

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

## BUILDING INSPECTION

### PERMIT

Please Read Application And Notes, If Any, Attached

Permit Number: 071174

**PERMIT ISSUED**  
SEP 26 2007  
CITY OF PORTLAND

This is to certify that MILLSPAUGH GORDON AND LAURA WIS JTS/Ray and

has permission to cut new doorway into existing foundation doorway elevation

AT 58 BOWDOIN ST 070 D004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas M. Mabley* 9/25/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

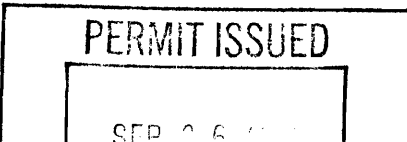
Permit No: 07-1174	Issue Date:	CBL: 070 D004001
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Location of Construction: 58 BOWDOIN ST	Owner Name: MILLSPAUGH GORDON A & LA	Owner Address: 56 BOWDOIN ST	Phone:
Business Name:	Contractor Name: Raymond Keith	Contractor Address: 1 Bowdoin St. Portland	Phone 2078719348
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R4

Past Use: Single Family Home	Proposed Use: Single Family Home - cut new doorway into existing foundation @doorway elevation.	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: cut new doorway into existing foundation @doorway elevation.	Signature:	Signature: <i>jm 9/25/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: ldobson	Date Applied For: 09/21/2007	<b>Zoning Approval</b>
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/25/07 2</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/25/07</i> <i>D. Andrew B</i>
			

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-1174	<b>Date Applied For:</b> 09/21/2007	<b>CBL:</b> 070 D004001
------------------------------	--	----------------------------

<b>Location of Construction:</b> 58 BOWDOIN ST	<b>Owner Name:</b> MILLSPAUGH GORDON A & LA	<b>Owner Address:</b> 56 BOWDOIN ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Raymond Keith	<b>Contractor Address:</b> 1 Bowdoin St. Portland	<b>Phone</b> (207) 871-9348
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Single Family Home - cut new doorway into existing foundation @doorway elevation.	<b>Proposed Project Description:</b> cut new doorway into existing foundation @doorway elevation.
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<b>Dept:</b> Historic	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Scott Hanson	<b>Approval Date:</b> 09/21/2007
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Door frame to be pulled forward, flush with face of brick . Concrete cut to be same width as door frame, no step-back. Door to be Simpson # 7282, not #7220 as proposed. No watertable over door. In order to be recessive, door should be painted dark green, surrounding trim to be cream.			

<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 09/25/2007
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) ANY exterior work requires a separate review and approval thru Historic Preservation. This property is located within an Historic District.			
2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 09/25/2007
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			

<b>Comments:</b> 9/25/2007-tm: left messages for Historic to have Scott call to give approval for permit
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Attn: Tom Markley



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>56 Bowdoin St.</u>			Total Square Footage of Proposed Structure/Area _____		Square Footage of Lot _____	
Tax Assessor's Chart, Block & Lot Chart# <u>70</u> Block# <u>D</u> Lot# <u>4</u>			Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Alex Millspaugh</u> Address <u>56 Bowdoin St</u> City, State & Zip <u>Portland 04102</u>		Telephone: <u>780-1970</u>	
Lessee/DBA (If Applicable) _____			Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____		Cost Of Work: \$ <u>5,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>70</u>	
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>cut new driveway into existing foundation at driveway elevation. This project has been approved thru Historic Review.</u>						
Contractor's name: <u>Raymond T. Keith</u> Address: <u>1 Bowdoin St.</u> City, State & Zip <u>Portland, ME. 04102</u>			Telephone: _____			
Who should we contact when the permit is ready: <u>Ray Keith</u>			Telephone: <u>329-2308</u>			
Mailing address: <u>1 Bowdoin St. Port. 04102</u>						

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Ray T. Keith Date: 9/21/07

**This is not a permit; you may not commence ANY work until the permit is issue**

Attn: Tom Markley

**CITY OF PORTLAND, MAINE**  
**HISTORIC PRESERVATION BOARD**

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John Turk, Chair  
Rick Romano, Vice Chair  
Otis Baron  
Martha Deprez  
Kimberley Geyer  
Ted Oldham  
Cordelia Pitman

September 24, 2007

Gordon and Laura Lewis-Millsbaugh  
56 Bowdoin Street  
Portland, Maine 04102

Re: Exterior Alterations; 56 Bowdoin Street

Dear Mr. and Mrs. Lewis-Millsbaugh:

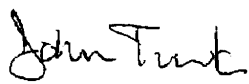

On March 21, 2007, the City of Portland's Historic Preservation Board reviewed your application for a Certificate of Appropriateness for exterior alterations to your home at 56 Bowdoin Street. Following deliberations, the Board voted 5-0 (Romano, Geyer absent) to approve the application, subject to the following conditions:

- Door frame to be pulled forward, flush with face of brick .
- Concrete cut to be same width as door frame, no step-back.
- Door to be Simpson # 7282, not #7220 as proposed.
- No watertable over door.
- In order to be recessive, door should be painted dark green, surrounding trim to be cream.

All improvements shall be carried out as shown on the plans and specifications submitted for the 3/21/07 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

John Turk, Chair  
Historic Preservation Board

cc: Approval Letter File  
Building Inspections

FAX JOURNAL REPORT

TIME : 09/25/2007 08:08  
 NAME :  
 FAX : 2078748716  
 TEL :  
 SER.# : 000D7J529371

NO.	DATE	TIME	FAX NO./NAME	DURATION	PAGE(S)	RESULT	COMMENT
#101	09/12	20:59	207 772 3388	25	01	OK	RX
#102	09/13	08:21	917812786804	02:01	06	OK	TX ECM
	09/13	11:01	93355576	02:05	07	OK	TX ECM
	09/13	12:24		01:33	14	OK	RX ECM
#103	09/13	15:05	95532313	44	04	OK	TX ECM
	09/13	18:59	207 772 3388	25	01	OK	RX
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#105	09/14	15:38	98540635	19	01	OK	TX ECM
	09/15	17:45	207 772 3388	25	01	OK	RX
	09/16	10:30	5132791543	19	01	OK	RX ECM
	09/17	07:54		48	02	OK	RX ECM
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	09/17	08:49		34	01	OK	RX ECM
#106	09/17	09:46	97741116	13	01	OK	TX ECM
#107	09/17	10:37	98545415	27	01	OK	TX ECM
	09/17	13:40	8785216	45	01	OK	RX
	09/17	13:55	2077746471	25	02	OK	RX ECM
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	09/17	14:08	2077673804	19	02	OK	RX ECM
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#118	09/24	13:46	97818437	52	03	OK	TX ECM
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BUSY: BUSY/NO RESPONSE  
 NG : POOR LINE CONDITION / OUT OF MEMORY  
 CV : COVERPAGE  
 POL : POLLING  
 RET : RETRIEVAL  
 PC : PC-FAX

KAPLAN THOMPSON  
ARCHITECTS

TRANSMITTAL

TO: LANNY ROBSON .

VIA: FAX 874-8716

DATE: 9/21/07

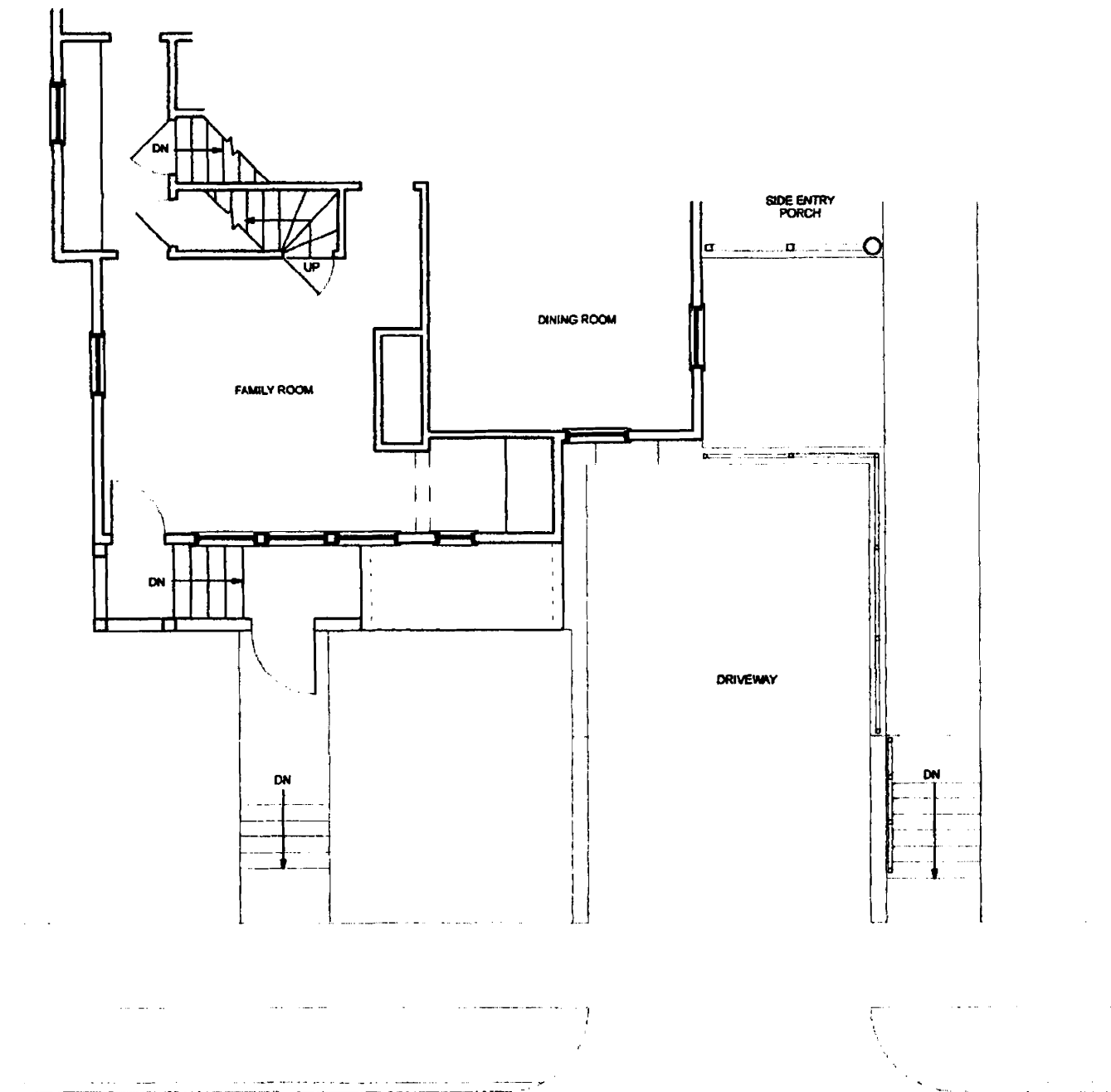
PAGES: 2

RE: LEWIS, 56 BOWDOIN ST.

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SITE PLAN AS REQUESTED  
FOR RAY KEITH, BUILDER

SEE ATTACHED.



**Lewis- Millspaugh Renovations, Alex & Winky Lewis- Millspaugh,**

Drawing: Partial Site Plan

56 Bowdoin Street, Portland, ME

Scale: 1/8" = 1'-0"

Date: November 30, 2006

**PHIL KAPLAN  
ARCHITECT**

424 fore st., portland, me 04101  
207-842-2888 fax:842-2828

**SP-01**



Winkler & Hley # - 780-1970

KAPLAN THOMPSON  
ARCHITECTS

Pete Chau.  
# 3875

**Portland Historic Preservation Board- Application for Certificate of Appropriateness**

March 12, 2007

Lewis/ Millspaugh Residence - Exterior renovations  
56 Bowdoin Street  
Portland, Maine

**Description of Proposed Project – Revised Scheme:**

Existing bulkhead to remain. A new door shall be installed on the driveway side of the bulkhead for access directly to the basement from the driveway. The following is a list of features that will be incorporated into the design of the new opening:

- Door threshold shall be 4" above existing driveway surface to avoid drainage issues during rain or snow. (Recessing door to align with existing basement window is cost prohibitive and would create safety issues in order to provide an adequate drainage system.) See Section detail 2/A-200.
- Door shall be Simpson Douglas fir exterior door 7220 V.G. Flat Panel with field applied ogee panel trim. Color shall match existing trim color. See West Elevation on A-100.
- Brick moulding at perimeter of door frame shall match existing at basement window as closely as possible. See attached photo. Color shall match existing trim color. See details 1/A-200.
- Existing concrete wall shall be cut to provide enough width for the new door, brick mould and 4" on each side for a future brick veneer. The future brick veneer shall return into the new door opening at each side.
- Existing stone foundation wall to each side of new door opening shall be covered with a cementitious parging to match the color of the existing concrete as closely as possible.
- Watertable detail to be repeated at head of new opening.

Drawings

A-100 West Elevation  
A-101 North Elevation  
A-200 Jamb Details  
A-201 Perspective Sketch

Photographs

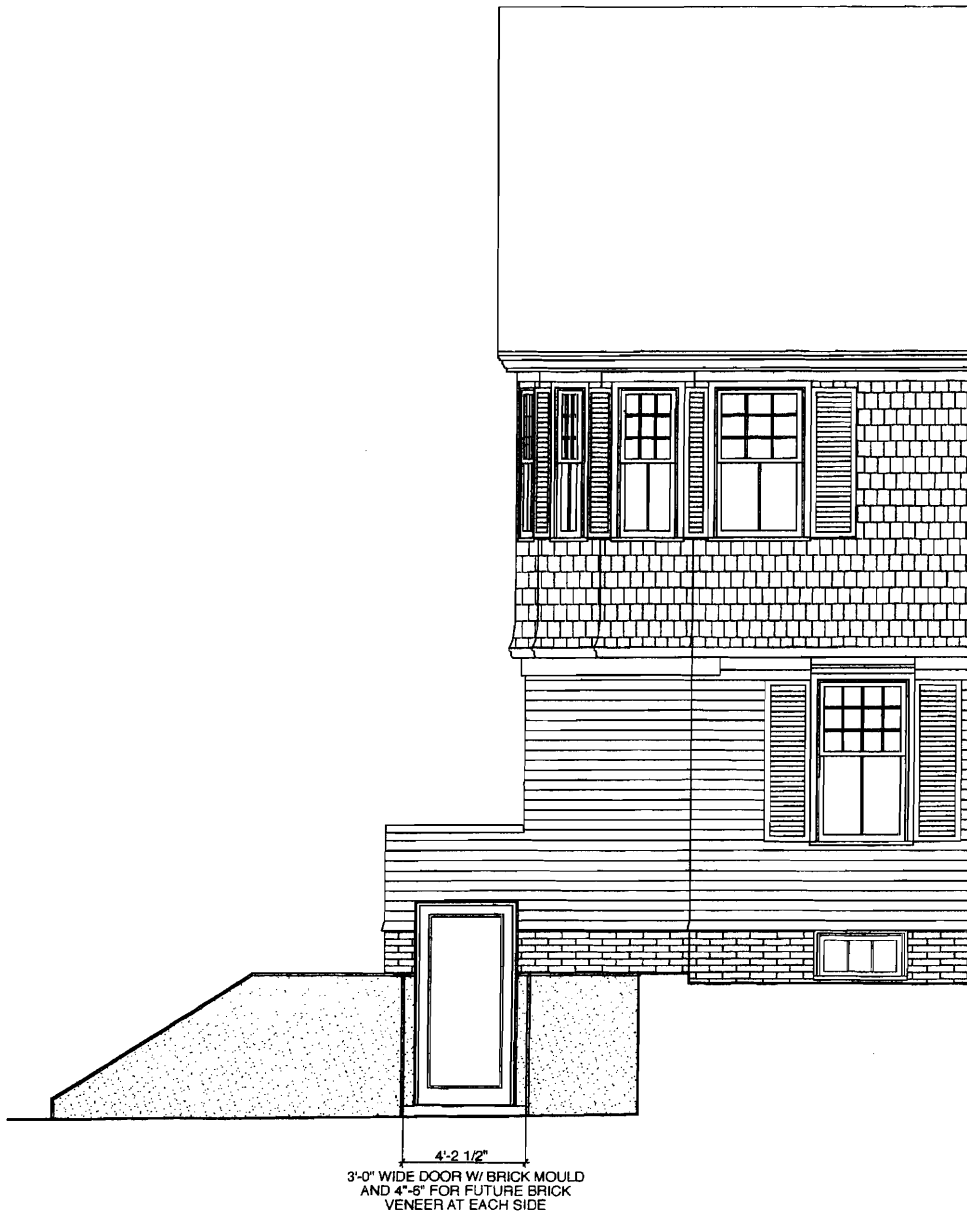
A-300 Looking at Northwest corner of existing house  
A-301 Existing basement window brick mould details  
A-302 Looking at entry door of existing house

Other

Cut sheet from Simpson Door Catalog showing proposed door elevation

Casco Bay Engineer  
Eric Dube

842-2800



1 West Elevation  
SCALE: 1/4" = 1'-0"

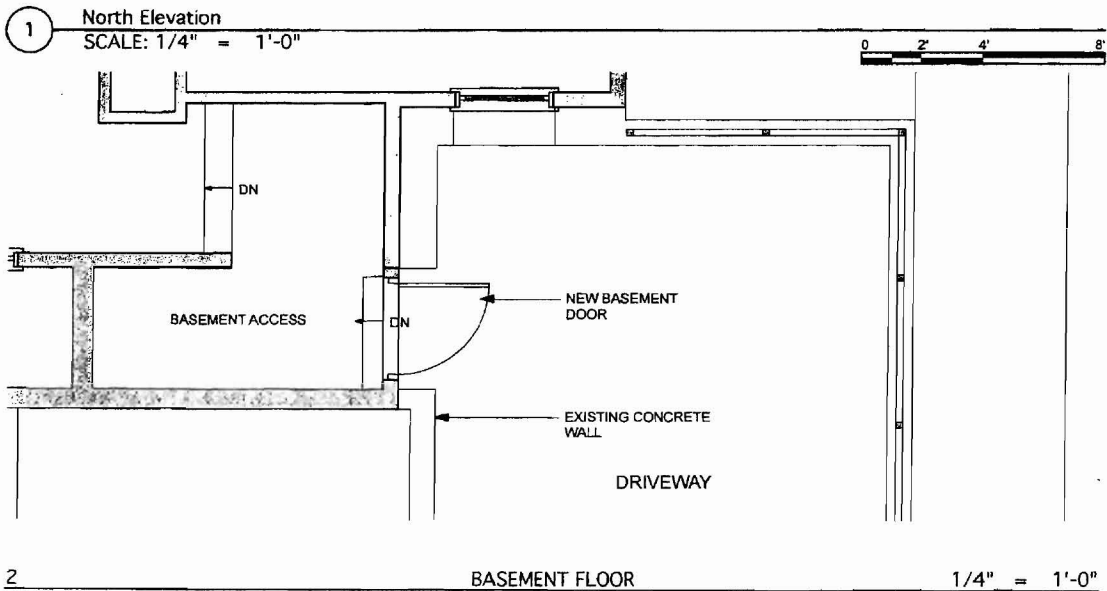


**KAPLAN THOMPSON**  
ARCHITECTS  
424 FORE ST., PORTLAND, ME 04101  
207-842-2888 FAX:842-2828

PROJECT:  
**RENOVATION**  
ALEX MILLSPAUGH & WINKY  
LEWIS  
56 BOWDOIN STREET  
PORTLAND, ME

DRAWING: West Elevation  
SCALE: 1/4" = 1'-0"  
DATE: MARCH 12, 2007  
DRAWN BY: MJC  
REVISED:

**A-100**

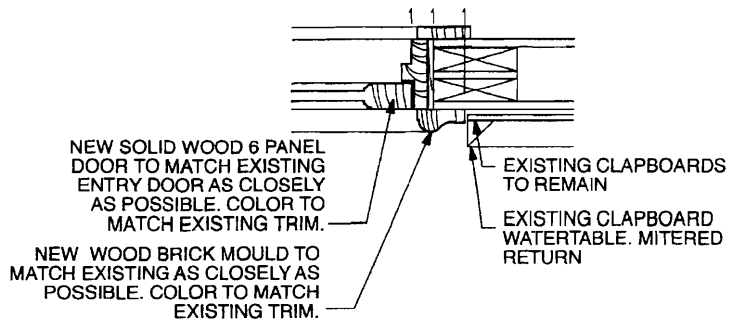


**KAPLAN THOMPSON**  
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424 FORE ST., PORTLAND, ME 04101  
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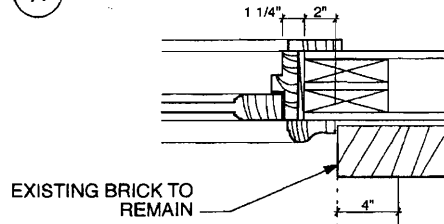
PROJECT:  
**RENOVATION**  
ALEX MILLSPAUGH & WINKY  
LEWIS  
56 BOWDOIN STREET  
PORTLAND, ME

DRAWING: North Elevation  
SCALE: 1/4" = 1'-0'  
DATE: MARCH 12, 2007  
DRAWN BY: MJC  
REVISED:

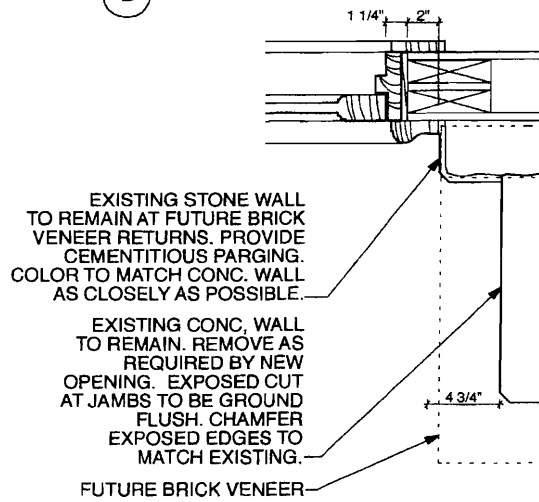
**A-101**



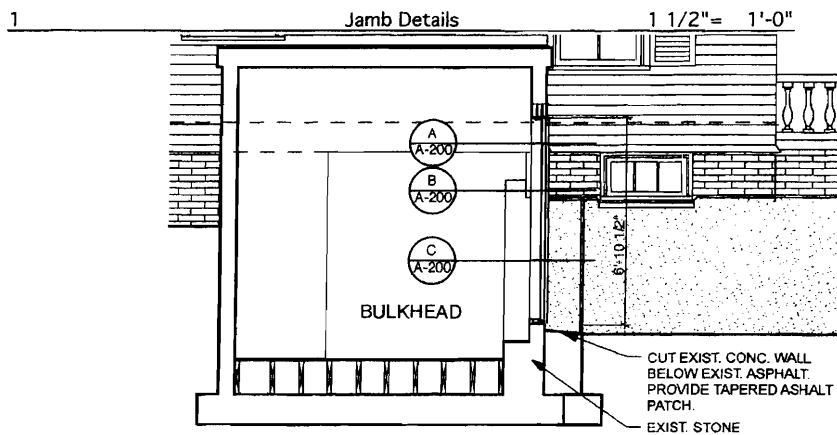
**(A) NEW DOOR AT EXISTING CLAPBOARDS**



**(B) NEW DOOR AT EXISTING BRICK VENEER**



**(C) NEW DOOR AT EXISTING STONE & CONCRETE WALLS**



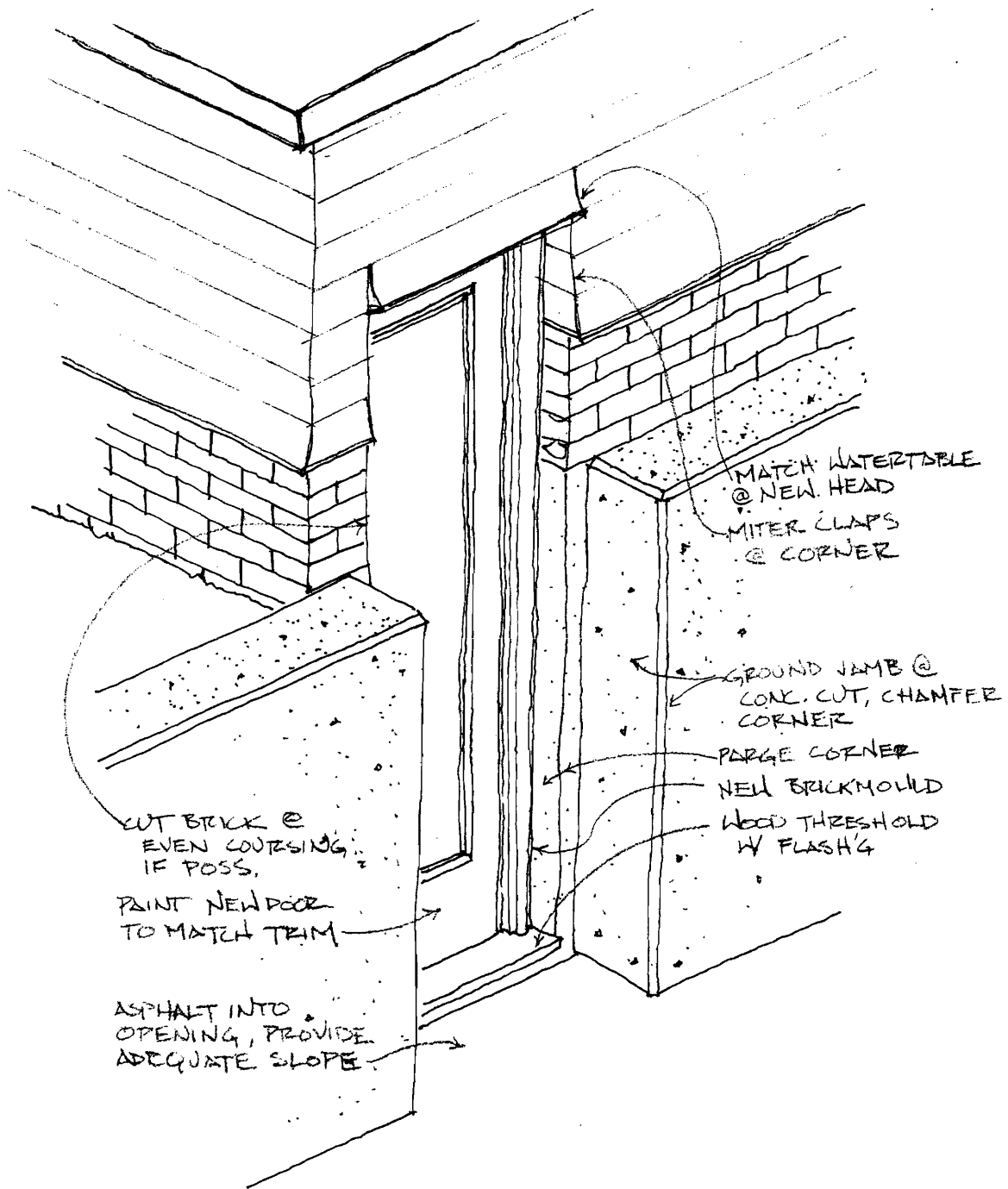
**2 SECTION 1/4" = 1'-0"**

**KAPLAN THOMPSON ARCHITECTS**  
 424 FORE ST., PORTLAND, ME 04101  
 207-842-2888 FAX:842-2828

**PROJECT: RENOVATION**  
 ALEX MILLSPAUGH & WINKY LEWIS  
 56 BOWDOIN STREET  
 PORTLAND, ME

**DRAWING: Jamb Details**  
 SCALE: 1 1/2" = 1'-0"  
 DATE: MARCH 12, 2007  
 DRAWN BY: MJC  
 REVISED:

**A-200**



700

**KAPLAN THOMPSON**  
ARCHITECTS  
424 FORE ST., PORTLAND, ME 04101  
207-842-2888 FAX: 842-2828

PROJECT:  
**RENOVATION**  
ALEX MILLSPAUGH & WINKY  
LEWIS  
56 BOWDOIN STREET  
PORTLAND, ME

DRAWING: PERSPECTIVE SKETCH  
SCALE: 1"=1'-0"  
DATE: MARCH 12, 2007  
DRAWN BY: MJC  
REVISED:

**A-201**



**RENOVATION, ALEX MILLSPAUGH & WINKY LEWIS,**  
56 BOWDOIN STREET, PORTLAND, ME

**DRAWING:** Photo looking at Northwest corner of existing house

**SCALE:**

**DATE:** MARCH 12, 2007

KAPLAN THOMPSON  
ARCHITECTS

424 FORE ST., PORTLAND, ME 04101  
207-842-2888 FAX: 842-2828

**A-300**