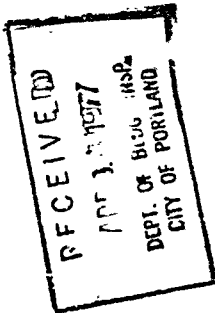


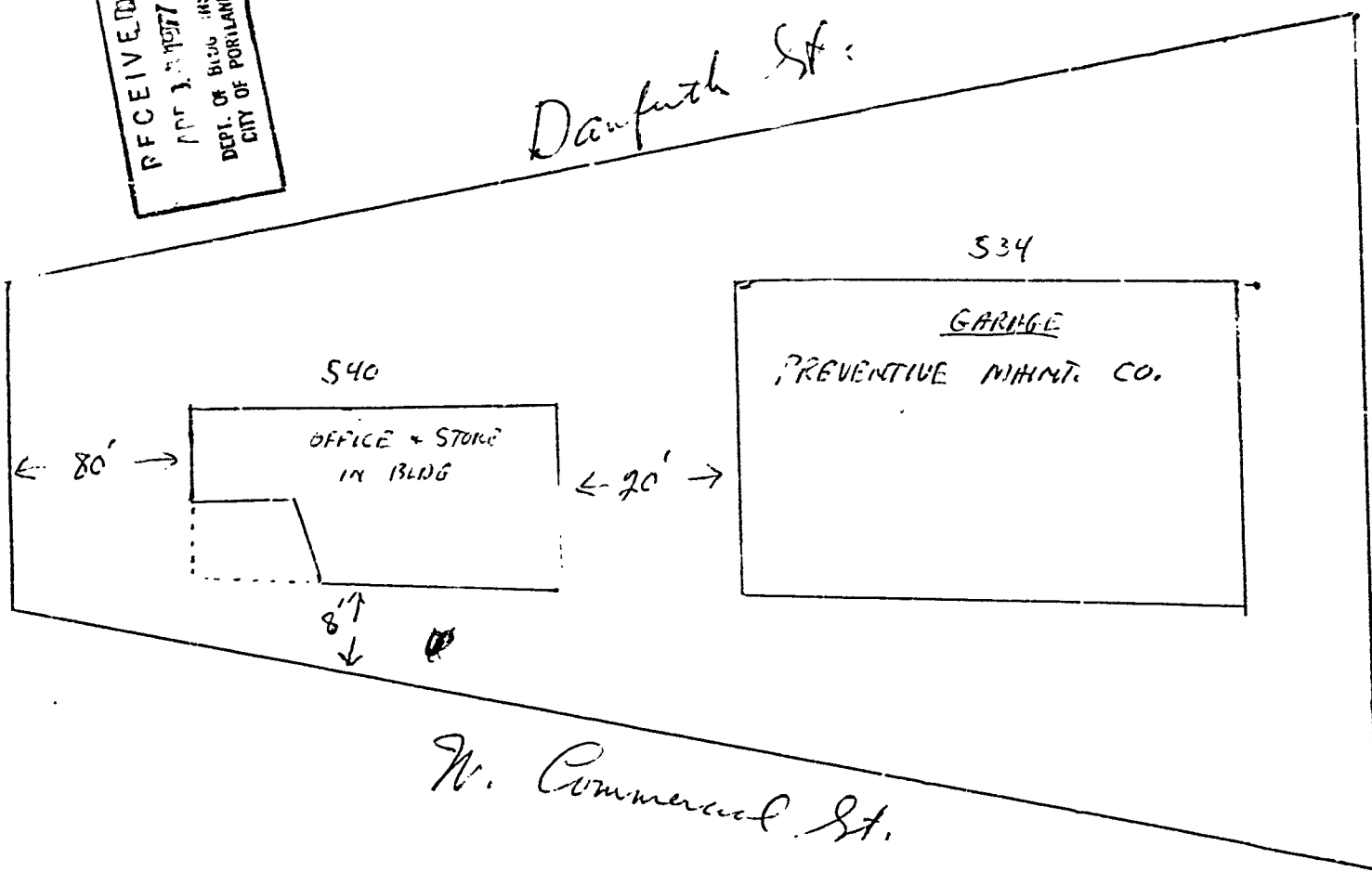
524-542 DANFORTH STREET



Full cut # 920R - Half cut # 9202R - Third cut # 9203R - 1/4th cut # 9205R

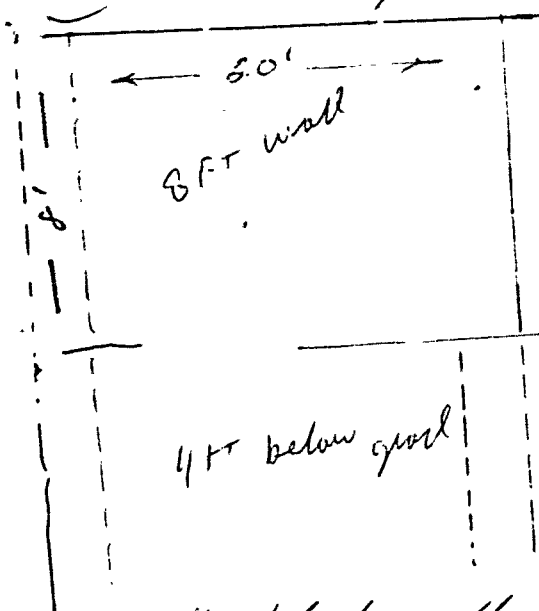


Danforth St.



W. Commercial St.

Capped over with 2x12 rafters, 14' span 0.14.
top and ground roof



Existing Bldg.

RECEIVED
APR 11 1977
DEPT. OF BLDG. INSP.
CITY OF PORTLAND



APPLICATION FOR PERMIT

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION L3B PORTLAND, MAINE, April 14, 1977

PERMIT ISSUED

APR 20 1977

CITY of PORTLAND

0210

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 540 Danforth St., Preventive Maintenance Co. Fire District #1 ☐ #2 ☐
1. Owner's name and address James Cobb - 1 Plymouth Drive, Scarborough Telephone 773-7741
2. Lessee's name and address Dwight Shepard - Box 161 Hollis Str. Telephone 229-6000
3. Contractor's name and address Specifications Plans No. of sheets
4. Architect office & store No. families
Proposed use of building office & store No. families
Last use No. stories Heat Style of roof Roofing
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Estimated contractual cost \$2,500 Fee \$12.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451 Ext. 234 Permit to make addition to existing room, two outside walls as per plans
Dwelling
Garage
Masonry Bldg.
Metal Bldg.
Alterations
Demolitions
Change of Use
Other office & store

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 ☒ 2 ☐ 3 ☐ 4 ☐

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION—PLAN EXAMINER

ZONING: OK M.C.C. 7/19/77

BUILDING CODE: 0.15.2.8.4119177

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant James Cobb Phone # same

Type Name of above James Cobb 1 ☒ 2 ☐ 3 ☐ 4 ☐

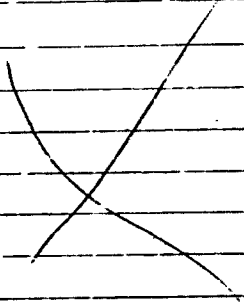
Other and Address

FIELD INSPECTOR'S COPY

NOTES

4-25-77 Excavation started - *WJ*
 4-29-77 Masonry work completed - Assured me
 it was 4' below grade around - *WJ*
 5-20-77 Cut in side for door - iron - *WJ*
 Completed - *WJ*

Permit No. 97/0210
 Location 540 S. Oakfield St.
 Owner *James L. Lill*
 Date of permit 4-14-77
 Approved by *WJ*
 4-20-77 *WJ*



CITY OF PORTLAND, MAINE
Application for Permit to Install Wires

Permit No. 55907

Issued

Portland, Maine JUNE 27, 1967

To the City Electrician, Portland, Maine:

The undersigned hereby applies for a permit to install wires for the purpose of conducting electric current, in accordance with the laws of Maine, the Electrical Ordinance of the City of Portland, and the following specifications:

(This form must be completely filled out — Minimum Fee, \$1.00)

Owner's Name and Address *PROVIDENT SAVINGS SERVICE* Tel. *534 DANFORTH*

Contractor's Name and Address *ACE ELECT CO* Tel.

Location *534 DANFORTH ST* Use of Building

Number of Families Apartments Stores Number of Stories

Description of Wiring: New Work Additions Alterations

COMBINE 2 METERS to 1

Pipe Cable Metal Molding BX Cable Plug Molding (No. of feet)

No. Light Outlets Plugs Light Circuits Plug Circuits

FIXTURES: No. Light Switches Fluor. or Strip Lighting (No. feet)

SERVICE: Pipe *1* Cable Underground No. of Wires *4* Size *2*

METERS: Relocated Added *1* Total No. Meters *1*

MOTORS: Number Phase H. P. Amps Volts Starter

HEATING UNITS: Domestic (Oil) No. Motors Phase H.P.

Commercial (Oil) No. Motors Phase H.P.

Electric Heat (No. of Rooms)

APPLIANCES: No. Ranges Watts Brand Models (Size and No.)

Elec. Heaters Watts

Miscellaneous Watts Extra Cabinets or Panels

Transformers Air Conditioners (No. Units) Signs (No. Units)

Will commence *6-28* 1967 Ready to cover in 19 Inspection *6-29* 1967

Amount of Fee \$.....

Signed *ace elect co*

DO NOT WRITE BELOW THIS LINE

SERVICE METER GROUND

VISITS: 1 2 3 4 5 6

7 8 9 10 11 12

REMARKS.

INSPECTED BY *F.W. Hester*

(OVER)

PERMIT TO INSTALL PLUMBING

Date Issued 7/29/64
 PORTLAND PLUMBING INSPECTOR

By J. P. Welch

APPROVED FIRST INSPECTION

Date July 29-64

APPROVED FINAL INSPECTION

Date July 29, 64

By JOSEPH P. WELCH

CHIEF PLUMBING INSPECTOR

☐ COMMERCIAL

☐ RESIDENTIAL

☐ SINGLE

☐ MULTI FAMILY

☐ NEW CONSTRUCTION

☐ REMODELING

Address 534 Danforth Street
 Installation For: Union Corporation
 Owner of Bldg. Union Corporation
 Owner's Address: 30 York Street

Plumber: Paul Brem Date: 7/29/64

NEW	REPL	PROPOSED INSTALLATIONS	NUMBER	FEE
		SINKS		
		LAVATORIES		
		TOILETS		
		BATH TUBS		
		SHOWERS		
		DRAINS		
		HOT WATER TANKS		
		TANKLESS WATER HEATERS		
		GARBAGE GRINDERS		
		SEPTIC TANKS		
		HOUSE SEWERS	1	\$2.00
		ROOF LEADERS (Conn. to house drain)		
	1	Renew Ho. se Drain	1	2.00

PORTLAND HEALTH DEPT. PLUMBING INSPECTION TOTAL ► 4.00

14310

PERMIT NUMBER



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 13, 1956

RECEIVED
CITY OF PORTLAND
DEC 13 1956
A-1160

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 534 Danforth St. Use of Building Wholesale tires No. Stories 1 New Building
Existing "Existing"
Name and address of owner of appliance Wholesale Tire Co., 534 Danforth St.
Installer's name and address Lamport Oil Co., 206 Congress St. Telephone 3-5451

General Description of Work

To install oil burning equipment in connection with existing steam heat (replacement)

IF HEATER, OR POWER BOILER

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Kind of fuel? _____
Minimum distance to burnable material from top of appliance or casing top of furnace _____
From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance _____
Size of chimney flue _____ Other connections to same flue _____
If gas fired, how vented? _____ Rated maximum demand per hour _____
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? _____

IF OIL BURNER

Name and type of burner Quiet Heat Labelled by underwriter's laboratories? yes
Will operator be always in attendance? _____ Does oil supply line feed from top or bottom of tank? top
Type of floor beneath burner concrete Size of vent pipe existing
Location of oil storage existing outside underground Number and capacity of tanks existing
Low water shut off yes Make existing No. _____
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? _____
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Height of Legs, if any _____
Skirting at bottom of appliance? _____ Distance to combustible material from top of appliance? _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____ Forced or gravity? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

~~2.00~~

APPROVED:

12-11-56 71789-

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Lamport Oil Co.

Signature of Installer BY: [Signature]

INSPECTION COPY



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR
HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, December 11, 1956

PERMIT REQUIRED
02-1002

DEC 11 1956

CITY OF PORTLAND

7-11-56

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 534 Danforth St. Use of Building Wholesale tires No. Stories 1 New Building
Existing "Existing"
Name and address of owner of appliance Wholesale Tire Co., 534 Danforth St.
Installer's name and address Lamport Oil Co., 206 Congress St. Telephone 3-5451

General Description of Work

To install oil burning equipment in connection with existing steam heat (replacement)

IF HEATER, OR POWER BOILER

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Kind of fuel? _____
Minimum distance to burnable material, from top of appliance or casing top of furnace _____
From top of smoke pipe _____ From front of appliance _____ From sides or back of appliance _____
Size of chimney flue _____ Other connections to same flue _____
If gas fired, how vented? _____ Rated maximum demand per hour _____
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? _____

IF OIL BURNER

Name and type of burner Quiet Heat Labelled by underwriter's laboratories? yes
Will operator be always in attendance? _____ Does oil supply line lead from top or bottom of tank? top
Type of floor beneath burner concrete Size of vent pipe existing
Location of oil storage existing outside underground Number and capacity of tanks existing
Low water shut off yes Make existing No. _____
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? _____
Total capacity of any existing storage tanks for furnace burners none

IF COOKING APPLIANCE

Location of appliance _____ Any burnable material in floor surface or beneath? _____
If so, how protected? _____ Height of Legs, if any _____
Skirting at bottom of appliance? _____ Distance to combustible material from top of appliance? _____
From front of appliance _____ From sides and back _____ From top of smokepipe _____
Size of chimney flue _____ Other connections to same flue _____
Is hood to be provided? _____ If so, how vented? _____ Forced or gravity? _____
If gas fired, how vented? _____ Rated maximum demand per hour _____

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same building at same time.)

Lamport Oil Co.

APPROVED:

12-11-56 W.F.C.

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Lamport Oil Co.

Signature of Installer By: [Signature]

INSPECTION COPY

1. Fuel: _____

2. Vent: _____

3. Kind of Fuel: _____

4. Burner, Capacity & Supports: _____

5. Name of Engineer: _____

6. Stack (Diameter, Height, etc.): _____

7. High Temperature Control: _____

8. _____

9. _____

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100. _____

NOTES

12-19-56
Camp Richard

Pernit No. 56/3192

Location 534 Danforth St.

Owner Shallock Ice Co.

Date of permit 12/11/56

Approved _____

November 21, 1956

At 534 Danforth St.—Installation of steam boiler and stoker in office and display building to heat both that building and the Fire Service Shop nearby on the same property

Harry Carrol Co.,
386 Cumberland Ave.

Copies to Harry H. Marcus, Esq.,
97 Exchange St.
Mr. Morris A. Silverman
534 Danforth St.

Gentlemen:

Issued to you, herewith, is a permit for installation of steam boiler and stoker at 534 Danforth St., the conclusion having been reached by all concerned to install the boiler and stoker in the building used for office, display and sales where motor vehicles do not enter the building; and to heat that building and the all metal Fire Service Shop from the same boiler by means of unit heaters in the latter building.

This simplifies the difficulties that were evident when it was thought to install the new boiler in the Fire Service building, where motor vehicles habitually stand.

It is understood that the steam pipes and returns between the two buildings are to be run underground and properly protected. It is important that the place where both steam and return pipes enter the Fire Service building, that all be made permanently tight so that any gasoline fumes (heavier than air) which may be in the Fire Service building cannot by gravity run down through the conduit and reach the boiler with disastrous results.

Very truly yours,

WMCD/B

Warren McDonald
Inspector of Buildings

Enc: Permit card and applicant's copy of application

November 21, 1950

AP 534 Danforth St.—Installation of steam boiler and stoker in office
and display building to heat both that building and the fire service
shop nearby on the same property

Harry Carvel Co.,
386 Commercial Ave.

Copies to Harry H. Marcus, Esq.,
97 Exchange St.
Mr. Morris L. Silverman
534 Danforth St.

Gentlemen:

Issued to you, herewith, is a permit for installation of steam boiler and stoker at 534 Danforth St., the conclusion having been reached by all concerned to install the boiler and stoker in the building, used for office, display and sales where motor vehicles do not enter the building; and to heat that building and the adjacent fire service shop from the same boiler by means of unit heaters in the latter building.

This simplifies the difficulties that were evident when it was thought to install the new boiler in the fire service building, where motor vehicles habitually stand.

It is understood that the steam pipes and returns between the two buildings are to be run underground and properly protected. It is important that the place where both steam and return pipes enter the fire service building, that all be made permanently tight so that any gasoline fumes (heavier than air) which may be in the fire service building cannot by gravity run down through the conduit and reach the boiler with disastrous results.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHC:D/E

Enc: Permit card and applicant's copy of application



FILL IN AND SIGN WITH INK

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, Nov. 20, 1956

12035

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 534 Danforth St. Use of Building Office and Display No. Stories 1 Max Building
Name and address of owner of appliance Wholesale Tire Co., 534 Danforth St. Existing "
Installer's name and address Harry Carvel Co., 386 Cumberland Ave. Telephone 2-7444

General Description of Work

To install steam heating system and Iron Fireman stoker (replacement of boiler and
stoker replaces oil burner).

IF HEATER, OR POWER BOILER

Location of appliance boiler room Any burnable material in floor surface or beneath? No
If so, how protected? Kind of fuel? coal
Minimum distance to burnable material, from top of appliance or casing top of furnace 5'
From top of smoke pipe 6' From front of appliance * From sides or back of appliance *
Size of chimney flue 14x16 Other connections to same flue none
If gas fired, how vented? Rated maximum demand per hour
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes
Permit issued with Letter

IF OIL BURNER

Name and type of burner Labeled by underwriters' laboratories?
Will operator be always in attendance? Does oil supply line feed from top or bottom of tank?
Type of floor beneath burner Size of vent pipe
Location of oil storage Number and capacity of tanks
Low water shut off Make No.
Will all tanks be more than five feet from any flame? How many tanks enclosed?
Total capacity of any existing storage tanks for furnace burners

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? If so, how vented? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

*No combustible material
Automatic stoker equipment shall be installed and controls provided, regardless of the type
of heating appliances or system involved in such manner that unsafe temperatures or pressures
in appliance or system shall be prevented by automatically shutting down the fire or by
equivalent means. All details of automatic stoker equipment, safety controls, and installa-
tion thereof not provided for herein shall be designed and details provided according to the
latest authoritative methods of engineering practice.
Amount of fee enclosed? 2.00 (\$2.00 for one heater, etc., 50 cents additional for each additional heater, etc., in same
building at same time.)

APPROVED:

Will there be in charge of the above work a person competent to
see that the State and City requirements pertaining thereto are
observed? yes

Harry Carvel Co.

Signature of Installer by:

CITY OF PORTLAND, MAINE PRINTING CO.

INSPECTION COPY

NOTES

12-11-56 Used Boiler in place.
Wood cut off on oil suction
line entering bldg.

12-18-56 Completed *(initials)*

X

Approved

Date of permit 11/21/56

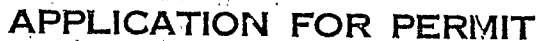
Owner *Washburn & Co*

Location *534 Danforth St.*

Permit No. *56/2065*

7-11 12-17

222 222

Class of Building or Type of Structure Steel

Portland, Maine, Oct. 3, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~use~~ ^{erect} ~~all~~ ^{erect and use} ~~the~~ ^{the following building and} ~~the following building and~~ ^{and} ~~in accordance with the laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location 534 Danforth St. Within Fire Limits? yes Dist. No. _____
 Owner's name and address Union Corp., c/o Marcus & Marcus, 97A Exchange St. Telephone _____
 Lessee's name and address Access Tire Co., 534 Danforth St. Telephone _____
 Contractor's name and address Harry Carvel Co., 386 Cumberland Ave. Telephone 2-7444
 Architect _____ Specifications _____ Plans yes No. of sheets 1
 Proposed use of building warehouse and changing tires No. families _____
 Last use _____ " " " No. families _____
 Material steel No. stories 1 Heat _____ Style of roof _____ Roofing _____
 Other buildings on same lot _____
 Estimated cost \$ 5,000. Fee \$ 5.00

General Description of New Work

To construct boiler room 12' x 14' in first story of building as per plan.
To construct inside masonry chimney as per plan.

11/1/57 Other arrangements for boat made so permit never issued - JG

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** Harry Carvel Co.

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front..... depth No. stories solid or filled land? earth or rock?

Material of foundation: Thickness, top bottom cellar

Material of underpinning Height Thickness

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing lumber—Kind Dressed or full size?

Corner posts Sills Girt or ledger board? Size

Girders Size Columns under girders Size Max. on centers

Stud's (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor....., 2nd....., 3rd, roof.....

On centers: 1st floor....., 2nd....., 3rd, roof.....

Maximum span: 1st floor....., 2nd....., 3rd, roof.....

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot....., to be accommodated.....number commercial cars to be accommodated.....
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?.....

APPROVED:

Miscellaneous

Will work require disturbing of any tree on a public street?.....no.....
 Will there be in charge of the above work a person competent to
 see that the State and City requirements pertaining thereto are
 observed? yes

Union Corp.
Wholesale Tire Cor
Harry Carvel Co.

Signature of owner by: _____

INSPECTION COPY

November 9, 1956

At 534 Danforth St.--Application for two building permits--one for construction of a fire-resistive heater room and a chimney and the other for installation of a stoker-fired boiler

Harry H. Marcus, Esq.,
Treas. Union Corp.
97 Exchange St.
Mr. Morris L. Silverman
Wholesale Fire Co.,
534 Danforth St.

Copies to Harry Carvel Co.,
386 Cumberland Ave.
Mr. Joseph Deeter
465 Congress St.

Comments:

Building permits for the above work are not issuable because the proposal of the required fire-resistive heater room will not satisfy the requirements because according to the installer of the boiler and stoker there would not be room enough in the heater room to store the fuel supply to operate the stoker and boiler, and the Building Code in Section 204f4 stipulates that the fuel storage spaces, as well as the boiler, shall be separated from the part where motor vehicles may be by fire-resistive partitions.

We have been urged to hurry up issuance of these permits because cold weather is coming on, and heat is needed. We have delayed issuance of the permits because of other features in connection with the use of the building which now appear to be in the way of being cleared up, and which will be the subject of another letter to both of you. When the matter of fuel storage was brought up, we got the impression that you had either the idea of storing the fuel in some type of bin outside of the building, or of storing it in the other building on the same lot in which I understand both of you are interested. It is suggested that you become realistic about this matter, and consult with someone who has really practical knowledge of the operation of the equipment which you intend to install. Either of these alternatives of storage of fuel seem to be so impracticable as to be unworthy of consideration.

At any rate you will have to decide upon some practical way of storing the fuel, both to comply with the Building Code and to offer some reasonable way of transporting it from the supply to the hopper of the stoker without the temptation to store some of it within the building outside of the heater room.

Under the circumstances, which will be more fully explained in another letter, we shall expect your answer about this proposition by way of revised plans or some equally definite commitment before November 16.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMC/D

Harry H. Marcus, Esq.

Mr. Morris L. Silverman-----2

November 9, 1956

Messrs. Carvel & DePeter.

Please note the above. There are some deficiencies in the plan as to compliance with the Building Code which should be cared for by a revised plan and fresh print and which should be cared for quickly if owner and tenant decide to enlarge the heater room to accommodate the fuel, or to construct an addition to accommodate the fuel:

- the chimney must be built of solid masonry units instead of hollow because it is not a part of an exterior wall of hollow block construction.
- some practical means must be shown of making the masonry walls tight where they adjoin the metal walls of the building.
- the fire door must not only actually bear the Underwriters' label (I understand it is a used door), but it must be made either automatic closing (normally open and capable of closing of itself in case of fire) or self-closing (normally closed and kept closed by a suitable device like a door closer). Which result is to be accomplished and how should be shown on the plans.
- indication should be made as to how the fire-resistive ceiling is to be made tight against the metal walls.
- the operative devices for the fire door are to be so located that fire in the heater room would operate them without fail.

Warren McDonald

HBSA

October 10, 1956

AP 534-542 Danforth St.— Applications for permits for construction
of boiler room and for installation of heating system

Harry Carver, Jr.
386 Cumberland Ave.
Harry H. Marcus, Esq.
Treas. Union Corp.
97 Exchange St.

Copy to Wholesale Tire Co.,
534 Danforth St.

Gentlemen:

We are unable to issue the building permit for either of the
above jobs because of discrepancies existing in the building with re-
gard to compliance with the Building Code—discrepancies which prevent
us from issuing the legally required certificate of occupancy for use
of the building, which will be communicated to the owner of the building
and the tenant just as quickly as time can be found to do so.

In the meantime, of course, it is unlawful to do anything
toward constructing of the boiler room or installing the heater, or con-
struction of the proposed chimney.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/B

Dear Mr. Marcus,

The pressure of work in this office has prevented us from
communicating with you concerning these discrepancies, which have been
occasioned by your change of proposed use of the building, including the
installation of the pit in the building contrary to your letter of November
28, 1955. There is nothing wrong with any change of mind or change of use,
but the circumstances of such changes must all comply with the Building Code.

As soon as possible you will be advised.

Warren McDonald

112

10 increase Price Poldo
(m.c.u.s)

Strain - steel joists over
heater room - 8' - 16 ga.
12 span - 16" D.C

$$12 \times 1.53 \times 112 = 1792$$

$$1792 \times 12 \times 1.5 = 32256$$

$$896$$

$$268.8$$

$$32,256 = 1.5 \text{ mgs}$$

$$21,600$$

$$17 \text{ S of } 8' - 16 \text{ ga} = 2.05$$

$$12 \times 150 = 11860$$

Chimney must be
hollow block

How made tight to
metal sheathings of
outside walls

Warm about insulation

Warm about use for
repair garage

53.4 Danforth
11/7/46

$$26.88 \quad 11.2$$

$$12 \quad 16$$

$$32256 \quad 112$$

$$1792$$

$$21621$$

$$1.854000000$$

$$370 \times \times \times$$

$$300$$

$$183$$

$$1150$$

$$1110$$

$$400$$

$$370$$

$$300$$

$$1.5$$

$$216 \quad 322.56$$

$$216 \times$$

$$1065$$

October 10, 1956

AP 534-542 Danforth St.— Applications for permits for construction
of boiler room and for installation of heating system

Harry Carvel Co.
386 Cumberland Ave.
Harry M. Marcus, Esq.
Treas. Union Corp.
97 Exchange St.

Copy to Wholesale Tire Co.,
534 Danforth St.

Gentlemen:

We are unable to issue the building permit for either of the above jobs because of discrepancies existing in the building with regard to compliance with the Building Code—discrepancies which prevent us from issuing the legally required certificate of occupancy for use of the building, which will be communicated to the owner of the building and the tenant just as quickly as time can be found to do so.

In the meantime, of course, it is unlawful to do anything toward constructing of the boiler room or installing the heater, or construction of the proposed chimney.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/L

Dear Mr. Marcus,

The pressure of work in this office has prevented us from communicating with you concerning these discrepancies, which have been occasioned by your change of proposed use of the building, including the installation of the pit in the building contrary to your letter of November 28, 1955. There is nothing wrong with any change of mind or change of use, but the circumstances of such changes must all comply with the Building Code.

As soon as possible you will be advised.

Warren McDonald

10

July 19, 1938

AP - 534 Danforth Street

Contractor—^OABC Electric Co.
56 Clinton Street

Owner—^CWholesale Tire Co.
534 Danforth Street

Permit for installation of a system of mechanical ventilation for pit in service garage at the above location is issued herewith based on plan filed with application for permit but subject to the following conditions:-

- system is to be capable of providing four air changes per hour.
- intake of the system is to be at the lowest level of the floor of the pit.
- the automatic time switch controlling the system is to be set so that it will be constantly in operation during the hours that the building is open for business.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G

(4) INDUSTRIAL ZONE



APPLICATION FOR PERMIT

Class of Building or Type of Structure

Portland, Maine, July 16, 1956

64081

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ ~~repair~~ ~~demolish~~ install the following ~~building~~ ~~structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 534 Danforth St. Within Fire Limits? no Dist. No. _____
Owner's name and address Wholesale Tire Co., 534 Danforth St. Telephone _____
Lessee's name and address _____ Telephone _____
Contractor's name and address ABC Electric, 56 Clinton St. Telephone 5-0903
Architect _____ Specifications _____ Plans yes No. of sheets 1
Proposed use of building garage No. families _____
Last use _____ No. families _____
Material steel No. stories 1 Heat _____ Style of roof _____ Roofing _____
Other buildings on same lot _____ Fee \$ 2.00
Estimated cost \$ _____

General Description of New Work

To install mechanical system of ventilation for pit as per plan.

Permit Issued with Letter

Sent to Fire Dept. 7/17/56

Sent to City Plan Dept. 7/19/56

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO** ABC Electric

Details of New Work

Is any plumbing involved in this work? _____ Is any electrical work involved in this work? _____
Is connection to be made to public sewer? _____ If not, what is proposed for sewage? _____
Has septic tank notice been sent? _____ Form notice sent? _____
Height average grade to top of plate _____ Height average grade to highest point of roof _____
Size, front _____ depth _____ No. stories _____ solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____ cellar _____
Material of underpinning _____ Height _____ Thickness _____
Kind of roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____ Kind of heat _____ fuel _____
Framing lumber—Kind _____ Dressed or full size? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Girders _____ Size _____ Columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____ number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will work require disturbing of any tree or a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Wholesale Tire Co.

APPROVED:

with letter by AJS
Admiral J. H. Mark
CHIEF OF FIRE DEPT.

Signature of owner by: *Russell Barnes*

INSPECTION COPY

NOTES

O.H. R.R. 7/18/56
8-16-56 *Complete*

Permit No.	5611981
Location	5341 South St. W.
Owner	Shelley's Ice Co.
Date of permit	7/23/56
Notif. closing-in	
Inspn. closing-in	
Final Notif.	
Final Inspn.	
Cert. of Occupancy issued	
Staking Out Notice	
Form Check Notice	

[Large handwritten 'X' mark across the form]

[Faint, mostly illegible text and lines]

[Faint, mostly illegible text and lines]



APPLICATION FOR AMENDMENT TO PERMIT

Amendment No. 41

Portland, Maine, April 20, 1956

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for amendment to Permit No. 55/2341 pertaining to the building or structure comprised in the original application in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith, and the following specifications:

Location 524-542 Danforth St. Within Fire Limits? Dist. No.
Owner's name and address Union Corp. 97A Exchange St. Telephone 3-8169
c/o Harry H. Marcus Telephone
Lessee's name and address Telephone
Contractor's name and address Owner Telephone
Architect Plans filed yes No. of sheets 1
Proposed use of building Tire Sales & Service building No. families
Last use No. families
Increased cost of work \$12,000 Additional fee 50

Description of Proposed Work

To vent pit as per sketch

Permit Issued with Letter

Let to Fire Dept. 4/24/56
Read from file 4/25/56

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof

Approved: Harry H. Marcus

INSPECTION COPY

Permit Issued with Letter

Signature of Owner By Harry H. Marcus

Approved: Harry H. Marcus

Inspector of Buildings

(COPY)

CS 3449 PORTLAND CO. PORTLAND

CITY OF PORTLAND, MAINE
Department of Building Inspection



Certificate of Occupancy

LOCATION 50-112

Date of Issue Nov. 2, 1911

Issued to Union Iron Works

This is to certify that the building, premises, or part thereof, at the above location, built—altered—changed as to use under Building Permit No. 1, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Storage of iron and steel
No. 1120

Limiting Conditions: No major repairs of motor vehicles to be done. No oil or other burnable material to be kept in connection with insulation on other use, and no substitution to be installed without a permit therefor.

This certificate supersedes
certificate issued

Approved:

Nelson F. Cartwright
(Date) Inspector

Warren
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

November 9, 1956

BP 534 Lanforth St.—question of lawful use of the building
owned by Union Corp. and occupied by Wholesale Tire Co.

Harry H. Marcus, Esq.
Treas. Union Corp.
97 Exchange St.
Mr. Morris L. Silverman
Wholesale Tire Co.
534 Lanforth St.

Gentlemen:—

Because of various developments beyond our control the tire company is occupying the above building unlawfully because we have been unable to issue the certificate of occupancy required by the Building Code before such a building is actually put to use. We desire and we shall have to ask you to do everything possible to get this matter cleared up promptly so that we can issue the belated certificate.

This delay has been largely caused by the installation of a certain pit in the floor without a permit. An amendment to the original permit was finally approved belatedly under the impression that this was a greasing pit, but it turns out that it is a shallow pit to be used in connection with repairing steering apparatus or straightening wheels or the like. Now, we have always classified this operation in other larger similar pit installations as a major repair. If the building were to be used in any way for so-called major repairs it would have to have an automatic sprinkler system.

Before the original permit was issued Mr. Marcus wrote to me and assured that no repairing other than minor repairs were proposed in the building. Upon this question coming up I have looked the building over myself, and have come to the conclusion that we are justified in finally issuing the certificate (after the heating room and heating system matters have been completed) on the basis that no major repairs will be made, making it clear that the usual wheel straightening operation is considered as a major repair. The certificate would then be issued on the condition that no major repairs, as the Building Code is usually interpreted, will be done in the building. If they are, then use of the building and owner and user would be in violation of the Building Code unless a sprinkler system is first installed under a separate permit from this department.

Mr. Marcus' letter of 11/28/56 stated that his company did not intend to install a heating system, plumbing, or partitions in the proposed building. That seemed like a dubious statement of course at the time, but hardly possible to live with through the winter. We have had inquiries weeks ago about installing insulation—an obvious violation of the building of all-metal construction is to be heated with desirable economy and reasonable comfort in extremely cold weather.

Harry H. Marcus, Esq.
Mr. Morris L. Silverman

November 9, 1956

We are of course glad to have the building heated and economically, and to have insulation installed if that is desirable. With this type of building the right time to install insulation is when the building is being built because with this class of construction (Metal Frame) wood or other burnable material is not permitted in the outside walls, in the roof or in a ceiling, to which insulation is most easily attached-even though the insulation itself is of non-burnable material.

The purpose of this letter, then, is to make clear that (1) no major repairs can be carried on in the building unless a sprinkler system is first installed; (2) no insulation in walls, roof or a ceiling is to be installed without a new permit or approved amendment to the original one, and that the Building Code does not allow any burnable material in connection with these features.

Very truly yours,

Warren McDonald
Inspector of Buildings

WHcD/G

Registered Mail
Return Receipt

BP 524-542 Danforth St.

NFC 7/17/56

July 5, 1956

Mr. Harry H. Marcus
Treas. Union Corporation
97A Exchange St.

Dear Mr. Marcus:

This letter is notice that the building/^{at 524-542 Danforth St.} which you are reported to own or control is found to be in violation of the Building Code of Portland in several particulars--as enumerated below.

As authorized and directed by Section 109 of the Building Code (copy enclosed) you are hereby required to have these violations made good before July 17, 1956.

Despite the last sentence of our letter of November 15, sent to you with issuance of the building permit, the building has been put into use and is being occupied without the required certificate of occupancy from this Department.

Despite the warning and description of required ventilation of the pit in the garage contained in our letter of April 27 with which approved amendment authorizing the pit was sent to you, this pit exists without any mechanical ventilation system whatever. It is necessary that you have some competent ventilation engineer prepare a plan of this ventilation system showing compliance in every detail with the provisions of the Building Code (Section 204d2 enclosed), and have the actual ventilation installer apply for a permit for the system, filing the plan with the application--the Building Code requiring that this type of permit must be applied for by and is issuable only to the actual installer.

The entrance and exit doors of ordinary size, the former at the front and the latter in the rear, are both equipped with padlocks on the outside. It is obvious when doors are padlocked on the outside, any person on the inside cannot escape by such a door. Use of such locks constitute an obstruction of a means of egress. Both hasps and staples will have to be removed from these doors and the doors equipped with such a lock and only such that the door may always be quickly opened from the inside without requiring a key or any special knowledge.

When these features are completed to comply with the requirements, a notice to this office is necessary of readiness for final inspection whereupon, if all is found in order, the required certificate of occupancy will be issued.

Very truly yours,

Warren McDonald
Inspector of Buildings

WMCD/B

Enclosures: Copy of Section 109 and Section 204d2 of the Building Code

April 27, 1956

At 524-542 Lenforth Street

Owner-Contractor—Union Corp.
c/o Harry H. Marcus
97A Exchange Street

Approval of the Fire Department having been secured for omission of a 6-inch curb, amendment #1 to Permit #55/2341 covering construction of a shallow pit about 2 feet 6 inches deep in floor of service garage at the above location is issued herewith subject to the condition that a ventilating system is to be installed to remove noxious vapors from the pit in accordance with specifications of Section 204d of the Building Code.

This section of the Code stipulates that the system shall be capable of providing not less than four air changes per hour; that the bottom or intake of the system shall be at the lowest level of the floor of the pit; that all ducts shall be of incombustible material and of tile or equivalent material where buried; that system shall discharge to the open air not less than three feet above the surface of the ground below the outlet; that the system shall be operated by electricity using only sparkproof equipment; and that it shall be constantly in operation without fail or shall be automatically controlled so that the fan will start without fail whenever a vehicle is driven over the pit. A separate permit issuable only to the actual installer is required for the installation of this system and with the application therefor will need to be filed a plan indicating all features in compliance with the above requirements.

It should particularly be noted that floor of pit is required to slope gradually downward to the point where intake of system is to be located.

Very truly yours,

Albert J. Sears
Deputy Inspector of Buildings

AJS/G

April 20, 1956

Harry W. Marr, Chief of Fire Department

Albert J. Sears, Deputy Inspector of Buildings

Shallow pit in Service Garage under construction at 534 Danforth Street

Attached herewith is permit amendment for construction of shallow pit about 2'-6" deep in this building. It presumably is to be used for wheel alignment purposes. As has been the case in a number of other locations in the City where similar equipment has been installed, they wish to avoid providing a 6-inch high curb around the perimeter of the pit as specified by the Building Code.

They have been told that they will need to install mechanical ventilation for the pit anyway and are reconciled to that. Are you able to approve of omission of the 6-inch curb on basis of shallowness of pit and the fact that it will be ventilated?

Deputy Inspector of Buildings

AJS/G

Attachment: Permit amendment and plan



STRAN-STEEL CORPORATION

ECORSE, DETROIT 29, MICHIGAN

22 December 1955

914 RING BUILDING
1203 18TH STREET, N. W.
WASHINGTON 5 D. C.
TELEPHONE EXECUTIVE 3-4214

Mr. Warren McDonald
City Building Department
Portland City Hall
Portland, Maine

Dear Mr. MacDonald:

In accordance with our telephone conversation today, attached you will find the proposal for reinforcing the top flange of the (9) center girders.

Very truly yours,

STRAN-STEEL CORPORATION

A. R. Barbuto

A. R. Barbuto
Zone Manager

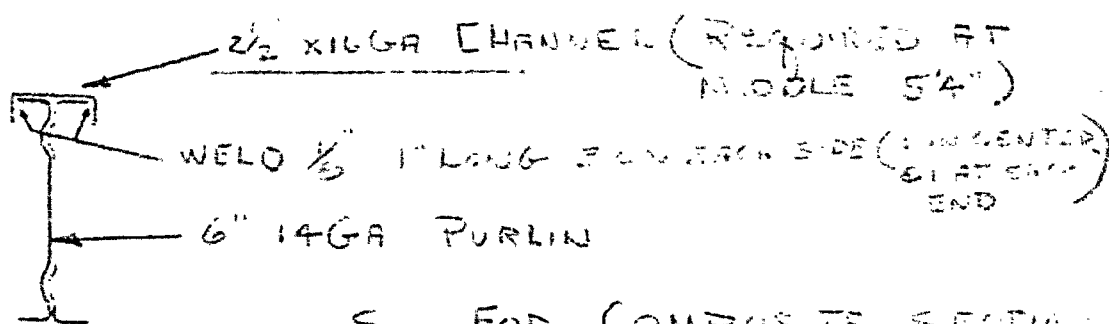
Encls.
ARB/fr.



MANUFACTURER OF STRAN-STEEL BUILDINGS, NAILABLE FRAMING AND FLOORING



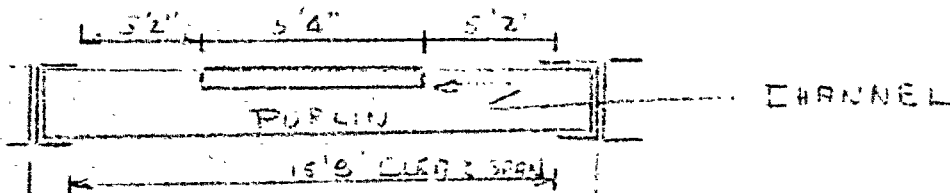
12-22-55



S_{x1} FOR COMPOSITE SECTION
 $= 1.32''^3$

TOTAL LINE LOAD	40#	
PURLIN LOAD	1#	
SHEET LOAD	1#	12-22-55

TOTAL 42# =



END 5'2" NEEDS NO REINFORCING

$$M_x = \frac{W_x(L-x)}{2} = \frac{42(5'2" \times 15'0" - 5'2")}{2} = 47,845''^2$$

$$S.M. \text{ REQUIRED} = \frac{47,845}{30,000} = 1,595''^3 < 1615''^3$$

CENTER 5'4" NEEDS REINFORCING AS MAX. MOMENT

IS AS FOLLOWS: $M_{max} = \frac{WL^2}{12} = \frac{42 \times 5'4" \times 15'0" \times 12}{12}$
 $= 54,130''^2$

$$S.M. = \frac{54,130}{30,000} = 1,804''^3 \text{ WHICH IS LESS THAN } 1,82''^3$$

TOTAL LOAD OVER EACH PURLIN = 3.5' x 15'0" x 42# = 2,303#

1" OF 1/2" WELD TO 16 GA. MATERIAL GOOD FOR 500#
 THEREFORE ONLY 5" OF WELD REQUIRED.

AP 524-542 Sanford St.--Proposed Service Garage

December 15, 1955

Mr. Harry H. Marcus
Union Corporation
978 Exchange St.

Copies to Mr. Marcus
The Trico Company (2)
445 Congress St.
Mr. Carleton R. Storer
Princess Point Rd.
Yarmouth, Me.

Dear Mr. Marcus:

Building permit for construction of a one-story metal frame building 50 feet by 30 feet to be used as a service garage at the above location is issued to you, herewith, on the basis of plans and other information filed with the application and information contained in your letter of November 28, 1955 that not more than three vehicles will be parked or stored in the building at any time and that no repairs of motor vehicles other than minor repairs will be done in the building; and subject to the following conditions. If these conditions are not understood, or, if you are unable or unwilling to comply with them, it is important that the work shall not be started and that you contact this office with more information to show compliance with the building code.

1. When the concrete forms for the foundation have been completed and the reinforcement placed, notice to this office of readiness for inspection is required, and no concrete and nothing else except the metal reinforcement, is to be placed in the forms until inspection has been made and our inspector has attached his sticker of approval on the permit card, which is required to be posted at the principal part of the lot where it may be seen from the street.

2. The manufacturers of the pre-fabricated building are to increase the number of roof purlins in order to care for the roof load required by the Building Code. The revised plan of this change will have to be filed in this office a sufficient time before notice for form check so that we may check the plan, and the plan will have to check out, before our field inspector can attach his approval sticker for pouring concrete.

3. The plans show an exterior door of ordinary size in each end wall of the building, but both are very close to the front wall of the building. In order to provide a safe exit for men who might be at work in the rear of the building in case a fire should take place near the front wall, one of these doors must be located as close to the rear wall of the building as possible. When that location has been decided upon, a print of a supplementary sketch showing the location and all arrangements and outside structures, if any are necessary, must be filed at this office with application for amendment to the permit now issued.

4. The bearing capacity of the soil beneath the foundation is not known, but Mr. Storer in his design must have assumed some capacity. While the dead weight of the building is comparative small, it seems likely that with the roof fully loaded the load at the bottom of the piers under the columns may reach one and 3/4 tons per

December 15, 1955

Mr. Harry H. Parsons-----2

square foot or more, and it is noted that there is nothing tangible to anchor the base of the exterior walls to other and, therefore, nothing but the weight of the piers and the anchorage of the columns to keep the piers plumb. It is noted on the west Commercial St. side where the wall is reinforced that the foundation wall will have a retaining height of five feet and the wall will be called upon to withstand the load of this five foot of material beneath the floor surface plus the surcharge of any material or loaded vehicles on the floor, a situation which would naturally increase the load upon the bearing soil at the "toe" of the wall. We are accepting all of this on the basis of Mr. Storer's statement of design, and it is suggested that he be consulted when you have the excavation made and perhaps some simple further explorations made under his supervision to make sure that distortion will not take place after the building is built and the roof loaded to the maximum. If a substantial change in the design of foundation should then be determined upon, a print of the supplementary plan of the change should be filed here with application for amendment to the permit now issued.

5. All outside wood surfaces of the large doors are indicated on the revised plan to be covered with metal. The original intention was to have these wooden surfaces exposed on the outside, but this metal covering is required by the Building Code because of the class of construction of the building and its proposed use as a service garage.

6. The plastic skylight sheets indicated on the plan are not allowable under the Building Code because the roof materials are required to be of non-burnable material throughout. However, as explained to Mr. Triconi, sheets of approved combustible plastics are allowable in the rear or front walls of the building but not in either end wall.

7. We have been told that no welding is used in fabricating the building. If any should be required in the erection process, such welding may only be done by operators who are certified from this department as being qualified within one year prior to the date of doing the welding.

8. Your letter of November 28 indicates that there will be no heat installed and that no partitions or insulation in walls or roof are intended at the present time. If heat of any kind should later be decided upon, a separate permit is required to be applied for by and issuable only to the actual installer, even though it be nothing more than a stove or space heater or any device for processing. The character of partitions and insulation is controlled by the Building Code; so, if any should be contemplated in the future, a permit must be applied for and the permit secured before the operations are started. If such a change is desired before the building is completed, that work may be covered by application for an amendment to the permit now issued.

9. When all features required by the Building Code have been completed and when all electric wiring for lighting or otherwise has been installed and approved by the Electrical Department of the City, notice to this office of readiness for final inspection is required, whereupon, if all is found in order, the required certificate of occupancy will be issued. It is not lawful to occupy the building for its intended or any other purpose until this certificate of occupancy has been issued.

Very truly yours,

Warren McDonald
Inspector of Buildings

WRCJ/B

November 28, 1955
334 2 11/28/55

Mr. Warren MacDonald
Building Inspector
City of Portland, Maine

Dear Sir:

We apply herewith for a building permit to construct a tire sales and service building at Danforth Street on the plot now occupied by the Wholesale Tire Company in accordance with the attached plot and building plans.

We do not intend to install a heating system, plumbing, insulation or partitions in the proposed building. Wiring and lighting fixtures will be installed by a qualified electrician according to the building code for the City of Portland, Maine.

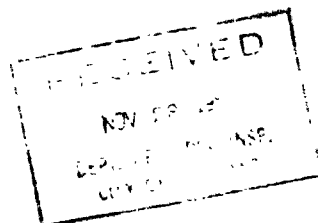
No more than three vehicles will be stored at any time. No repairing will be done in the proposed building other than minor repairs.

The applicant will act as general contractor. Sub-contracts will include excavation concrete foundation and floor super-structure, wiring and lighting.

Very truly yours,

UNION CORPORATION

By: *[Signature]*
Harry H. Marcus, Treas.





APPLICATION FOR PERMIT

Class of Building or Type of Structure Steel

Portland, Maine, Nov. 28, 1955

PERMIT ISSUED

023-12
DEC 15 1955

CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~the following building~~ the following building ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications if any, submitted herewith and the following specifications:~~

Location 534 Dafforth St. (524-542) Within Fire Limits? Dist. No.
Owner's name and address Union Corp., 97A Exchange St. Telephone 3-8169
Lessee's name and address to Harry H. Mance Telephone
Contractor's name and address owner Telephone
Architect Specifications Plans yes No. of sheets 9
Proposed use of building Tire Sales & Service building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot Fee \$ 13.00
Estimated cost \$ 13,000.

General Description of New Work

To construct 1-story steel building 50' x 80' x 15' high as per plans.
(eaves)

*See Ltrd P. Plan file for show. Ltrd
Ltrd Plans + correspondence file
on same subject for additional
information.*
12/9/55

Permit Issued with Letter

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.
Permit to be issued to owners

Details of New Work

Is any plumbing work involved in this work? no Is any electrical work involved in this work? yes
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat none fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? yes
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Union Corp.

Signature of owner by: [Signature]

APPROVED:

with letter by AGS

INSPECTION COPY

1-29-57 4-13 12-23 '6

Permit No. 53/3341

Location 337 Duane St. S.E. 1st fl.

Owner Edward Corp.

Date of permit 12/15/55

Notice closing in

Inspect closing in

Final Notice

Final Insprn

Cert. of Occupancy issued 12/16/56 [Signature]

NOTES

5/8/56 - Sat.
 Oct 11 11:00 AM
 we have a load of Bundles
 from the State we are
 to send to the
 in demand of the
 1000000. And out
 from the State
 in each part we
 find a lot. And

[illegible]

7/5/56 - Letter in
7-17-56 A.B.C. applied for vent permit today
7-27-56 Doors on vent system to start next week
8-3-56 Venting system in & almost ready
8-15-56 Venting system in & almost ready
8-16-56 Completed



INDUSTRIAL ZONE
APPLICATION FOR PERMIT

Class of Building or Type of Structure Billboard
Portland, Maine, July 10, 1952

PERMIT ISSUED
01072
JUL 15 1952
CITY OF PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~alter or repair~~ erect the following building ~~structure~~ billboard in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 534 Danforth Street Within Fire Limits? Dist. No.
Owner's name and address Theodore's Lobster House, 121 Commercial Street Telephone
Lessee's name and address Telephone
Contractor's name and address United Neon Display, 74 Elm Street Telephone 2-0895
Architect Specifications Plans yes No. of sheets 1
Proposed use of building No. families
Last use No. families
Material No. stories Heat Style of roof Roofing
Other buildings on same lot
Estimated cost \$ Fee \$ 2.00

General Description of New Work

To erect wooden frame ~~enclosed~~ with metal faces billboard 7' x 12' 6" as per plan.

Permit Issued with Letter

CERTIFICATE OF OCCUPANCY
REQUIREMENT IS WAIVED

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO United Neon Display

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , roof
If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVED:

with letter by AGP

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

Theodore's Lobster House
United Neon Display

Signature of owner by: *Thomas J. Kunitz*

INSPECTION COPY

NOTES

9-3-52 Not started yet. WJM.
 9-5-52 - Not started yet. WJM.
 10-9-52 - Not started yet. WJM.
 11-21-52 - Not started yet. WJM.

Permit No. 52/1072
 Location 534 Franklin St.
 Owner Theodorick A. Lawrence
 Date of permit 7/15/52
 Notif. closing-in
 Inspn. closing-in
 Final Notif.
 Final Inspn. 11-21-52 WJM
 Cert. of Occupancy issued

AP 534 Danforth Street

July 15, 1952

United Neon Display
74 Elm Street
Portland, Maine

Copy to: Theodore's Lobster House
121 Commercial Street

Gentlemen:

Building permit for erection of a detached sign
about 7'-6"x12' on the premises at 534 Danforth Street
is issued herewith based on the plan filed with the
application for permit, but subject to the condition
that forms are to be provided for the concrete piers
which are to support the sign and that notification will
be given this department for an inspection of these forms
before the concrete is poured.

Very truly yours,

Warren McDonald
Inspector of Buildings

AJS/B



034
(1) INDUSTRIAL ZONE
APPLICATION FOR PERMIT
Class of Building or Type of Structure. Third Class.
Portland, Maine, Sept. 17, 1951

PERMIT ISSUED
CCT 2 1951
CITY of PORTLAND

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect ~~the following building~~ ~~in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:~~

Location . . . 534 Danforth Street . . . Within Fire Limits? **yes** . . . Dist. No. . .
Owner's name and address Wholesale Tire Co., 534 Danforth Street . . . Telephone . . .
Lessee's name and address Telephone . . .
Contractor's name and address E. G. Johnson Co., 3 Cliff Street . . . Telephone 3-1630 . . .
Architect . . . Specifications . . . Plans **yes** . . . No. of sheets **1** . . .
Proposed use of building . . . Service Garage . . . No. families . . .
Last use . . . No. families . . .
Material . . . No. stories . . . Heat . . . Style of roof . . . Roofing . . .
Other building on same lot . . . Service Station . . .
Estimated cost \$. 400. Fee \$ **2.00** . . .

General Description of New Work

To construct 1-story frame service garage 14' x 24', as per plan.

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. **PERMIT TO BE ISSUED TO E. G. Johnson Co.**

Details of New Work

Is any plumbing involved in this work? . . . Is any electrical work involved in this work? . . .
Is connection to be made to public sewer? . . . If not, what is proposed for sewage? . . .
Height average grade to top of plate . . . Height average grade to highest point of roof . . .
Size, front . . . depth . . . No. stories . . . solid or filled land? . . . earth or rock? . . .
Material of foundation . . . Thickness, top . . . bottom . . . cellar . . .
Material of underpinning . . . Height . . . Thickness . . .
Kind of roof . . . Rise per foot . . . Roof covering . . .
No. of chimneys . . . Material of chimneys . . . of lining . . . Kind of heat . . . fuel . . .
Framing lumber—Kind . . . Dressed or full size? . . .
Corner posts . . . Sills . . . Girt or ledger board? . . . Size . . .
Girders . . . Size . . . Columns under girders . . . Size . . . Max. on centers . . .
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: . . . 1st floor . . . 2nd . . . 3rd . . . , roof . . .
On centers: . . . 1st floor . . . 2nd . . . 3rd . . . , roof . . .
Maximum span: . . . 1st floor . . . 2nd . . . 3rd . . . , roof . . .
If one story building with masonry walls, thickness of walls? . . . height? . . .

If a Garage

No. cars now accommodated on same lot . . . , to be accommodated . . . number commercial cars to be accommodated . . .
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? . . .

APPROVED:

with letter by AGJ
.....
.....
.....

Miscellaneous

Will work require disturbing of any tree on a public street? . . . **no** . . .
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? . . . **yes** . . .
Wholesale Tire Co.

Signature of owner by: *[Signature]*

INSPECTION COPY

NOTES

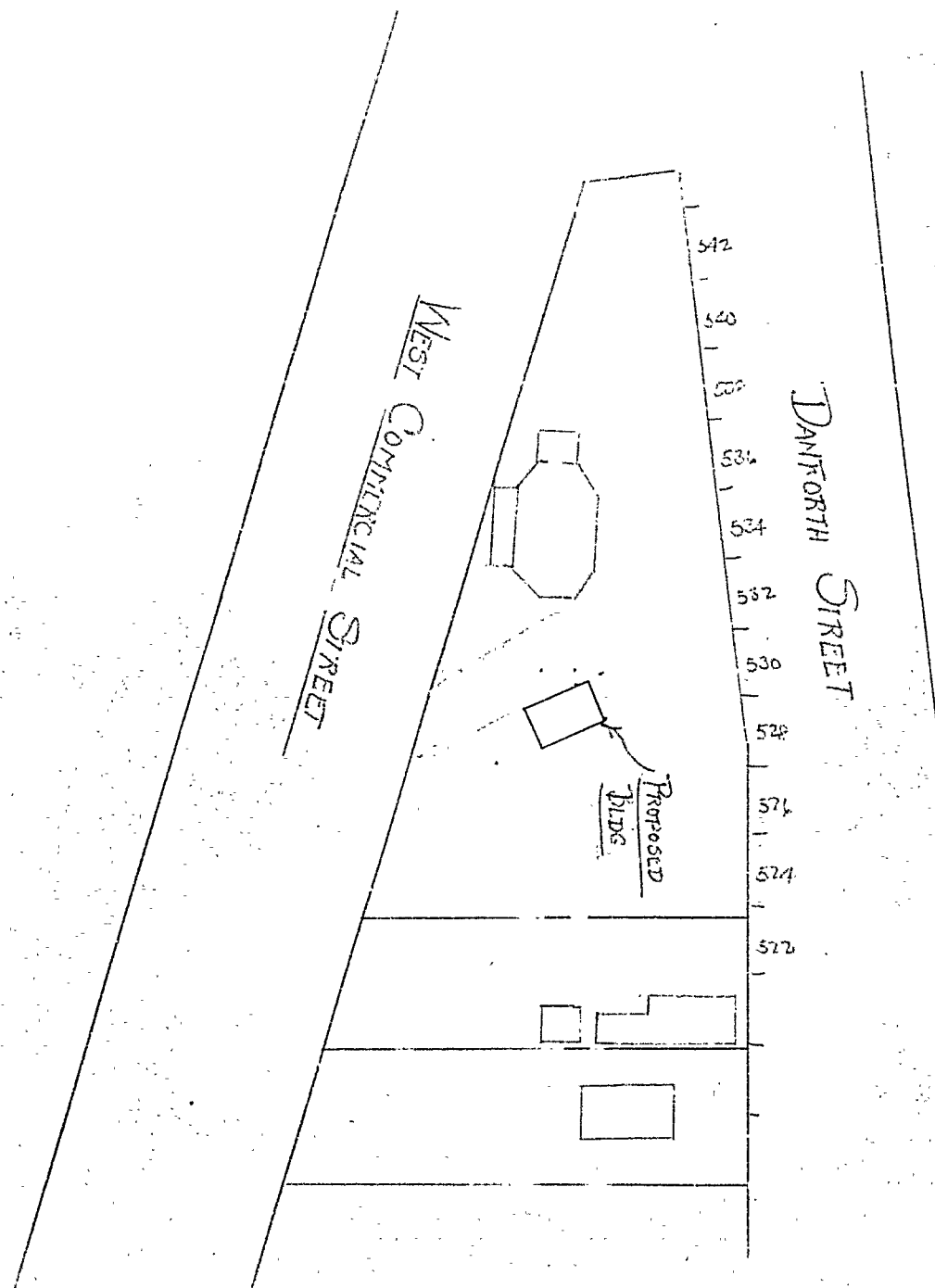
10-24-57. Work completed but not painted. Present use is storage of tires but final use will be as stated on application. *SR*

Permit No.	5111901
Location	534 Davenport St.
Owner	Chicago Lumber Co.
Date of permit	10/2/51
Notif. closing-in	
Inspn. closing-in	
Final Notif.	10/23/51 10:5, 185
Final Inspn.	10-24-51. OK.
Cert. of Occupancy Issued	10/25/51.

[illegible]

1956-1957 1958-1959

584 Danforth St. apt



At 534 Lanforth Street-I

October 2, 1951

L. G. Johnson Company
3 Cliff Street
Wholesale Fire Company
534 Lanforth Street

Gentlemen:

Building permit for construction of a wooden frame service garage at 534 Lanforth Street is issued to the contractor, herewith, but subject to the conditions which follow. If these conditions are not understood, or, if you are unable or unwilling to abide by them, it is important that you refrain from starting the work and return the permit card immediately for adjustment:

1. Instead of the skeleton framework of exterior walls shown on the plan, the stipulations of the Building Code for such walls are to be followed by using no less than 2x4 studs (uprights), spaced no more than 16" from center to center, running from sill to underside of plate. In some of the discussion with Mr. Johnson the figure of 24" from center to center was talked of, but, since the height of the studs would be more than 8', the Code requires the 16-inch figure. Doubled 2x4 plate is required unless every rafter comes directly over a stud, in which case a single 2x4 may be used. Since the studs are about 12' in unsupported height, cross-bracing is required between the studs. This, however, should be cared for by the horizontal pieces of 2x4 cut in between the studs to nail the proposed outside sheathing.

2. There is much doubt if the vertical tongued and grooved sheathing proposed on exterior walls without any other covering except two coats of paint, meets the requirement of the Building Code to use either sheathing which is undoubtedly weather resistive, and of such a character as to be permanently durable for outside exposure, or to cover the sheathing with material that will be weather resistive and permanently durable for outside exposure. It is my belief that this is not likely to make a permanently durable job, but since Mr. Johnson feels sure that it will, it seems best to issue the permit on the basis of that proposition without it being a precedent to any other case whatever and on the basis that should the arrangement not prove to come up to the requirements of the Code at any time in the future, the owner will proceed to cover the sheathing with well recognized weatherproof covering.

3. The pitch of the roof is to be made at least 5" vertical to 12" horizontal or the rafters are to be spaced not more than 16" from center to center.

4. There are to be no openings in exterior walls of the building closer than 30' to any part of the existing wooden frame building on the lot or closer than 30' to any side or rear lot line. It is not certain that entrance doorway meets this requirement. If not, a fire door is required and question should be taken up here.

5. An exit door at least 2' wide and 6' 4" high, and swinging, is to be provided in the rear wall of the building and a wicket (swinging) door of similar size is required in the entrance door, to satisfy the requirements of Section 204e2 of the Code, no door other than a swinging door and no door wider than 4' even if a swinging door, being counted as a required means of egress.

Very truly yours,

WMCD/U

Warren McDonald
Inspector of Buildings

COPY



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

Issued to Wholesale Tire Company

Date of Issue October 25, 1951

This is to certify that the building, premises, or part thereof, indicated below, and built—
~~altered or changed as shown at~~ 534 Vanforth Street
under Building Permit No. 51/1901, has had final inspection, has been found to conform substan-
tially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved
for occupancy, limited or otherwise, as indicated below.

PORION OF BUILDING OR PREMISES

entire Building

APPROVED OCCUPANCY

Service Garage

Limiting Conditions:
No heat approved.

This certificate supersedes
certificate issued
approved 10/24/51:

Alton T. Hamilton
Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from
owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



APPLICATION FOR PERMIT

Class of Building or Type of Structure Third Class
Portland, Maine, May 20, 1949

To the INSPECTOR OF BUILDINGS, PORTLAND, MAINE

The undersigned hereby applies for a permit to ~~erect~~ alter ~~repair~~ demolish install the following building structure ~~erect~~ alter ~~repair~~ demolish install in accordance with the Laws of the State of Maine, the Building Code and Zoning Ordinance of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 534 Janforth Street Within Fire Limits? Dist. No.
Owner's name and address Horris Silverman, 511 Washington Avenue Telephone
Lessee's name and address Telephone
Contractor's name and address Owner Telephone
Architect Specifications Plans No. of sheets
Proposed use of building Filling Station No. families
Last use " " " " No. families
Material wood No. stories 1 Heat Style of roof Roofing
Other buildings on same lot Fee \$ 50
Estimated cost \$ 35

General Description of New Work

To remove canopy on front of filling station.

NOTIFICATION BEFORE ERECTION
OF CHANGING IN IS REQUIRED
CERTIFICATE OF THE CITY
REQUIREMENT IS MET

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor. PERMIT TO BE ISSUED TO owner

Details of New Work

Is any plumbing involved in this work? Is any electrical work involved in this work?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Material of underpinning Height Thickness
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing lumber—Kind Dressed or full size?
Corner posts Sills Girt or ledger board? Size
Girders Size Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor , 2nd , 3rd , roof
On centers: 1st floor , 2nd , 3rd , roof
Maximum span: 1st floor , 2nd , 3rd , height?
If one story building with masonry walls, thickness of walls?

If a Garage

No. cars now accommodated on same lot , to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

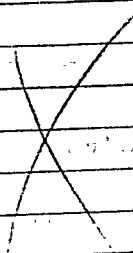
Signature of owner by: Horris Silverman

APPROVED:

INSPECTION COPY

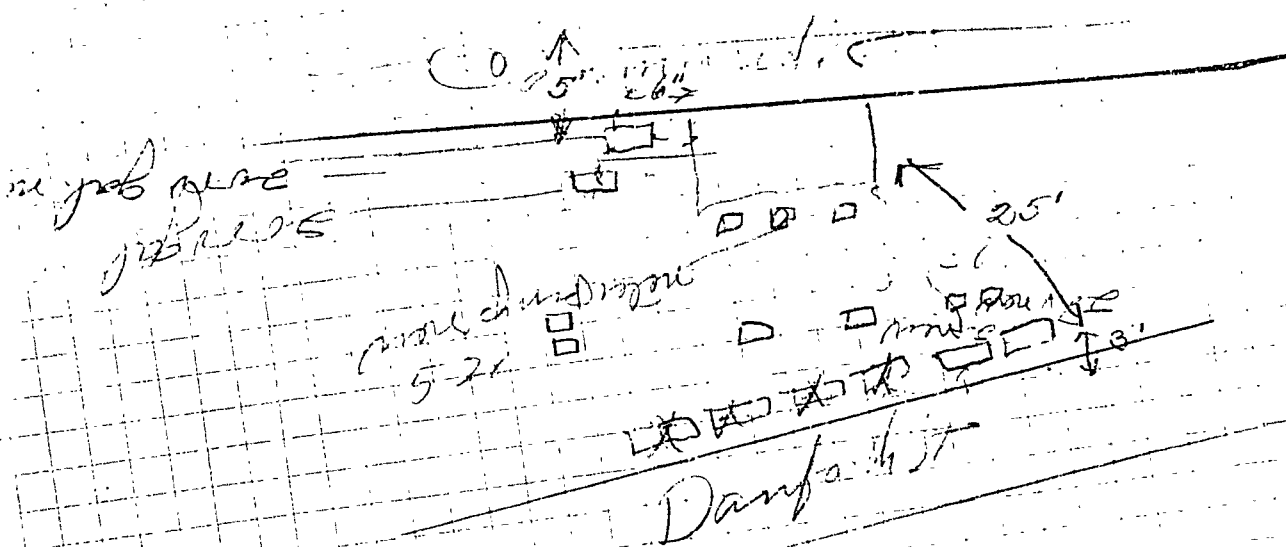
NOTES

7/26/49 - *Pro. inspection team*
made 32



Permit No. 49/714
Location 534 Danforth St.
Owner Monica K. Lohman
Date of permit 5/21/49
Notif. closing-in _____
Inspn. closing-in _____
Final Notif. _____
Final Inspn. _____
Cert. of Occupancy issued interior

524 542



19
10.1



APPLICATION FOR PERMIT

Class of Building or Type of Structure Gasoline Installation

Portland, Maine, April 28, 1931

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ install the following ~~building structure~~ equipment in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 528-538 Danforth Street Ward 7 Within Fire Limits? yes Dist. No. 3
Owner's or Lessee's name and address 35% Automobile Supply Co. Telephone FE850
Contractor's name and address Owner Telephone _____
Architect's name and address _____
Proposed use of building _____ No. families _____
Other buildings on same lot _____
Plans filed as part of this application? yes No. of 1
Estimated cost \$ 500. Fee \$.75

Description of Present Building to

Material _____ No. stories _____ Heat _____ Style of roof _____
Last use _____ No. families _____

General Description of New Work

To install three 2000 gallon tanks and one meter pump for gasoline.
Tanks to be buried underground. Additional installation

Public Use

NOTIFICATION OF LATE
OR CLOSING-THIS WAIVED.
CERTIFICATE OF COMPLETION
RECEIVED BY
Storage license granted

It is understood that this permit does not include installation of heating apparatus which is to be taken out separately by and in the name of the heating contractor.

Details of New Work

Height average grade to top of plate _____
Size, front _____ depth _____ No. stories _____ Height average grade to highest point of roof _____
To be erected on solid or filled land? _____ earth or rock? _____
Material of foundation _____ Thickness, top _____ bottom _____
Material of underpinning _____ Height _____ Thickness _____
Kind of Roof _____ Rise per foot _____ Roof covering _____
No. of chimneys _____ Material of chimneys _____ of lining _____
Kind of heat _____ Type of fuel _____ Is gas fitting involved? _____
Corner posts _____ Sills _____ Girt or ledger board? _____ Size _____
Material columns under girders _____ Size _____ Max. on centers _____
Studs (outside walls and carrying partitions) 2x4-16" O. C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.
Joists and rafters: 1st floor _____, 2nd _____, 3rd _____, roof _____
On centers: 1st floor _____, 2nd _____, 3rd _____, roof _____
Maximum span: 1st floor _____, 2nd _____, 3rd _____, roof _____
If one story building with masonry walls, thickness of walls? _____ height? _____

If a Garage

No. cars now accommodated on same lot _____, to be accommodated _____
Total number commercial cars to be accommodated _____
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building? _____

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY
Signature of owner By Oliver T. Sanborn
CHIEF OF FIRE DEPT.

35% Automobile Supply Co.

Tras. 1263 4A

Ward 7 Permit No. 31/625
Location 528-538 Hanford St.
Owner 3540 Automobile Supply Co.
Date of permit 4/29/31
Not closing-in
Inspn. closing-in
Final Notif.
Final Inspn. 4/29/31
Cert. of Occupancy issued None

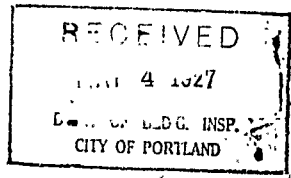
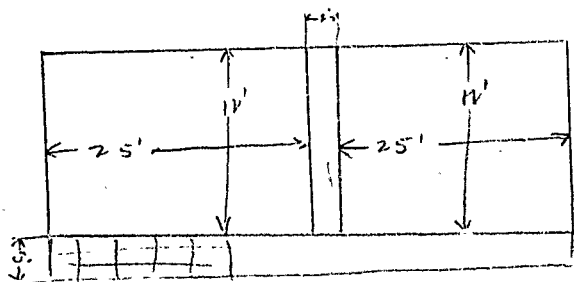
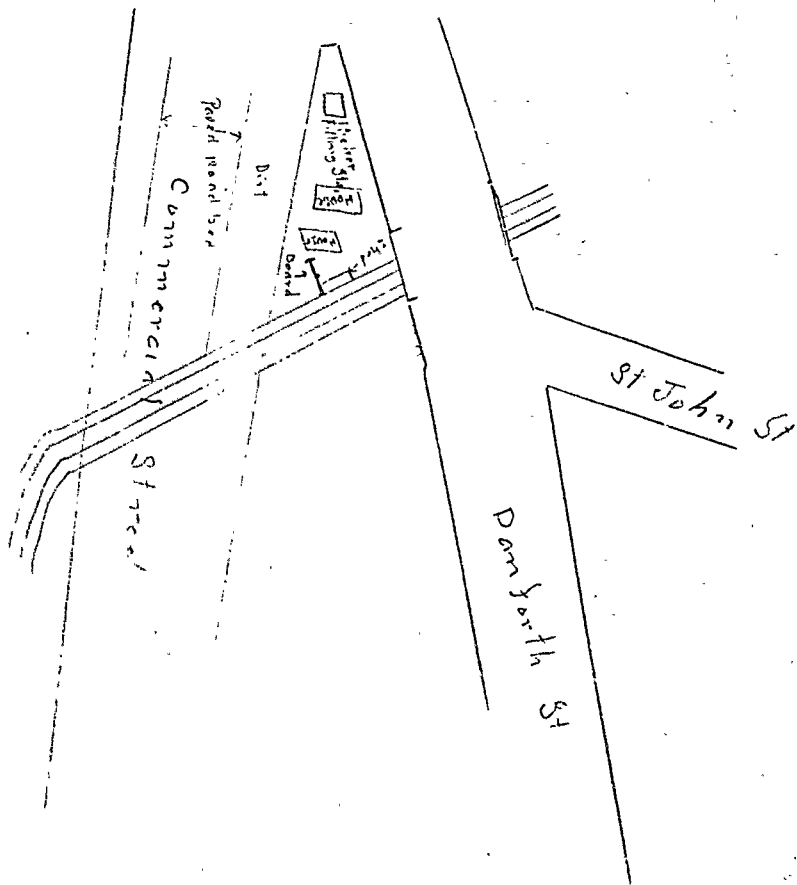
NOTES

4/29/31 - P.I.T. - A.J.S.



Puritan Adv. Company

Diagram Location Poster Board rear 516 Danforth St



Size 52 x 12 Two 25' signs



APPLICATION FOR PERMIT

Permit No. 0558

Class of Building or Type of Structure 1st

MAY 6 1927

Portland, Maine, MAY 4 1927

To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to erect ~~alter~~ ^{erect} the following building structure ~~equipped~~ ^{as specified} in accordance with the Laws of the State of Maine, the Building Code of the City of Portland, plans and specifications, if any, submitted herewith and the following specifications:

Location 518 Danforth St Rear Ward 7 Within Fire Limits? yes Dist. No. 3

Owner's or ~~lessee's~~ name and address Puritan Advertising Co 697 Congress St. Telephone F6133

Contractor's name and address Same Telephone

Architect's name and address

Proposed use of building Billboard No. families

Other buildings on same lot Tenement & shed

Description of Present Building to be Altered

Material No. stories Heat Style of roof Roofing

Last use No. families

General Description of New Work

Erect Billboard 15'-0" x 52'-0" to be erected as required by building code

NOTIFICATION BEFORE LAYING
OR CLOSING IN IS WAIVED.
CERTIFICATE OF OCCUPANCY
NOT REQUIRED.

Details of New Work

Size, front depth No. stories Height average grade to highest point of roof

To be erected on solid or filled land? earth or rock?

Material of foundation Thickness, top bottom

Material of underpinning Height Thickness

Kind of roof Roof covering

No. of chimneys Material of chimneys of lining

Kind of heat Type of fuel Distance, heater to chimney

If oil burner, name and model

Capacity and location of oil tanks

Is gas fitting involved? Size of service

Corner posts Sills Girt or ledger board? Size

Material columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O.C. Girders 6x8 or larger. Bridging in every floor and flat roof span over 8 feet. Sills and corner posts all one piece in cross section.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

If a Garage

No. cars now accommodated on same lot to be accommodated

Total number commercial cars to be accommodated

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

Miscellaneous

Will above work require removal or disturbing of any shade tree on a public street? no

Plans filed as part of this application? yes No. sheets 1

Estimated cost \$ Fee \$1.00

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed? yes

INSPECTION COPY

Signature of owner

3467

Permit No. 27552 H

518 Danforth
Owner Pacific Hall Co

Date of permit May 6/27

Notif. closing-in

Insp. closing-in

Final Notif.

Final Inspn.

Cert. of Occupancy issued

NOTES

~~Shut from 7:00 - 10:00
Built against front of building
4/10/27 J.V.~~



Location, ownership and detail must be correct, complete and legible. Separate application required for every building. Plans must be filed with this application.

APPLICATION FOR PERMIT TO BUILD (3D CLASS BUILDING)

Portland, Me., June 29, 1923 19

TO THE

INSPECTOR OF BUILDINGS

The undersigned hereby applies for a permit to build, according to the following

Specifications:-
Location 524-542 508 Danforth Street Ward 7 Fire Limits? no
Name of owner is? W. E. Ricker Address 536 Congress Street
Name of mechanic is? D. C. Caro & Son Address 21 Vine Street
Name of architect is? _____ Address _____
Proposed occupancy of building (purpose)? automobile supplies and filling station
~~If a dwelling or tenement house, for how many families?~~ concrete
Are there to be stores in lower story? _____
Size of lot, No. of feet front? _____; No. of feet rear? _____; No. of feet deep? _____
Size of building, No. of feet front? 28ft; No. of feet rear? 28ft; No. of feet deep? 20ft
No. of stories, front? 1; rear? _____
No. of feet in height from the mean grade of street to the highest part of the roof? 12ft
Distance from lot lines, front? _____ feet; side? _____ feet; side? _____ feet; rear? _____
Firestop to be used? YES
Will the building be erected on solid or filled land? _____
Will the foundation be laid on earth, rock or piles? _____
If on piles, No. of rows? _____ distance on centres? _____ length of? _____
Diameter, top of? _____ diameter, bottom of? _____
Size of posts, 4 x 6 Studding 2 x 4 16 O. C. Sills 4 x 3 Roof Rafters 2 x 6 24 O. C. Girders 6 x 8
Size of girts 4 x 4
Size of floor timbers? 1st floor wood, 2d _____, 3d _____, 4th _____
O. C. " " " " _____, 2d _____, 3d _____, 4th _____
Span " " " " _____, 2d _____, 3d _____, 4th _____
Will the building be properly braced? _____
Building, how framed? _____
Material of foundation? concrete thickness of? 12 in laid with mortar? _____
Underpinning, material of? _____ height of? _____ thickness of? _____
Will the roof be flat, pitch, mansard or hip? pitch Material of roofing? asphalt
Will the building be heated by steam, furnaces, stoves or grates? _____ Will the flues be lined? _____
Will the building conform to the requirements of the law? yes
Means of egress? _____

If the building is to be occupied as a Tenement House, give the following particulars

What is the height of cellar or basement? _____
What will be the clear height of first story? _____ second? _____ third? _____
State what means of egress is to be provided _____
Scuttle and stepladder to roof? _____

Estimated Cost,

\$6,000.

Signature of owner or authorized representative,

Address,

D. Caro & Son
John P. Caro
21 Vine St.

Plans submitted?

Received by?

Plans must be submitted in duplicate, one set to be filed with the Department and the duplicate set thereof (bearing the approval of the Inspector of Buildings) shall be kept on the work and exhibited on demand.

PERMIT MUST BE RECEIVED BEFORE BEGINNING WORK

602 Danforth St.
192

No. 6291

APPLICATION FOR
Permit to Build
3rd CLASS BUILDING

LOCATION

No. 602 Danforth
324-42

WARD 7

Inspector.

CONDITIONS

PERMIT GRANTED
June 29, 1923

Permit filled out by

Permit number

Plan number

FINAL REPORT

102

Has the work been completed in accordance
with this application and plans filed and ap-
proved?

Law been violated?

Nature of violation?

Violation removed when? 192

Estimated cost of building, etc., \$

Building Inspector.

APPROVAL OF PLANS

Supervisor of plans.



APPLICATION FOR PERMIT
DEPARTMENT OF BUILDING INSPECTIONS SERVICES
ELECTRICAL INSTALLATIONS

Date May 7, 19 84
Receipt and Permit number B 21664

To the CHIEF ELECTRICAL INSPECTOR, Portland, Maine:

The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the Portland Electrical Ordinance, the National Electrical Code and the following specifications:

LOCATION OF WORK: 534 Danforth St. - Elm Ice & Oil

OWNER'S NAME: Preventive Maintenance ADDRESS: same

OUTLETS:

Receptacles Switches Plugmold ft. TOTAL 1-30 3.00

FIXTURES: (number of)

Incandescent 1 Fluorescent (not strip) TOTAL 1-10 3.00

Strip Fluorescent ft.

SERVICES:

Overhead X Underground Temporary TOTAL amperes 100 3.00

METERS: (number of)

1 50

MOTORS: (number of)

Fractional

1 HP or over

RESIDENTIAL HEATING:

Oil or Gas (number of units)

Electric (number of rooms)

COMMERCIAL OR INDUSTRIAL HEATING:

Oil or Gas (by a main boiler)

Oil or Gas (by separate units)

Electric Under 20 kws Over 20 kws

APPLIANCES: (number of)

Ranges Water Heaters

Cook Tops Disposals

Wall Ovens Dishwashers

Dryers Compactors

Fans Others (denote)

TOTAL

MISCELLANEOUS: (number of)

Branch Panels

Transformers

Air Conditioners Central Unit

Separate Units (windows)

Signs 20 sq. ft. and under

Over 20 sq. ft.

Swimming Pools Above Ground

In Ground

Fire/Burglar Alarms Residential

Commercial

Heavy Duty Outlets, 220 Volt (such as welders) 30 amps and under X 1.00

over 30 amps

Circus, Fairs, etc.

Alterations to wires

Repairs after fire

Emergency Lights, battery

Emergency Generators

INSTALLATION FEE DUE:

FOR ADDITIONAL WORK NOT ON ORIGINAL PERMIT DOUBLE FEE DUE:

FOR REMOVAL OF A "STOP ORDER" (304-16.b) TOTAL AMOUNT DUE: 10.50

INSPECTION:

Will be ready on 5-8-84, 19 84; or Will Call

CONTRACTOR'S NAME: Paul DeBevoise, Inc.

ADDRESS: 55 R Pleasant Hill Rd. Falmouth

TEL.: 797-5072

MASTER LICENSE NO.: 04820

LIMITED LICENSE NO.:

SIGNATURE OF CONTRACTOR: James P. DeBevoise

INSPECTOR'S COPY — WHITE

OFFICE COPY — CANARY

CONTRACTOR'S COPY — GREEN

ELECTRICAL INSTALLATIONS —

Permit Number 21664
Location 5314 Danforth St
Owner Preventive Maintenance
Date of Permit May 7/84
Final Inspection 6-2-84
By Inspector Libby
Permit Application Register Page No. 31

INSPECTIONS: Service _____ by Gabe R

Service called in _____

Closing-in _____ by _____

PROGRESS INSPECTIONS:

6-7-84 / /

/ /

/ /

/ /

/ /

/ /

CODE COMPLIANCE

CODE
COMPLIANCE
COMPLETED

DATE: 10/10/10 REMARKS: 10/10/10

DATE: 10/10/10 REMARKS: 10/10/10



APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP
B.O.C.A. TYPE OF CONSTRUCTION 0.6.4.1

JUN 19 1985

ZONING LOCATION PORTLAND, MAINE June 5, 1985

CITY of PORTLAND

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION 334 Banker St. 12-8-001 Fire District #1 ☐ #2 ☐
1. Owner's name and address James O & Shirley L. Cobb - 672 Rte # 1 Telephone 883-3771
2. Lessee's name and address Scarborough Telephone
3. Contractor's name and address Owner Telephone
Proposed use of building truck & auto repair No. of stories
Last use same No. stories
Material No. stories Heat Style of roof Roofline
Other buildings on same lot
Estimated contractual cost \$... 10,000
FIELD INSPECTOR—Mr. @ 775-5451 Appeal Fees \$
Base Fee 60.00
Late Fee
TOTAL \$

To construct 1 story, 23' x 50' addition to side of existing building as per plans. 1 sheet of plans.

Stamp of Special Conditions

~~Contractor's Fee of \$25.00~~~~25.00 paid 6-19-85~~

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? no Is any electrical work involved in this work? yes
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber—Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY: DATE
BUILDING INSPECTION—PLAN EXAMINER
ZONING:
BUILDING CODE:
Fire Dept.:
Health Dept.:
Others:

MISCELLANEOUS

Will work require disturbing of any tree on a public street? no
Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant

James Cobb

Phone # same

Type Name of above

1 ☐ 2 ☐ 3 ☐ 4 ☐

Other and Address

FIELD INSPECTOR'S COPY

APPLICANT'S COPY

OFFICE FILE COPY

