

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0479	Issue Date: PERMIT ISSUED MAY 21 2004	CBL: 070 A005001
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Location of Construction: 54 St John St	Owner Name: St John Street Associates	Owner Address: Po Box 4821	Phone:
Business Name:	Contractor Name: Jeff Shorey	Contractor Address: Portland	Phone: CITY OF PORTLAND
Lessee/Buyer's Name	Phone:	Permit Type: Commercial	Zone: 1Mb

Past Use: Barber Foods	Proposed Use: Barber Foods w/46' x 12' trailer for office space between waste treatment building and cooler bldg.	Permit Fee: \$39.00	Cost of Work: \$2,000.00	CEO District: 2
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: B Type: 50 <i>5/20/04</i>	

Proposed Project Description:
Install 46' x 12' trailer for office space between waste treatment building and cooler bldg.

Signature: *[Handwritten Signature]* Signature: *[Handwritten Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: kwd	Date Applied For: 04/23/2004	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>See exemption signed</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>04/23/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

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Lessee/Buyer's Name	Phone:	Permit Type: Commercial	

Proposed Use: Barber Foods w/46' x 12' trailer for office space between waste treatment building and cooler bldg.	Proposed Project Description: Install 46' x 12' trailer for office space between waste treatment building and cooler bldg.
---	--

Dept: Zoning	Status: Approved	Reviewer: Marge Schmuckal	Approval Date: 05/14/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		

Dept: Building	Status: Approved with Conditions	Reviewer: Mike Nugent	Approval Date: 05/20/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) Stairs must meet the 11" tread and 7" riser req. And 42" Guard			

Dept: Fire	Status: Approved with Conditions	Reviewer: Lt. MacDougal	Approval Date: 05/17/2004
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
1) windows on the right building shall be protected			

Comments:
4/27/2004-kwd: 4/27/2004: spoke w/Jeff Shorey, timeframe for trailer is at least one year. Let him know: steps don't meet code; need better site information re building separation; need installation detail for tie-downs etc. He said they have 3 sets of these stairs on-site w/other trailers; I suggested he change that, as his insurance co. would not be happy. Do not know if those were reviewed by our office.
Kwd

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number

PERMIT ISSUED
040479

MAY 21 2004

CITY OF PORTLAND

Please Read
Application And
Notes, if Any,
Attached

This is to certify that St John Street Associates/Jeff Forey
has permission to Install 46' x 12' trailer for office space between wastewater treatment building and cooler bldg.
AT 54 St John St 070 A005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. [Signature]
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Handwritten notes:
• Dick King
603-3873
11-30
• BIA
• August
• [Signature]

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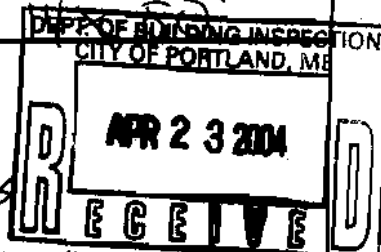
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05/18/2004-mjn: Stairs must be adjusted, Need Tie down plan

04-0479

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>54 ST. JOHN STREET</u>		
Total Square Footage of Proposed Structure <u>1400 sq. FEET</u>	Square Footage of Lot <u>4.5 acres</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>70</u> Block# <u>A</u> Lot# <u>005</u>	Owner: <u>ST. JOHN STREET LIMITED PARTNERSHIP</u>	Telephone: <u>772-1934</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>JEFF SHOREY 54 ST. JOHN ST. 772-1934 ex 316</u>	Cost Of Work: \$ <u>2,000</u> Fee: \$ <u>39.00</u>
Current use: <u>none</u> <u>Commercial / offices</u> <u>1+ years</u>		
If the location is currently vacant, what was prior use: <u>none</u>		
Approximately how long has it been vacant: <u>NA</u>		
Proposed use: <u>install trailer for temporary office space</u>		
Project description: <u>adding</u> <u>28</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Jeff Shorey</u>		
Mailing address: <u>54 ST. JOHN STREET PORTLAND ME. 04102</u> <u>772-1934 ex 316</u> <u>cell</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Jeffrey D. Shorey</u>	Date: <u>4/19/04</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Barber Foods
PO Box 4821
Portland, ME 04112-4821
Phone: 207-772-1934

FAX COVER SHEET

TO: Michael J. Nugent

From: Jeffery Sherry

Date 5/19/04

Number of Pages (not including cover sheet) _____

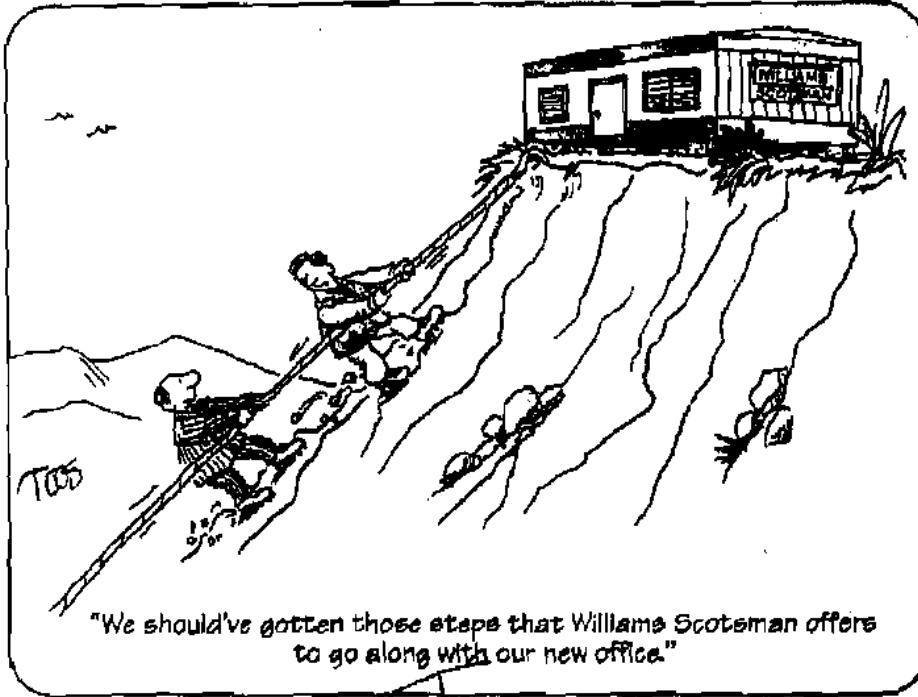
Multiple horizontal lines for additional information or notes.

Standard procedure for tie down of Mobile office

When trailer is in place and Blocked and Levled, We put straps appx. Every 10' or use the manufacturers suggestion (which is on the frame) on where the tie downs should be.
We sink a cross bar anchor into the ground with a jack hammer. We then use a split bolt and attach the strap and the anchor together. We tighten down the strap and tighten bolt.

What's A Fax?

This is a Williams Scotsman Fax Fac!



Williams Scotsman can provide you with more than just great space, we can give you everything you need to finish it. Steps, decks, ramps, security screens, security systems, and furniture are just some of the extras we offer.

1-800-782-1500



To: Jeff Shorey
 Firm: 854 655
 Fax Number: _____
 From: Janie Clark
 No. of Pages (including cover page): 3
 Date: 3/17/04
 Message To Recipient: _____

If there is a problem receiving this transmission, please call:

Phone Number: ()

(Operator Sending Message)

Fax: 207-783-6183 • 325 Rodman Road • Auburn, ME 04120 • Phone: 207-783-3200

Web Site: <http://www.willscot.com> • E-Mail: trailers@tx.netcom.com

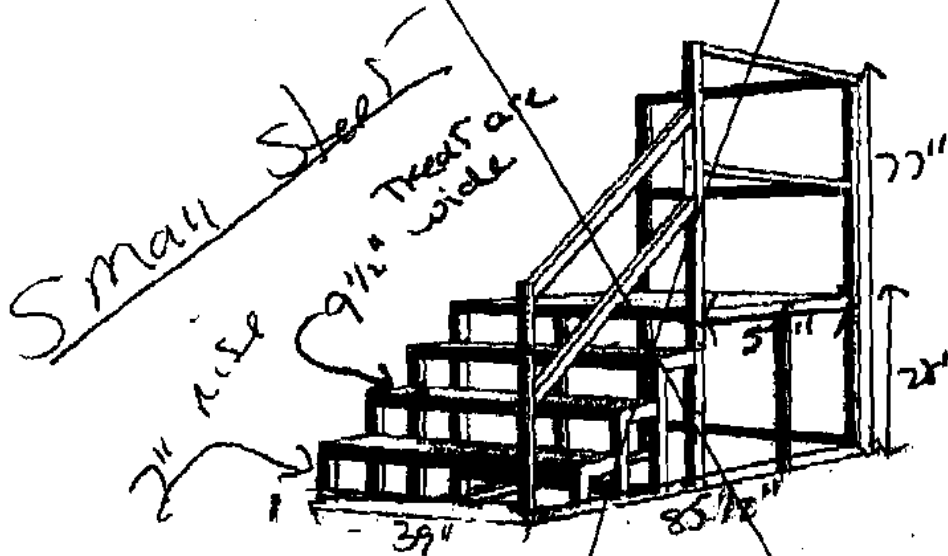


Mobile Offices - Storage Products
And More

WILLIAMS SCOTSMAN, INC.
325 Rodman Road
Auburn, ME 04210
Phone: 207-783-3200
Fax: 207-783-6183
Toll free: 800-782-1500

Johnnie
Johnnie

Step Into The Future



...With Pre-Assembled Steps from Williams Scotsman

- Rent or Purchase
- Price and Relocatable Abilities of Aluminum make Wooden Steps Obsolete
- Designed to meet all OSHA Safety Parameters
- Aircraft Aluminum Construction
- Unique Step and Platform Tread Provides Secure Non-Slip Surface
- Non-Rusting Aluminum Construction Eliminates Excessive Maintenance
- Immediate Cost-Effective Access To Your Trailer with Williams Scotsman Pre-Assembled Steps

CALL US TODAY FOR MORE INFO AT: 800-782-1500

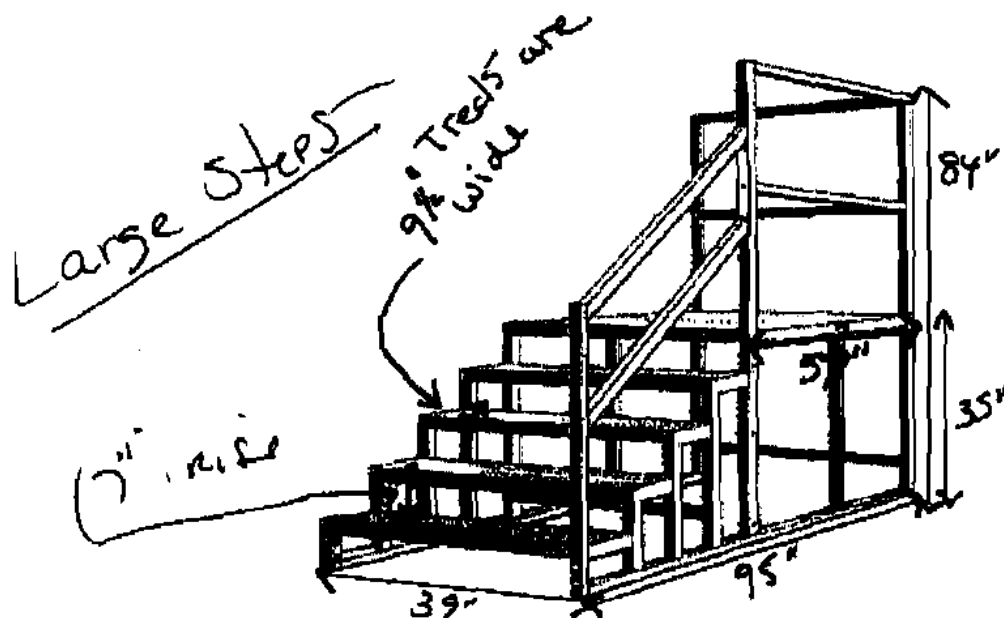


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And More

WILLIAMS SCOTSMAN, INC.
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Phone: 207-783-3200
Fax: 207-783-6183
Toll free: 800-782-1500

Jamie
Janie

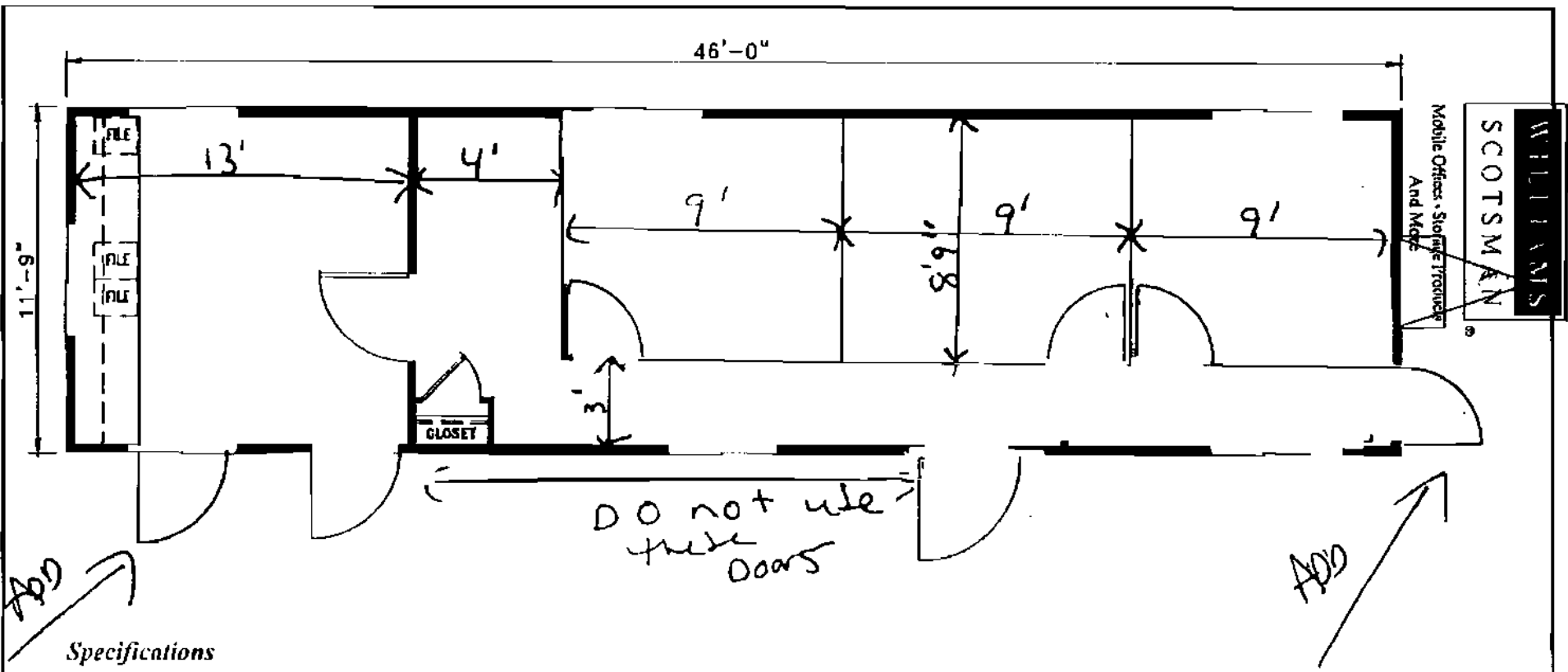
Step Into The Future



...With Pre-Assembled Steps from Williams Scotsman

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CALL US TODAY FOR MORE INFO AT: 800-782-1500



Specifications

Size(s)

- 50' Long (including hitch)
- 46' Box size
- 10' or 12' Wide
- 8' Ceiling height

Interior Finish

- Paneled walls
- Vinyl tile floors
- Gypsum ceiling
- Private office(s)
- Wide open shells available

Furniture

- Two built-in desks with file cabinets
- One built-in plan table
- Overhead shelf

Electric

- Fluorescent ceiling lights
- Breaker panel

Windows/Doors

- Horizontal slider windows
- Two vision panel doors with standard locks

Heating and Cooling

- Central HVAC or thru-wall AC

Exterior Finish/Frame

- Aluminum siding
- I-Beam frame
- Standard Drip rail gutters

Additional floor plans available. Floor plans and specifications may vary from those shown, and are subject to in-stock availability



Mobile Offices - Storage Products And More

LUCA = 319

\$ 4,091-50

Mobile Office 50x12

T = 9 1/2"
P = 7"

Jobbie

WILLIAMS SCOTSMAN, INC.

325 Rodman Road
Auburn, ME 04210

Phone: 207-783-3200

Fax: 207-783-6183

Toll free: 800-782-1500

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800-782-1500
207-783-3200
FAX 207-783-6183



CITY OF PORTLAND, MAINE
Department of Building Inspectors

Copies 02 2004

Permit from *Parson Foods*

Location of Work *54 Dr. Johnson*

Cost of Construction \$ _____

Permit Fee \$ *25.00*

Building (15) Electrical (12) _____ Site Plan (12) _____

SDA 005

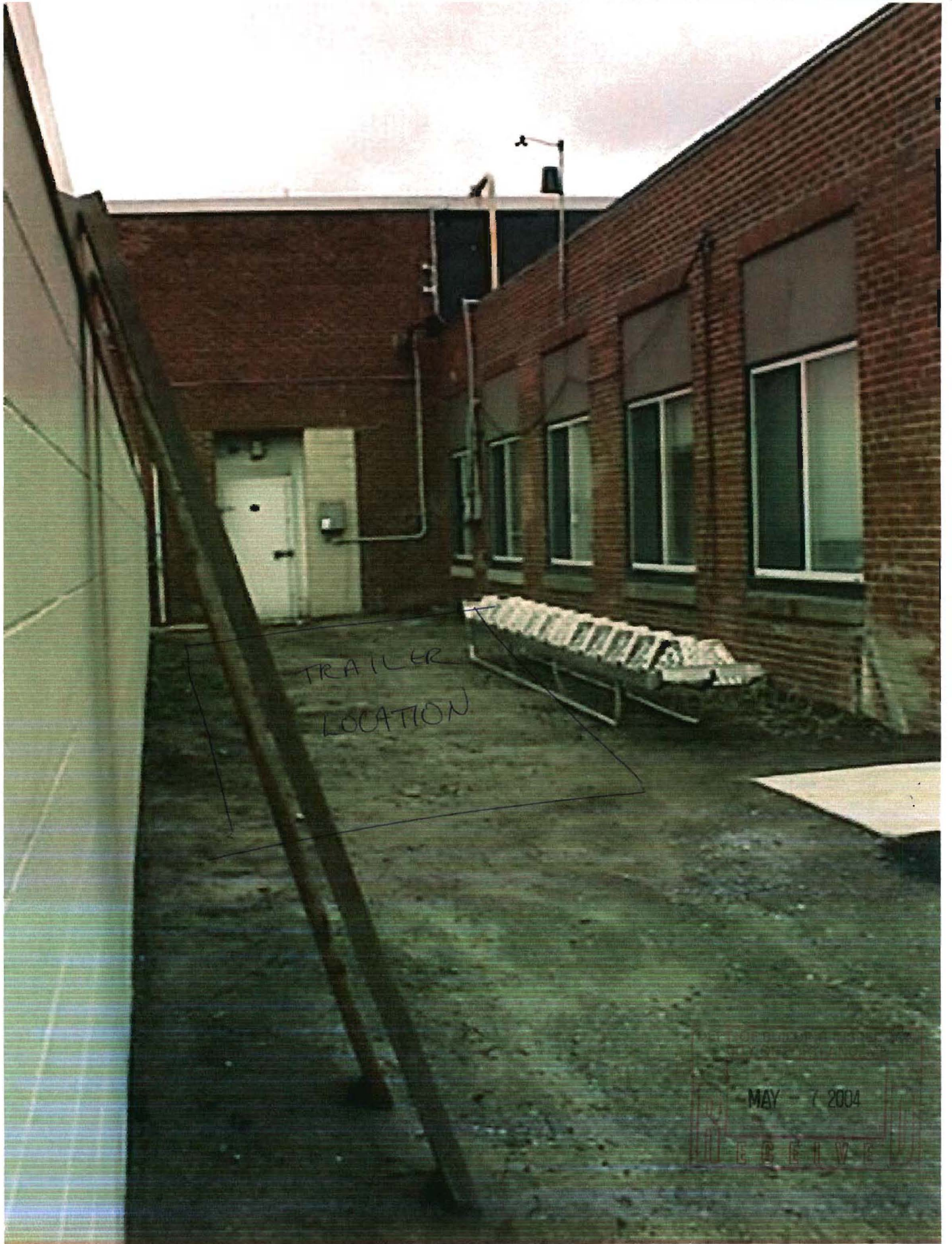
114967 Total Collected \$ *3100*

THIS IS NOT A PERMIT

Work is to be started until PERMIT CARD is actually posted
license. Acceptance of fee is no guarantee that permit will
PRESERVE THIS RECEIPT. In case permit cannot be
amount of the fee will be refunded upon return of the
\$10.00 or 10% whichever is greater.

Applicant's Copy
Office Copy
Permit Copy

Stacy

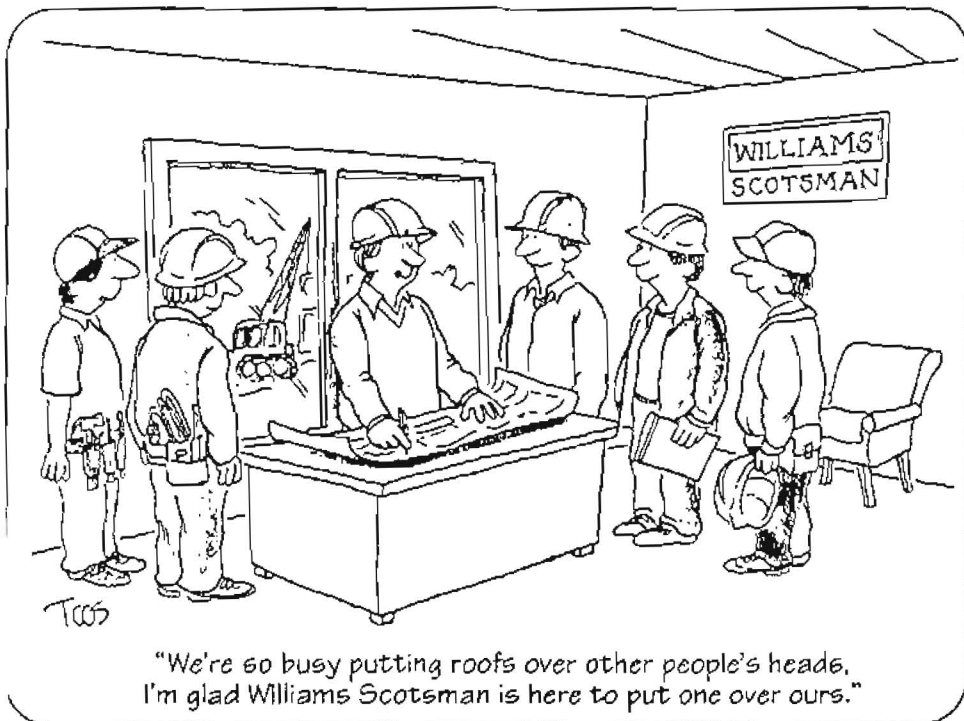


TRAILER
LOCATION

MAY 7 2004

That's A Fax?

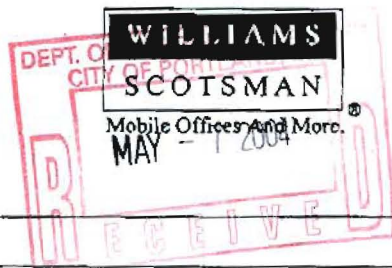
This is a Williams Scotsman Fax Fact.



"We're so busy putting roofs over other people's heads, I'm glad Williams Scotsman is here to put one over ours."

It takes extensive on-site planning before a construction crew can begin work. And Williams Scotsman should be part of that planning. With a wide variety of sizes to choose from, our easily-configured mobile space can be designed to fit your specific project requirements.

1-800-782-1500



To: Laurel Grant

Firm: _____

Fax Number: 772-3938

From: _____

No. of Pages (including cover page): 5

Date: 4/28/04

Message To Recipient: _____

If there is a problem receiving this transmission, please call:

Phone Number: ()

(Operator Sending Message)

Fax: 207-783-6183 • 325 Rodman Road • Auburn, ME 04120 • Phone: 207-783-3200

Web Site: <http://www.willscot.com> • E-Mail: trailers@ix.netcom.com



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And More

WILLIAMS SCOTSMAN, INC.
325 Rodman Road
Auburn, ME 04210
800-782-1500
207-783-3200
FAX 207-783-6183

Typically when we Block and Level a trailer,

- 1, We get the Unit where the customer wants it.
- 2, We put a level in the unit and adjust the unit level from front to back (it is still hooked to the truck).
- When this is level front to back, we then secure the 4 outside corners with blocks or jack stands.
- 3, We then level the unit from side to side. If the unit is out of level we jack up the lower side with a 20 ton jack. We do this down the length of the unit. As we go we secure it with blocks or jack stands.
- 4, We make sure all inside and outside doors work properly.
- 5, We set the OSHA approved steps against the unit and level them with shims, or blocking.

Typically when we skirt a unit.

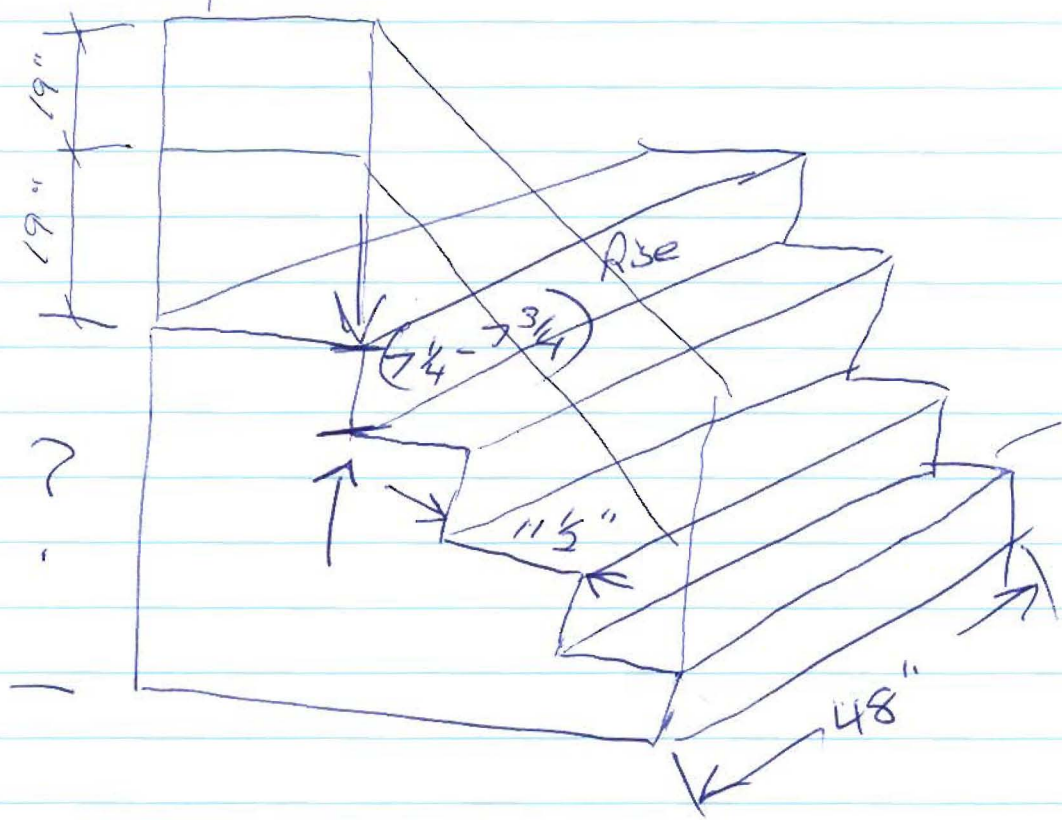
- 1, We screw the top starter on the unit all the way around.
- 2, We put the bottom piece on the ground level with the top starter. We secure this to the ground with either aluminum nails, or screws, or use a Hilll (a nail gun which uses a charged load) and shoot a load into the pavement or concrete.
- 3, We cut the skirting to length and then secure it to the starter and bottom piece. The skirting feeds inside the next piece, so it is well secured.



will have Railing

2 1/2" ALUM

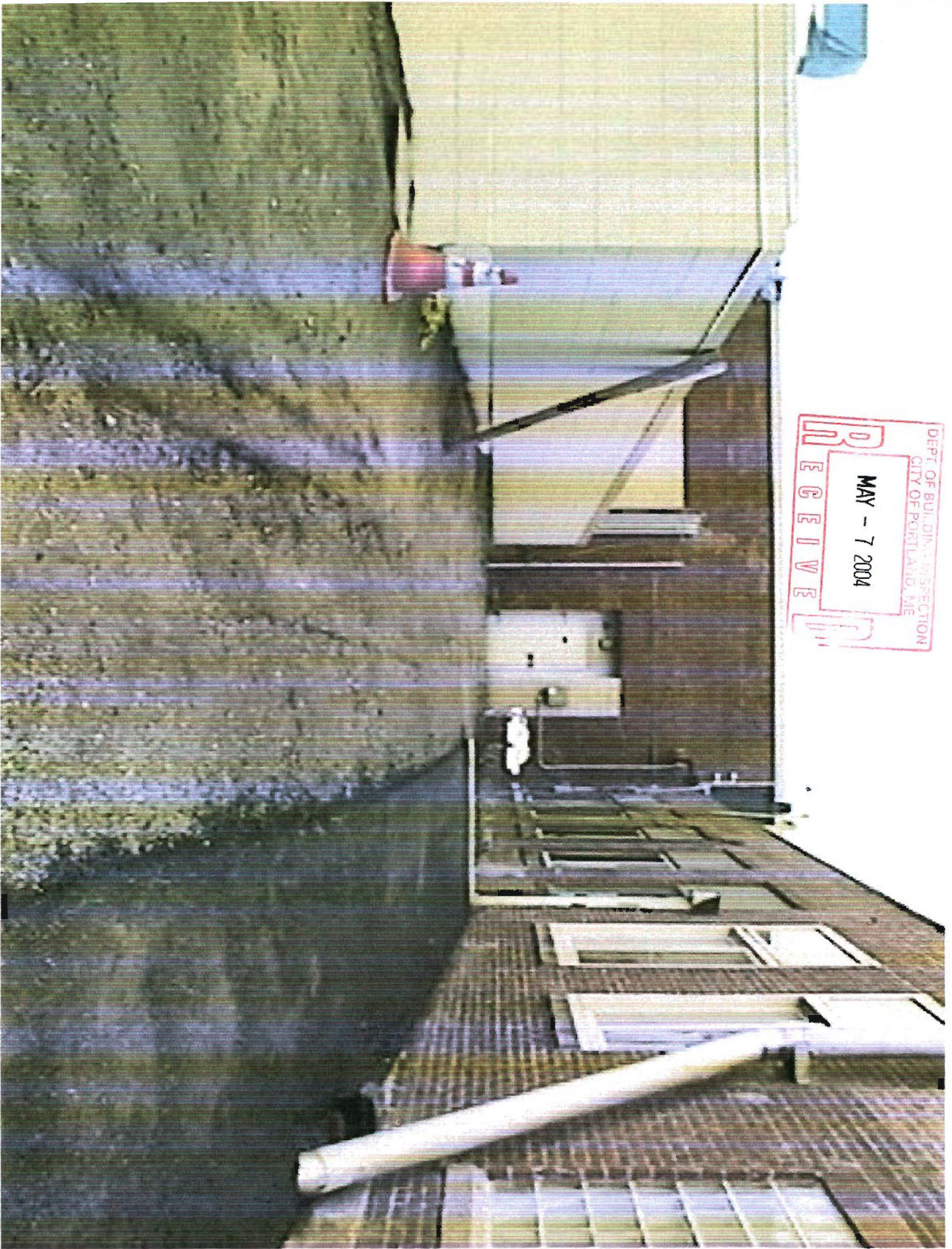
PORTLAND



ALUMINUM
SERRATED
THREADS

~~How many Ris~~

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY - 7 2004
RECEIVED



DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
RECEIVED
MAY - 7 2004

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8632~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

NA **Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

✓ ^{Tie down} **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

✓ **Final Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. City of Portland

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

✓ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

✓ **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Jerry D. Shroy
Signature of Applicant/Designee

8/24/04
Date

Deanne Banta
Signature of Inspections Official

8/24/04
Date

CBL: 070 A005 Building Permit #: 04 0479



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Jeff Shorcy for Barber Foods

4/16/04

Applicant

Application Date

54 ST. John STREET Portland Me

Office Space

Applicant's Mailing Address

Project Name/Description

Jeff Shorcy 772-1934 ex 316

54 ST. John STREET

Consultant/Agent/Phone Number

Address of Proposed Site

CBL: 018 A 001

Description of Proposed Development:

14 28 x 50 trailer for additional office space to be located behind 54 ST. John STREET. See attached Drawing

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
b) Footprint Increase Less Than 500 Sq. Ft.
c) No New Curb Cuts, Driveways, Parking Areas
d) Curbs and Sidewalks in Sound Condition/Comply with ADA
e) No Additional Parking/ No Traffic Increase
f) No Stormwater Problems
g) Sufficient Property Screening
h) Adequate Utilities

Table with 2 columns: Applicant's Assessment (Yes, No, N/A) and Planning Office Use Only. Includes a 'RECEIVED' stamp dated MAY 13 2004.

Planning Division Use Only

Exemption Granted [checked] Partial Exemption Exemption Denied

Planner's Signature

[Handwritten Signature]

Date

5/12/04

4/27/04
 height of waste bldg
 low - will send photo
 6" between it +
 trailer. Will send
 installation detail.
 Steps don't meet code -
 have 3 other sets already
 on site, other trailers.
 will change for proposed.

CONCERNS:

1. ABILITY TO POSITION TRAILER DUE TO GRADE SLOPE

