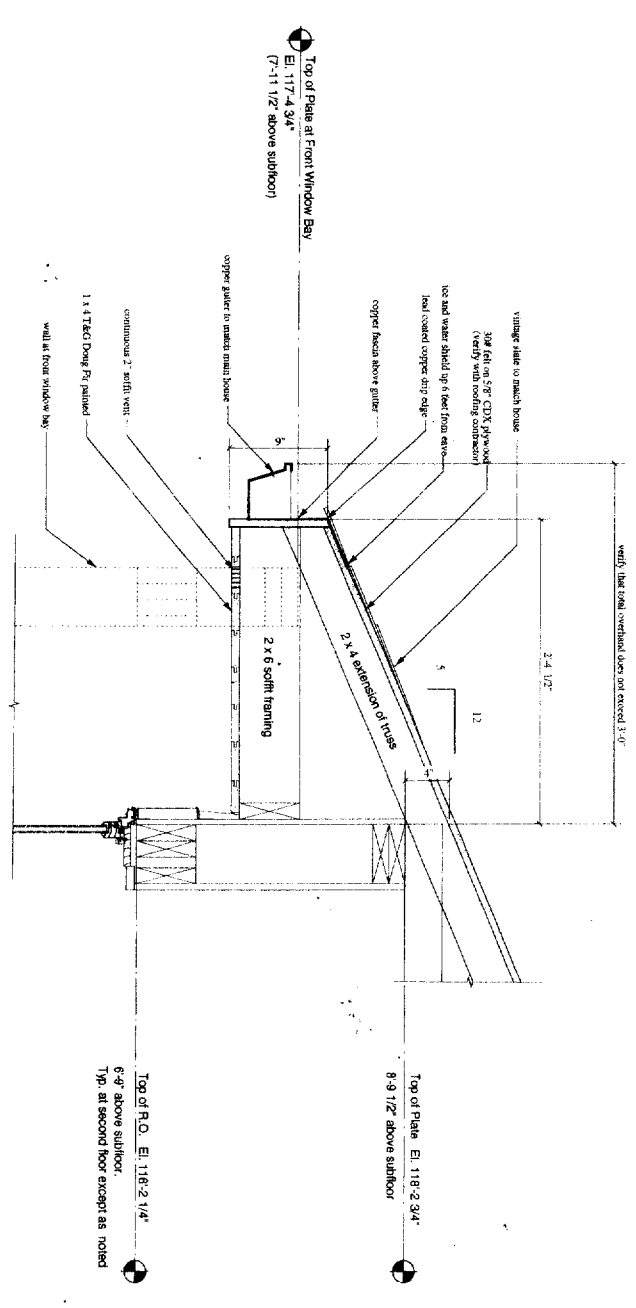


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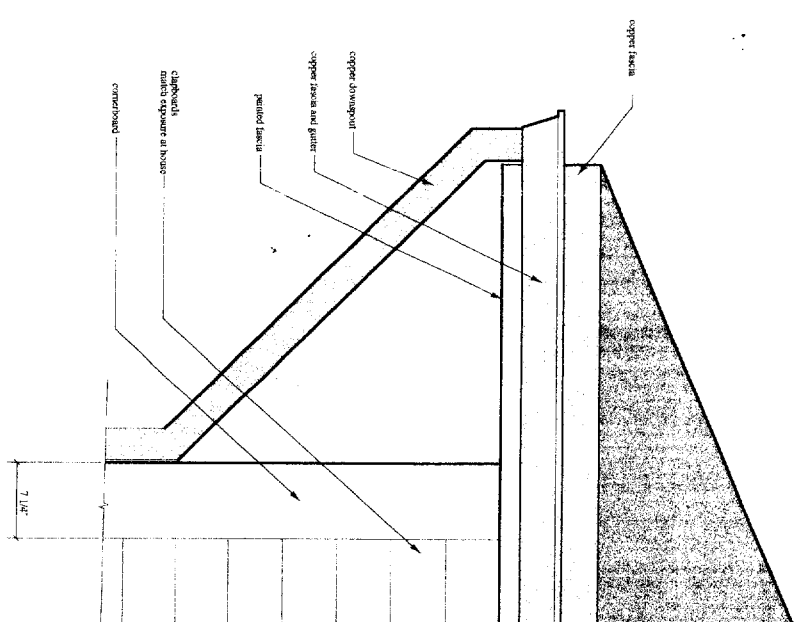


1 Section
1/4" = 1'-0"

2 Section
1/4" = 1'-0"



4 Typical Eave Detail
1 1/2" = 1'-0"



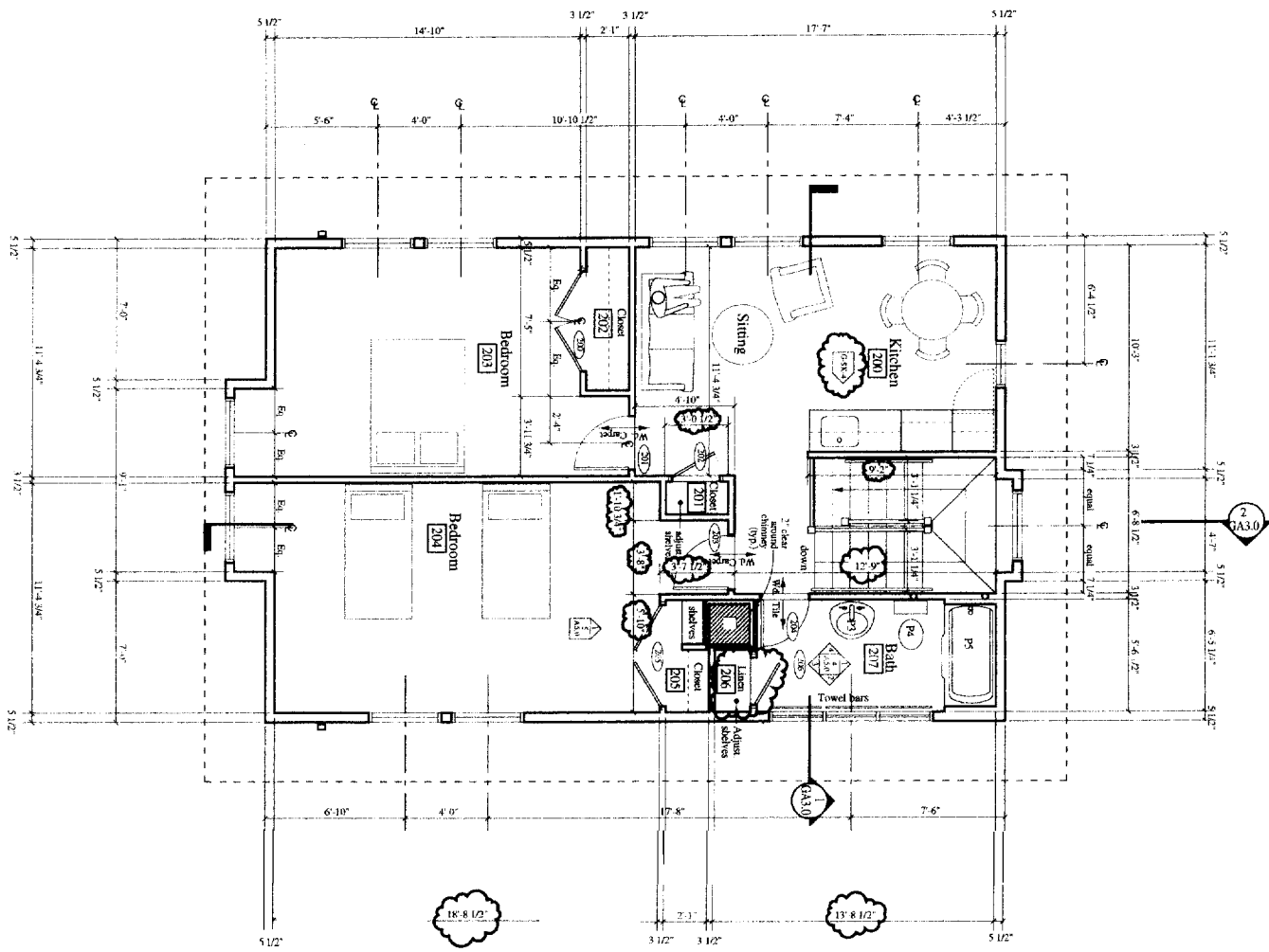
3 Partial Elevation @ Front of Garage
1 1/2" = 1'-0"

Note: Entire roof perimeter to have gutters

G-SK-2
Garage Sections
Eave Details
 Drawn by SP Scale: As Noted Date: 01/04/05
 Revisions:

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G-SK-3
Garage Second Floor Plan
 Drawn by: SP Scale: 1/4"=1'-0" Date: 01/04/05
 Revisions:

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