

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

Permit No: 04-0132		Issue Date: FEB 27 2004	COL: 070 D005001
Location of Construction: 52 Bowdoin St	Owner Name: Spencer Alice B &	Owner Address: 52 Bowdoin St	Phone: CITY OF PORTLAND 07-797-3381
Business Name:	Contractor Name: Papi & Romano Builders, Inc	Contractor Address: PO Box 1079 Portland	Phone: 2077973381
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-4

Past Use: single family Two Family per permit # 80/00607 issued 8/8/1980	Proposed Use: Two Family single family - make structural repairs to dining floor, bay window, and enlarge masonry door opening	Permit Fee: \$102.00	Cost of Work: \$9,000.00	CEO District: 2
Proposed Project Description: make structural repairs to dining floor, bay window, and enlarge masonry door opening		FIRE DEPT: N/A Signature: [Signature]	INSPECTION: Use Group: R-3 Type: SB BOCA 1999 Signature: [Signature]	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: tmm	Date Applied For: 02/19/2004	Zoning Approval		
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 2/24/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input checked="" type="checkbox"/> Approved For Deb Andrews <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 2/24/04
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4-6-12 DWM Tom 409-8081
 Final outlet spacing not to code
 Verify results of Framing Inspection
 need SD requirements
 4-17-12 DWM Reviewed w/Director
 OK to close

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

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SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

3/10/04 Close in of PT Floor of Dining extension.

Contractor on site verified the removal of existing inadequate piers - New sonas on Footings Fastened to Framing.

OK to insulate & close JB



CITY OF PORTLAND, MAINE

Department of Building Inspections

Feb 18 2004

Received from Rapi 2 America Building

Location of Work 32 Bouchard

Cost of Construction \$ _____

Permit Fee \$ 102.00

Building (IL) Plumbing (IS) _____ Electrical (IZ) _____ Site Plan (UZ) _____

Other _____

CBL: 070 D 005

Check #: 4181

Total Collected \$ 102.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit

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Permit No: 04-0132	Date Applied For: 02/19/2004	CBL: 070 D005001
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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: single family - make structural repairs to dining floor , bay window, and enlarge masonry door opening	Proposed Project Description: make structural repairs to dining floor , bay window, and enlarge masonry door opening
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Dept: Historical	Status: Approved	Reviewer: Deborah Andrews	Approval Date: 02/24/2004
Note: ok per deb andrews on 02/24/2004			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 02/24/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 02/24/2004
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments: 2/19/2004-tmm: need stair details and plot plan - plans show adding new french doors - called builder left message
--

Prmt

11224

New

04-0132

52

Bowdoin St

Hold

Alterations - Dwellings

070 D005001

2

\$9,000.00

imm

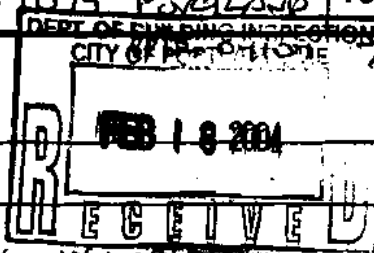
02/19/2004

imm

02/15

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>52 Bowdoin</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Chart# <u>070</u> Block# <u>D</u> Lot# <u>005</u>	Owner: <u>RICHARD & ALICE SPENCER</u>	Telephone: <u>7973381</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>PAPI ROMANO BLDGS, INC</u> <u>P.O. BOX 1079 PORTLAND</u>	Cost Of Work: \$ <u>9,000.00</u> Fee: \$
Current use: <u>Enclosed Porch</u>		\$ <u>160.00</u>
If the location is currently vacant, what was prior use:		
Approximately how long has it been vacant:		
Proposed use: <u>SAME USE, replacing windows</u>	Project description: <u>when removing old windows roof and struct deficiencies REPAIRING DEFICIENCIES</u>	
Contractor's name, address & telephone:	<u>PAPI ROMANO BLDGS, INC.</u> <u>P.O. BOX 1079 PORTLAND, ME 04104</u>	
Who should we contact when the permit is ready:	<u>RIK ROMANO</u>	
Mailing address:	<u>P.O. BOX 1079 PORTLAND ME 04104</u>	
<p>We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:</p>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Rik Romano</u>	Date: <u>2/17/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

WORK INCLUDES: SEE ATTACHED DRAWINGS

- 1) NEW DINING AREA FLOOR FRAMING 2) ANGLE BAY STRUCTURAL REPAIR 3) ENLARGE MASONRY DOOR OPENING

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**

Six Q Street
South Portland, ME 04106
Phone: (207) 767-4830
Fax: (207) 799-5432

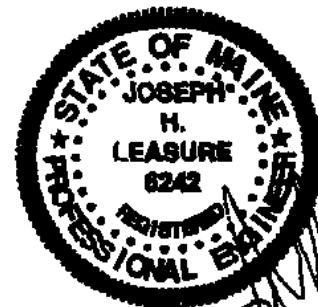
SPENCER RESIDENCE

52 BOWDION STREET
PORTLAND, MAINE

STRUCTURAL REPAIRS

Prepared for: Papi & Romano Builders
P. O. Box 1079
Portland, Maine 04104

Submission Date: February 5, 2004
Drawings Submitted: S1-S5



GENERAL NOTES:

1. The notes on the drawings are not intended to replace specifications. See specifications for requirements in addition to general notes.
2. Structural drawings shall be used in conjunction with job specifications and architectural, mechanical, electrical, plumbing, and site drawings. Consult these drawings for locations and dimensions of openings, chases, inserts, reglets, sleeves, depressions, and other details not shown on structural drawings.
3. All dimensions and conditions must be verified in the field. Any discrepancies shall be brought to the attention of the engineer before proceeding with the affected part of the work. Do not scale plans.
4. The structure is designed to be self supporting and stable after the Building is complete. It is the contractor's sole responsibility to determine erection procedures and sequencing to ensure the safety of the building and its components during erection. This includes the addition of necessary shoring, sheeting temporary bracing, guys or tie-downs. Such material shall remain the property of the contractor after completion of the project.
5. Sections and details shown on any structural drawings shall be considered typical for similar conditions.
6. All applicable federal, state, and municipal regulations shall be followed, including the federal department of labor occupational safety and health act.

DESIGN LOADS:

1. Building code: BOCA Basic Building Code (1999)
2. Design Loads shall be in accordance with the building code.
Roof (snow) Live Load..... 42 PSF (plus drift as applicable)
Floor Load 40 PSF
3. Lateral loads (wind and seismic) shall be in accordance with the code.

TIMBER FRAMING:

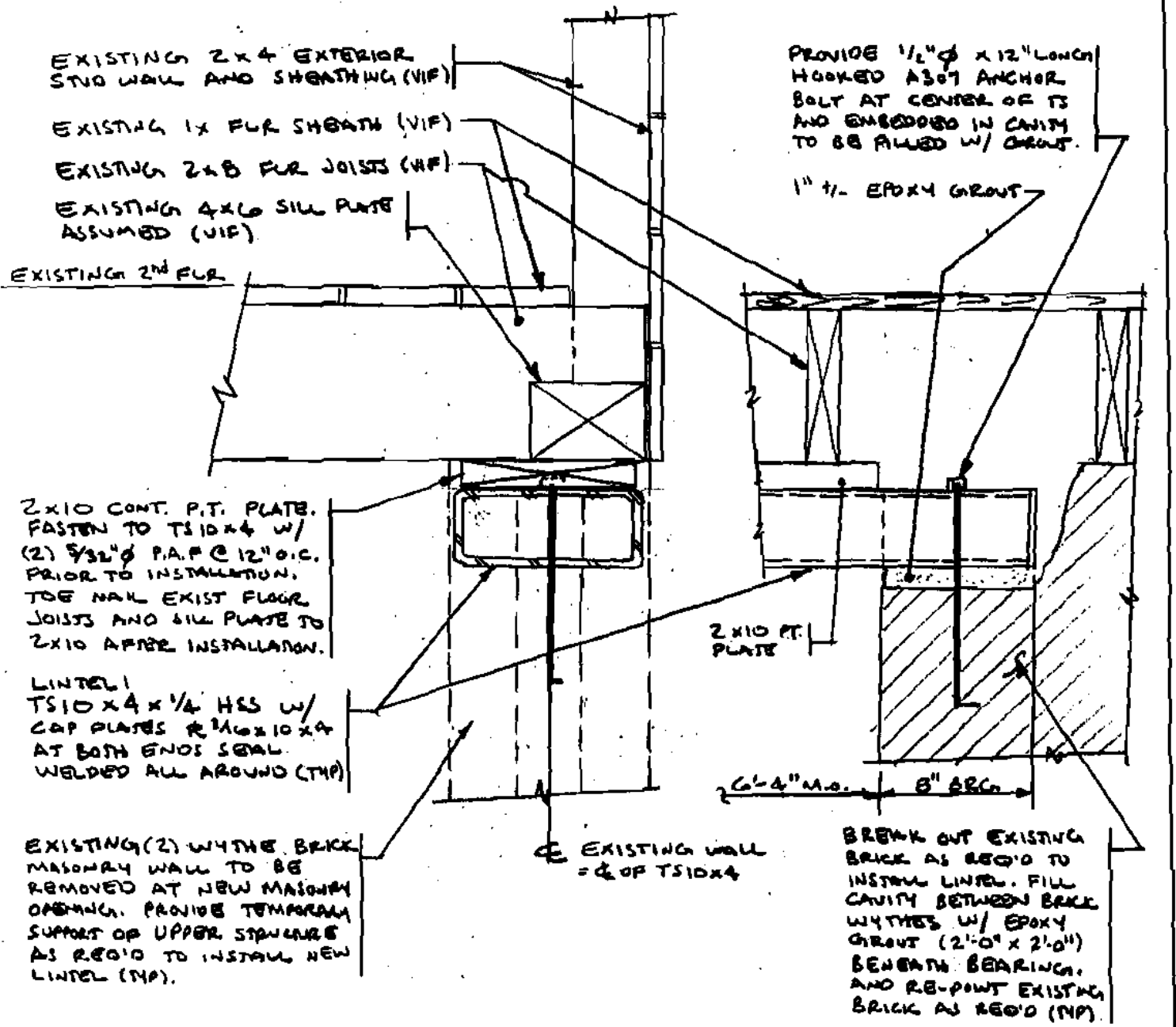
1. All timber framing shall be in accordance with the AITC Timber Construction Manual or the National Design Specification (NDS) -Latest editions.
2. Individual timber framing members shall be visually graded, minimum grade #2 Spruce-Pine-Fr (SPF), kiln dried 19% maximum moisture content.
3. All lumber in contact with concrete shall be pressure treated. Timber shall be southern yellow pine treated with CCA to 0.4 #/CF in accordance with AWPA C-18.
4. Provide solid 2x timber bridging, double nailed at each end, at 8 feet maximum spacing for all dimensional lumber floor framing.
5. Standard metal connectors shall be used at all timber to timber connections or as noted on the design drawings.
6. Nailing not specified shall conform with BOCA appendix C.
7. Provide 19/32" thick APA rated sheathing on roof framing.
8. Provide 15/32" thick APA rated sheathing on exterior wall framing.
9. Provide 23/32" thick APA rated sheathing on floor framing.

designed by: JHL	SPENCER RESIDENCE 52 BOWDION STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04106
drawn by: JHL		
checked by: MFL		
scale: NOTED		
date: 2/5/04		
GENERAL NOTES		PHONE: (207) 787-4830 FAX: (207) 799-8432 EMAIL: LLEN@AOL.COM
		S1

STRUCTURAL STEEL NOTES:

1. Structural steel fabrication, erection, and connection design shall conform to AISC "Specification for the design, fabrication, and erection of structural steel"—Ninth edition.
2. Structural steel:
 - a. Structural steel shall conform to ASTM A-36.
 - b. Structural tubing shall conform to ASTM A-500 GR.B.
 - c. Structural pipe shall conform to ASTM A-53, TYPE E or S.
3. Design connections for the reactions shown on the drawings or the maximum end reaction that can be produced by a laterally supported uniformly loaded beam for each given beam size and span.
4. Field connections shall be bolted using 3/4"Ø ASTM A325 high strength bolts except where field welding is indicated on the drawings.
5. All welding shall conform to AWS D1.1—Latest edition. Welding electrodes shall be E70XX.
6. The structural steel beam shall be coated with TMEC 10-99 zinc rich primer plus a top coat of TMEC Series 2 TMEC-gloss enamel, 3.0 to 5.0 mils dry thickness, or approved equal. Paint color shall be selected by owner.
7. All structural steel shall be coated as follows or approved equal:
Primer shall be TMEC 10-99 zinc rich primer. Top coat shall be TMEC Series 2 TMEC-gloss enamel, 3.0 to 5.0 mils dry thickness. Color per owner.

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		S2



EXISTING 2x4 EXTERIOR
STUD WALL AND SHEATHING (VIF)
EXISTING 1x FLOOR SHEATH (VIF)
EXISTING 2x8 FLOOR JOISTS (VIF)
EXISTING 4x6 SILL PLATE
ASSUMED (VIF)

PROVIDE 1/2" ϕ x 12" LONG
HOOKED A307 ANCHOR
BOLT AT CENTER OF TS
AND EMBEDDED IN CAVITY
TO BE FILLED W/ GROUT.

1" \pm EPOXY GROUT

EXISTING 2ND FLOOR

2x10 CONT. P.T. PLATE.
FASTEN TO TS10x4 W/
(2) 5/8" ϕ P.A.F @ 12" O.C.
PRIOR TO INSTALLATION.
TOE NAIL EXIST FLOOR
JOISTS AND SILL PLATE TO
2x10 AFTER INSTALLATION.

LINTEL
TS10x4x1/4 HSS W/
CAP PLATES & 2x10x4
AT BOTH ENDS SEAL
WELDED ALL AROUND (TYP)

EXISTING (2) WYTHE BRICK
MASONRY WALL TO BE
REMOVED AT NEW MASONRY
OPENING. PROVIDE TEMPORARY
SUPPORT OF UPPER STRUCTURE
AS REQ'D TO INSTALL NEW
LINTEL (TYP).

EXISTING WALL
= ϕ OF TS10x4

BREAK OUT EXISTING
BRICK AS REQ'D TO
INSTALL LINTEL. FILL
CAVITY BETWEEN BRICK
WYTHES W/ EPOXY
GROUT (2'-0" x 2'-0")
BENEATH BEARING,
AND RE-POINT EXISTING
BRICK AS REQ'D (TYP).

SECTION AT NEW M.O. INTO PORCH
1/2" = 1'-0"

SECTION @ LINTEL BEARING
1/2" = 1'-0"

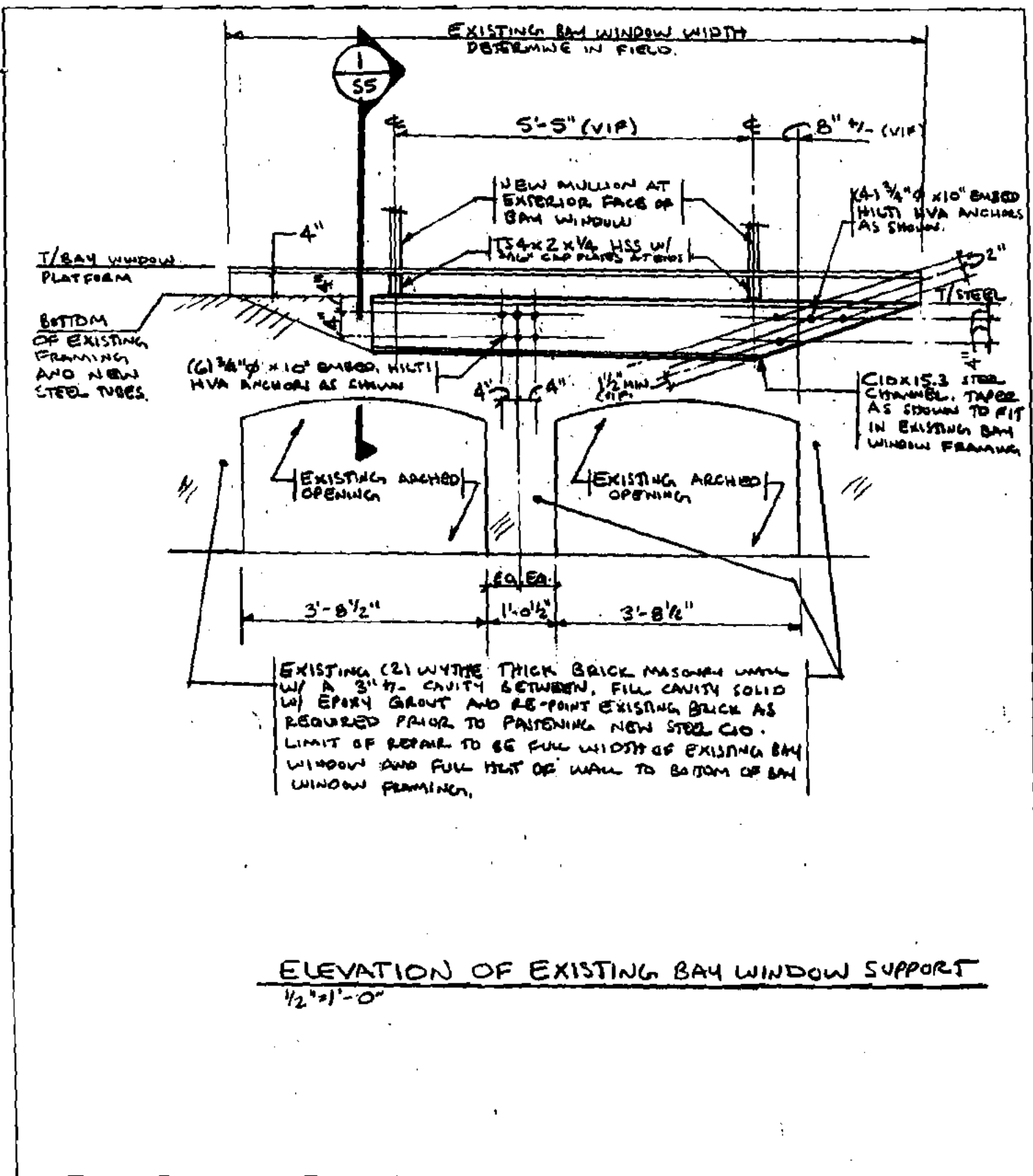
designed by:	JHL
drawn by:	JHL
checked by:	MFL
scale:	NOTED
date:	2/5/04

SPENCER RESIDENCE
BOWDION STREET
PORTLAND, MAINE

LINTEL ABOVE NEW M.O. INTO PORCH
SECTIONS & DETAILS

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
SIX D STREET
SOUTH PORTLAND, MAINE 04106

PHONE: (207) 787-1830
FAX: (207) 788-5432
EMAIL: LL@L&L.COM



ELEVATION OF EXISTING BAY WINDOW SUPPORT
1/2" = 1'-0"

designed by:	JHL	SPENCER RESIDENCE BOWDION STREET PORTLAND, MAINE	L & L STRUCTURAL ENGINEERING SERVICES, INC. SIX O STREET SOUTH PORTLAND, MAINE 04108
drawn by:	JHL		
checked by:	MFL		
scale:	NOTED		
date:	2/5/04		
ELEVATION OF EXISTING BAY WINDOW SUPPORT		PHONE (207) 787-4830 FAX (207) 788-8432 EMAIL LLEIDRACK.COM	54

2 1/2" x 4" x 10" (2) 1/2" x 5" BRASS
 BACK WALL w/ (2) 1/2" x 5" BRASS
 RAISE POWER FAST ADVISIVE ANCHORS
 2" x 6" (ONE TOP & ONE BOT) PLUS
 (5) 1/2" x 5" ANCHORS AT EACH END
 CONNECTION (4 PLACES) TYP. ALL
 ANCHORS SHALL BE STAINLESS STEEL

10" x 6" COLUMNS FULLY BRACED
 w/ 1-84 AT CENTER POINT
 INTO 2'-0" SQ x 10" THICK
 CONC. PTD w/ 3-84 BR I/J
 1" DIA. FROM BOTTOM (4-PLCS
 TYP)

(2) 12" x 12" PT. CORR. STEEL JOIST
 SUPPORTED ON CORR. STEEL OR
 DRILLED BEAMS (TYP.)

3/4" APA BORED PLYWOOD
 SHEATHING. FASTENED w/ CORR.
 ANCHORS AND 18# NAILS
 CONC. (TYP.)

Existing Window
 to be replaced

SIMPLED HORIZ. 2" x 12" x 12"
 (2 PLACES TYP.)

NOTE: ALL FORMER WINDOWS
 SHALL BE CONSIDERED PERMIT
 (2 MAX) OPEN (GLASS)

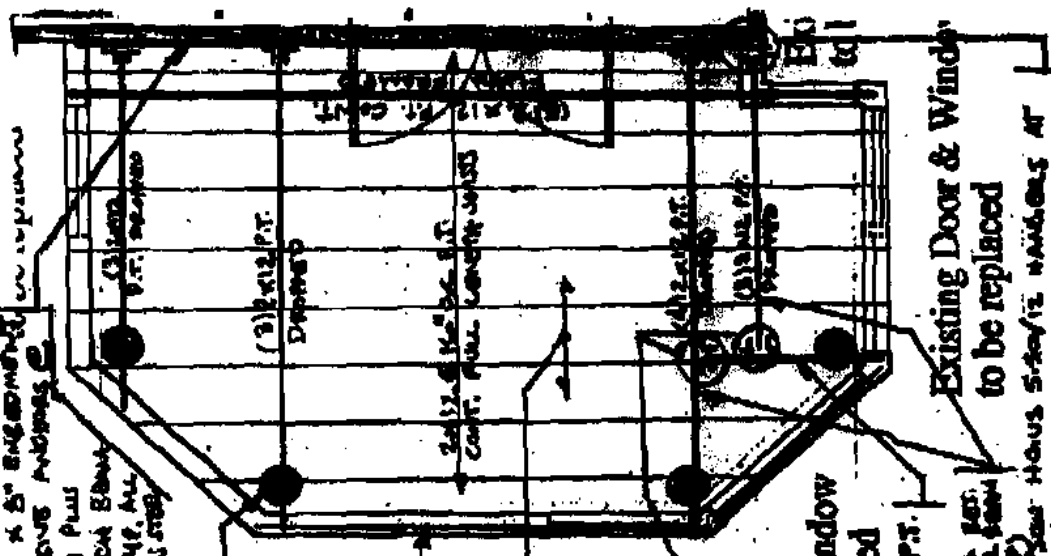
Existing Window
 to be replaced

(3) 2" x 2" PT.
 DRILLED

REMOVE SAND FILL, BRASS JOIST,
 JOIST ABOVE FIRST FLOOR, JOIST
 AT CENTER LINGERED JOIST (TYP)

EXISTING DOOR & WINDOW
 TO BE REPLACED

REMOVE HOUSE STAFFE HANDERS AT
 EACH CORN. TO BRASS (4 PLACES).
 SHIM TRIM AT TRAILING END. SHIM
 NORTH & PUT BRASS SHIM 2 1/2" x 4"
 WITH LOGS TO PUT TRIM. HOLD BRASS
 BRASS BRASS. HOLD BRASS TO BRASS
 BRASS (TYP)



View From Rear Yard



Existing Partial Floor Plan

1/4" = 1'-0"

PARTIAL FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~J. Reynolds~~, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a ~~\$100~~ fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

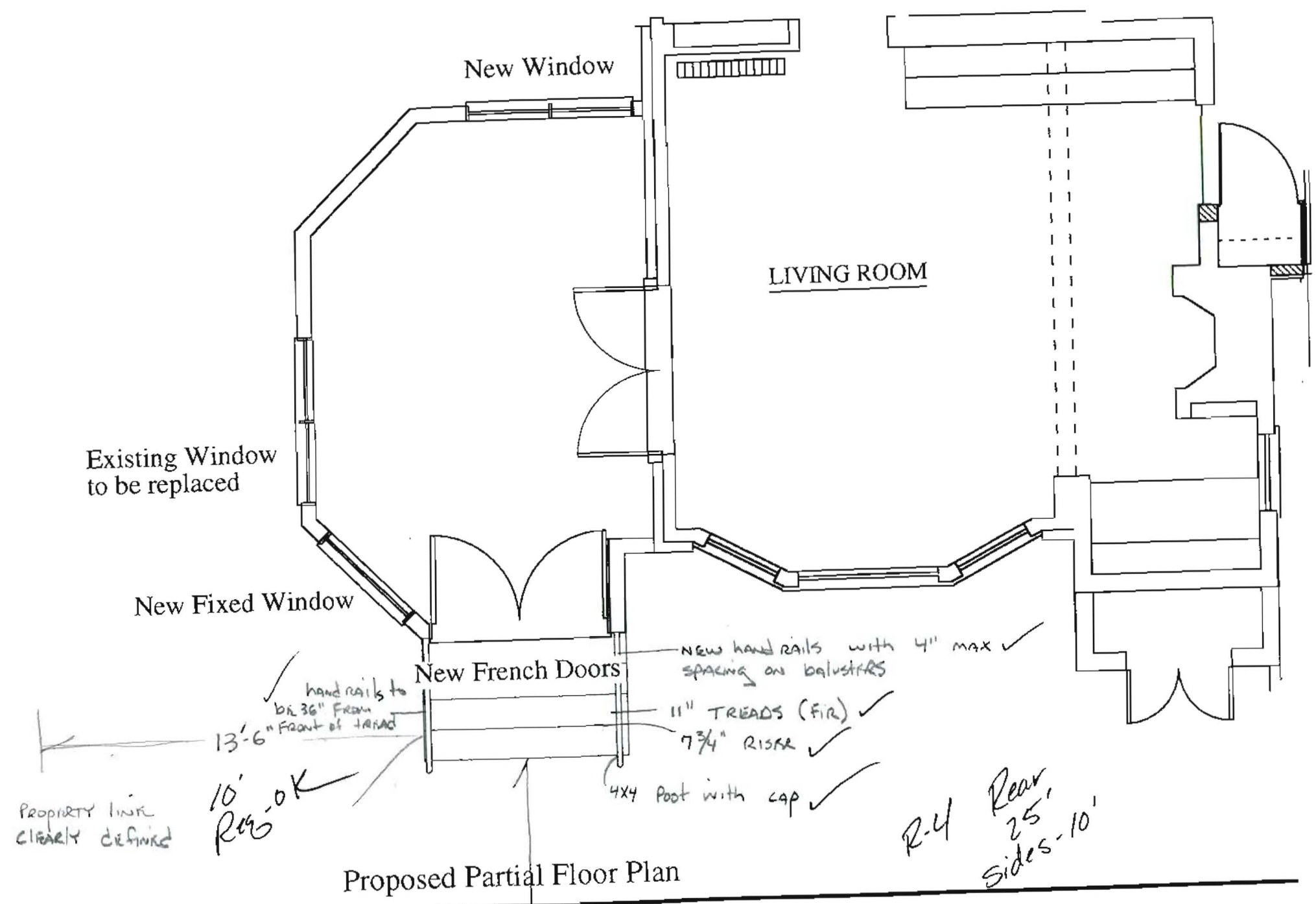
Date

Signature of Inspections Official

Date

CBL: 070 D005 Building Permit #:

040132



Proposed Partial Floor Plan

1/4" = 1'-0"

38' - OK
25' Req.

PROPERTY LINE CLEARLY DEFINED

~~REVIS~~



Existing East Elevation

1/4" = 1'-0"



Existing South Elevation (Cemetery View)

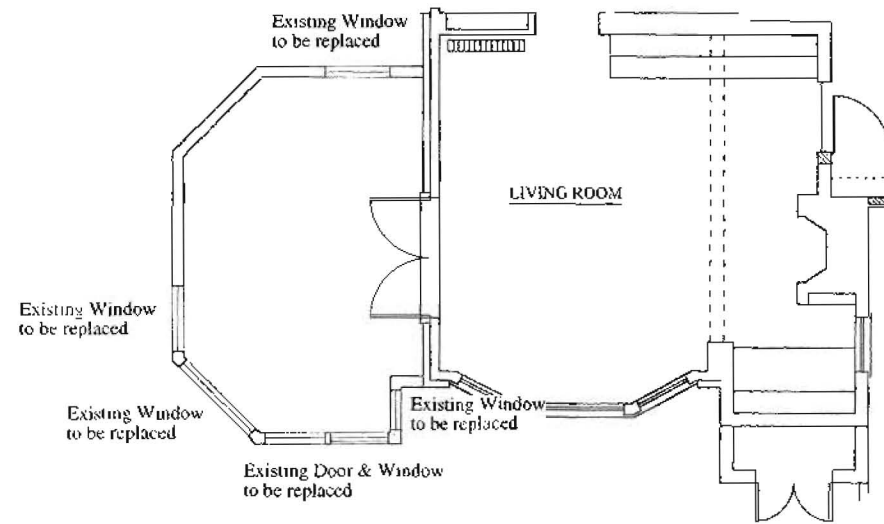
1/4" = 1'-0"



View From Entry Porch - Bowdoin Street Side

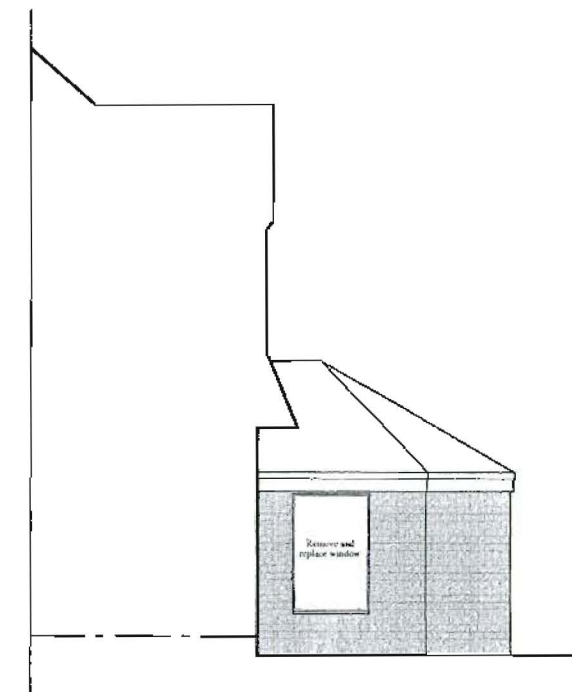


View From Rear Yard



Existing Partial Floor Plan

1/4" = 1'-0"



Existing North Elevation (Bowdoin Street View)

1/4" = 1'-0"



View From Bowdoin Street



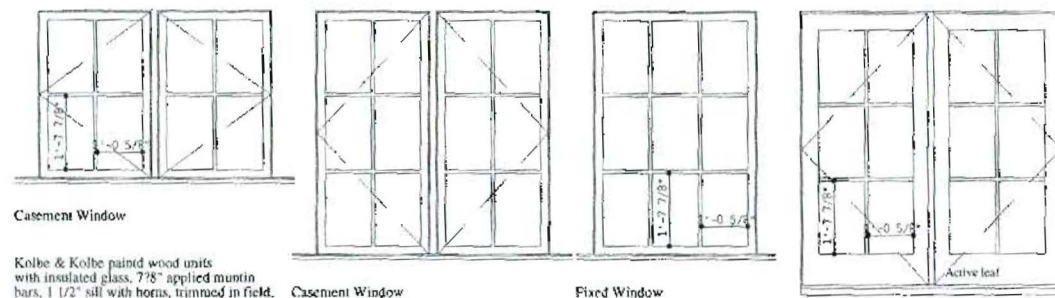
Existing East Elevation

1/4"=1'-0"



Proposed South Elevation (Cemetery View)

1/4"=1'-0"



Casement Window

Kolbe & Kolbe painted wood units with insulated glass, 7/8" applied muntin bars, 1 1/2" sill with horns, trimmed in field.

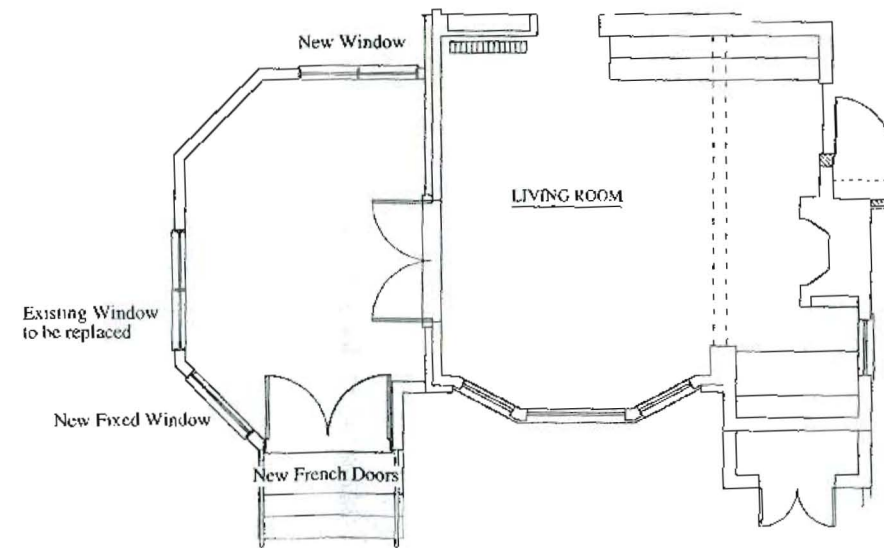
Casement Window

Fixed Window

French Doors with Mahogany Storm/ Screen Panels

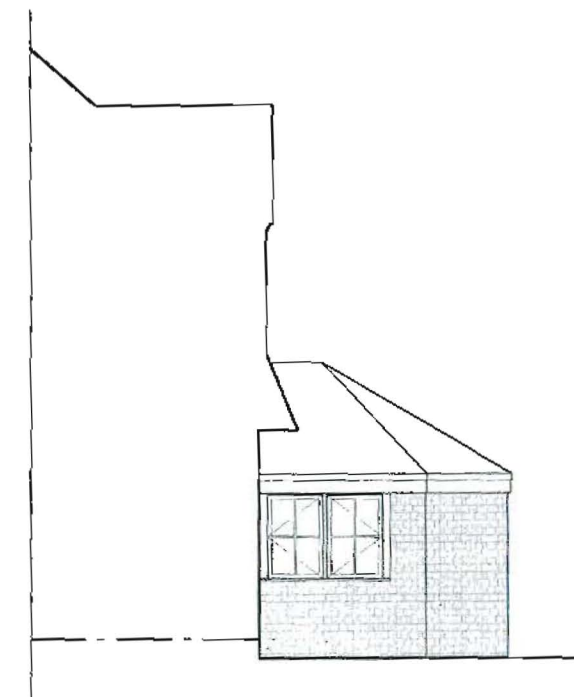
Proposed Partial Floor Plan

1/2"=1'-0"



Proposed Partial Floor Plan

1/4"=1'-0"



Proposed North Elevation (Bowdoin Street View)

1/4"=1'-0"