

**Listed below are key characters (in bold) for searching within this file.**

**Hold down the control key and select the “f” key. Enter either a key character from the list below or document name and select enter for a list of documents containing the search word you entered.**

**APL** – all documents behind this target sheet pertain to the original application submitted by the Applicant.

**PBM1** – all documents behind this target sheet are any Planning Board memos with attachments that went to the Board.

**PBR1** - all documents behind this target sheet are any Planning Board reports with attachments that went to the Board.

**CC1** - all documents behind this target sheet are any City Council memos/reports that went to the City Council.

**DRC1** - all documents behind this target sheet are those pertaining to the post review of the project by the Development Review Coordinator.

**MISC1** - all documents behind this target sheet are those that may not be included in any of the categories above.

**City of Portland**  
**Development Review Application**  
**Planning Division Transmittal form**

**Application Number:** 10-79900002      **Application Date:** 3/09/10

**Project Name:** 6000 SQ FT BUILDING

**Address:** 501 Danforth St No      **CBL:** 070 - C-002-001

**Project Description:** Danforth Street - 501; 6000 Sq Ft Accessory Building; Propsys, Inc.

**Zoning:** B-2B

**Other Reviews Required:**

**Review Type:** MINOR SITE PLAN

**Applicant:**  
 PropSys, Inc.  
 55 Lisbon Street  
 Suite 2400  
 Lewiston Me 04240

**Applicant:**  
 DeLuca-Hoffman Associates, Inc  
 778 Main Street  
 Suite 8  
 South Portland Me 04106

**Distribution List:**

<input type="checkbox"/> Planner	Barbara Barhydt	<input type="checkbox"/> City Arborist	Jeff Tarling
<input type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input type="checkbox"/> Design Review	Alex Jaegerman
<input type="checkbox"/> Traffic	Tom Errico	<input type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input type="checkbox"/> Inspections	Tammy Munson	<input type="checkbox"/> Sanitary Sewer	John Emerson
<input type="checkbox"/> Fire Department	Keith Gautreau	<input type="checkbox"/> Stormwater	Dan Goyette
<input type="checkbox"/> Parking	John Peverada	<input type="checkbox"/> Historic Preservation	Deb Andrews
<input type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input type="checkbox"/> DRC Coordinator	Phil DiPierro		

**Preliminary Comments needed by:**

# Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Accessory Building - 501 Danforth Street

Project Name, Address of Project

(The form is to be completed by the Applicant or Designated Representative)

Application Number

Check Submitted		Required Information	Section 14-525 (b,c)
Applicant	Staff		
x	_____	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
x	_____	Name and address of applicant and name of proposed development	a
x	_____	* Scale and north points	b
x	_____	* Boundaries of the site	c
x	_____	* Total land area of site	d
x	_____	* Topography - existing and proposed (2 feet intervals or less)	e
x	_____	Plans based on the boundary survey including:	2
	_____	* Existing soil conditions	a
x	_____	* Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
x	_____	* Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
x	_____	* Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)	d
	_____	* Location of on-site waste receptacles	e
x	_____	* Public utilities	
x	_____	* Water and sewer mains	e
x	_____	* Culverts, drains, existing and proposed, showing size and directions of flows	e
x	_____	* Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
	_____	* Location and dimensions of on-site pedestrian and vehicular access ways	g
x	_____	* Parking areas	
	_____	* Loading facilities	g
x	_____	* Design of ingress and egress of vehicles to and from the site onto public streets	g
x	_____	* Curb and sidewalks	g
x	_____	Landscape plan showing:	h
	_____	* Location of existing vegetation and proposed vegetation	h
	_____	* Type of vegetation	h
	_____	* Quantity of plantings	h
	_____	* Size of proposed landscaping	h
	_____	* Existing areas to be preserved	h
	_____	* Preservation measures to be employed	h
	_____	* Details of planting and preservation specifications	h
	_____	* Location and dimensions of all fencing and screening	i
	_____	Location and intensity of outdoor lighting system	j
x	_____	Location of fire hydrants, existing and proposed (refer to Fire Department checklist - page 11)	k
	_____	Written statements to include:	c
x	_____	* Description of proposed uses to be located on site	cl
x	_____	* Quantity and type of residential, if any	cl
x	_____	* Total land area of the site	c2
x	_____	* Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
x	_____	* General summary of existing and proposed easements or other burdens	c3
x	_____	* Type, quantity and method of handling solid waste disposal	c4
x	_____	* Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application - page 12)	c5
	_____	* Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

<u>  x  </u>	<u>      </u>	* An estimate of the time period required for completion of the development	7
<u>  x  </u>	<u>      </u>	* A list of all state and federal regulatory approvals to which the development may be subject to. the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction.	8
<u>  x  </u>	<u>      </u>	* Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved.	
<u>  x  </u>	<u>      </u>	* Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
<u>  x  </u>	<u>      </u>	* A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
<u>      </u>	<u>      </u>	A jpeg or pdf of the proposed site plan, if available.	
<u>      </u>	<u>      </u>	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- |                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                   |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>- drainage patterns and facilities</li> <li>- erosion and sedimentation controls to be used during construction</li> <li>- a parking and/or traffic study</li> <li>- emissions</li> <li>- a wind impact analysis</li> </ul> | <ul style="list-style-type: none"> <li>- an environmental impact study</li> <li>- a sun shadow study</li> <li>- a study of particulates and any other noxious</li> <li>- a noise study</li> </ul> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

### Example of Zoning Summary

1.	Property is located in the IM Zone (Moderate Impact Industrial)		
2.	Parcel Acreage: 1.37 AC (59,677.2 sf)		
	<b>Regulations</b>	<b>Required/Allowed</b>	<b>Provided</b>
	Min Lot Area	none	59,677.2 sf.
	Min Street Frontage	60 ft.	314,46 ft.
	Min Front Yard Setback	1 ft./1 ft. Building Height	72.04 ft.
	Min Rear Yard Setback	1 ft./1 ft. Building Height	35.66 ft.
	Min Side Yard Setback	1 ft./1 ft. Building Height	82.80 and 38.22
	Max Building Height	75 ft.	65 ft.
4.	Parking – Warehouse Distribution:	1 space/1000 sf.	10 spaces
5.	Maximum Impervious Surface Ratio:	75%	43%

### Portland Fire Department Checklist

A separate drawing[s] shall be provided to the Portland Fire Department for all site plan reviews, which shall include:

1. Name, address, telephone number of applicant.
2. Name address, telephone number of architect
3. Proposed uses of any structures [NFPA and IBC classification]
4. Square footage of all structures [total and per story]
5. Elevation of all structures
6. Proposed fire protection of all structures
7. Hydrant locations
8. Water main[s] size and location
9. Access to any fire department connections
10. Access to all structures [min. 2 sides]
11. A code summary shall be included referencing NFPA 1 and all fire department. Technical standards.
12. Elevators shall be sized to fit an 81" x 23" stretcher and two personnel.
13. Some structures may require Fire flows using annex H of NFPA 1

### **Additional Submission for Subdivisions:**

#### Street Names and Street Numbering for Proposed Subdivisions

##### **Notice to Developers of New Subdivisions**

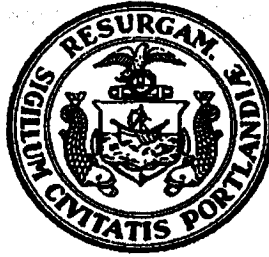
Effective January 1, 1998, the City of Portland requests that developers of new subdivisions submit information regarding the origin of the name of any new street(s) created within the City limits. This information shall be submitted to the Planning Division with all other related application materials and shall include information regarding the person or subject for which all new streets are being named. In the case of a person, the full name should be submitted, as well as their vocation, relationship to the developer or the area, or other pertinent information.

##### **Street Numbering Assignments**

The assignment of official street addresses is the sole responsibility of the Department of Public Services. These assignments proceed by a set of guidelines and are done from submitted site plans whenever possible. For Enhanced 9-1-1 purposes, they need to be as accurate as possible and, depending on size and site layout, the creation of new street names may be required. Despite addresses listed on such things as the check sheet for site plan approval, building inspection documents or tax maps, it is requested you contact the Department of Public Services for your official address(es). Please call, Leslie Kaynor, GIS Surveyor at (207) 874-8346.

# CITY OF PORTLAND WASTEWATER CAPACITY APPLICATION

Department of Public Services,  
55 Portland Street,  
Portland, Maine 04101-2991



Mr. Frank J. Brancely,  
Senior Engineering Technician,  
Phone #: (207) 874-8832,  
Fax #: (207) 874-8852,  
E-mail: fjb@portlandmaine.gov

Date: March 9, 2010

### 1. Please, Submit Utility, Site, and Locus Plans.

Site Address: 501 Danforth Street  
*(Regarding addressing, please contact Leslie Kaynor, either at 756-8346, or at LMK@portlandmaine.gov)*  
Proposed Use: Accessory Building  
Previous Use: Existing Office Building  
Existing Sanitary Flows: Not occupied GPD  
Existing Process Flows: N/A GPD  
Description and location of City sewer, at proposed building sewer lateral connection:

Chart Block Lot Number: 70-C-002

Site Category	Commercial	<u>x</u>
	Industrial <i>(complete part 4 below)</i>	_____
	Governmental	_____
	Residential	_____
	Other <i>(specify)</i>	_____

*Clearly, indicate the proposed connection, on the submitted plans.*

### 2. Please, Submit Domestic Wastewater Design Flow Calculations.

Estimated Domestic Wastewater Flow Generated: <300 GPD

Peaking Factor/ Peak Times:

Specify the source of design guidelines: *(i.e. "Handbook of Subsurface Wastewater Disposal in Maine," "Plumbers and Pipe Fitters Calculation Manual," Portland Water District Records, Other (specify)*

Accessory building will be for the storage of several custom motor coaches.

**Note: Please submit calculations showing the derivation of your design flows, either on the following page, in the space provided, or attached, as a separate sheet.**

### 3. Please, Submit Contact Information.

Owner/Developer Name:	<u>PropSys Inc.</u>		
Owner/Developer Address:	<u>55 Lisbon Street, Lewiston, ME 04240</u>		
Phone: <u>207-347-1614</u>	Fax: <u>207-784-3319</u>	E-mail: _____	
Engineering Consultant Name:	<u>DeLuca-Hoffman Associates, Inc.</u>		
Engineering Consultant Address:	<u>778 Main Street, Suite 8, South Portland, ME 04106</u>		
Phone: <u>207-775-1121</u>	Fax: <u>207-879-0896</u>	E-mail: <u>sbushey@delucahoffman.com</u>	
City Planner's Name:	<u>Barbara Barhydt</u>	Phone: <u>207-874-8699</u>	

**Note: Consultants and Developers should allow +/- 15 days, for capacity status, prior to Planning Board Review.**

### 4. Please, Submit Industrial Process Wastewater Flow Calculations

Estimated Industrial Process Wastewater Flows Generated: N/A GPD  
Do you currently hold Federal or State discharge permits? Yes \_\_\_\_\_ No \_\_\_\_\_  
Is the process wastewater termed categorical under CFR 40? Yes \_\_\_\_\_ No \_\_\_\_\_  
OSHA Standard Industrial Code (SIC): \_\_\_\_\_ *(<http://www.osha.gov/oshstats/sicser.html>)*  
Peaking Factor/Peak Process Times: \_\_\_\_\_

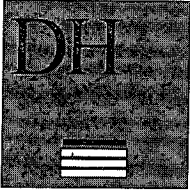
**Note: On the submitted plans, please show the locations, where the building's sanitary, and process water sewer laterals, exit the facility, where they enter the city's sewer, the location of any control manholes, wet wells, or other access points, and the locations of any filters, strainers, or grease traps.**

**Notes, Comments, or Calculations:**

See accompanying Site Plan

**MISC1**





DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

March 9, 2010

Ms. Barbara Barhydt  
Portland Planning Authority  
City of Portland Planning Authority  
389 Congress Street  
Portland, ME 04101

**Subject: Minor Site Plan Application  
501 Danforth Street  
Accessory Building**

Dear Barbara:

On behalf of PropSys Inc., DeLuca Hoffman Associates, Inc. is pleased to submit the accompanying submission package associated with their proposal to construct a 6,000 SF accessory building at 501 Danforth Street. PropSys currently has this property under option to purchase.

The development site is identified as Lot 002 on City of Portland Assessor's Map 70C. The site is 1.17 acres in size according to the property boundary survey prepared by Owen Haskell Inc. that is part of the development plans. The site is located in the B-2b zoning district according to the City's Zoning Map. Based on the zoning requirements in the B-2b District, it appears that the proposed lot is in conformance with all zoning dimensional requirements. The site is also within the City's historic district and requires Historic Board Review. Archetype PA is the project architect and David Lloyd of their office has presented the project to the Historic Board. The site plans accompanying this submission reflect comments received from the Historic Board related to the building positioning, style and materials.

The existing site contains an unoccupied building that was formerly used by the current owner, Sweetser Children's Services, as an office building. Prior to Sweetser, the property was formerly owned by the State of Maine, and the building was originally constructed as an information center, for which the site was used for many years beginning in the 1950's. It is the applicant's intent to purchase the property and to construct a 6,000 SF accessory building that will be used for the storage of several luxury vehicles, including one or more custom motor coaches. The proposed building will be located within an existing parking area located towards the north end of the property. The existing building will continue in use as one or more offices for the applicant.

The site will continue to use two existing curb cuts off Danforth Street. A third curb opening located at the south end of the site will be discontinued and a new sidewalk will be installed to match the existing concrete sidewalk that exists on each side of this curb opening.

Ms. Barbara Barhydt  
March 9, 2010  
Page 2 of 4

The proposed building construction will require that the existing parking and pavement areas be reconstructed for grading purposes. The reconstructed site will include eleven (11) parking spaces as depicted on the accompanying site plans. The proposed development activity will result in less than 1 acre of disturbed area and less than 1 acre of new impervious surface on the site; therefore, the site development is not subject to a Maine Department of Environmental Protection Stormwater Permit, nor does the activity qualify for coverage under the Maine Construction General Permit (MCGP). The parking lot drainage will continue to use the existing drainage system that consists of several catch basins and drainage pipe that connects to the existing system in Danforth Street. These systems and the project site will remain generally unchanged with respect to stormwater runoff conditions.

The site plan includes utility extensions into the building including a 1" water service off the 16" water main in Danforth Street. A 6" sanitary sewer line serving a single bathroom and two floor drains will be extended to tie into the existing building's sewer service that ties into Danforth Street. A new sanitary manhole is proposed at the onsite tie-in connection. An oil-water separator consisting of a 4' diameter structure with an inside tee connection in the structure will be provided for the floor drain system since vehicles are to be parked and maintained inside the building.

The Applicant proposes to install additional landscaping on the lot including multiple deciduous and evergreen plantings. A planting bed will be installed along the accessory building frontage. A Landscape Plan is currently being produced by Archetype PA and this plan will be forwarded to the Planning Authority when complete.

The Applicant is seeking a Minor Site Plan approval from the Planning Authority for the purpose of developing a 6,000 SF accessory building at 501 Danforth Street.

The project will generate fewer than 50 peak hour trip ends; therefore, no additional traffic permitting is necessary.

The following statements are provided in accordance with Section 14-525 (c):

- (1) The proposed use will include a 6,000 SF accessory building for the storage and maintenance of several vehicles, including one or more custom motor coaches. The existing building will be used as office space. No other uses are proposed on the property.
- (2) The project parcel is 50,965 SF in size (1.17 acres). The proposed accessory building will occupy approximately 11.8% of the site area.
- (3) The applicant is currently in discussions with Central Maine Power to establish an easement for their overhead utility line that currently crosses the property. There is no existing easement for this utility, despite the overhead line being installed in the 1950's. The applicant has requested that CMP relocate an existing utility pole to provide clearance for the proposed building to the overhead lines. CMP is currently working on this

Ms. Barbara Barhydt  
March 9, 2010  
Page 3 of 4

overhead utility realignment and details related to the proposed easement will be provided to the City upon their completion.

- (4) The project will generate a small amount of construction demolition debris that will be disposed of at the Riverside Street disposal facility. The estimated demolition debris volume is less than 500 CY associated with construction materials and the removal of an existing timber retaining structure. Other materials including granite curb, asphalt pavement and topsoil will be recycled for reuse.
- (5) The proposed accessory building will include public water and sewer services. Letters to the Portland Water District and the Portland Public Services Department have been issued and copies of these letters accompany this submission. The utility response letters will be forwarded to the Planning Authority upon receipt. A new overhead power service will be brought into the building from the existing overhead line crossing the site.
- (6) The project will maintain the existing drainage patterns that currently exist on site. The onsite drainage measures include several catch basins and drainage pipe that connects to the drainage system in Danforth Street. The proposed building will have a single pitched roof with water sheeting off the back of the roof onto a stone stabilized drip strip. The drip strip will have a 6" underdrain pipe that will connect to an existing onsite catch basin. The existing drainage swale at the rear of the property will also remain and some re-grading of a drainage swale originating from up gradient of the site will be performed to route water flows away from the pavement surfaces. No significant impacts to these existing systems are currently anticipated. We are not aware of any capacity issues with the onsite or nearby offsite drainage systems. The proposed net increase of 4,244 SF of impervious area is not expected to result in any significant impacts to downstream drainage conditions.
- (7) The project includes demolition of existing pavement surface, earthwork to construct the proposed pavement, and accessory building foundation, utility connections, curbing and final surface stabilization including final paving, landscaping and grass establishment. The work is scheduled to occur beginning in late April, 2010 if possible and be completed by mid summer.
- (8) The project is subject to a Minor Site Plan review by the Portland Planning Authority. No other permits are required.
- (9) A letter from the applicant's financial institution accompanies this submission.
- (10) A copy of the signed contract extension agreement and a letter from the applicant to this office discussing the agreement between PropSys and Sweetser Children's Services accompany this submission as evidence of the applicant's interest in the property.
- (11) The site contains no unusual natural areas, wildlife or fisheries habitats or archaeological sites.

Ms. Barbara Barhydt  
March 9, 2010  
Page 4 of 4

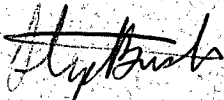
- (12) DeLuca-Hoffman Associates, Inc. can provide CADD.DXF files to the City upon final approval of the plan.
- (13) The proposed project will generate only a modest amount of recyclable materials. Topsoil will be stripped, screened and reused as much as possible. The existing pavement will be stripped, crushed and recycled for aggregate.

We trust these statements and the supporting application plans and materials satisfy the City's requirements and we look forward to Planning Authority review and approval of the project. As you may be aware, Archetype PA has been responsible for presentation of the project to the Historic Review Board. They have had several meeting with the Board representatives including City Staff. A copy of the latest building elevations accompanies this submission. We welcome the opportunity to meet with the assigned staff to discuss the project at your earliest convenience.

Please contact this office with any staff questions and concerns.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

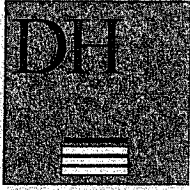


Stephen R. Bushey, P.E., C.P.E.S.C.  
Senior Engineer

SRB/sq/JN2939/Barhydt-3-09-10

c: David Lloyd, Archetype, PA  
Chris Thompson, PropSys Inc.

Enclosures: Minor Site Plans (Full size and 11" x 17") (7 copies)  
Required Fees (\$400 Minor Site Plan)  
Parcel Deed (Book 12657, Page 253)  
U.S.G.S. Map (see Site Plan cover sheet)  
Tax Map 70  
Minor Site Plan Application  
Minor Site Plan Checklist  
Utility Capacity Letters



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

March 9, 2010

Mr. Frank Brancely  
City of Portland  
Public Works Department  
55 Portland Street  
Portland, Maine 04101

**Subject: Proposed Apartment Building  
501 Danforth Street  
Portland, Maine  
Request for Ability to Serve Letter**

Dear Mr. Brancely:

Our office has been retained by PropSys, Inc, which has a purchase and sale agreement for the property at 501 Danforth Street, to prepare site plans and assist with permitting for a new structure on that lot (Map 70, Block C, Lot 002). On behalf of the developer, we are requesting a letter affirming that the proposed project can be served by the municipal water system.

The project will consist of the construction of a new accessory building with a total size of approximately 6,000 square feet. The building will principally provide warehouse storage and it will only have a single bathroom, thus only a 1" domestic service line is proposed. A copy of the site plan has been attached to this letter for reference. The site currently contains a single building that will remain. The PWD records indicate a 1½" domestic line off Danforth Street currently serves this building. The Public Services records indicate at least one 6" sanitary sewer service line per the attached sewer connection card copy. The applicant proposes to extend a 6" line from the accessory building to tie into the existing sewer service leaving the existing building. A new 4' diameter manhole will be installed at the connection point per the accompanying drawing. The proposed building will also have two floor drains that will be connected to the sanitary sewer service line. We propose to install an oil-water separator structure consisting of a 4' diameter basin with a Tee connection on the outlet to allow the structure to capture and contain oil or other floatables prior to discharge into the sewer system. The existing building will remain and continue in use for offices.

The projected flows for the accessory building are computed as follows:

User	Number of Users	Rate per User	Flow
Accessory Building	2 employees	15 gpd/employee	30 gpd
		<b>Total</b>	<b>30 gpd</b>

DeLUCA HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

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Mr. Frank Brancely  
March 9, 2010  
Page 2

Based on this modest amount of flow, we trust that the existing sewer system has adequate capacity to continue to serve this project. We have submitted our Site Plan Application and Wastewater Capacity application to the City Planning Authority and would appreciate your attention to this request in a timely manner.

If you have any questions concerning this request, please contact me.

Sincerely,

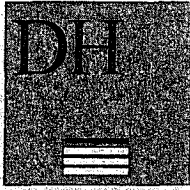
DeLUCA-HOFFMAN ASSOCIATES, INC.



Stephen R. Bushey, P.E.  
Senior Engineer

SRB/sq/JN2939/Brancely-03-09-10-Wastewater

Enclosures: Site Plan  
Sewer Connection Card Copy  
Completed Wastewater Capacity Application



DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

March 9, 2010

Mr. Rico Spugnardi  
Portland Water District  
225 Douglass Street  
PO Box 3553  
Portland, Maine 04104-3553

**Subject: Proposed Accessory Building  
501 Danforth Street  
Portland, Maine  
Request for Ability to Serve Letter**

Dear Mr. Spugnardi:

Our office has been retained by PropSys, Inc, which has a purchase and sale agreement for the property at 501 Danforth Street, to prepare site plans and assist with permitting for a new structure on that lot (Map 70, Block C, Lot 002). On behalf of the developer, we are requesting a letter affirming that the proposed project can be served by the municipal water system.

The project will consist of the construction of a new accessory building with a total size of approximately 6,000 square feet. The building will principally provide warehouse storage and it will only have a single bathroom, thus only a 1" domestic service line is proposed. A copy of the site plan has been attached to this letter for reference. The site currently contains a single building that will remain. The PWD records indicate a 1½" domestic line off Danforth Street currently serves this building. The existing building will remain and continue in use for offices.

The projected flows are computed as follows:

User	Number of Users	Rate per User	Flow
Accessory Building	2 employees	15 gpd/employee	30 gpd
<b>Total</b>			<b>30 gpd</b>

Based on this modest amount of flow, we trust that the existing water system has adequate capacity to continue to serve this project. We have submitted our Site Plan Application to the City and would appreciate your attention to this request in a timely manner.

DeLUCA HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS


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Mr. Rico Spugnardi  
March 9, 2010  
Page 2

If you have any questions concerning this request, please contact me.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.

  
Stephen R. Bushey, P.E.  
Senior Engineer

SRB/sq/JN2939/Spugnardi-03-09-10-Water

Enclosure: Site Plan



# Northeast BANK

**Timothy J. Tower**  
Regional Director  
Commercial Loans

February 25, 2010

Barbara Barhydt  
Development Review Services Manager  
City of Portland Department of Planning and Urban Development  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

Re: PropSys Inc.'s Development Review Application for 501 Danforth Street

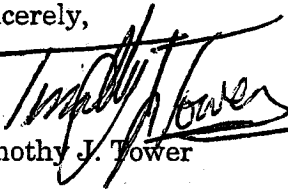
Dear Ms. Barhydt:

Northeast Bank has had discussions with PropSys regarding the re-development of the property located at 501 Danforth Street in Portland. The Bank has successfully worked with PropSys (and related entities) on projects in the past. Construction was completed on-time and within budget, and financing was handled as agreed.

I believe that PropSys has the ability to obtain financing and successfully complete the contemplated project. Similarly, while there is no formal loan approval at this time, I am optimistic about the prospect of working with the Applicant on the project.

Should you need further assistance, please contact me at 1-800-284-5989 ext 4612.

Sincerely,



Timothy J. Tower

We are an equal opportunity employer.  
[www.northeastbank.com](http://www.northeastbank.com)

77 Middle Street, Portland, ME 04101 • 800-

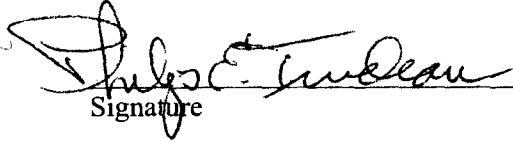
Addendum to Contract for the Sale of Commercial Real Estate

This is an Addendum to the Contract between PropSys, or its assigns/nominees ("Purchaser"), and Sweetser ("Seller") for the sale of a building of 5535 +/-SF and 1.249 +/- acres at 501 Danforth Street in Portland, Maine with an Effective Date of 10/6/09.

Seller hereby agrees to extend the time period for Purchaser to complete entitlements for an accessory building by ninety (90) days.

SWEETSER  
Seller PHILIP E. TRUDEAU

12-21-09  
Date

  
Signature

Philip E. TRUDEAU, V.P. of Human Resources  
Name/Title, thereunto duly authorized

February 17, 2010

From: Chris Thompson, PropSys, Inc.  
To: Steve Bushey, DeLuca Hoffman  
RE: 501 Danforth Street, Portland ME

Steve,

Per your request I am providing this memorandum regarding our company's Site Review Application for proposed improvements at 501 Danforth Street, Portland, ME.

PropSys entered into a Contract for the Sale of Commercial Real Estate with the Seller, Sweetser Children's Services, in October 2009.

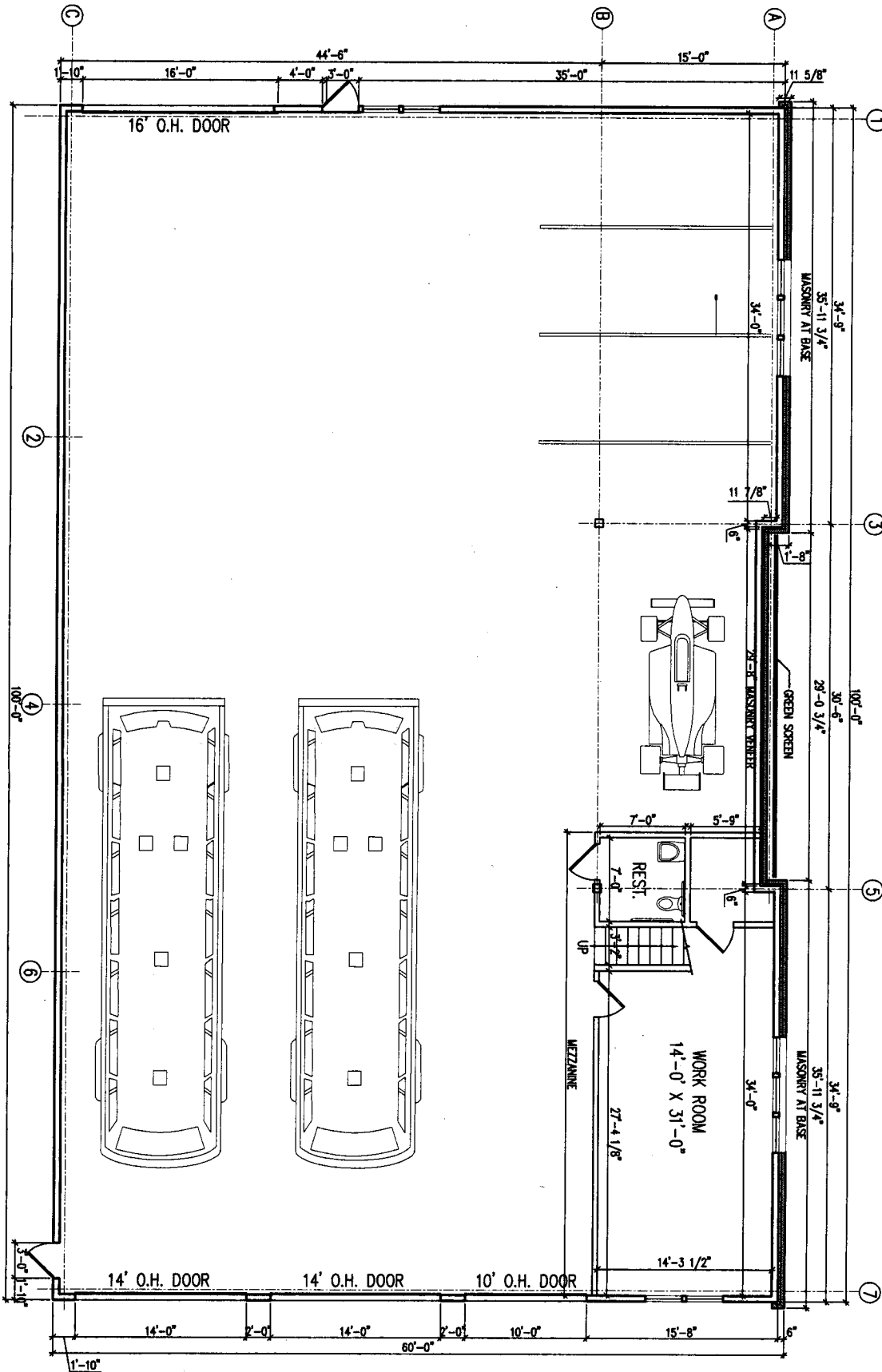
Rather than include the entire Contract, I have enclosed the signed Amendment granting PropSys (applicants) necessary time for the entitlement process.

I trust that that document and this memorandum will be sufficient to establish the applicant's control of the site for permitting purposes.

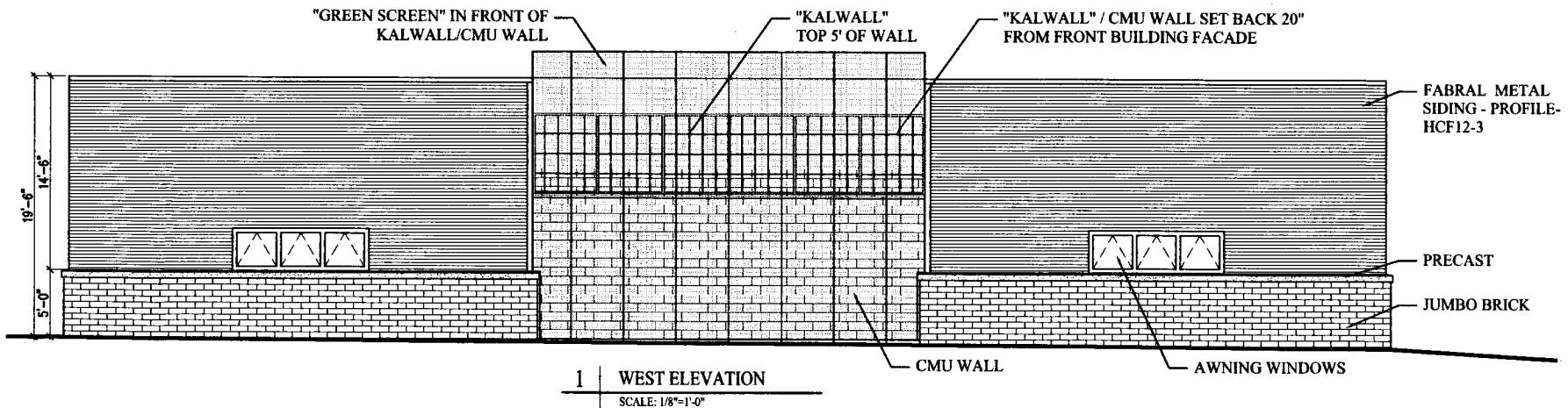
Best regards,



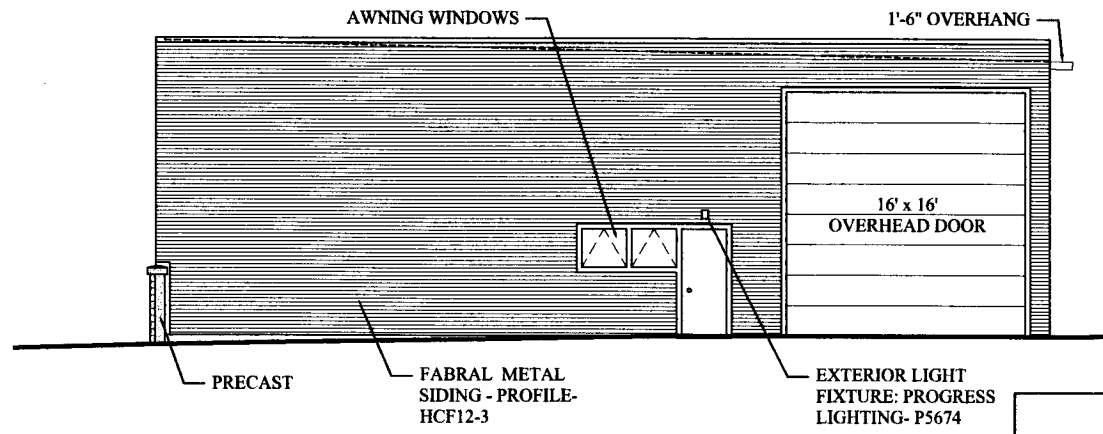
Chris Thompson



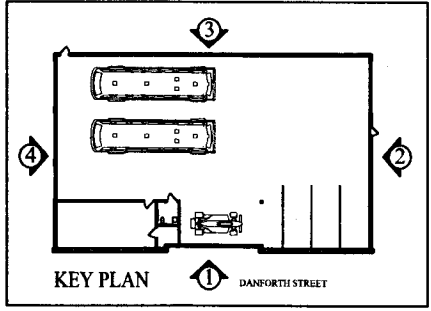
A1	Date 8 MARCH, 2010	Scale 1/8"=1'-0"	Revisions:	Project:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056	OWNER:
	FLOORPLAN			501 DANFORTH ST. ACCESSORY BUILDING PORTLAND, MAINE		



1 | WEST ELEVATION  
SCALE: 1/8"=1'-0"

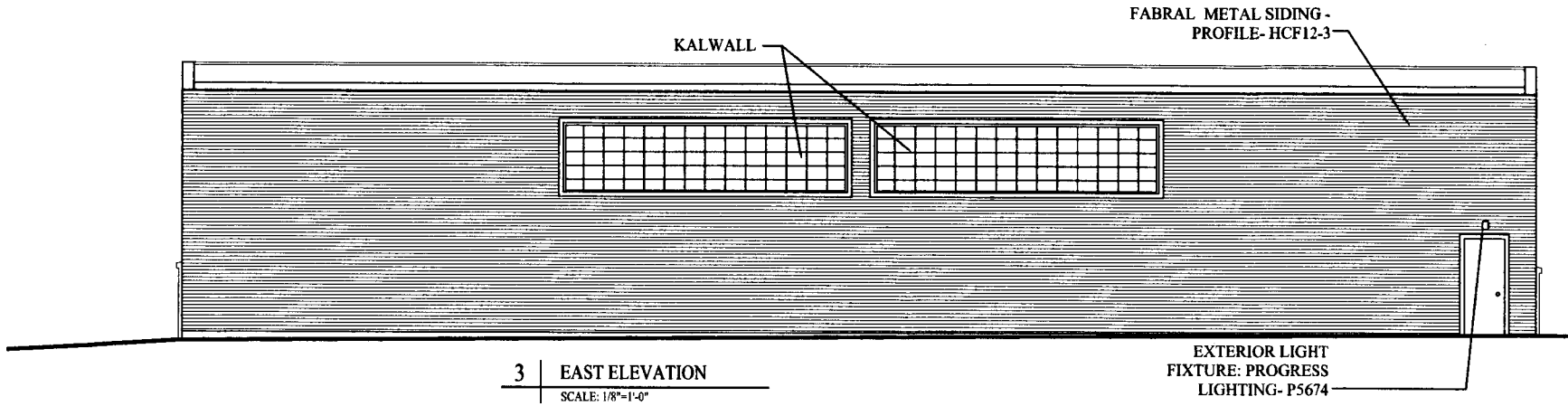


2 | SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

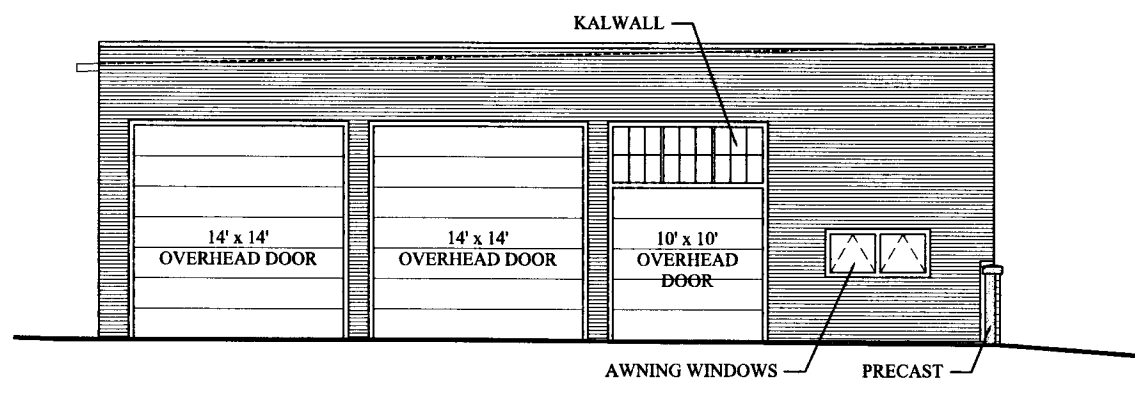


KEY PLAN  
DANFORTH STREET

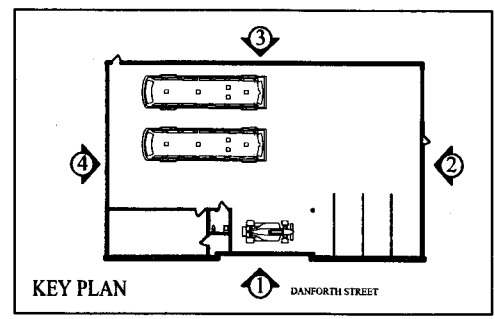
OWNER:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	501 DANFORTH ST. ACCESSORY BUILDING PORTLAND, MAINE
Scale:	AS NOTED
Date:	8 MARCH, 2010
Revision:	
BUILDING ELEVATIONS	
A2	



**3 | EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**4 | NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**KEY PLAN**

OWNER:	ARCHETYPE, P.A. ARCHITECTS 48 Union Wharf Portland, Maine 04101 (207) 772-6022 Fax (207) 772-4056
Project:	501 DANFORTH ST. ACCESSORY BUILDING PORTLAND, MAINE
Revisions:	
Date:	8 MARCH, 2010
Scale:	AS NOTED
<b>BUILDING ELEVATIONS</b>	
<b>A3</b>	

**Eric Giles - 501 Danforth Street**

---

**From:** Thomas Errico <Thomas.Errico@tylin.com>  
**To:** Eric Giles <EGILES@portlandmaine.gov>  
**Date:** 3/22/2010 12:57 PM  
**Subject:** 501 Danforth Street  
**CC:** Katherine Earley <KAS@portlandmaine.gov>, David Margolis-Pineo <DMP@port...>

---

Eric –

I have reviewed the plans prepared for 501 Danforth Street prepared by DeLuca-Hoffman Associates, Inc. dated March 9, 2010 and have the following comments.

- The applicant should provide sight distance measurements from the proposed main entrance and confirm that adequate sight will be provided. They should also identify whether restrictions should be included that limits plantings and other obstructions in front of the building.
- The main parking area does not meet City standards for dimensional requirements. I would suggest that the 60 foot width be allocated with a 24-foot parking aisle and two 18 foot parking stalls. This will require a waiver from the technical standard, of which I support.
- There are three parking spaces located at the rear of the building. I would suggest that the stall depth dimension be 18 feet and thus will allow a 22-foot aisle width. Both of these dimensions do not meet City standards, but I support a technical waiver.
- The aisle width at the rear of the building does not meet City standards for two-way flow. Based upon expected low traffic volumes, I support a waiver from this standard.
- The secondary driveway will have a width of only 21 feet and does not meet City standards for a commercial development. Based upon expected low traffic volumes, I support a waiver from this standard.

If you have any questions or comments, please contact me.

Best regards,

Thomas A. Errico, P.E.  
**TYLIN** INTERNATIONAL

12 Northbrook Drive  
Building A, Suite One  
Falmouth, ME 04105

207.347.4354 (Direct)  
207.781.4721 (Main)  
207.781.4753 (Fax)  
207.400.0719 (Mobile)



# PORTLAND MAINE

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**Planning & Urban Development Department**  
Penny St. Louis Littell, Director

**Planning Division**  
Alexander Jaegerman, Director

**MARCH 26, 2010**

PropSys, Inc.  
55 Lisbon St.  
Suite 2400  
Lewiston ME 04240

Deluca-Hoffman Associates, Inc.  
778 Main St.,  
Suite 8  
South Portland, ME 04106

**RE:** Review Comments for Final Plan – Administrative Review

**Project Name:** Danforth Street Accessory Building  
**Project ID:** 10-79900002  
**Project Address:** 501 Danforth St.      **CBL:** 070-C-002-001

**Planner:** Erick Giles, AICP, LEED AP

Dear Applicant:

Thank you for submitting an application for a 6,000 Sq Ft Accessory Building at 501 Danforth St. This proposal is being reviewed as a final site plan subject to the following applicable Land Use Code provisions:

- Site Plan Ordinance, Article V

Staff review of your final plan has generated the following review comments.

## **Final Site Plan- Administrative Review: Staff Review Comments**

### **1. Marge Schmuckal – Zoning Administrator**

This property is located in a B-2b zone with a Historic Overlay Zone. I have had several meetings with the potential owner(s) on 10/14/09 & 11/6/09. Each time we met, uses of the existing building and the proposed building were a big part of the conversation. I am not seeing the follow-thru of those use conversations on this application. The last Certificate of Occupancy for the principal structure was for residential/office/clinic issued in 1997. It appears that the applicant is intending to change the use of the principal structure. I need to have the specifics. This application should reflect the change of use proposed for the principal structure. This is essential because an accessory building needs to show how it is accessory to the



principal structure. I am reading that the new accessory structure will be used for the storage of several luxury vehicles, including one or more custom motor coaches. Such a use is not accessory to an office use. The applicants must specifically explain all the uses in the proposed building so that I can determine whether those uses are allowed in the B-2b zone or are truly accessory to the new use in the principal structure. This is the time to follow thru with the previous discussions and document the uses in writing.

I noticed that the submitted site plans show a Zoning analysis block that is not correct. That block that shows up in several places must be corrected.

I am uncertain about what will remain for parking. The applicant says that the reconstructed site will include eleven (11) parking spaces. I had counted 14 spaces. The number of parking spaces are somewhat confusing because the proposed building was essentially plunked down on the survey without deleting parking. Old parking spaces are still shown thru the building. The site plan should be revised to show only the parking spaces that are intended to remain. I cannot fully determine the parking requirements until I get a written statement of all the uses on site as requested above.

The application shows that the project is relocating A/C units. I will need to see information concerning the noise levels that will emanate from those units. The B-2b Zone has a maximum noise allowance of 60 dBA from 7 am to 9 pm and 55 dBA from 7pm to 9am. This office takes noise violations seriously and follows up on complaints. There is a residential zone just behind this property.

The plans imply the site is less that 90% impervious. I believe that this site is probably meeting that requirement. However, I would like to see the specifics on what the impervious surface ratio actually is.

Separate permits for signage is required.

## **2. Planning Erick Giles, AICP, LEED AP**

Site Visit confirms the presence of concrete sidewalks on the eastern perimeter of the site which transition to bituminous for the remainder to the intersection with St. John's St.

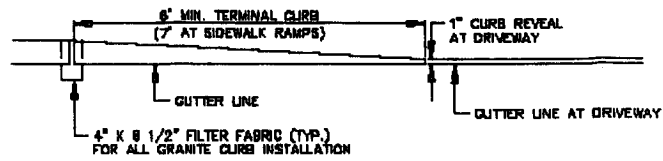
Need photometrics plan or statement regarding any new lighting fixtures.

Historic Preservation reviewed and approved the plan on March 7, which satisfies B-2b Design Guidelines requirement.

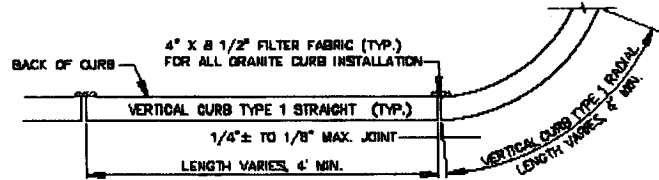
## **3. Deputy City Engineer David Margolis-Pineo**

The Department of Public Services has the following comments.

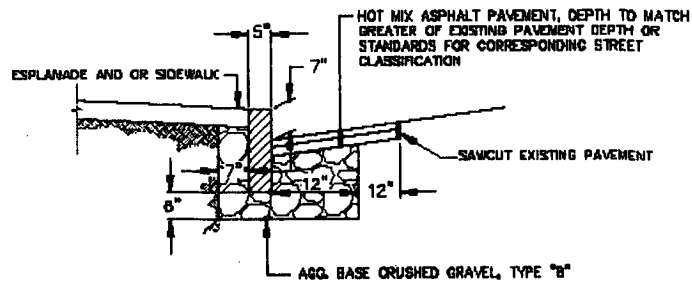
1. Property pins should be placed where the northerly property line, which measures 82.30' long, intersects the easterly side line of Valley Street; where the property line makes an angle point at the intersection of the 88.02' line and 191.44' line; and at the point of curvature on Valley St. where Valley St. turns to Danforth Street.
2. The City allows Type "B" gravels to be used in lieu of Type "A" gravels.
3. City standards do not allow for N-12 drainage pipe within the street right of way. Please use SDR-35 when tying into the catchbasin on Danforth St.
4. City Codes require a separate sewer lateral for each building served. However since the applicant owns the entire lot I find the proposed concept acceptable. The applicant will be responsible for the sewer lateral of both building until the single lateral joins the City sewer system. However, if in the future the applicant divides the lot and the building come under separate ownership, each building will be required to have a separate sewer lateral connecting to the city sewer.
5. City standard details for concrete sidewalks and concrete sidewalks and granite curbing. Construction within the street right of way shall follow these standards.



TERMINAL CURB PROFILE



VERTICAL GRANITE CURB PLAN VIEW

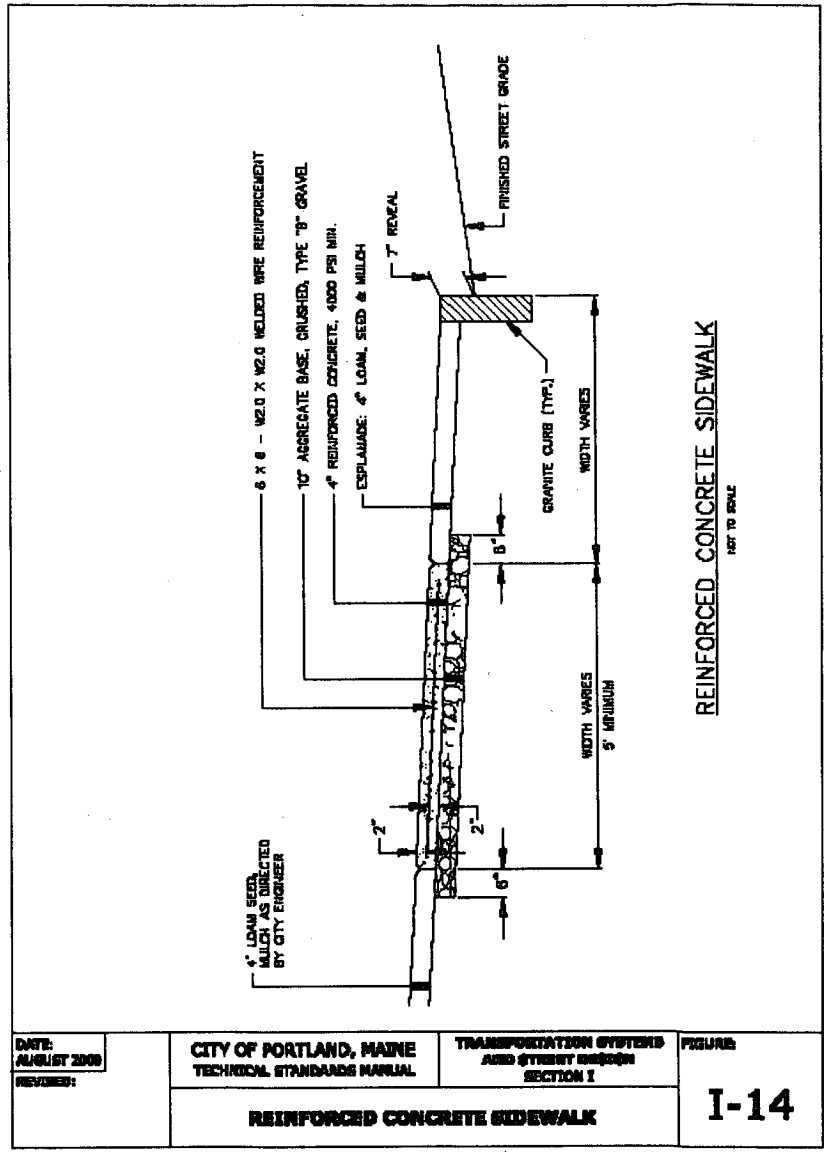


VERTICAL GRANITE CURB CROSS SECTION

VERTICAL GRANITE CURB  
INSTALLATION IN EXISTING STREETS

NOT TO SCALE

DATE: AUGUST 2009 REVISED:	CITY OF PORTLAND, MAINE TECHNICAL STANDARDS MANUAL	TRANSPORTATION SYSTEMS AND STREET DESIGN SECTION I	FIGURE:
VERTICAL GRANITE CURB INSTALLATION IN EXISTING STREETS			I-17



**4. Traffic Engineer Tom Errico**

I have reviewed the plans prepared for 501 Danforth Street prepared by DeLuca-Hoffman Associates, Inc. dated March 9, 2010 and have the following comments.

- The applicant should provide sight distance measurements from the proposed main entrance and confirm that adequate sight will be provided. They should also identify whether restrictions should be included that limits plantings and other obstructions in front of the building.
- The main parking area does not meet City standards for dimensional requirements. I would suggest that the 60 foot width be allocated with a 24-

foot parking aisle and two 18 foot parking stalls. This will require a waiver from the technical standard, of which I support.

- There are three parking spaces located at the rear of the building. I would suggest that the stall depth dimension be 18 feet and thus will allow a 22-foot aisle width. Both of these dimensions do not meet City standards, but I support a technical waiver.
- The aisle width at the rear of the building does not meet City standards for two-way flow. Based upon expected low traffic volumes, I support a waiver from this standard.
- The secondary driveway will have a width of only 21 feet and does not meet City standards for a commercial development. Based upon expected low traffic volumes, I support a waiver from this standard.

**5. Consulting Engineer, Stormwater Dan Goyette**

Dan confirmed that he has no comments to submit for review. - EG

**6. City Arborist Jeff Tarling**

At the 3/24 Dev Rev meeting the City Arborist affirmed his approval of the proposed landscaping plan. - EG

**Additional Submittals Required:**

1. **Revised Site Plan and Written Statements**
2. The Planning Authority may request additional information during the continued review of the proposal according to applicable laws, ordinances and regulations.

Please submit seven (7) complete sets of revised final plans to address staff comments. Upon receipt of the revised material, the City of Portland will review the additional plans and information for conformance with applicable ordinances. If you have any questions, feel free to contact me at [insert phone number] or by email at [insert e-mail].

Sincerely,



Erick Giles, AICP, LEED AP  
Planner

30 March 2010

Chris Thompson  
PropSys, Inc.  
55 Lisbon Street  
Suite 2400  
Lewiston ME 04240

Marge Schmuckal  
Zoning Administrator  
City of Portland  
389 Congress Street  
Portland ME 04101-3509

CC: Erick Giles, Planner, City of Portland  
Steve Bushey, DeLuca-Hoffman Associates, Inc.

Dear Ms. Schmuckal,

We have reviewed your comments included in the Review Comments for Final Plan of March 26, 2010.

Thank you for your thorough analysis. We would like to offer the following response to your questions concerning our intended use of the existing historic building and the proposed use of the building to be constructed.

We plan to utilize the existing historic building, previously occupied by Sweetser Childrens' Services, as an office building. This is a permitted use under the B2b zone and is consistent with the existing use. The historic building will house the various companies owned and operated by our small group of partners. We intend to have several individual offices, a conference room, a lobby and reception desk, and other such spaces as befit a company that owns and operates a diverse range of businesses. Our affiliated companies, whose offices will be located in the primary building, are chiefly concerned with two key areas of enterprise:

1. Development and management of real estate: residential, health-care, hospitality, parking structures), include business consulting, investment, project management, and property/building maintenance.
2. Sports team ownership and philanthropic involvement: ownership interest in the Portland Red Claws D-League basketball team and involvement in related community events and initiatives; ownership of a NASCAR race team with a special focus on supporting NASCAR's diversity programming and its goals of introducing NASCAR involvement opportunities to women and minorities.

We anticipate that, apart from the building tradesperson who will be primarily situated in the building to be constructed, of which more below, this office building will have as few as seven and not more than ten employees using the facility on a daily basis.

Though Sweetser's use of the building did include a highly specialized clinical facility, they used the building principally as offices (the entire upper level and much of the ground floor) as well, which is consistent with our proposed use.

As you know, this building was originally built to house the Portland Visitor's Bureau, and is a marvelous example of WPA architecture. The original detail and interior ornamentation of that building have been covered over, removed, and in some cases obliterated. One of the reasons for our interest in this property is that it represents an opportunity to restore some of the building's past historic grandeur. We worked diligently in concert with City staff and the Historic Preservation Board, from which we received a Certificate of Appropriateness on 3/17/2010, to design a new building to be built that would complement the historic building so that the two buildings' exteriors would mesh with one another and with the surrounding neighborhood.

We feel that our proposed primary use lines up squarely with the "General, business and professional offices" and "business services" as permitted uses in the B2b zone. In order to make the existing building viable for the breadth of our business activities, it is necessary for us to construct the additional building, some uses of which ("business services: building maintenance services" and "office of building tradesmen") are permitted under the B2b zone, and some of which will be accessory to the main office building. While these permitted and accessory activities are crucial to the proper functioning of the primary office building, they would not, given the nature of that building (and the uniqueness of its interior), be appropriate to house within it. Without these subsidiary uses in close proximity to the primary building, however, the office building could not, by itself, be sufficient to serve our business needs.

Regarding the "Office of building tradesmen" use, the building to be built will include an office, together with a work and tool storage area, for the building tradesman who we employ to do property maintenance for our various real estate holdings; the building will permit the additional use of this building for "building maintenance services." (In this sense, the building will house what are currently considered permitted uses: "Office of Building Tradesmen" and "building maintenance services; management and consulting services" under "Business Services" as defined in 14-47, in addition to housing uses considered accessory to the primary office building).

Section 14-404(a) defines "Accessory use" as: "A subordinate use of land or building which is customarily incidental to the main building or to the principal use of the land and which is located on the same lot with the principal building or use."

To the extent that some of the uses of the additional building to be built are in the "Accessory use" category, below is a list of those uses which we feel are "customarily incidental to the main building" and "to the principal use of the land" and so are

legitimately, and in a manner consistent with the B2b zone, to be located in the building to be constructed.

Here are these incidental accessory uses together with explanations of how these relate to the primary professional activities that will be undertaken in the office building on the same site:

- (a) One of our companies, PropSys, Inc., owns and manages hundreds of units of affordable housing across the state of Maine. By law we are required to store tenant files for several years, which we do both electronically and in hard-copy format. One of the functions of the building is to provide adequate space for this storage. While we will use a small portion of the office building to store the most current and actively referenced files, we do not feel that mass file storage, particularly of older (but still necessary) documents would be the highest and best use of the office building.
- (b) For two decades we have owned and operated hotel properties in Maine and New Hampshire. In addition to a great volume of operational and marketing materials that have to stay on file, we store all construction documents, plans, and specifications for reference. We intend to store these in the building to be constructed.
- (c) We are actively pursuing development opportunities, and managing construction of various projects (including one current hotel project in construction in New Hampshire now) and require space to store files and plans related to these activities. We intend to utilize the building to be constructed for this as well. For all of these three categories (a-c) it is important that these files and materials be within close proximity to the office building so that they can be accessed and consulted quickly when needed.
- (d) For over a decade we have owned a NASCAR corporate business, whose office is to be headquartered in the primary office building. This company is the owner of the two motor coaches, which are used to house members of the race team at various speedways around the country. Equally important to the operation of the racing company, these vehicles also serve as venues in which to house marketing and promotional events for the racing team and its diversity programming. For meetings with prospective race team sponsors (which would occur in the primary office building), the building to be constructed will occasionally house one of the race team's show cars, together with team trophies and memorabilia, for viewing and as a necessary part of our marketing and promotional efforts.
- (e) The building to be constructed would house work vehicles as may be necessary, owned by employees of the property maintenance



company—typically not more than five, and normally fewer, such vehicles would be under cover at any given time.

Thank you for calling our attention to the inaccuracy on the site plan concerning the information shown on the Zoning analysis block. We will ensure that this is corrected on our revised plan.

The historic building's square footage by floor is as follows:

Basement: 1940 sf for storage  
First floor: 2740 sf for office space  
Second floor: 855 sf for office space

As concerns parking, it is our understanding of the requirements of the B2b zone that we have one space per 400 sf of office area, exclusive of the basement area not used for bulk storage. On this basis we have computed a parking requirement of 9 spaces for the primary building. We currently show 11 total spaces on the site plan, not including such parking as may be provided inside the building to be constructed.

We have also experienced difficulties in reading the current plan because of the "ghost" image of the previous plan underneath; this had been included in an effort to document the changes, but it can lead to confusion and we will correct this on our revised site plan so that it is clear.

Steve Bushey, PE, with DeLuca-Hoffman will provide under separate cover the documentation you requested concerning the decibel levels of the HVAC equipment. We do not anticipate that the relocation of the HVAC equipment will result in an increase in decibel levels. We are eager to ensure that we are good neighbors, which is to say quiet neighbors.

Mr. Bushey's response will also show that the site meets the requirement for impervious surface.

Currently we do not have any plans to add signage.

Again, we thank you for your questions. We hope that you will find that we have answered them fully and to your satisfaction.

Yours sincerely,



Chris Thompson  
Vice President  
PropSys, Inc.



# PORTLAND MAINE

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*Penny St. Louis Littell- Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

April 8, 2010

John Mistos  
Sweetser Children's Services  
50 Moody Street  
Saco, ME 04072

RE: 501 Danforth Street -070-C-002 – B-2b Zone – Application #10-79900002

Dear Mr. Mistos,

Thank you for your inquiry on the applicability of the City's Housing Replacement Ordinance to the above referenced property. After reviewing the property file and discussing this matter with staff, it is determined that this Ordinance does not apply to 501 Danforth Street. This property does not fall under the regulated uses of single family thru multi-families, lodging houses, rooming units and sheltered care group home and is therefore not covered by the regulations and subsequent fees for the removal of such listed units.

If you have any other questions regarding this matter, please feel free to contact me.

Sincerely,

Penny St. Louis Littell  
Director of Planning and Urban Development

Cc: Alex Jaegerman, Planning Division Director  
Marge Schmuckal, Zoning Administrator  
Erick Giles, Planner

Date of Entrance ..... 3/29/54 .....

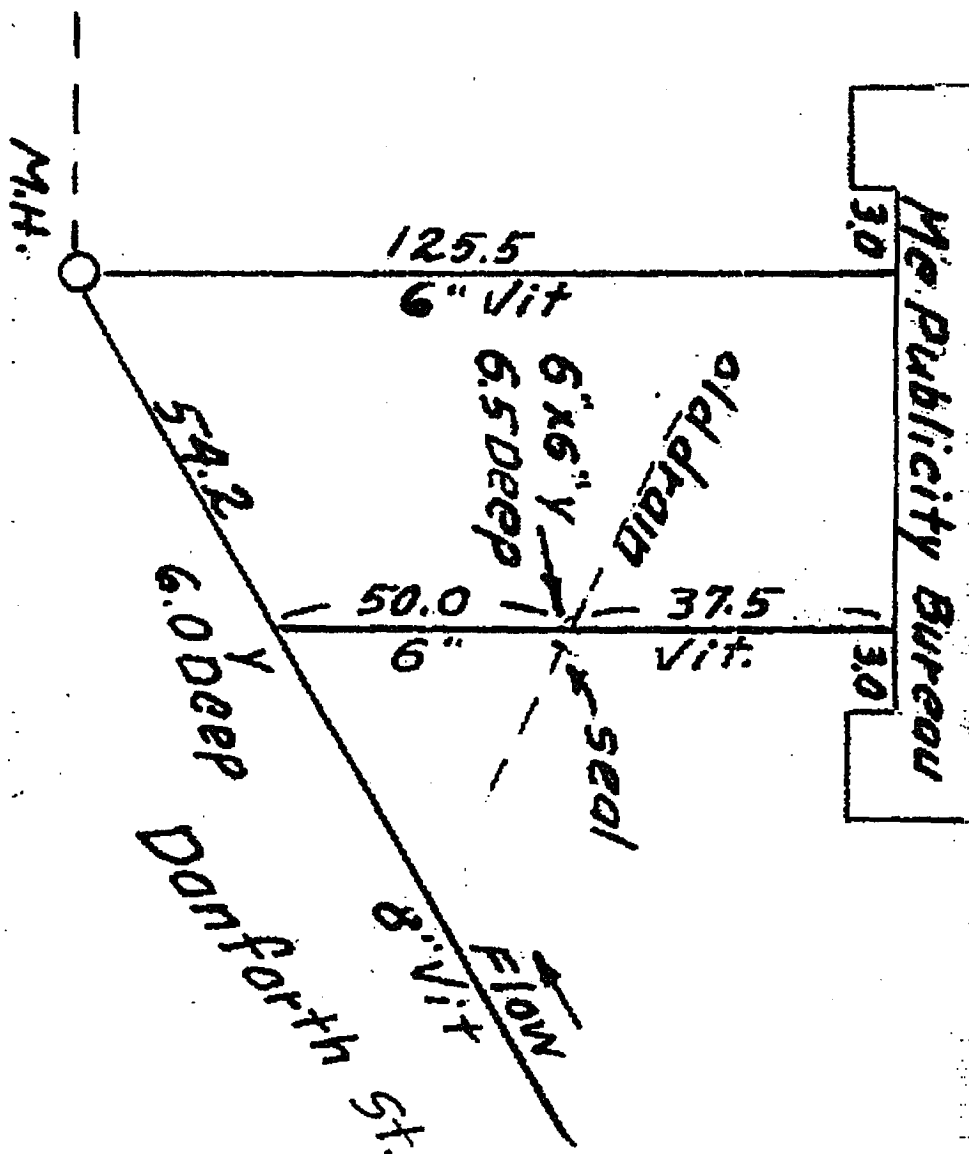
Connected by ... W.H. Hinman Co. ....

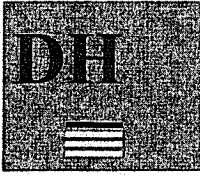
Size and kind of pipe ..... 6" Vit. ....

Inspected by ... C. DiBiase .....

Sewer Connection Book Vol. ... 28 ... P. 187 .....

St. John St.





DeLUCA-HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207.775.1121  
FAX 207.879.0896

- SITE PLANNING AND DESIGN
- ROADWAY DESIGN
- ENVIRONMENTAL ENGINEERING
- PERMITTING
- AIRPORT ENGINEERING
- CONSTRUCTION ADMINISTRATION

April 1, 2010

Mr. Erick Giles  
Planner  
City of Portland  
389 Congress Street  
Portland, ME 04101-3509

**Subject: 501 Danforth Street Accessory Building  
Response to Administrative Review Comments Dated March 26, 2010**

Dear Erick:

We have received and reviewed administrative review comments for the above project and provide this letter with our responses to each comment. For ease of reference we have repeated each comment, followed by our response.

**Marge Schmuckal – Zoning Administrator**

**Comment 1:**

*This property is located in a B-2b zone with a Historic Overlay Zone. I have had several meetings with the potential owner(s) on 10/14/09 & 11/6/09. Each time we met, uses of the existing building and the proposed building were a big part of the conversation. I am not seeing the follow-thru of those use conversations on this application. The last Certificate of Occupancy for the principal structure was for residential/office/clinic issued in 1997. It appears that the applicant is intending to change the use of the principal structure. I need to have the specifics. This application should reflect the change of use proposed for the principal structure. This is essential because an accessory building needs to show how it is accessory to the principal structure. I am reading that the new accessory structure will be used for the storage of several luxury vehicles, including one or more custom motor coaches. Such a use is not accessory to an office use. The applicants must specifically explain all the uses in the proposed building so that I can determine whether those uses are allowed in the B-2b zone or are truly accessory to the new use in the principal structure. This is the time to follow thru with the previous discussions and document the uses in writing.*

**Response:**

We understand that Chris Thompson of PropSys, Inc. has responded to Ms. Schmuckal's comments in a separate letter. No further response is offered by this office.

Mr. Erick Giles  
April 1, 2010  
Page 2

Comment 2:

*I noticed that the submitted site plans show a Zoning analysis block that is not correct. That block that shows up in several places must be corrected.*

Response:

DeLuca-Hoffman Associates, Inc. has revised the Zoning Analysis table provided on the site plans. This is shown on the accompanying plans.

Comment 3:

*I am uncertain about what will remain for parking. The applicant says that the reconstructed site will include eleven (11) parking spaces. I had counted 14 spaces. The number of parking spaces are somewhat confusing because the proposed building was essentially plunked down on the survey without deleting parking. Old parking spaces are still shown thru the building. The site plan should be revised to show only the parking spaces that are intended to remain. I cannot fully determine the parking requirements until I get a written statement of all the uses on site as requested above.*

Response:

The proposed site plan contains 11 parking spaces. Based on available office space of 3,595 SF in the primary building, the parking requirement, based on a ratio of 1 space per 400 SF, is 9 spaces. On this basis, and in accordance with the applicant's expected need we find that the provided parking count appears adequate to meet the applicant needs.

Comment 4:

*The application shows that the project is relocating A/C units. I will need to see information concerning the noise levels that will emanate from those units. The B-2b Zone has a maximum noise allowance of 60 dBA from 7 am to 9 pm and 55 dBA from 7 pm to 9 am. This office takes noise violations seriously and follows up on complaints. There is a residential zone just behind the property.*

Response:

There are two small Trane air conditioning units located at the rear of the existing building. The noise levels for the two units are below the City's allowable limits and we are aware of no complaints with the operations of these two ground mounted units. The applicant is currently considering relocating the units and if they are relocated, they will be placed to the north side of the building, away from the residences to the east.

Mr. Erick Giles  
April 1, 2010  
Page 3

Comment 5:

*The plans imply the site is less than 90% impervious. I believe that this site is probably meeting that requirement. However, I would like to see the specifics on what the impervious surface ratio actually is.*

Response:

DeLuca-Hoffman Associates, Inc. has computed the impervious surface for the site after the completion of the proposed activity and find that the impervious area will be approximately 48% which is below the maximum allowable impervious area of 90%.

Comment 6:

*Separate permits for signage is required.*

Response:

At this time no additional signage permitting is being contemplated by the applicant.

**Erick Giles – Planning**

Comment 1:

*Need photometrics plan or statement regarding any new lighting fixtures.*

Response:

The applicant is proposing no new site lighting except for several low wattage cut-off security fixtures over the entry doors of the accessory building. There are street lights mounted on several of the onsite utility poles and several lights along Danforth Street, hence the lighting coverage appears reasonable and satisfactory in our opinion. The proposed building mount lights are by Progress lighting – P5674. A catalog cut of this fixture accompanies this letter.

**David Margolis-Pineo – Deputy City Engineer**

Comment 1:

*Property pins should be placed where the northerly property line, which measures 82.30' long, intersects the easterly side line of Valley St.; where the property line makes an angle point at the intersection of the 88.02' line and 191.44' line; and at the point of curvature on Valley St. where Valley St. turns to Danforth St.*

Mr. Erick Giles  
April 1, 2010  
Page 4

Response:

The site plan has been revised to include the installation of these property pins by a licensed land surveyor.

Comment 2:

*The City allows Type "B" gravels to be used in lieu of Type "A" gravels.*

Response:

This comment is so noted. No further response required.

Comment 3:

*City standards do not allow for N-12 drainage pipe within the street right of way. Please use SDR-35 when tying into the catch basin on Danforth St.*

Response:

We have modified the drainage pipe to be an 8" SDR-35 PVC pipe.

Comment 4:

*City Codes require a separate sewer lateral for each building served. However, since the applicant owns the entire lot I find the proposed concept acceptable. The applicant will be responsible for the sewer lateral of both building until the single lateral joins the City sewer system. However, if in the future the applicant divides the lot and the building come under separate ownership, each building will be required to have a separate sewer lateral connecting to the City sewer.*

Response:

We understand this comment and have so noted the requirements to the applicant in the event that the lot was to be divided. There are currently no intentions to divide the property.

Comment 5:

*City standard details for concrete sidewalks and granite curbing. Construction within the street right of way shall follow these standards.*

Mr. Erick Giles  
April 1, 2010  
Page 5

Response:

Notes requiring that the concrete sidewalk and granite curb meet the City technical standards are identified on the project plans.

**Tom Errico – Traffic Engineer**

Comment 1:

*The applicant should provide sight distance measurements from the proposed main entrance and confirm that adequate sight will be provided. They should also identify whether restrictions should be included that limits plantings and other obstructions in front of the building.*

Response:

DeLuca-Hoffman Associates, Inc. has measured the available site distance for vehicles exiting the south driveway (nearest the corner on Danforth Street) and find that the available distance is 190 feet. There is a posted 20 mph speed limit warning sign on Danforth Street just uphill of the site.

Comment 2:

*The main parking area does not meet City standards for dimensional requirements. I would suggest that the 60 foot width be allocated with a 24-foot parking aisle and two 18 foot parking stalls. This will require a waiver from the technical standard, of which I support.*

Response:

We have indicated the applicable dimensions on the site plan and have provided parking spaces that are either 19 feet or 18 feet deep. We are seeking a waiver of the technical standard requiring 19 foot deep spaces for the 3 spaces on the south side of the building.

Comment 3:

*There are three parking spaces located at the rear of the building. I would suggest that the stall depth dimension be 18 feet and thus will allow a 22-foot aisle width. Both of these dimensions do not meet City standards, but I support a technical waiver.*

Response:

Per Mr. Errico's suggestions we are requesting a technical waiver for these layout conditions. We are providing an aisle width of 18 feet at the rear of the existing building, as this will match the existing pavement.



Mr. Erick Giles  
April 1, 2010  
Page 6

Comment 4:

*The secondary driveway will have a width of only 21 feet and does not meet City standards for a commercial development. Based upon expected low traffic volumes, I support a waiver from this standard.*

Response:

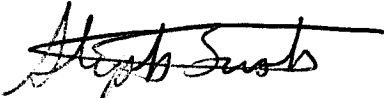
Per Mr. Errico's review, we are requesting a waiver of the technical standard for driveway width at this location.

We have revised the accompanying plans per the Staff review as well as our own internal review and we offer 7 copies of the revised plans for your final sign-off and approval.

If you have any questions with regards to this letter, please contact our office.

Sincerely,

DeLUCA-HOFFMAN ASSOCIATES, INC.



Stephen R. Bushey, P.E.  
Senior Engineer

SRB/smk/JN2939/Giles-04-01-10-ComRes

Enclosure

c: Chris Thompson, PropSys, Inc.  
David Lloyd, Archetype



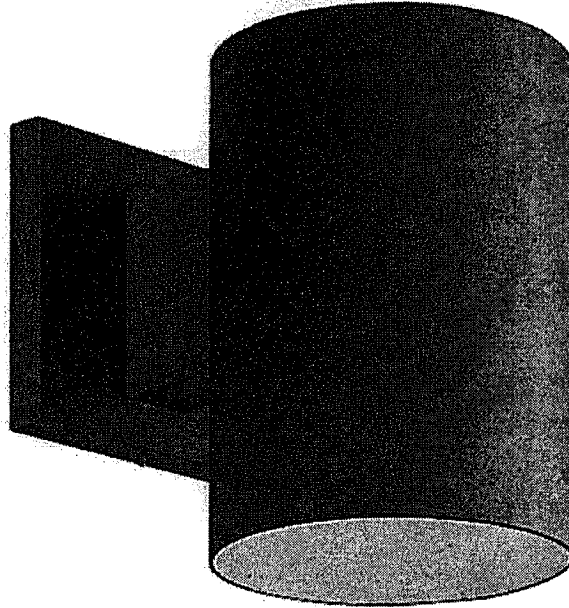
Outdoor -- P5674-31

New Products

- > Thomasville Lighting
- > Billy Moon Design
- > Delta Bath Match

Energy Star Products

- > Accessories
- > Bath & Vanity
- > Bath Fans
- > Ceiling Fans
- > Chandeliers
- > Close-to-Ceiling
- > Commercial Outdoor
- > Directionals
- > Exit Signs
- > Flex Track System
- > Hall & Foyer
- > Landscape
- > LED
- > Mini-Pendants
- > Modular Fluorescent
- > Outdoor
- > Pendants
- > Recessed-Accessory
- > Recessed-Housing
- > Recessed-Trim
- > Sconces
- > Step Lights
- > Track
- > Undercabinet
- > Wall Bracket



P5674-31  
Category: Outdoor

Description: 5" cylinder with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. UL listed for wet locations.

SKU: P5674-31  
Category: Outdoor

Finish: Black  
Family:

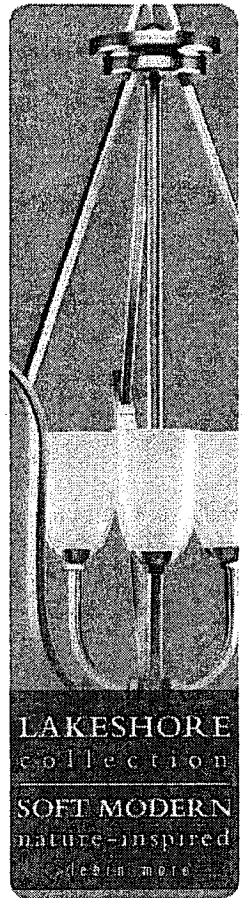
Width/Diameter: 5"  
Height: 7-1/4"  
Overall Length:  
Wire Length:

Lamp Quantity: One  
Lamp Type: BR-30  
Lamp Wattage: 75w max

Energy Efficient: False  
Energy Star Compliant: False

Notes:  
H/CTR 2-1/2". May use 75w PAR-30 lamp.

Price: \$85.20



Select or Update Quantity : 1

Add to Cart

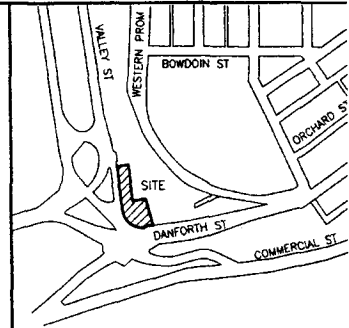
View Spec Sheets

Install Sheet

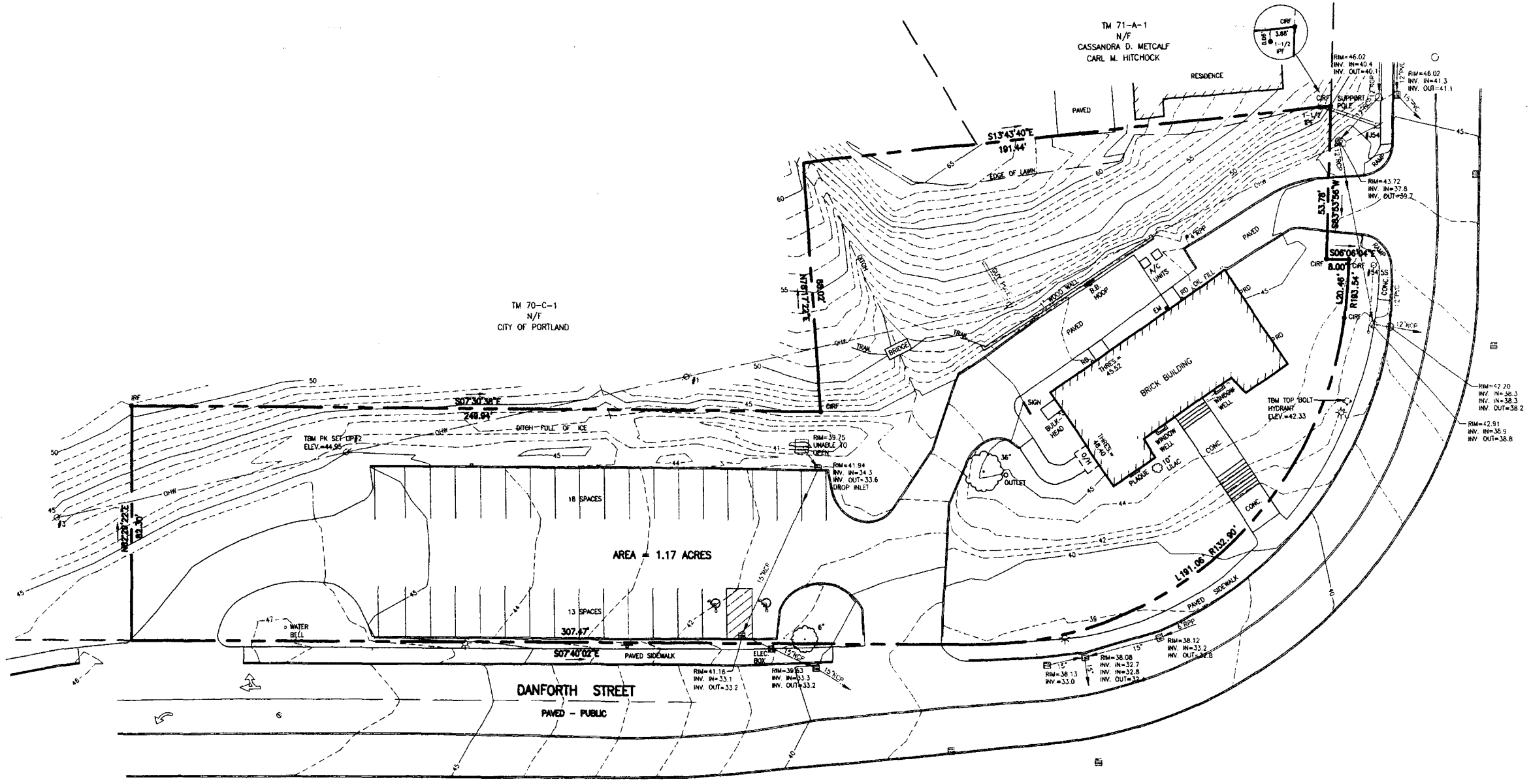
Product images available for download:  
[100 x 100](#)  
[200 x 200](#)  
[400 x 400](#)  
[1200 x 1200](#)

NOTE: All prices displayed are MSRP. Individual Dealer pricing during checkout may be different.

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Hubbell Lighting, Inc.



LOCATION MAP  
N.T.S.



- LEGEND**
- IRON PIPE OR ROD FOUND
  - ROOF DRAIN
  - WATER VALVE
  - HYDRANT
  - UTILITY POLE
  - LIGHT POLE
  - MANHOLE
  - CATCH BASIN
  - SIGN
  - DECIDUOUS TREE
  - CURB
  - OHW OVERHEAD WIRES
  - 50 STORM DRAIN
  - 45 1' CONTOUR

**UTILITY NOTE:**  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-800-DISSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION. DUE TO OSHA CONFINED SPACE REQUIREMENTS, ALL INVERTS AND PIPE SIZES MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION.

- NOTES**
- OWNER OF RECORD: SWEETSER CHILDREN'S SERVICES, C.C.R.D. BOOK 12657 PAGE 253.
  - BEARINGS ARE BASED ON MAINE STATE COORDINATE SYSTEM MAINE WEST 83.
  - PREMISES IS SHOWN AS LOT 2 BLOCK C ON CITY OF PORTLAND ASSESSORS MAP 70.
  - BENCH MARK: MAINE DEPARTMENT OF TRANSPORTATION CONTROL POINT POR-2 STANDARD DISK SET IN SOUTH END OF A RETAINING WALL AT THE INTERSECTION OF VALLEY STREET AND FORE RIVER BRIDGE ELEVATION 46.97 NGVD 29.

**CERTIFICATE**  
OWEN HASKELL, INC. HEREBY CERTIFIES THAT THIS PLAN IS BASED ON, AND THE RESULT OF, AN ON THE GROUND FIELD SURVEY AND THAT TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, IT CONFORMS TO THE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS CURRENT STANDARDS OF PRACTICE.

DATE \_\_\_\_\_ JOHN W. SWAN, PLS NO. 1038



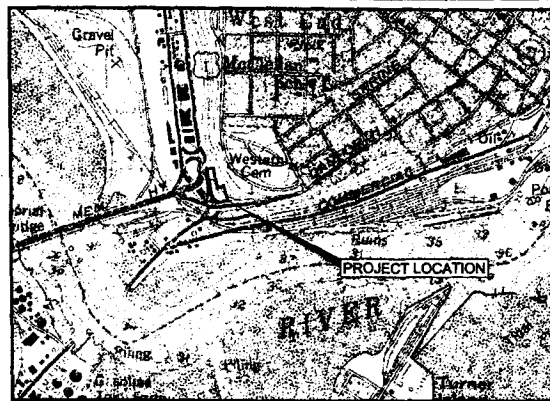
**BOUNDARY & TOPOGRAPHIC SURVEY**  
AT  
#501 DANFORTH STREET  
PORTLAND, MAINE  
MADE FOR  
**DELUCA HOFFMAN ASSOCIATES**

**OWEN HASKELL, INC.**  
390 U.S. ROUTE ONE, FAIRBANKS, ME 04105 (207) 774-  
PROFESSIONAL LAND SURVEYORS

Drawn By	RS	Date	Job No.
Trace By	JLW	JAN. 6, 2009	2009-180F
Check By	JWS	Scale	Drawn No.
Book No.	1088	1" = 20'	C2.0

PROJECT PARCEL SITE  
CITY OF PORTLAND TAX ASSESSOR'S MAP, LOT & BLOCK  
NUMBERS

MAP 70 BLOCK C LOTS 002



LOCATION MAP  
N.T.S.

# ACCESSORY BUILDING 501 DANFORTH STREET PORTLAND, MAINE SITE PLAN APPLICATION SUBMISSION

## UTILITIES

**SEWER**  
ATTN: FRANK BRANCELY  
PORTLAND PUBLIC WORKS  
55 PORTLAND STREET  
PORTLAND, MAINE 04101  
(207) 874-8300

## WATER

ATTN: RICO SPUGNARDI  
PORTLAND WATER DISTRICT  
225 DOUGLASS STREET  
P.O. BOX 3553  
PORTLAND, MAINE 04104-3553  
(207) 761-8307

## ELECTRIC

ATTN: MARK KREIDER  
CENTRAL MAINE POWER COMPANY  
162 CANCO ROAD  
P.O. BOX 1801  
PORTLAND, MAINE 04104  
(207) 828-2683

## GAS

ATTN: RICK BELLEMARE  
NORTHERN UTILITIES, INC.  
1075 FOREST AVENUE  
PORTLAND, MAINE 04103  
(207) 797-8002, EXT. 8247

## TELEPHONE

ATTN: SADY RANCOURT  
FAIRPOINT COMMUNICATIONS  
5 DAVIS FARM ROAD  
PORTLAND, MAINE 04103  
(207) 797-1776

## CABLE

ATTN: DEBRA PAJEMENT AND/OR  
DON JOHNSON  
TIME WARNER CABLE  
118 JOHNSON ROAD  
PORTLAND, MAINE 04102  
(207) 253-2262 (DEBRA)  
(207) 253-2291 (DON)

## FIRE ALARM

PORTLAND FIRE DEPT.  
CENTRAL FIRE STATION  
CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 8874-8300

## DIG SAFE

1-800-225-4977

## PERMITS

**LOCAL**  
SITE PLAN APPROVAL

**GOVERNING BODY**  
CITY OF PORTLAND PLANNING AUTHORITY  
4TH FLOOR CITY HALL  
389 CONGRESS STREET  
PORTLAND, MAINE 04101

**STATUS**  
PENDING

## INDEX

- 1.0 COVER SHEET, GENERAL NOTES AND LEGEND
- 2.0 BOUNDARY SURVEY AND EXISTING CONDITIONS PLAN (OWEN HASKELL, INC.)
- 3.0 DEMOLITIONS AND REMOVALS PLAN
- 4.0 SITE LAYOUT AND UTILITY PLAN
- 5.0 GRADING, DRAINAGE AND EROSION CONTROL PLAN
- 6.0 DETAILS
- 7.0 DETAILS
- 8.0 EROSION AND SEDIMENT CONTROL NOTES
- 9.0 ACCESS DRIVE PROFILES

## PREPARED BY

**CIVIL ENGINEER:**  
**DeLuca-Hoffman Associates, Inc.**  
778 MAIN STREET, SUITE 8  
SOUTH PORTLAND, MAINE 04106  
(207) 775-1121

## SURVEYOR:

**Owen Haskell, Inc.**  
16 CASCO STREET  
PORTLAND, MAINE 04101

**OWNER:**  
**SWEETSER CHILDRENS SERVICES**  
50 MOODY STREET  
SACO, MAINE 04072  
C.C.R.D. BOOK 12657, PAGE 253

**APPLICANT:**  
**PROPSYS, INC.**  
55 LISBON STREET, SUITE 2400  
LEWISTON, MAINE 04240

I HEREBY ACKNOWLEDGE THAT THESE PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MAINE AND THAT I AM COMPETENT TO PREPARE THIS DOCUMENT.

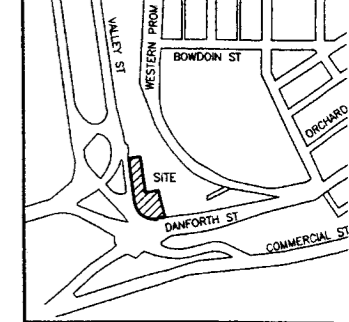
EXISTING	DESCRIPTION	PROPOSED
---	ABUTTING PROPERTY LINE / R.O.W. LINE	---
JOHN Q. OWNER 1111/222	PROPERTY OWNER NAME & DEED INFO.	---
---	EASEMENT LINE	---
○	BOUNDARY MONUMENTATION	○
△	SURVEY CONTROL POINT	△
---	CONSTRUCTION CENTER LINE	---
---	SETBACK LINE	---
---	EDGE OF PAVEMENT	---
---	CURB	SEE SITE LAYOUT PLAN
▨	BUILDING	▨
---	STEPS	---
---	TREELINE / CLEARING LIMIT	---
○	TREES / LANDSCAPING	SEE LANDSCAPE PLAN
---	SIGN - SEE SITE LAYOUT PLAN FOR TYPE	---
○	LIGHT POLE / FIXTURE	○
○	UTILITY POLE	○
---	GUY WIRE	---
---	FENCE TYPES (AS NOTED)	---
---	RIPRAP AREA	---
---	GRADING CONTOUR LINE	---
---	GRADING SPOT GRADE	---
○	SANITARY SEWER MANHOLE	○
○	DRAIN MANHOLE	○
---	SANITARY SEWER LINE	---
---	SANITARY SERVICE	---
---	CATCH BASIN	---
---	STORM DRAIN	---
○	WATER VALVE	○
---	WATER MAIN	---
○	FIRE HYDRANT	○
OHW	OVERHEAD ELECTRIC LINES	OHW
UE	UNDERGROUND ELECTRIC LINES	UE
UE/T/C	UNDERGROUND ELECTRIC/TEL./CABLE	UE/T/C
□	TRAFFIC CONTROL BOX	□
---	GAS LINE	---
---	CATCH BASIN SEDIMENT BARRIER	---
---	SILTATION FENCE	---
---	TEMP. STABILIZED CONSTRUCTION ENTRANCE	---
---	ASPHALT SIDEWALK	---

## GENERAL NOTES:

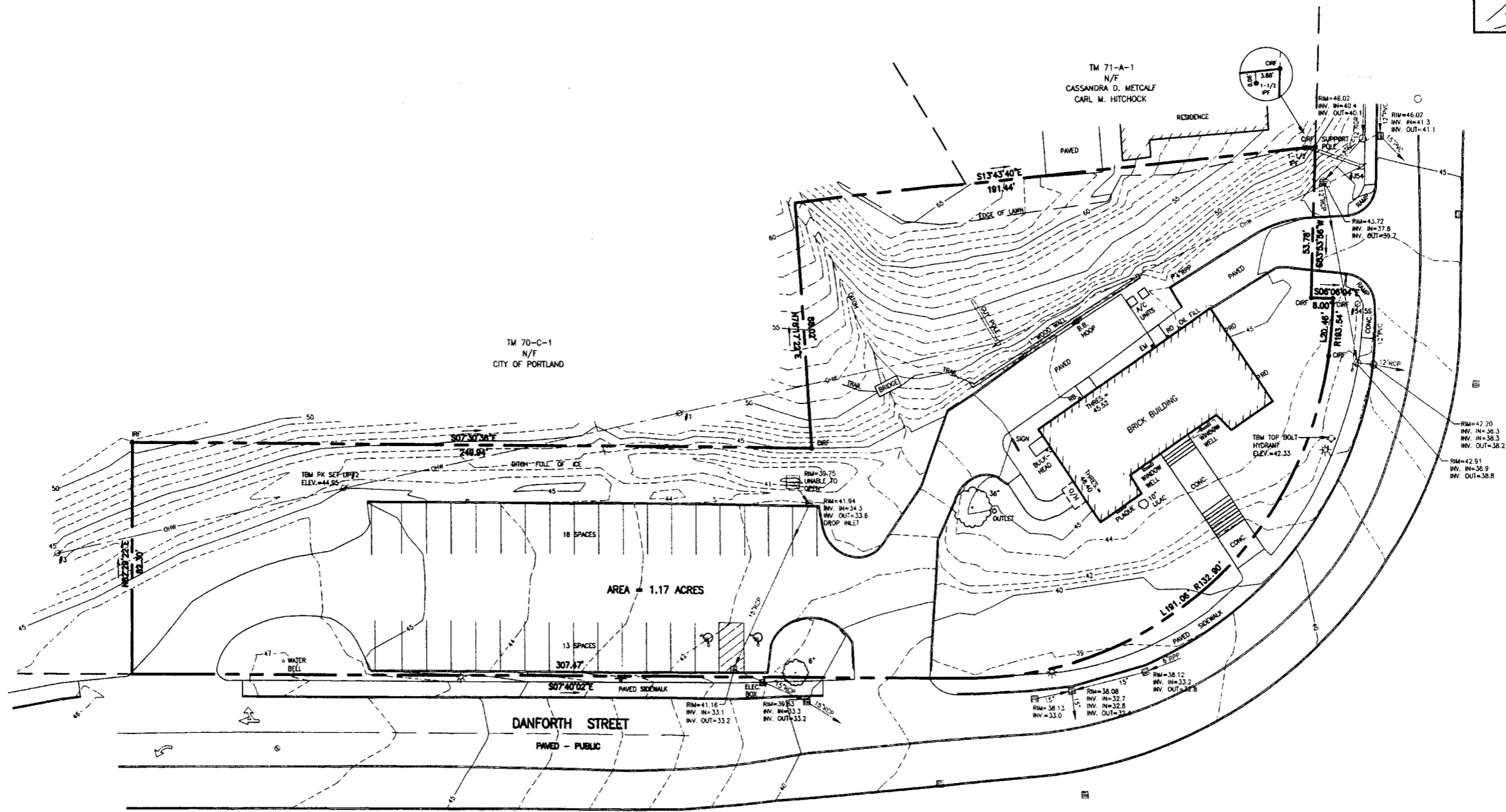
1. THIS PROJECT IS SUBJECT TO THE TERMS AND CONDITIONS OF ALL REGULATIONS ADMINISTERED BY THE LOCAL UTILITY COMPANIES AND THE CITY OF PORTLAND.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE (1-888-DIGSAFE) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS AT NO ADDITIONAL COST TO THE OWNER UNLESS OTHERWISE AGREED UPON.
3. MAINTENANCE OF EROSION CONTROL MEASURES IS OF PARAMOUNT IMPORTANCE TO THE OWNER AND THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. ADDITIONAL EROSION CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ONSITE INSPECTIONS OF THE OWNER OR THEIR REPRESENTATIVES AT NO ADDITIONAL COST TO THE OWNER.
4. ALL MATERIAL SCHEDULES SHOWN ON THE PLANS ARE FOR GENERAL INFORMATION ONLY. THE CONTRACTOR SHALL PREPARE HIS OWN MATERIAL SCHEDULES BASED UPON HIS PLAN REVIEW. ALL SCHEDULES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR PERFORMING WORK.
5. ALL MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MAINE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, AND THE CITY OF PORTLAND TECHNICAL STANDARDS. IN THE CASE OF A CONFLICT BETWEEN THE DOT SPECS AND PORTLAND STANDARDS, THE MORE STRINGENT SHALL BE USED AT NO ADDITIONAL COST TO THE OWNER AND THE OWNER NOTIFIED.
6. TOPOGRAPHIC SURVEY INFORMATION WAS TAKEN FROM CITY OF PORTLAND AERIAL SURVEY, ELECTRONIC DATA PROVIDED BY CITY OF PORTLAND GIS DEPARTMENT AND SURVEY DATA PROVIDED BY OWEN HASKELL, INC.
7. BOUNDARY SURVEY INFORMATION TAKEN FROM A PLAN PREPARED BY OWEN HASKELL, INC. TITLED "BOUNDARY & TOPOGRAPHIC SURVEY" AT 501 DANFORTH STREET, PORTLAND, MAINE, MADE FOR DELUCA-HOFFMAN ASSOCIATES, INC. DATED JANUARY 6, 2010.
8. FEMA MAP COMMUNITY PANEL NUMBER 23005100168. THE PARCEL DOES NOT LIE WITHIN A FLOOD HAZARD ZONE.
9. THE PROPERTY SHOWN ON THIS PLAN MAY BE DEVELOPED AND USED ONLY AS DEPICTED IN THIS APPROVED PLAN. ALL ELEMENTS AND FEATURES OF THE PLAN AND ALL THE PROPERTY WHICH APPEARS IN THE RECORD OF THE PLANNING AUTHORITY PROCEEDINGS ARE CONDITIONS OF THE APPROVAL. NO CHANGE FROM THE CONDITIONS OF APPROVALS IS PERMITTED UNLESS AN AMENDED PLAN IS FIRST SUBMITTED TO AND APPROVED BY THE PLANNING AUTHORITY.
10. ALL SIGNAGE SHALL CONFORM TO THE STANDARDS FOR SIZE, HEIGHT, LOCATION AND REFLECTIVITY SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
11. ALL PARKING STALLS SHALL BE MARKED OFF BY 4" SOLID WHITE LINES EXCEPT AS SHOWN ON THE LAYOUT PLAN.
12. ALL CURB SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS AS NOTED ON THE PLANS: GRANITE AND BITUMINOUS CONCRETE CURB SHALL MEET THE REQUIREMENTS OF MAINE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS 608.03 AND 608.04 AND CITY OF PORTLAND TECHNICAL STANDARDS.
13. ALL DIMENSIONING UNLESS OTHERWISE NOTED IS TO THE FACE OF CURB.
14. THE EXISTING BUILDING IS SERVICED BY PUBLIC WATER, SEWER AND OVERHEAD UTILITIES ACCORDING TO RECORDS PROVIDED BY THE PORTLAND WATER DISTRICT AND THE PORTLAND PUBLIC SERVICES DEPARTMENT. THE CONTRACTOR SHALL INCLUDE COSTS TO LOCATE AND EXTEND EACH SERVICE TO THE ACCESSORY BUILDING IN ACCORDANCE WITH EACH UTILITY PROVIDER'S REQUIREMENTS.
15. THE CONTRACTOR OR DEVELOPER IS REQUIRED TO NOTIFY THE CITY OF PORTLAND PUBLIC SERVICES INSPECTION SERVICES DIVISION (874-8300 EXT. 8838), CODE ENFORCEMENT OFFICE AND DEVELOPMENT REVIEW COORDINATOR IN WRITING THREE (3) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE IMPROVEMENTS BE OF SIGNIFICANT CONCERN OR IN A SENSITIVE AREA, A PRECONSTRUCTION MEETING MAY BE REQUIRED AT THE DISCRETION OF THE PUBLIC SERVICES DEPARTMENT OR DEVELOPMENT REVIEW COORDINATOR.
16. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. THE DEVELOPER, OR AN AUTHORIZED AGENT, MUST BE AVAILABLE AT ALL TIMES DURING CONSTRUCTION.
17. WARNING SIGNS, MARKERS, BARRICADES OR FLAGMEN MUST BE EMPLOYED ON ADJACENT STREETS AS NECESSARY.
18. CONSTRUCTION AND DEMOLITION DEBRIS SHALL BE CONTAINERIZED AND DISPOSED OF IN ACCORDANCE WITH THE CITY OF PORTLAND'S SOLID WASTE ORDINANCE CHAPTER 12.
19. ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
20. PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO INSURE INTEGRITY. IF DISTURBED THEY SHALL BE REPLACED BY A SURVEYOR REGISTERED IN THE STATE OF MAINE AT THE CONTRACTOR'S EXPENSE.
21. A STREET OPENING PERMIT MUST BE OBTAINED FROM THE CITY OF PORTLAND PUBLIC SERVICES DEPARTMENT PRIOR TO BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
22. DIMENSIONAL REQUIREMENTS

B-2b ZONE	REQUIRED	PROVIDED
<b>DIMENSIONAL REQUIREMENTS</b>		
MINIMUM LOT SIZE	NONE	1.17 ACRES
MINIMUM STREET FRONTAGE	50 FEET	>500 FEET
MAXIMUM FRONT SETBACK	10 FEET	<10 FEET
MINIMUM REAR SETBACK	5 FEET	20 FEET±
MINIMUM SIDE SETBACK	5 FEET	<45 FEET
MAXIMUM STRUCTURE HEIGHT	45 FEET	<90%
MAXIMUM IMPERVIOUS SURFACE RATIO	90%	
FRONT YARD PARKING	SEE NOTE	

PROJECT <b>ACCESSORY BUILDING 501 DANFORTH STREET</b>			<b>DeLUCA-HOFFMAN ASSOCIATES, INC.</b> 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM
SHEET TITLE <b>COVER SHEET</b>			
CLIENT <b>PROPSYS, INC.</b> 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240		DRAWN: CMW DATE: JAN 2010 DESIGNED: SRB SCALE: AS NOTED CHECKED: SRB JOB NO: 2939 FILE NAME: 2939-COV SHEET 1.0	
1	03.09.10	SITE PLAN APPLICATION TO CITY OF PORTLAND	
REV	DATE	DESCRIPTION	



LOCATION MAP  
N.T.S.



- LEGEND**
- IRON PIPE OR ROD FOUND
  - RD ROOF DRAIN
  - ⊙ WATER VALVE
  - ⊕ HYDRANT
  - ⊙ UTILITY POLE
  - ⊙ LIGHT POLE
  - ⊙ MANHOLE
  - ⊙ CATCH BASIN
  - ⊙ SIGN
  - ⊙ DECIDUOUS TREE
  - CURB
  - OHW OVERHEAD WIRES
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  - 45 1' CONTOUR

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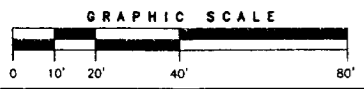
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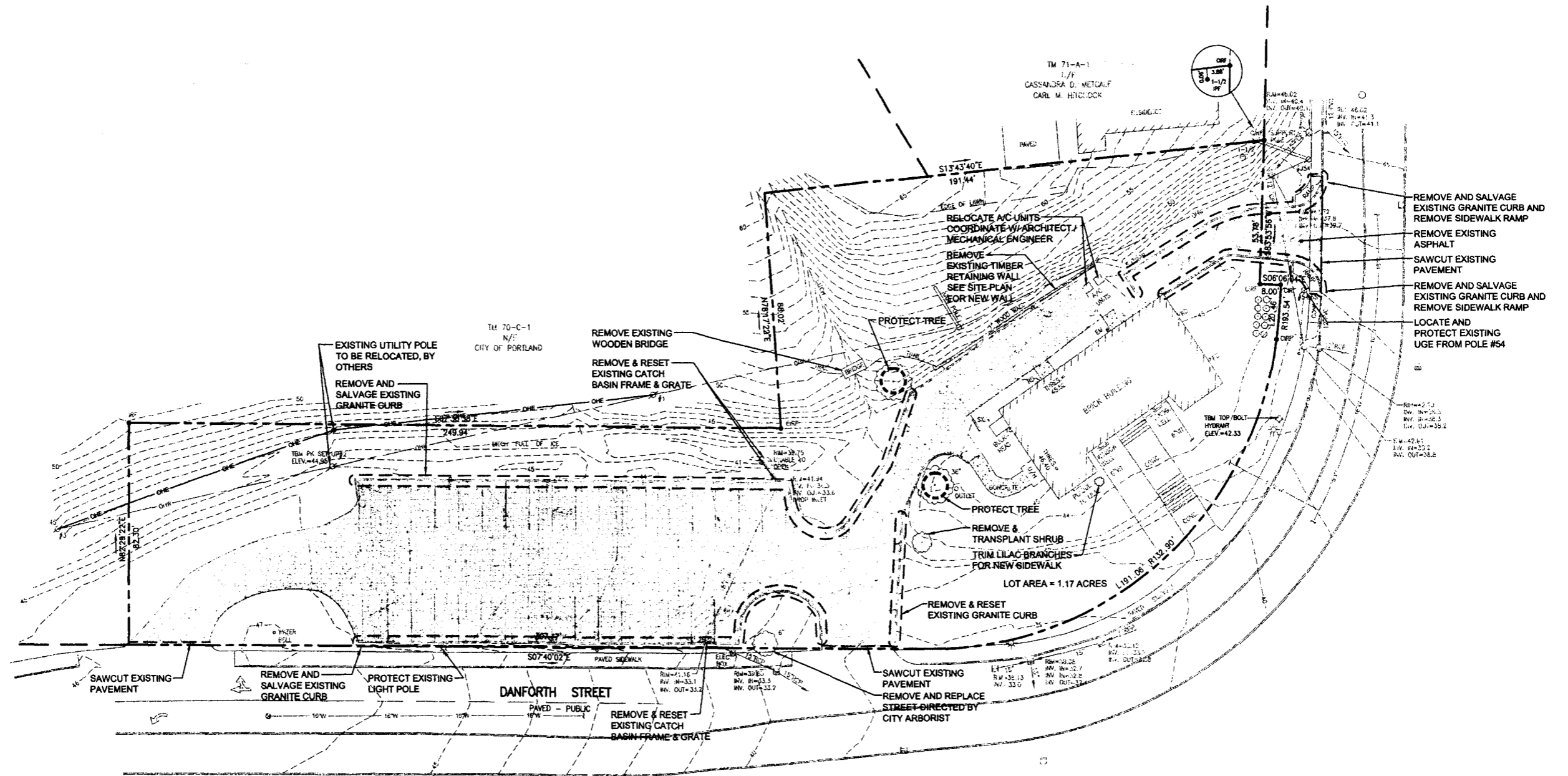
DATE \_\_\_\_\_ JOHN W. SWAN, PLS NO. 1038



**BOUNDARY & TOPOGRAPHIC SURVEY**  
AT  
#501 DANFORTH STREET  
PORTLAND, MAINE  
MADE FOR  
**DELUCA HOFFMAN ASSOCIATES**

**OWEN HASKELL, INC.**  
390 U.S. ROUTE ONE, FALMOUTH, ME 04105 (207) 774-  
PROFESSIONAL LAND SURVEYORS

Drawn By	RS	Date	JAN. 6, 2009	Job No.	2009-1801
Trace By	JLW	Scale	1" = 20'	Drawn No.	C2.0
Check By	JWS	Book No.	1088		



EXISTING UTILITY POLE  
TO BE RELOCATED, BY  
OTHERS  
REMOVE AND  
SALVAGE EXISTING  
GRANITE CURB

TM 70-C-1  
N/F  
CITY OF PORTLAND

REMOVE EXISTING  
WOODEN BRIDGE  
REMOVE & RESET  
EXISTING CATCH  
BASIN FRAME & GRATE

RELOCATE A/C UNITS  
COORDINATE W/ ARCHITECT /  
MECHANICAL ENGINEER  
REMOVE  
EXISTING TIMBER  
RETAINING WALL  
SEE SITE PLAN  
FOR NEW WALL

PROTECT TREE

PROTECT TREE  
REMOVE &  
TRANSPLANT SHRUB  
TRIM LILAC BRANCHES  
FOR NEW SIDEWALK

LOT AREA = 1.17 ACRES

REMOVE & RESET  
EXISTING GRANITE CURB

SAWCUT EXISTING  
PAVEMENT

REMOVE AND  
SALVAGE EXISTING  
GRANITE CURB

PROTECT EXISTING  
LIGHT POLE

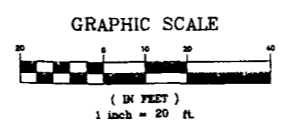
DANFORTH STREET

REMOVE & RESET  
EXISTING CATCH  
BASIN FRAME & GRATE

SAWCUT EXISTING  
PAVEMENT  
REMOVE AND REPLACE  
STREET DIRECTED BY  
CITY ARBORIST

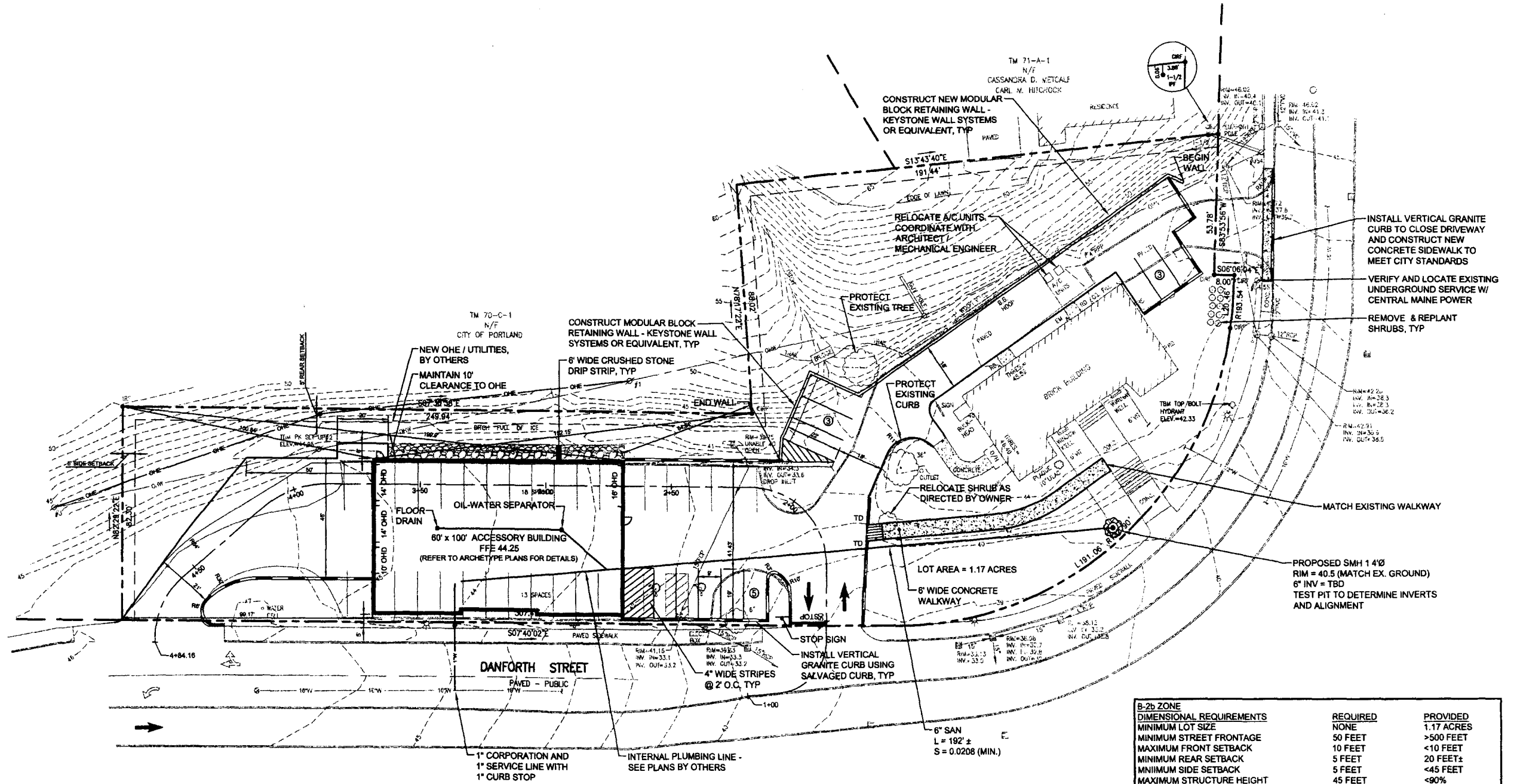
REMOVE AND SALVAGE  
EXISTING GRANITE CURB AND  
REMOVE SIDEWALK RAMP  
REMOVE EXISTING  
ASPHALT  
SAWCUT EXISTING  
PAVEMENT  
REMOVE AND SALVAGE  
EXISTING GRANITE CURB AND  
REMOVE SIDEWALK RAMP  
LOCATE AND  
PROTECT EXISTING  
UG FROM POLE #54

**LEGEND**  
PAVEMENT TO BE REMOVED



**PRELIMINARY - NOT FOR CONSTRUCTION**

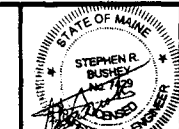
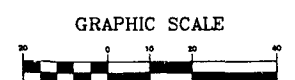
PROJECT <b>ACCESSORY BUILDING          501 DANFORTH STREET</b>			PROJECT <b>ACCESSORY BUILDING          501 DANFORTH STREET</b>	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM						
SHEET TITLE <b>DEMOLITION AND          REMOVALS PLAN</b>					DRAWN: CMW DATE: JAN 2010 DESIGNED: SRB SCALE: 1" = 20' CHECKED: SRB JOB NO. 2939 FILE NAME: 2939-DEMO SHEET <b>3.0</b>					
CLIENT <b>PROPSYS, INC.</b> 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240		P.E. STEPHEN BUSHY LIC. # 7429								
<table border="1"> <thead> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>03.06.10</td> <td>SITE PLAN APPLICATION TO CITY OF PORTLAND</td> </tr> </tbody> </table>					REV	DATE	DESCRIPTION	1	03.06.10	SITE PLAN APPLICATION TO CITY OF PORTLAND
REV	DATE	DESCRIPTION								
1	03.06.10	SITE PLAN APPLICATION TO CITY OF PORTLAND								



B-2b ZONE		
DIMENSIONAL REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT SIZE	NONE	1.17 ACRES
MINIMUM STREET FRONTAGE	50 FEET	>500 FEET
MAXIMUM FRONT SETBACK	10 FEET	<10 FEET
MINIMUM REAR SETBACK	5 FEET	20 FEET±
MINIMUM SIDE SETBACK	5 FEET	<45 FEET
MAXIMUM STRUCTURE HEIGHT	45 FEET	<90%
MAXIMUM IMPERVIOUS SURFACE RATIO	90%	
FRONT YARD PARKING	SEE NOTE	

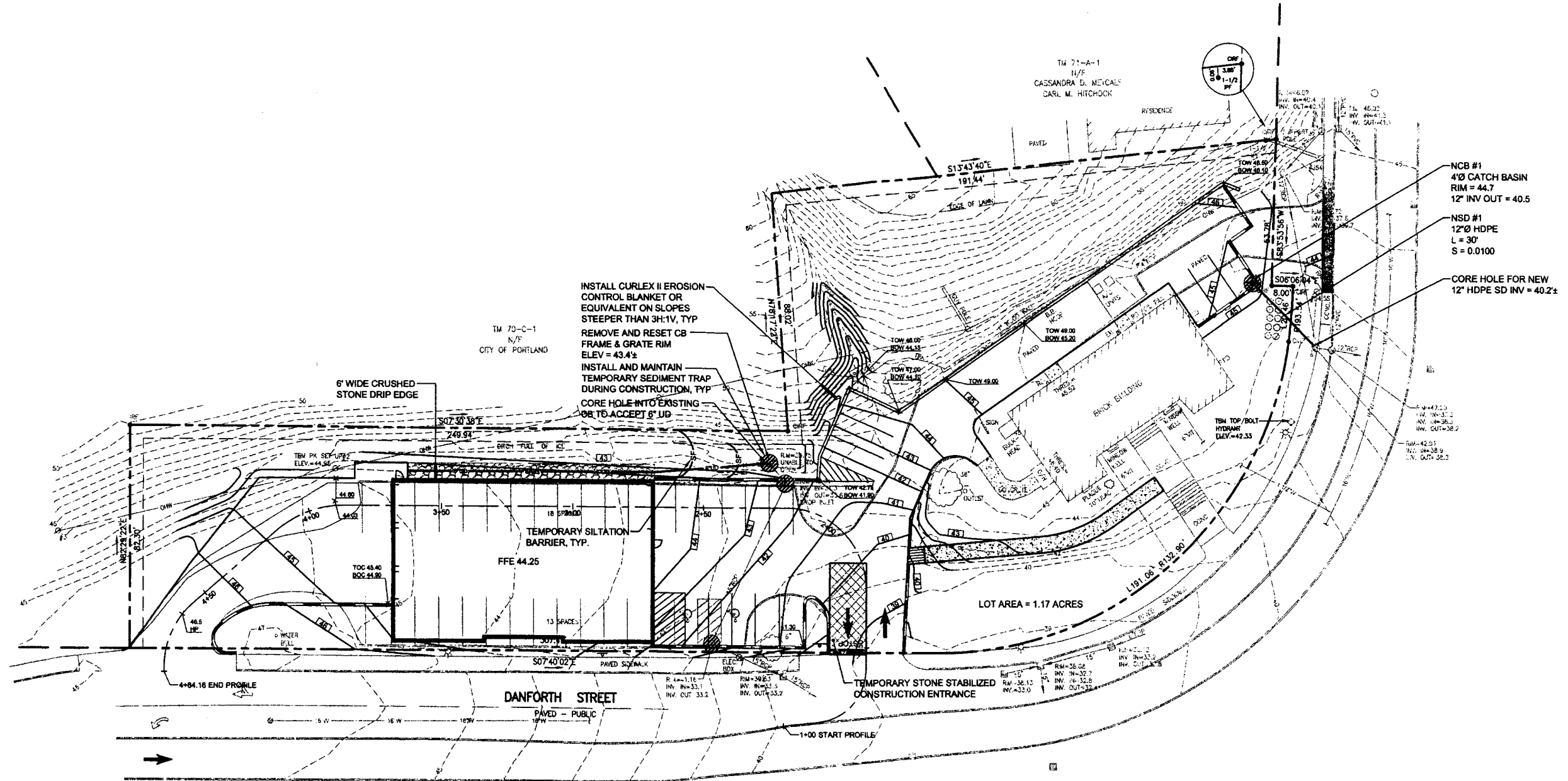
PLAN REFERENCE  
 1. BOUNDARY & TOPOGRAPHIC SURVEY BY OWEN HASKELL, INC.  
 DATED JANUARY 8, 2010

PRELIMINARY - NOT FOR CONSTRUCTION

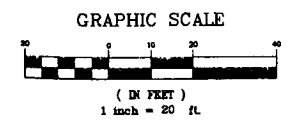


PROJECT  
**ACCESSORY BUILDING**  
**501 DANFORTH STREET**  
 SHEET TITLE  
**SITE LAYOUT AND UTILITY PLAN**

DESIGNED: SRB SCALE: 1" = 20'  
 DRAWN: CMW DATE: JAN 2010  
 DeLUCA-HOFFMAN ASSOCIATES, INC.  
 778 MAIN STREET, SUITE 8  
 SOUTH PORTLAND, ME 04106  
 207.775.1121  
 WWW.DELUCAHOFFMAN.COM



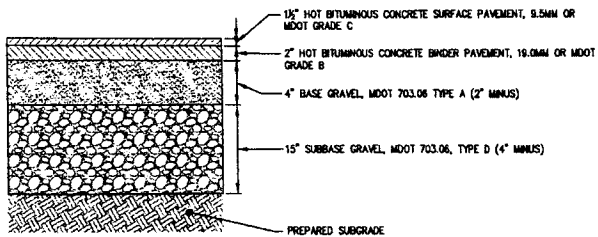
PRELIMINARY - NOT FOR CONSTRUCTION



PROJECT <b>ACCESSORY BUILDING</b> <b>501 DANFORTH STREET</b>			PROJECT <b>ACCESSORY BUILDING</b> <b>501 DANFORTH STREET</b>	DeLUCA-HOFFMAN ASSOCIATES, INC. 778 MAIN STREET, SUITE 8 SOUTH PORTLAND, ME 04106 207.775.1121 WWW.DELUCAHOFFMAN.COM
SHEET TITLE <b>GRADING, DRAINAGE &amp; EROSION CONTROL PLAN</b>				
CLIENT <b>PROPSYS, INC.</b> 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240		P.E. STEPHEN BUSHEY U.C. # 7429		
REVISIONS 1 03.09.10 SITE PLAN APPLICATION TO CITY OF PORTLAND				

G:\2939\PERMIT\DWG\2939-GRADE.dwg, Layout1, 3/6/2010 11:35:02 AM, cwhiteman



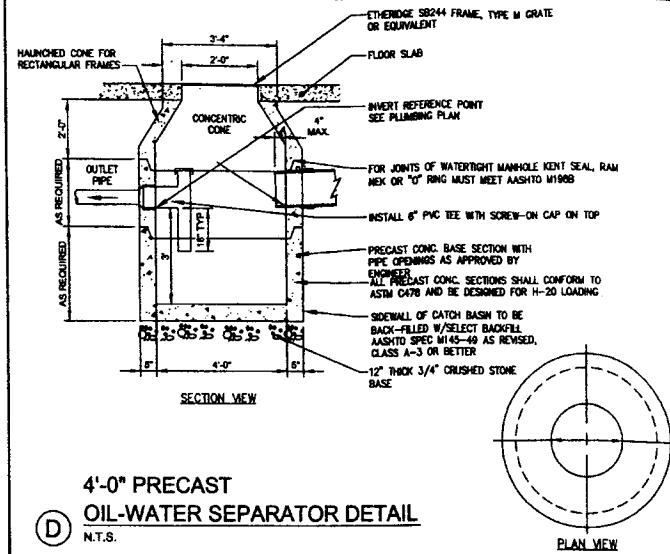


**NOTES**

1. APPLY TACK COAT BETWEEN BINDER AND SURFACE COURSES.
2. ALL MATERIALS SHALL CONFORM TO MDOT SPECIFICATIONS, LATEST REVISION. COMPACTION OF ALL MATERIALS TO BE IN ACCORDANCE WITH THE MDOT SPECIFICATIONS.
3. USE SMOOTH BLADE BUCKET TO MINIMIZE DISTURBANCE AS SUBGRADE IS PREPARED.
4. GEOTEXTILE FABRIC MAY BE NECESSARY OVER SILTY CLAY OR YIELDING SUBGRADE. CONTRACTOR SHALL NOTIFY OWNER IF YIELDING SUBGRADE CONDITIONS ARE ENCOUNTERED IN ORDER TO DISCUSS AND DETERMINE A COURSE OF ACTION.

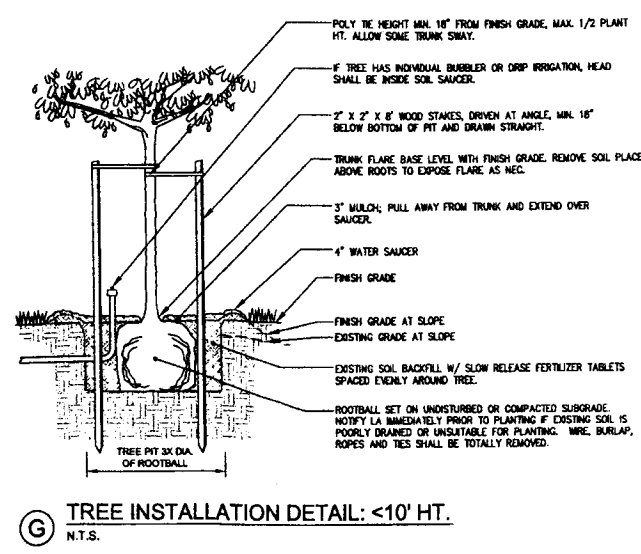
**STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT SECTION**

(A) N.T.S.



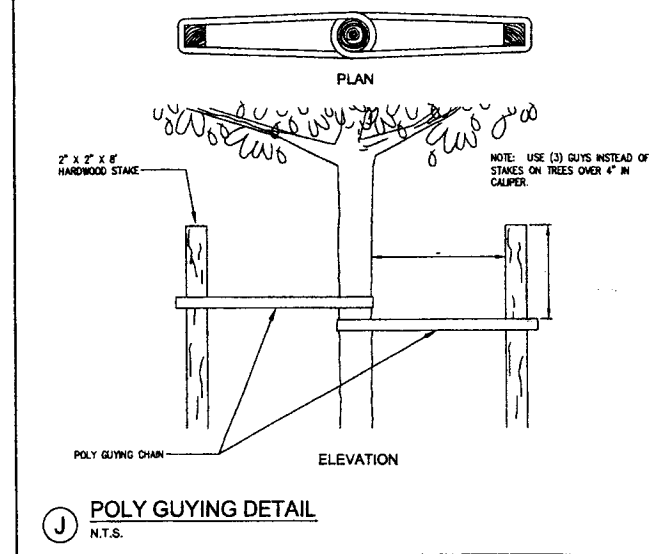
**4'-0" PRECAST OIL-WATER SEPARATOR DETAIL**

(D) N.T.S.



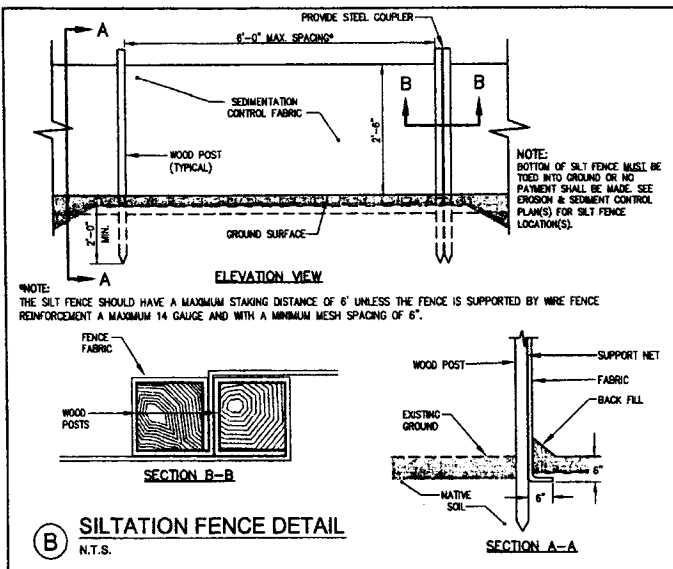
**TREE INSTALLATION DETAIL: <10' HT.**

(G) N.T.S.



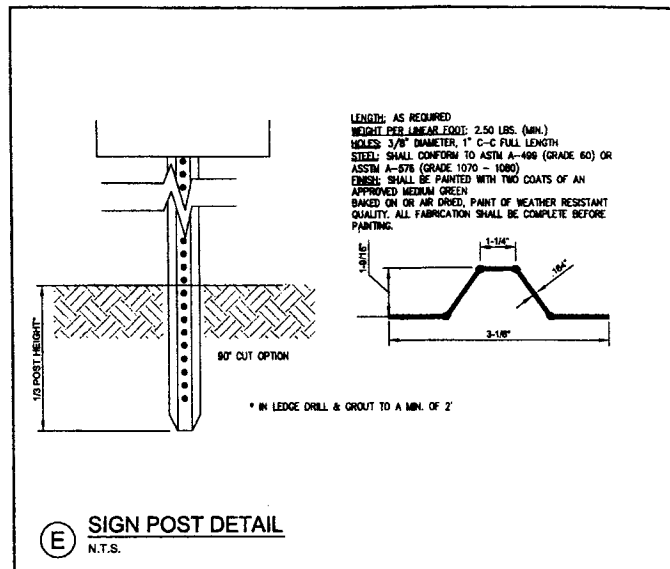
**POLY GUYING DETAIL**

(J) N.T.S.



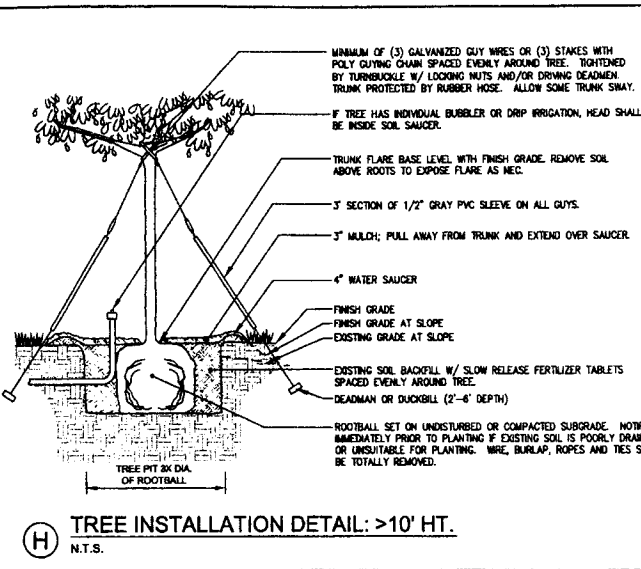
**SILTATION FENCE DETAIL**

(B) N.T.S.



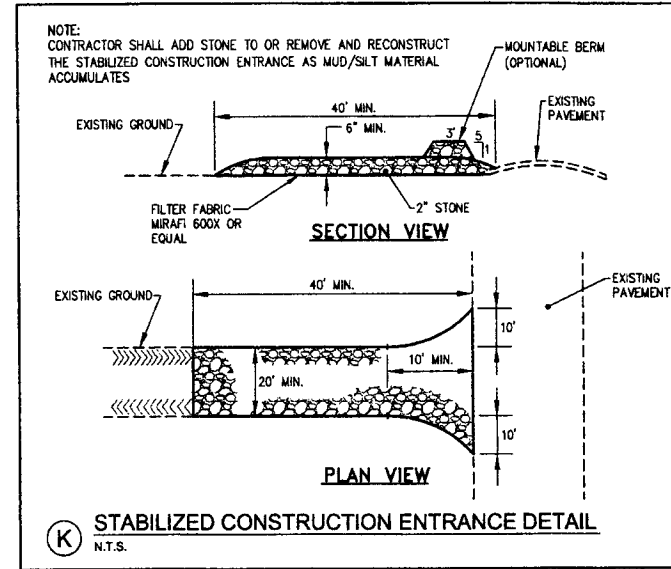
**SIGN POST DETAIL**

(E) N.T.S.



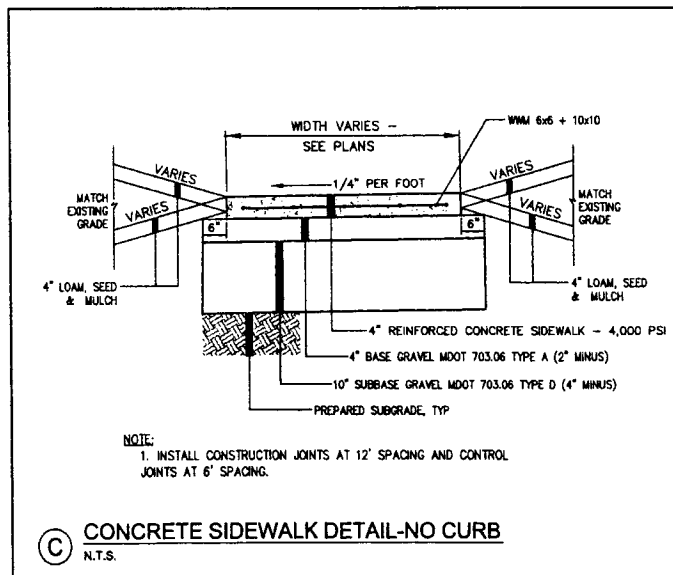
**TREE INSTALLATION DETAIL: >10' HT.**

(H) N.T.S.



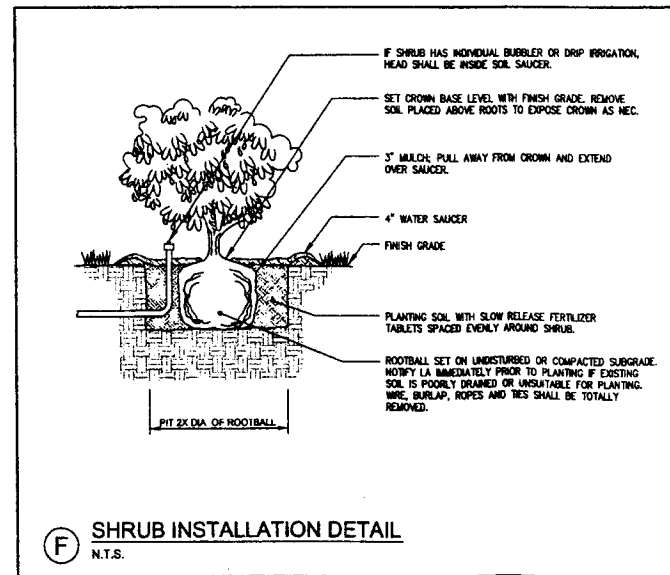
**STABILIZED CONSTRUCTION ENTRANCE DETAIL**

(K) N.T.S.



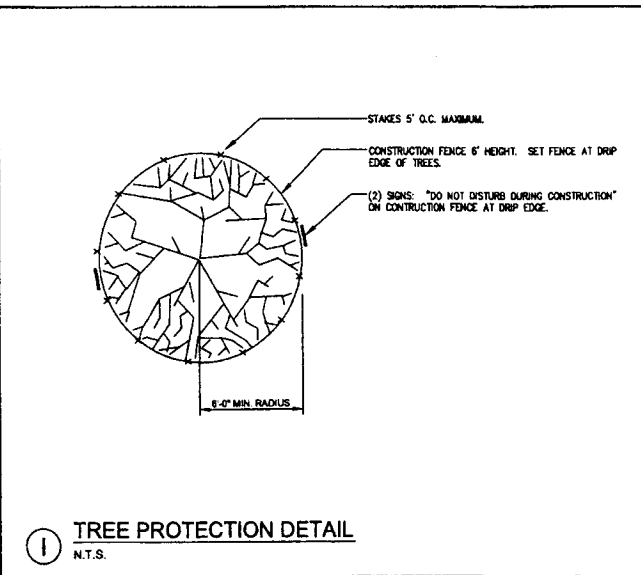
**CONCRETE SIDEWALK DETAIL-NO CURB**

(C) N.T.S.



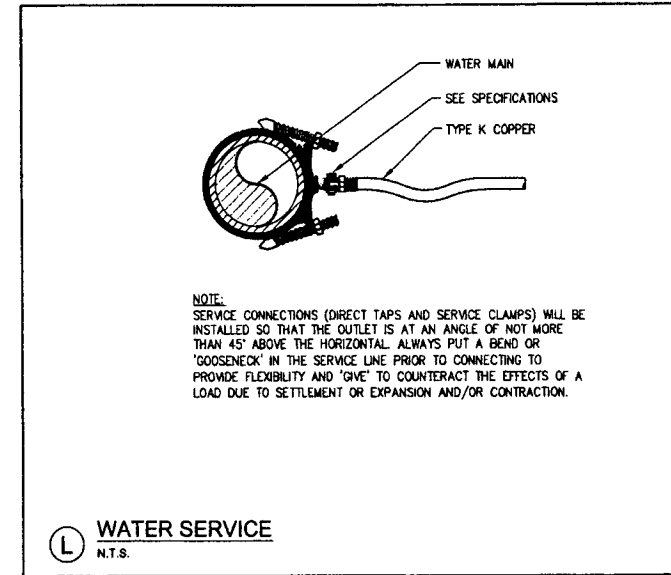
**SHRUB INSTALLATION DETAIL**

(F) N.T.S.



**TREE PROTECTION DETAIL**

(I) N.T.S.

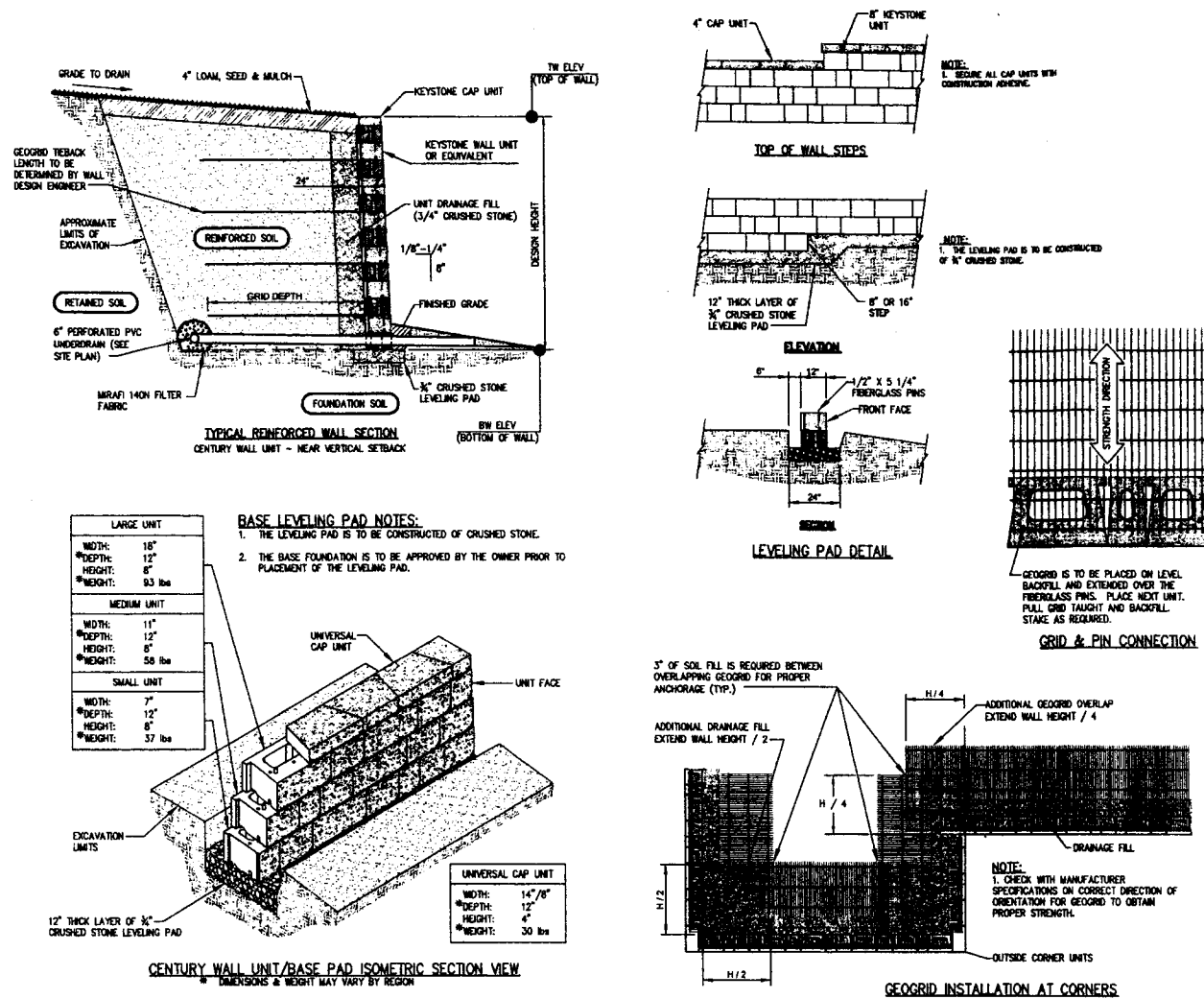


**WATER SERVICE**

(L) N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

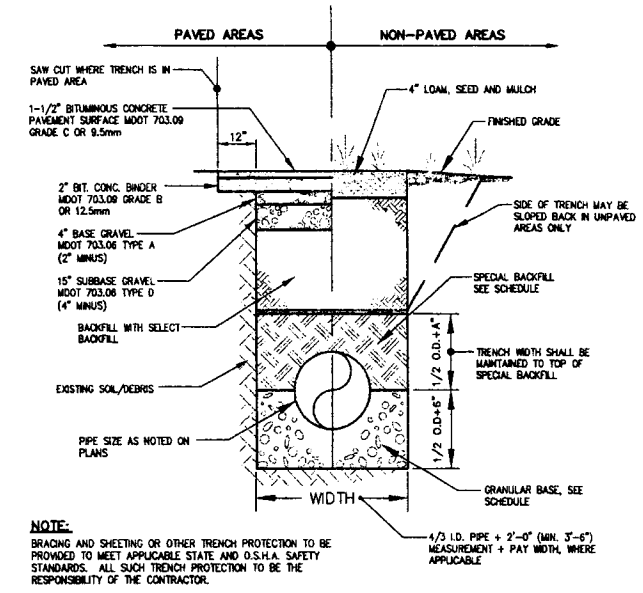
		PROJECT <b>ACCESSORY BUILDING</b> <b>501 DANFORTH STREET</b> SHEET TITLE <b>DETAILS</b>	<b>DeLUCA-HOFF ASSOCIATES,</b> 778 MAIN STREET, 81 SOUTH PORTLAND, ME 04106-1121 WWW.DELUCAHOFFMAN.COM
DRAWN: CMW DESIGNED: SRB CHECKED: SRB FILE NAME: 2639-DET	DATE: JAA SCALE: AS JOB NO. 293 SHEET 6.0	OWNER <b>PROPSYS, INC.</b> 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240	
1 03.08.10 SITE PLAN APPLICATION TO CITY OF PORTLAND REV DATE DESCRIPTION	REVISIONS	P.E. STEPHEN BUSHEY LIC. # 7429	



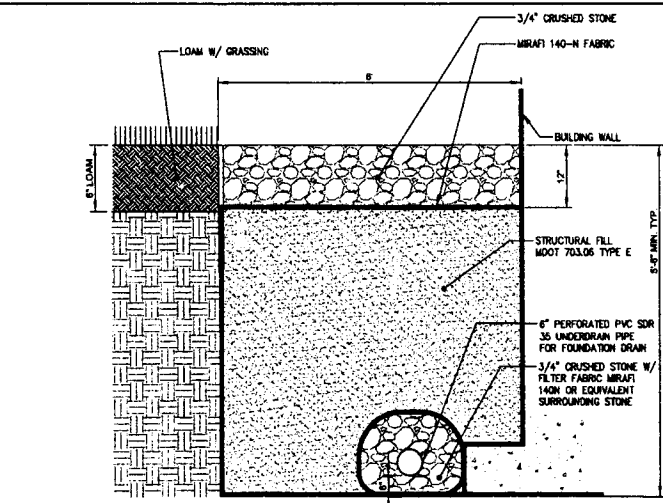
**(A) KEYSTONE MODULAR BLOCK RETAINING WALL DETAIL**  
N.T.S.

- This drawing depicts minimum basic installation of a modular block retaining wall. Variations may be made to fit variable conditions; however guidelines depicted on this drawing shall be followed.
- Modular block retaining walls shall be constructed in accordance with supplemental section 636 including the applicable approval and manufacturer's recommendations.
- Modular block retaining wall installation procedures shall be submitted to the town for review and approval in accordance with supplemental section 636 with the following additional information as a minimum:
  - Indicate modular block manufacturer, unit, and color.
  - Provide manufacturer's specifications and recommendations.
  - "Recent" test data indicating standard unit's conformance to ASTM C-1372 (see note 4 below).
  - Indicate face setback distance.
  - Indicate tieback (engineering geogrid) length if required per manufacturer.
  - Depict proposed method of constructing vertical face returns at locations requiring a vertical face (see note 6 below).
  - Indicate toe detail, if applicable (see note 7 below).
  - Provide manufacturer recommended sealant specifications (see note 11 below).
  - Indicate sealant's conformance to ASTM's e-514, d-1653-93, & d-3273-04 (see note 11 below).
- Modular block standard units shall conform to ASTM 1372 and shall be one of the following:
  - anchor wall - diamond - straight face (or an equivalent approved by the owner).
  - Keystone - "straight split" (standard and compact).
- Modular block retaining walls shall be one of the following colors as designated on the plan set or selected by the engineer during installation procedure approval:
  - natural gray
  - rustic red
  - sandstone/buff
- Vertical face returns shall be built against existing walls, steps and/or other structures requiring a vertical face return. The length of returns shall be determined by the engineer in the field.
- Modular block retaining walls shall bury below the top of the sidewalk or finished grade one (1) inch of block face for every one (1) foot of wall height with a minimum of one-half block face buried. Modular block walls six (6) feet or more in height shall submit to the engineer for review and approval a proposed toe detail depicting bury depth and horizontal placement of buried block units.
- Backfill behind the retaining wall shall be compacted in intervals equivalent to the thickness of one (1) course of modular block units by hand operated vibratory machines. No heavy machinery may be used behind the wall.
- Engineering geogrid if required by the manufacturer shall be installed every three (3) courses maximum, but never within the two (2) courses below the capstone.
- Maximum finished slope above a modular block wall shall not exceed 3 to 1. Slopes flatter than 3 to 1 are acceptable provided positive drainage toward the street is maintained.
- All exposed faces of modular block walls shall be coated with a clear, penetrating sealant that resists water, weather, mold, corrosion, de-icing compounds and conforms to ASTM's e-514, d-1653-93, and d-3273-04. Cost considered incidental to item 611.
- Native soils equivalent to the thickness of one (1) course of modular block units shall be provided above the drainage aggregate and below the topsoil.
- All capstones shall be glued.
- Modular block retaining walls shall be constructed so that the face of the wall abuts the right-of-way for the entire length of the wall. Where an inclining street grade and specified face setback results in the wall to fall away from the right-of-way, then adjustments to the wall's alignment shall be made to maintain abutment to the right-of-way.

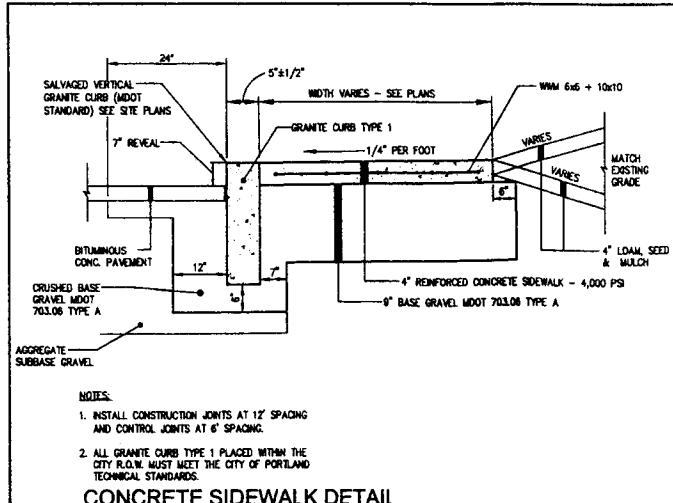
TRENCH SECTION BACKFILL SCHEDULE				
TYPE OF PIPE	GRANULAR BASE MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (ft)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12"	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC / HDPE	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
DUCTILE IRON	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER
UNDER-DRAINS	3/4" CRUSHED STONE	3/4" CRUSHED STONE	6"	GRANULAR AASHTO M145-49 A-3 OR BETTER



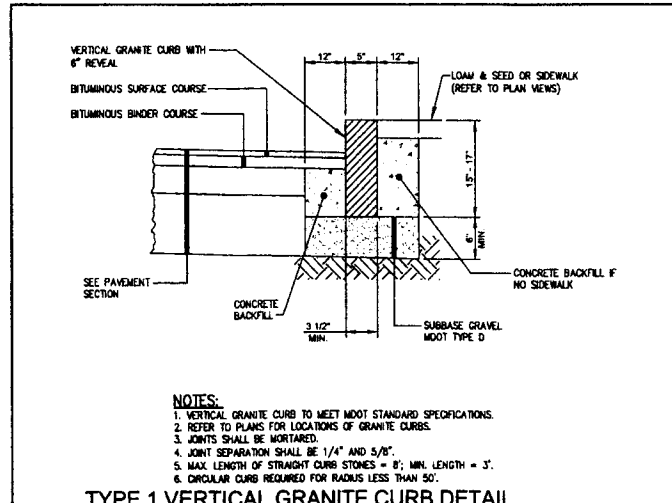
**(E) TYPICAL UTILITY PIPE TRENCH SECTION DETAIL**  
N.T.S.



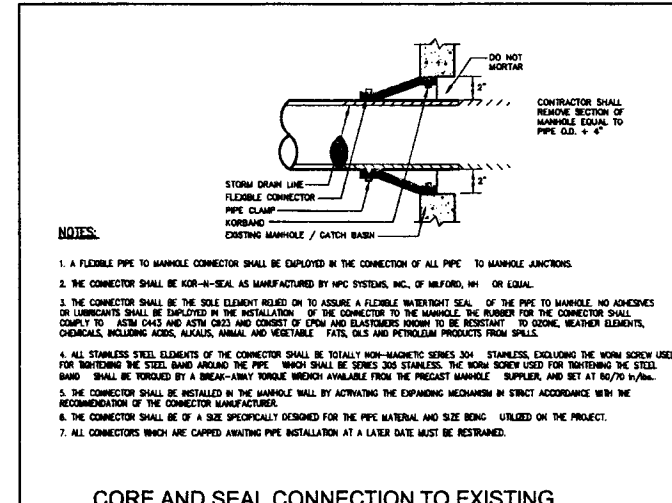
**(B) DRIP EDGE SECTION**  
N.T.S.



**(C) CONCRETE SIDEWALK DETAIL WITHIN DANFORTH STREET R.O.W.**  
N.T.S.



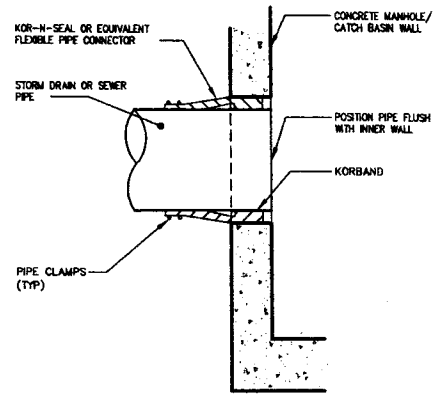
**(D) TYPE 1 VERTICAL GRANITE CURB DETAIL**  
ONSITE AREAS ONLY  
N.T.S.



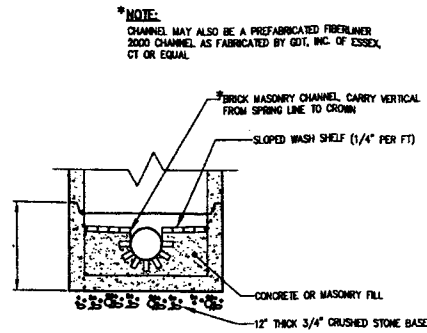
**(F) CORE AND SEAL CONNECTION TO EXISTING SANITARY SEWER AND STORM DRAINAGE STRUCTURES**  
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

		PROJECT <b>ACCESSORY BUILDING</b> <b>501 DANFORTH STREET</b> SHEET TITLE <b>DETAILS</b>	DeLUCA-HOFFA ASSOCIATES, II 778 MAIN STREET, SUITE 207 PORTLAND, ME 04101 WWW.DELUCAHOFFMAN.COM
1 02.22.10 SITE PLAN APPLICATION TO CITY OF PORTLAND REV DATE DESCRIPTION		OWNER <b>PROPSYS, INC.</b> 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240	DRAWN: CMV DATE: JAN 2 DESIGNED: SRB SCALE: AS SH CHECKED: SRB JOB NO. 2839 FILE NAME: 2939-DET SHEET 7.0

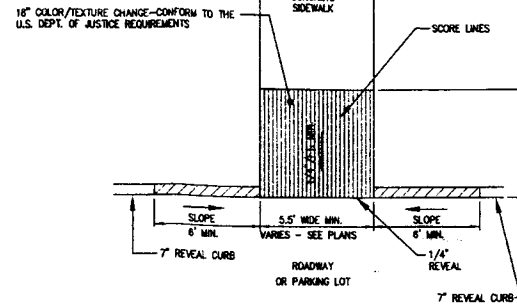


**(A) PIPE CONNECTION TO PRECAST CONCRETE  
SANITARY SEWER AND STORM DRAINAGE STRUCTURE**  
N.T.S.



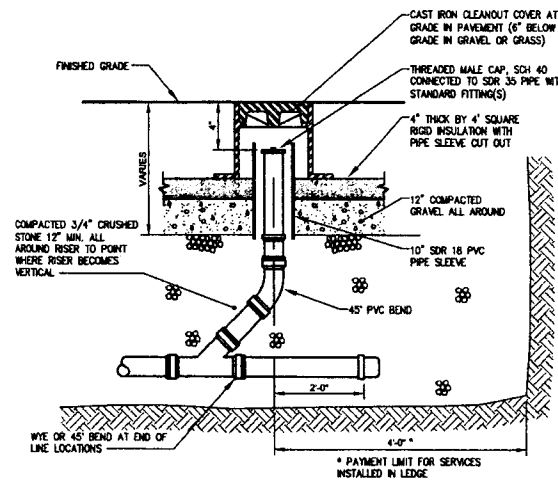
- NOTE:**  
CHANNEL MAY ALSO BE A PREFABRICATED FIBERLINER 2000 CHANNEL AS FABRICATED BY GDT, INC. OF ESSEX, CT OR EQUAL.
- NOTES:**
1. BRICK CHANNEL TO BE AASHTO M-91-42 GRADE SA SEWER BRICK\*
  2. MANHOLE TEST TO BE ACCOMPLISHED AFTER CHANNEL INSTALLATION IS COMPLETE.
  3. WHERE THE ALIGNMENT CHANGES OR SIDE FLOW ENTERS THE MANHOLE, CONSTRUCT CHANNEL WITH A SMOOTH RADIAL CHANNEL TO ACCOMPLISH ALL JUNCTIONAL CHANGE OF ALIGNMENT WITHIN MANHOLE.

**(D) MANHOLE BRICK CHANNEL INSTALLATION DETAIL**  
N.T.S.

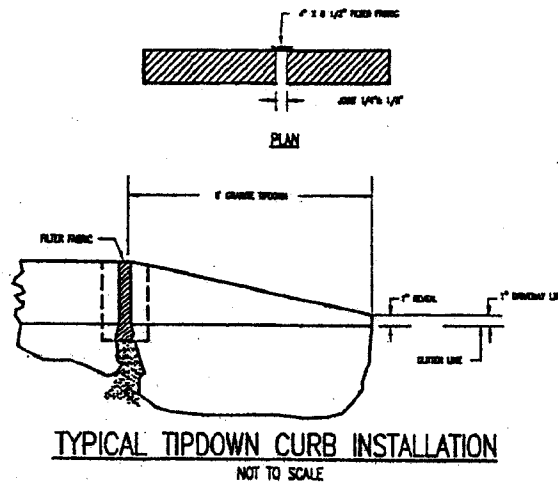


- NOTES:**
- 1.) RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH AMERICANS WITH DISABILITIES ACT (ADA).

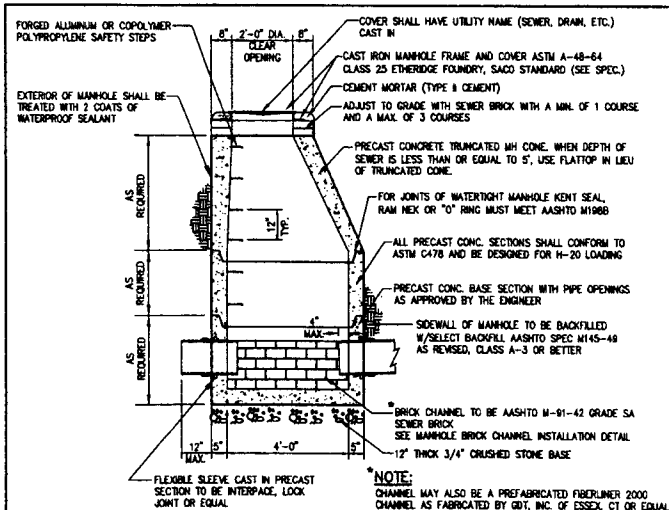
**(F) BARRIER FREE RAMP DETAIL**  
N.T.S.



**(B) CLEANOUT DETAIL**  
N.T.S.



**(E) CURB INSTALLATION DETAIL  
CITY OF PORTLAND STANDARD  
FOR WORK WITHIN R.O.W.**  
N.T.S.



**(C) SANITARY MANHOLE DETAIL**  
N.T.S.

PRELIMINARY - NOT FOR CONSTRUCTION

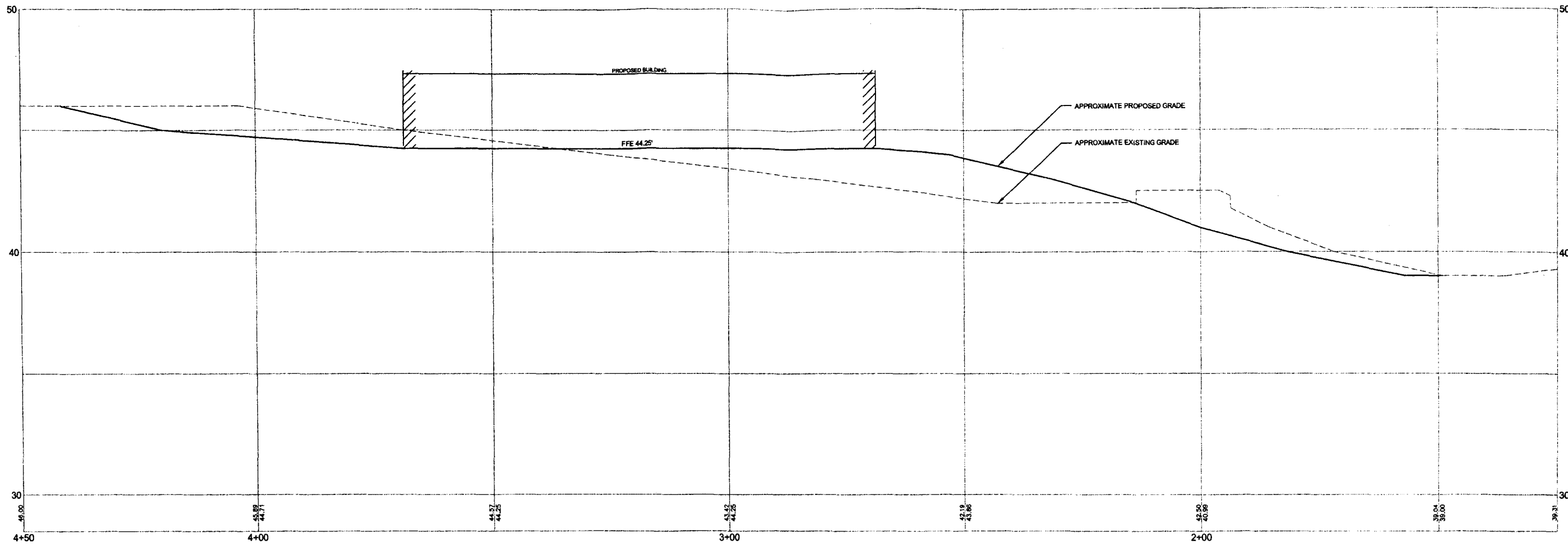
REV	DATE	DESCRIPTION
1	03.09.10	SITE PLAN APPLICATION TO CITY OF PORTLAND

STATE OF MAINE  
STEPHEN R. BUSHNEY  
REGISTERED PROFESSIONAL ENGINEER  
P.E. STEPHEN BUSHNEY  
LIC. # 7429

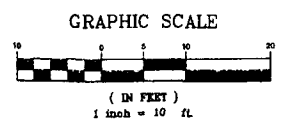
PROJECT	ACCESSORY BUILDING 501 DANFORTH STREET
SHEET TITLE	DETAILS
OWNER	PROPSYS, INC. 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240

DESIGNED: SRB	SCALE: AS SHOWN
CHECKED: SRB	JOB NO. 2938
FILE NAME: 2938-DET	SHEET 8.0

DeLUCA-HOFFMANN ASSOCIATES, INC.  
778 MAIN STREET, SUITE 200  
SOUTH PORTLAND, ME 04276  
WWW.DELOUCAHOFFMANN.COM



**ACCESS DRIVE PROFILE**  
SCALE: H: 1" = 10'; V: 1" = 2'



REV	DATE	DESCRIPTION
1	03.09.10	SITE PLAN APPLICATION TO CITY OF PORTLAND

STATE OF MAINE  
STEPHEN R. BUSHEY  
LICENSED PROFESSIONAL ENGINEER  
LIC # 7429

PROJECT	<b>ACCESSORY BUILDING 501 DANFORTH STREET</b>
SHEET TITLE	<b>ACCESS DRIVE PROFILE</b>
CLIENT	PROPSYS, INC. 55 LISBON STREET SUITE 2400 LEWISTON, MAINE 04240

DeLUCA-HOFF ASSOCIATES, INC. 775 MAIN STREET, SUITE 201 SOUTH PORTLAND, ME 04106 WWW.DELUCAHOFFMAN.COM	
DRAWN: CMW	DATE: JAN
DESIGNED: SRB	SCALE: AS
CHECKED: SRB	JOB NO. 263
FILE NAME: 2030-ACCESS DRIVE P	SHEET 9.0