

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BU **PERMIT** ICTION

Permit Number: 081414

This is to certify that ST JOHN STREET ASSOCIATES LIMITED PARTNERSHIP
has permission to renovate office area, construct new security vestibule, other minor interior renovations
AT 70 ST JOHN ST 070 A001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS	
Fire Dept.	<i>Checked</i>
Health Dept.	<i>Checked</i>
Appeal Board	DEC 8 2008
Other	
Department Name	
CITY OF PORTLAND	

Jeanne Bank 12/8/08
Director - Building & Inspection Services

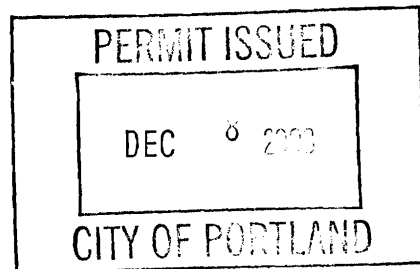
PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1414	Issue Date:	CBL: 070 A001001
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Location of Construction: 70 ST JOHN ST	Owner Name: ST JOHN STREET ASSOCIATES	Owner Address: PO BOX 4821	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: IMB
Past Use: Commercial - Barber Foods Inc	Proposed Use: Commercial - Barber Foods Inc - renovate office area, construct new security vestibule, other minor interior renovations	Permit Fee: \$820.00	Cost of Work: \$80,000.00
Proposed Project Description: renovate office area, construct new security vestibule, other minor interior renovations		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: F-2 Type: 2B FBI-2003
		Signature: <i>Cory Carr</i>	Signature: <i>AMB 12/8/08</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

Permit Taken By: ldobson	Date Applied For: 11/04/2008	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Date: <i>11/12/08</i>
	Date: _____			Date: _____
	Date: _____			Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Re-Bar Schedule Inspection: Prior to pouring concrete

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

The final report of Special Inspections shall be submitted prior to the final inspection or the issuance of the Certificate of Occupancy

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Jeanne Bunker

Signature of Inspections Official

Date

12/8/08

Date

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

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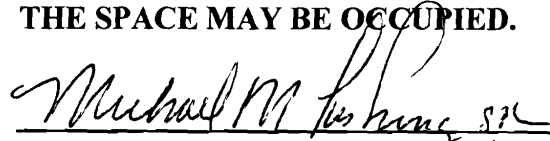
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- Re-Bar Schedule Inspection: Prior to pouring concrete
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling
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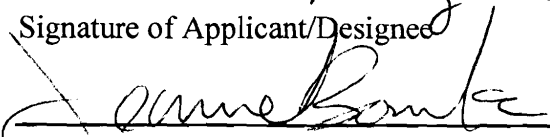
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CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

12-8-2008
Date



Signature of Inspections Official

12/8/08
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1414	Date Applied For: 11/04/2008	CBL: 070 A001001
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Location of Construction: 70 ST JOHN ST	Owner Name: ST JOHN STREET ASSOCIATES	Owner Address: PO BOX 4821	Phone:
Business Name:	Contractor Name: TBD	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Barber Foods Inc - renovate office area, construct new security vestibule, other minor interior renovations	Proposed Project Description: renovate office area, construct new security vestibule, other minor interior renovations
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 11/12/2008

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 12/08/2008

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 11/13/2008

Note: **Ok to Issue:**

- 1) All separations between uses within the structure shall be maintained.
- 2) Sprinkler protection shall be maintained.
Where the system is to be shut down for maintenance or repair, the system shall be checked at the end of each day to insure the system has been placed back in service.
- 3) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance.
Compliance letters are required.
- 4) All construction shall comply with NFPA 101
- 5) Application requires State Fire Marshal approval.

Comments:

11/21/2008-gg: received granted site exemption as of 11/20/08. /gg filed with permit (Tammy)

11/4/2008-mes: front staff did not get a plot/site plan - It looks like some new exterior work is going on - I called Mike and told him we would need such a plan - Exterior would also need a site plan or exemption review. Permit on hold until I know what I am signing off on.

11/12/2008-mes: The applicant brought in a partial site plan and a site plan exemption - I gave the site plan exemption to Barbara.

#081414



Application for Exemption from Site Plan Review
Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

1. Applicant Information

BARBER FOODS c/o MIKE CUSHING
Applicant/Owner

54 ST. JOHN ST, PORTLAND ME 04112
Mailing Address

ASSOCIATED DESIGN PARTNERS INC
Consultant/Agent

541-2816 / _____ / _____
Phone Fax Cell

2. Project Information

11/10/08
Application Date

BARBER FOODS SECURITY BOOTH
Project Name/Description

54 ST. JOHN ST
Address of Proposed Site

070 A001001
Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development:

NEW 215 SF SECURITY ENTRANCE VESTIBULE

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>No</u>	<u>✓</u>
b) Footprint Increase Less Than 500 sq. ft.	<u>Y</u>	<u>✓</u>
c) No New Curb Cuts, Driveways, Parking Areas	<u>Y</u>	<u>✓</u>
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>N/A</u>	<u>✓</u>
e) No Additional Parking/No Traffic Increase	<u>Y</u>	<u>✓</u>
f) No Known Stormwater Problems	<u>Y</u>	<u>✓</u>
g) Sufficient Property Screening Exists	<u>Y</u>	<u>✓</u>
h) Adequate Utilities	<u>Y</u>	<u>✓</u>

Planning Division Use Only

Exemption Granted X Partial Exemption _____ Exemption Denied _____

NOV 20 2008

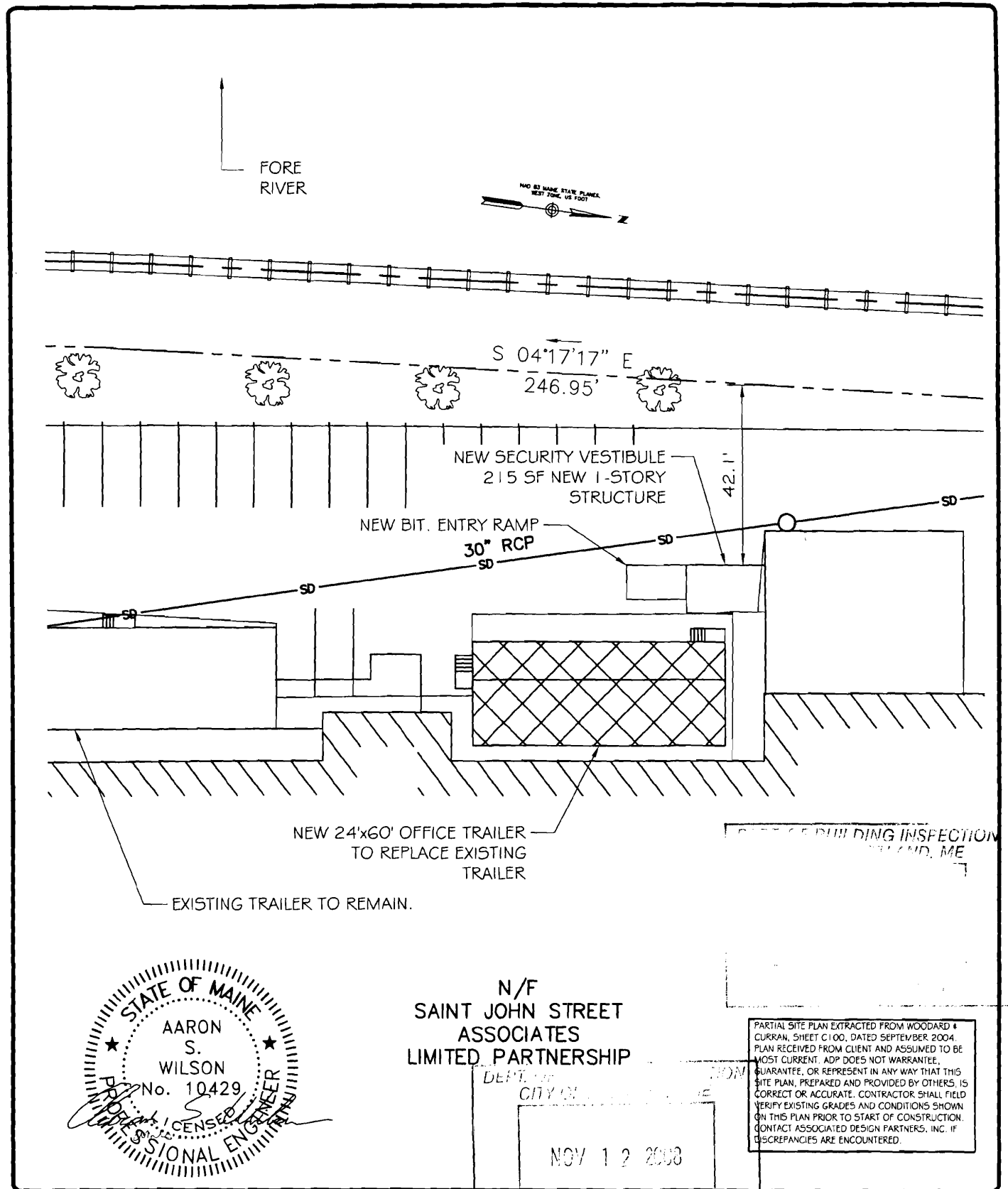
Planner's Signature Barbara Berlydt Date 11/20/08

Original - Planning Division

Copy - Inspections Division and Applicant

NOV 12 2008

I-mb



ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road Office: (207) 878-1751
Falmouth, Maine 04105 Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

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PROJECT: **BARBER FOODS**
54-70 ST. JOHN ST
FOR: BARBER FOODS

SHEET TITLE:
NEW SECURITY VESTIBULE
PARTIAL SITE PLAN

REVISIONS			
No.	BY	DESCRIPTION	DATE
1			
2			
3			
4			

DATE: 11-10-08
SCALE: 1"=30'-0"
DESIGN BY: ASW
DRAWN BY: ASW
FILE #: 08170-C1.DWG
PROJECT NUMBER:
08170
SHEET NO:
C1



Commercial Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>70 ST. JOHN STREET</u>		
Total Square Footage of Proposed Structure <u>216 SF</u>	Square Footage of Lot <u>5.9A</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>70</u> Block# <u>A</u> Lot# <u>01</u>	Owner: <u>BARBER FOODS INC</u> <u>70 ST. JOHN STREET</u> <u>PORTLAND ME 04112</u>	Telephone: <u>541-2816</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>OWNER</u>	Cost Of Work: \$ <u>80,000</u> Fee: \$ <u>741.00</u>
Current Specific use: <u>MANUFACTURING</u>		
Proposed Specific use: <u>MANUFACTURING</u>		
Project description: <ul style="list-style-type: none">• <u>RENOVATE OFFICE AREA</u>• <u>CONSTRUCT NEW SECURITY VESTIBULE</u>• <u>OTHER MINOR INTERIOR RENOVATIONS.</u>		
Contractor's name, address & telephone: <u>TBD</u>		
Who should we contact when the permit is ready: <u>CARL VADNAIS</u>		<u>932-3853 m.kc.</u>
Mailing address: <u>70 ST. JOHN STREET</u> <u>PORTLAND ME 04112</u>		Phone: <u>541-2800</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

AGENT: AARON S. WILSON 878-1751

Signature of applicant: [Signature]

Date: 10-29-08

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



Application for Exemption from Site Plan Review
Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

1. Applicant Information

BARBER FOODS c/o MIKE CUSMANG
Applicant/Owner

54 ST. JOHN ST, PORTLAND ME 04112
Mailing Address

ASSOCIATED DESIGN PARTNERS INC
Consultant/Agent

541-2816 / _____ / _____
Phone Fax Cell

2. Project Information

11/14/08
Application Date

BARBER FOODS SECURITY BOOTHS
Project Name/Description

54 ST. JOHN ST
Address of Proposed Site

070 A001001
Assessor's Reference (Chart-Block-Lot)

Description of Proposed Development:

NEW 215 SF SECURITY ENTRANCE VESTIBULE

(Please Attach Sketch/Plan of Proposal/Development)

Criteria for Exemptions: (See Section 14-523 (4) on page 2 of this application)

	Applicant's Assessment (Yes, No, N/A)	Planning Division Use Only
a) Within Existing Structures: No New Buildings, Demolitions or Additions	<u>No</u>	_____
b) Footprint Increase Less Than 500 sq. ft.	<u>Y</u>	_____
c) No New Curb Cuts, Driveways, Parking Areas	<u>Y</u>	_____
d) Curbs and Sidewalks in Sound Condition/Comply with ADA	<u>N/A</u>	_____
e) No Additional Parking/No Traffic Increase	<u>Y</u>	_____
f) No Known Stormwater Problems	<u>Y</u>	_____
g) Sufficient Property Screening Exists	<u>Y</u>	_____
h) Adequate Utilities	<u>Y</u>	_____

Planning Division Use Only

Exemption Granted _____ Partial Exemption _____ Exemption Denied _____

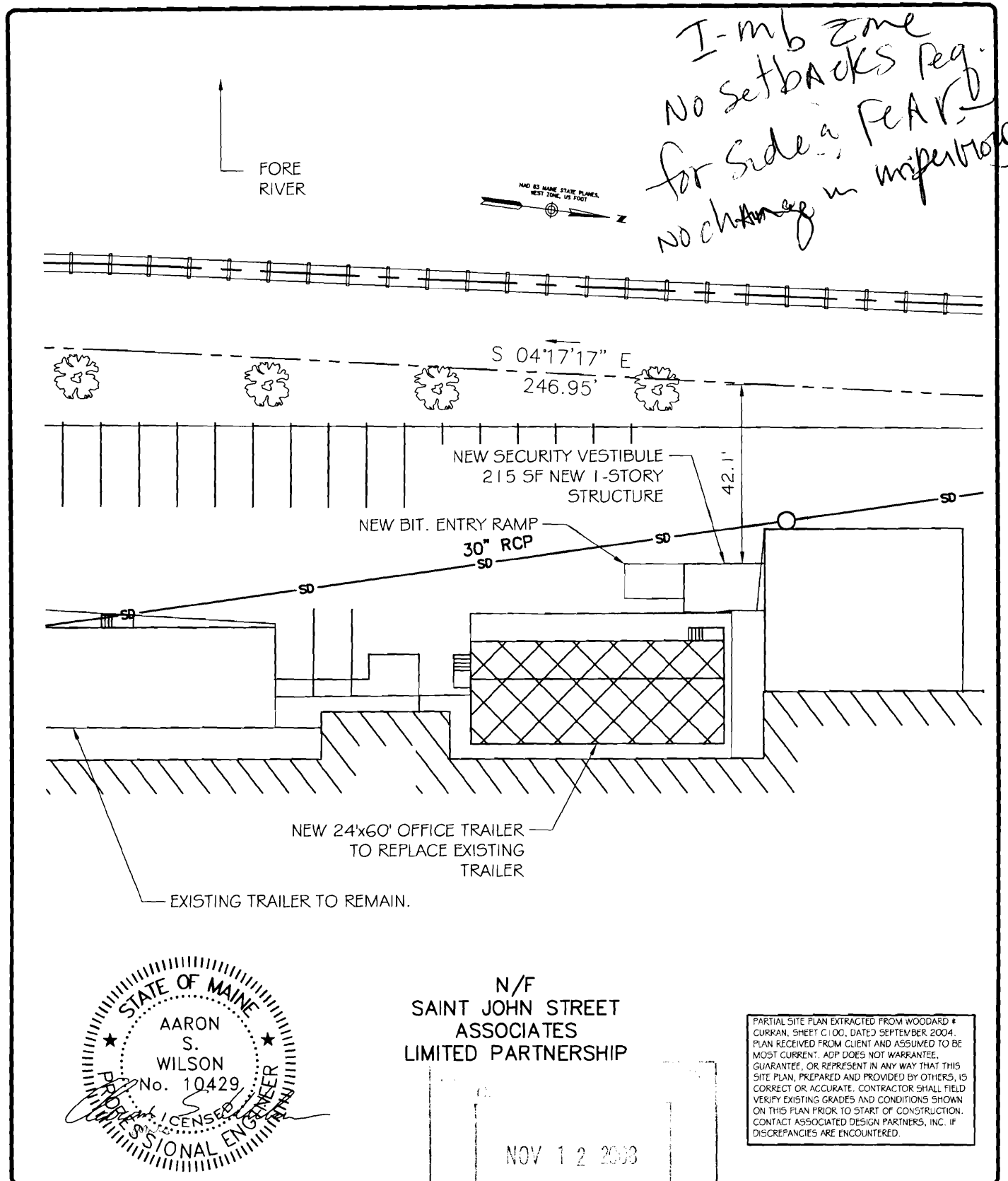
Planner's Signature _____ Date _____

Original - Planning Division

Copy - Inspections Division and Applicant

NOV 12 2008

Given to Planning 11/12/08



ASSOCIATED DESIGN PARTNERS INC.

80 Leighton Road Office: (207) 878-1751
Falmouth, Maine 04105 Fax: (207) 878-1788
E-Mail: adp@adpengineering.com

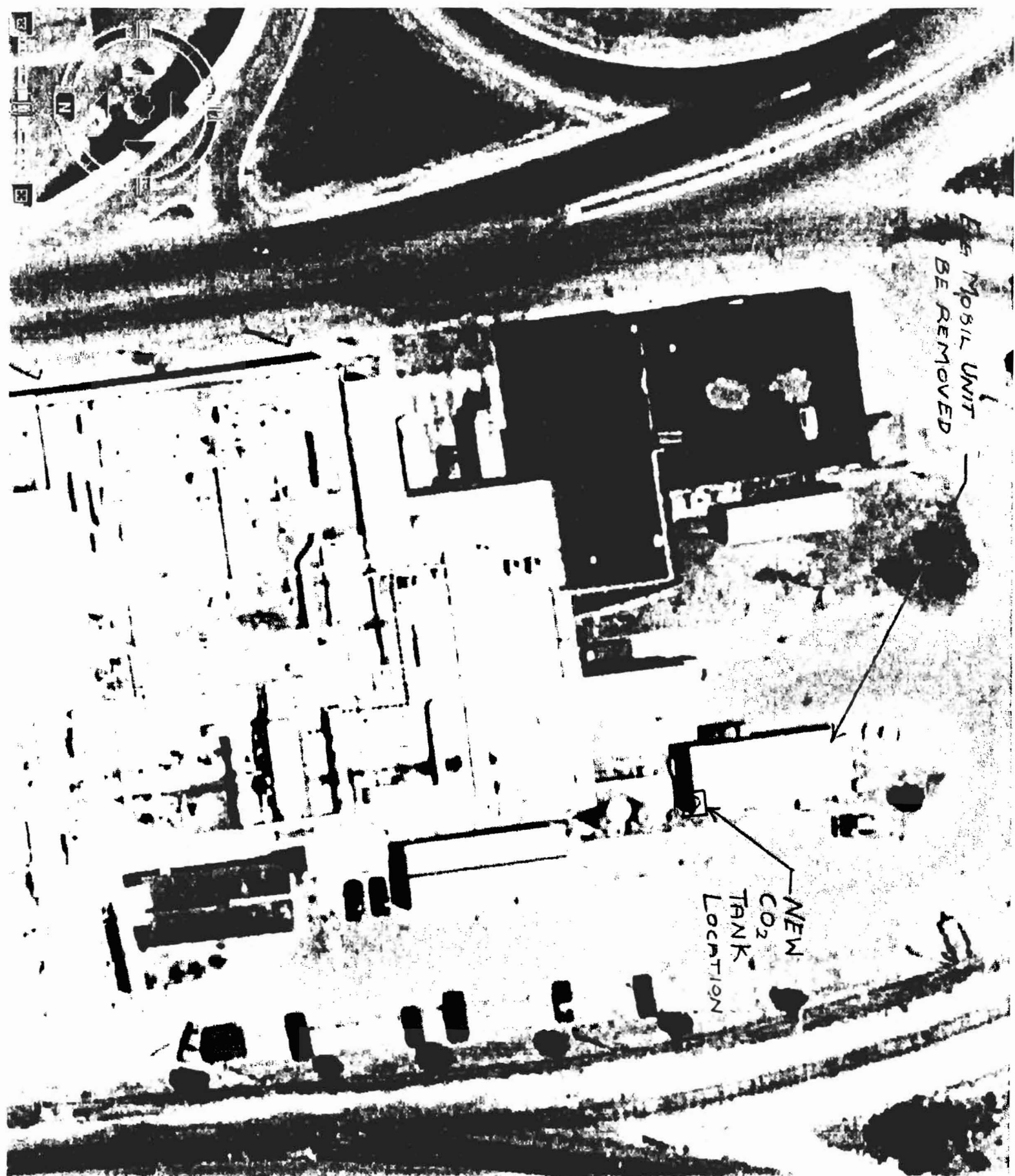
PROJECT: **BARBER FOODS**
54-70 ST. JOHN ST
FOR BARBER FOODS

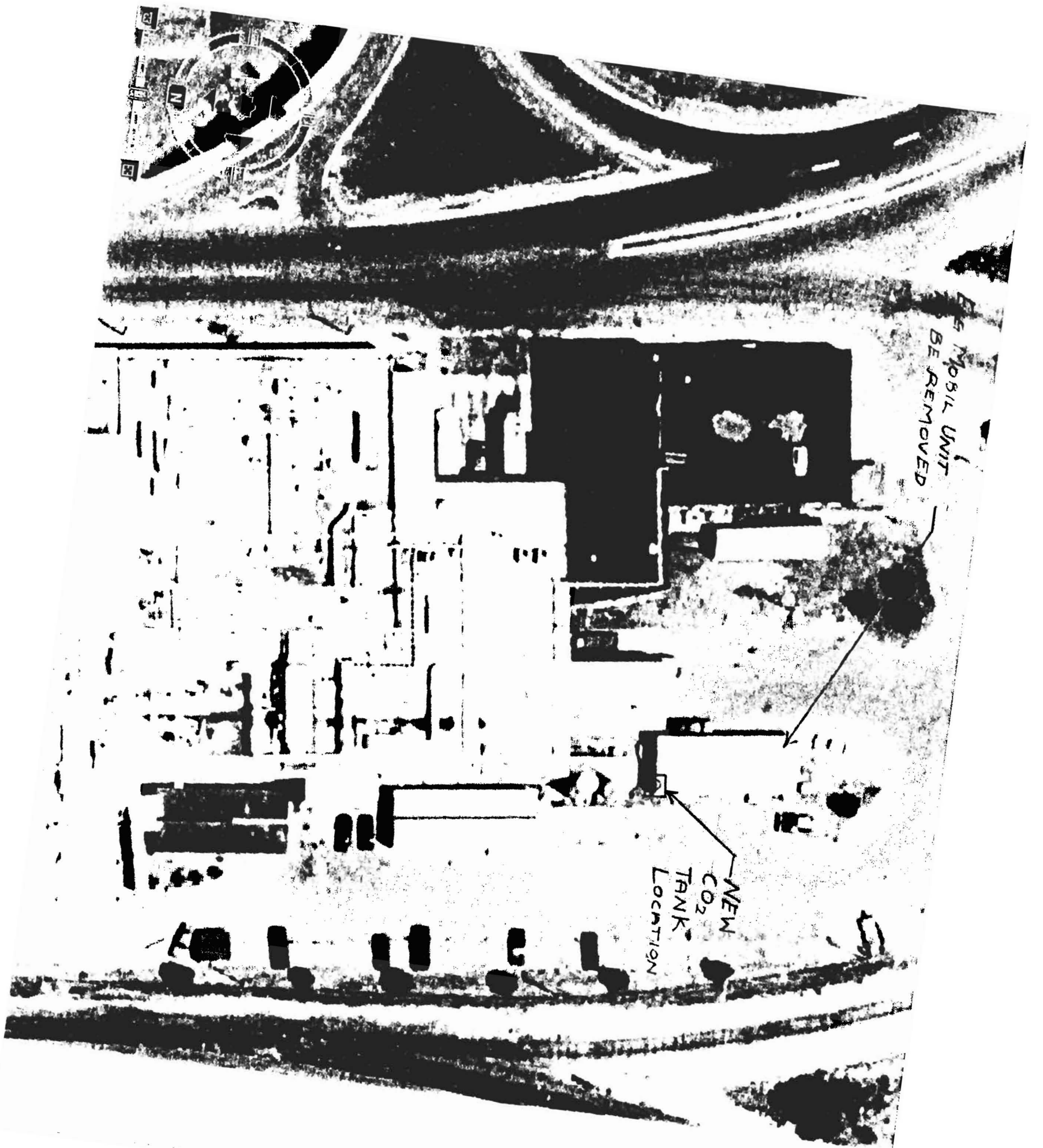
SHEET TITLE:
**NEW SECURITY VESTIBULE
PARTIAL SITE PLAN**

REVISIONS			
No.	BY	DESCRIPTION	DATE
1			
2			
3			
4			

DATE : 11-10-08
SCALE : 1"=30'-0"
DESIGN BY: ASW
DRAWN BY: ASW
FILE #: 08170-C1.DWG
PROJECT NUMBER:
08170
SHEET NO:
C1

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MOBIL UNIT
BE REMOVED

NEW
CO₂
TANK
LOCATION



Certificate of Design Application

From Designer: ASSOCIATED DESIGN PARTNERS, INC
Date: 10.29.08
Job Name: BARBER FOODS - ADMIN. RENOVATIONS & NEW SECURITY VESTIBULE
Address of Construction: 54-70 ST. JOHN STREET

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) F-2
Type of Construction II-B
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 ~~IBC~~ EXISTING AREAS - Y
NEW VESTIBULE - Y
Is the Structure mixed use? Y If yes, separated or non separated or non separated (section 302.3) SEPARATED
Supervisory alarm System? Y Geotechnical/Soils report required? (See Section 1802.2) N

Structural Design Calculations

Submitted for all structural members (106.1 - 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>LOBBY</u>	<u>100 PSF</u>

Wind loads (1603.1.4, 1609)

SIMPLIFIED Design option utilized (1609.1.1, 1609.6)
100 MPH Basic wind speed (1809.3)
1.0 Building category and wind importance Factor, w
table 1604.5, 1609.5)
B Wind exposure category (1609.4)
N.A. Internal pressure coefficient (ASCE 7)
±1.40 PSF Component and cladding pressures (1609.1.1, 1609.6.2.2)
±1.16 PSF Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

ASCE 7-05 Design option utilized (1614.1)
B Seismic use group ("Category")
0.324/0.125 Spectral response coefficients, S_D s & S_{D1} (1615.1)
D Site class (1615.1.5)

N.A. Live load reduction
20 PSF Roof live loads (1603.1.2, 1607.11)
42 PSF + DRIFT Roof snow loads (1603.7.3, 1608)
60 PSF Ground snow load, P_g (1608.2)
42 If $P_g > 10$ psf, flat-roof snow load P_f
1.0 If $P_g > 10$ psf, snow exposure factor, C_e
1.0 If $P_g > 10$ psf, snow load importance factor, I_s
1.0 Roof thermal factor, C_t (1608.4)
N.A. Sloped roof snowload, P_s (1608.4)
B Seismic design category (1616.3)
O.C.S.B.F. Basic seismic force resisting system (1617.6.2)
3.25 Response modification coefficient, R , and
deflection amplification factor C_d (1617.6.2)
E.L.F. Analysis procedure (1616.6, 1617.5)
0.97K Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

NA Flood Hazard area (1612.3)
NA Elevation of structure

Other loads

NA Concentrated loads (1607.4)
NA Partition loads (1607.5)
NA Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



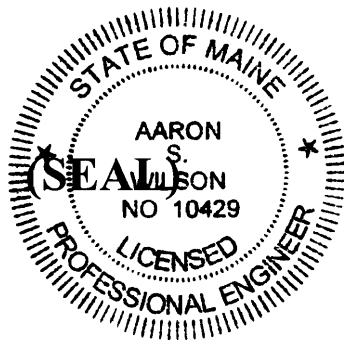
Accessibility Building Code Certificate

Designer: ASSOCIATED DESIGN PARTNERS, INC

Address of Project: 54-70 ST. JOHN STREET

Nature of Project: INTERIOR RENOVATIONS, NEW SECURITY
ENTRY VESTIBULE.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: Aaron S. Wilson

Title: ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD
FALMOUTH ME 04105

Phone: 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

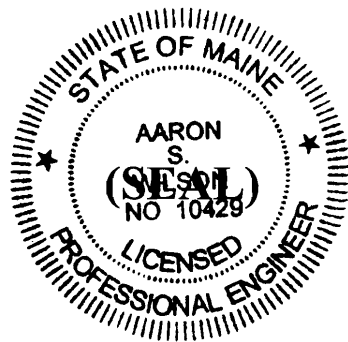
Date: 10/29/08

From: ASSOCIATED DESIGN PARTNERS, INC

These plans and / or specifications covering construction work on:

54-70 ST. JOHN STREET / BARBER FOODS. INTERIOR RENOVATIONS AND
NEW SECURITY VESTIBULE.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



Signature: Aaron S. Seal

Title: ENGINEER

Firm: ASSOCIATED DESIGN PARTNERS, INC

Address: 80 LEIGHTON RD

FALMOUTH ME 04105

Phone: 878-1751

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

**STATEMENT OF SPECIAL
CONSTRUCTION MONITORING**

**PROJECT: Barber Foods Administration Renovations and New Security Booth
Portland, Maine**

**PERMIT APPLICANT: Mike Cushing – Barber Foods
APPLICANT'S ADDRESS: 70 St. John St, Portland ME 04112**

**STRUCTURAL ENGINEER OF RECORD
Associated Design Partners, Inc
CONTRACTOR: TBD**


This Statement of Special Construction Monitoring is submitted as a condition for building permit issuance in accordance with Section 1704.0 of the 2003 International Building Code. It includes the Schedule of Special Construction Monitoring and Testing as applicable to this project. Also included is a listing of agents and other approved agencies to be retained for conducting the monitoring and testing applicable to this project.

The Special Construction Monitoring Coordinator shall keep records of all observations listed herein, and shall furnish field reports to the Registered Design Professional of Record. All discrepancies shall be brought to the immediate attention of the Contractor for correction, and to the Registered Design Professional of Record. If the discrepancies are not corrected, the discrepancies shall be brought to the attention of the Registered Design Professional of Record. Interim reports shall be submitted to the Registered Design Professional of Record monthly, unless more frequent submissions are requested.

The Special Construction Monitoring program does not relieve the Contractor of his or her responsibilities. Job site safety is solely the responsibility of the Contractor. Materials and activities covered under the monitoring schedule are not to include the Contractor's equipment and methods used to erect or install the materials listed.

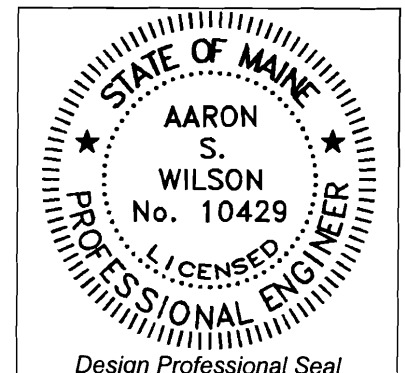
Prepared by:

Aaron S. Wilson
(type or print name)



Signature

10/29/08
Date



Owner's Authorization:

Building Official's Acceptance:

Signature

Date

Signature

Date

SPECIAL CONSTRUCTION MONITORING AGENTS

This Statement of Special Construction Monitoring / Quality Assurance Plan includes the following building systems:

- | | |
|--|--|
| <input checked="" type="checkbox"/> Soils and Foundations
<input type="checkbox"/> Cast-in-Place Concrete Retaining walls
<input type="checkbox"/> Precast Concrete
<input type="checkbox"/> Masonry
<input checked="" type="checkbox"/> Structural Steel
<input checked="" type="checkbox"/> Cold-Formed Steel Framing | <input type="checkbox"/> Spray Fire Resistant Material
<input type="checkbox"/> Wood Construction
<input type="checkbox"/> Exterior Insulation and Finish System
<input type="checkbox"/> Mechanical & Electrical Systems
<input type="checkbox"/> Architectural Systems
<input type="checkbox"/> Special Cases |
|--|--|

AGENT	FIRM	CONTACT INFORMATION
1. Engineer of Record	Associated Design Partners	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
2. Special Construction Monitoring Coordinator	Associated Design Partners	80 Leighton Rd Falmouth ME 04105 Ph: 878-1751
3. Field Monitor	S.W. Cole Engineering Inc	286 Portland Road Gray, ME 04039-9586 P: (207) 657.2866
4. Testing Agency	S.W. Cole Engineering Inc	286 Portland Road Gray, ME 04039-9586 P: (207) 657.2866
5. Contractor	TBD	

Note: The testing agency shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official, prior to commencing work.

QUALITY ASSURANCE FOR LATERAL SYSTEMS

Quality Assurance for Seismic Requirements

Seismic Design Category IBC 1705 *B*
Quality Assurance Plan Required (Y/N) *N*

If seismic design category C, and plan is not required, explain (see exceptions to 1705.1)

Description of seismic force resisting system and designated seismic systems:
METAL DECK DIAPHRAGM, STEEL BRACED FRAMES

Quality Assurance for Wind Requirements

Basic Wind Speed (3 second gust) IBC 1706 *100MPH*
Quality Assurance Plan Required (Y/N) *N*

Description of wind force resisting system and designated wind resisting components:
METAL DECK DIAPHRAGM, STEEL BRACED FRAMES

Statement of Responsibility

Each contractor responsible for the construction or fabrication of a system or component designated above must submit a Statement of Responsibility in accordance with section 1705.3, and 1706.3 of the 2003 IBC code.

The qualifications of all personnel performing Special Inspection and testing activities are subject to the approval of the Building Official. The credentials of all Inspectors and testing technicians shall be provided if requested.

Key for Minimum Qualifications of Inspection Agents:

When the Registered Design Professional in Responsible Charge deems it appropriate that the individual performing a stipulated test or inspection have a specific certification or license as indicated below, such designation shall appear below the *Agency Number* on the Schedule.

PE/SE	Structural Engineer – a licensed SE or PE specializing in the design of building structures
PE/GE	Geotechnical Engineer – a licensed PE specializing in soil mechanics and foundations
EIT	Engineer-In-Training – a graduate engineer who has passed the Fundamentals of Engineering examination

American Concrete Institute (ACI) Certification

ACI-CFTT	Concrete Field Testing Technician – Grade 1
ACI-CCI	Concrete Construction Inspector
ACI-LTT	Laboratory Testing Technician – Grade 1&2
ACI-STT	Strength Testing Technician

American Welding Society (AWS) Certification

AWS-CWI	Certified Welding Inspector
AWS/AISC-SSI	Certified Structural Steel Inspector

American Society of Non-Destructive Testing (ASNT) Certification

ASNT	Non-Destructive Testing Technician – Level II or III.
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International Code Council (ICC) Certification

ICC-SMSI	Structural Masonry Special Inspector
ICC-SWSI	Structural Steel and Welding Special Inspector
ICC-SFSI	Spray-Applied Fireproofing Special Inspector
ICC-PCSI	Prestressed Concrete Special Inspector
ICC-RCSI	Reinforced Concrete Special Inspector

National Institute for Certification in Engineering Technologies (NICET)

NICET-CT	Concrete Technician – Levels I, II, III & IV
NICET-ST	Soils Technician - Levels I, II, III & IV
NICET-GET	Geotechnical Engineering Technician - Levels I, II, III & IV

Exterior Design Institute (EDI) Certification

EDI-EIFS	EIFS Third Party Inspector
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TABLE 1 – SCHEDULE OF SPECIAL CONSTRUCTION MONITORING

MATERIAL / ACTIVITY		EXTENT of MONITORING (Continuous, Periodic, Other, Exempt, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.3 STEEL CONSTRUCTION						
1. Material Verification of high strength bolts, nuts, and washers.	a. Identification markings to conform to ASTM standards specified in the approved construction documents.	Periodic		3		
	b. Manufacturers Certificate of Compliance required.	Other	Fabricator to provide Certificate to Agent 1.	1		
2. Inspection of High – Strength Bolting	a. Bearing type connections	Periodic		3		
	b. Slip – critical connections	None	No S-C connections in building			
3. Material Verification of structural steel	a. Identification marking to conform to ASTM standards specified in the contract documents.	Exempt	Fabricator to be AISC certified.			
	b. Manufacturers certified mill test Reports.	Exempt	Fabricator to provide Certificate to Agent 1.	1		
4. Material Verification of weld filler materials:	a. Identification marking to conform to AWS standards specified in the contract documents.	Exempt	Fabricator is AISC certified.			
	b. Manufacturers Certificate of Compliance required.	Exempt	Shop welding performed by AISC certified fabricator			
5. Inspection of Welding – Structural Steel	a. Single Pass fillet welds < 5/16"	Exempt	No field welding. Shop welding performed by AISC certified fabricator			
	b. Roof deck welds	Periodic		3		
6. Inspection of Steel Frame Joint details for compliance with approved documents.	a. Bracing / moment frame connections	Periodic		3		
	b. Member locations	Periodic		3		
	c. Application of joint details at each connection.	Periodic		3		

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.4 CONCRETE CONSTRUCTION					
1. Inspection of reinforcing steel, including placement.	Periodic		3		
2. Inspection of reinforcing steel welding	None	No welding of rebar specified in contract drawings			
3. Inspect bolts embedded into concrete prior to and during placement of concrete where allowable loads have been increased.	Exempt	All anchors are post installed epoxy into new or existing concrete			
4. Verify concrete mix design(s)	Periodic	SER to review and approve mix design(s) prior to delivery. Field agent to verify delivery ticket matches approved mix design.	1,3		
5. Sample fresh concrete for strength tests, perform slump and air content tests, and determine temperature of concrete.	Continuous		3,4		
6. Inspection of concrete placement for proper techniques.	Continuous		3		
7. Inspection for maintenance of specified curing temperature and techniques.	Periodic		3		
1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2			No new load bearing or lateral force resisting Masonry Construction in Project		
1. As Masonry Construction begins, the following shall be verified to ensure conformance	a. Proportions of site-prepared mortar	None			
	b. Construction of mortar joints	None			
	c. Location of reinforcement	None			
	d. Pre-stressing technique	None	No pre-stressing in building		
	e. Grade and size of pre-stressing tendons.	None	No pre-stressing in building		
2. The Inspection program shall verify the following:	a. Size and location of structural elements.	None			
	b. Type, size, and location of embedded anchors.	None			
	c. Size, grade, and type of reinforcing	None			

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.5 MASONRY CONSTRUCTION - Level 1 Special Inspection for non-essential facility – 1704.5.2						
2. The Inspection program shall verify the following, cont:	d. welding of reinforcing bars	None				
	e. Protection of Masonry during cold weather (temp. below 40 deg F.)	None				
	f. Application and measurement of pre-stressing reinforcement	None				
3. Prior to grouting, the following shall be verified to ensure compliance.	a. Grout space is clean	None				
	b. Placement of reinforcement	None				
	c. Proportions of site-prepared grout	None				
	d. Construction of mortar joints	None				
4. Grout placement shall be verified to ensure compliance with code and construction document provisions.		None				
5. Preparation of any grout specimens, mortar specimens and/or prisms shall be observed		None				
6. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.		None				
1704.6 WOOD CONSTRUCTION						
1. Horizontal Diaphragms and Vertical Shearwalls	a. Inspect sheathing size, grade, and thickness for conformance with construction documents.	None				
	b. Inspect sheathing fastener size and pattern for conformance with construction documents.	None				
	c. Verify attachment to supporting elements is per contract documents.	None				
2. Wood truss fabricator certification / quality control procedures	Verify shop fabrication and quality control procedures for wood truss plant.	None				
3. Material Grading	Verify material grading for sawn lumber for compliance with construction documents. Verify manufactured lumber (LVL'S, PSL's) for conformance with construction documents.	None				

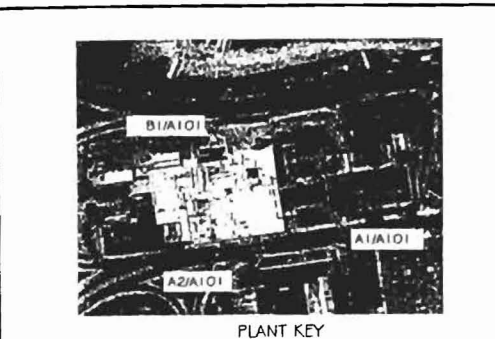
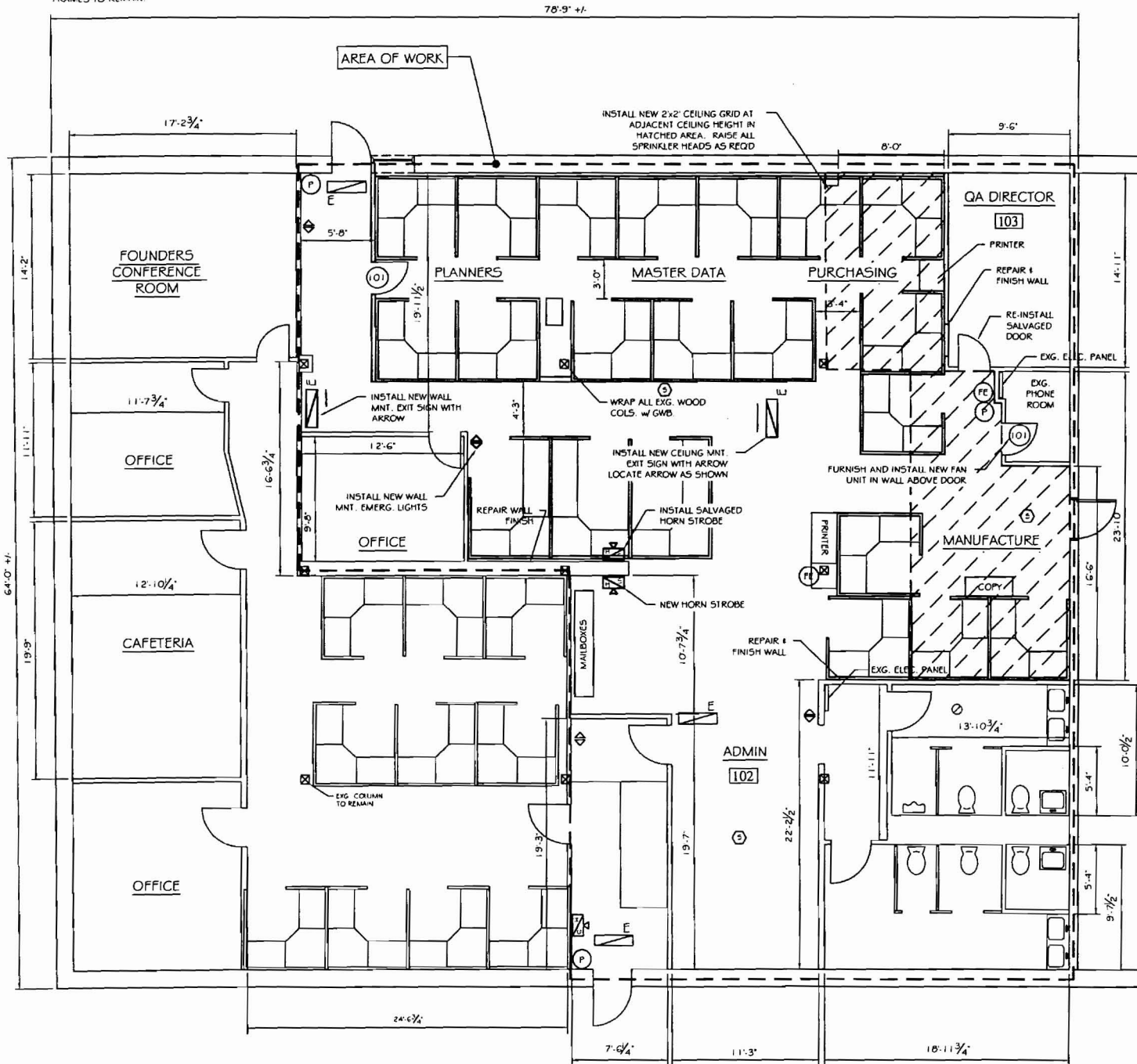
TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY	EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.6 WOOD CONSTRUCTION					
4. Wood Connections	Verify that connections are made as shown in the contract documents. For connections not specifically detailed, verify conformance with IBC 2003 Ch. 23	None			
5. Framing	Verify that framing is installed in accordance with construction documents.	None			
6. Pre-Fabricated Wood Trusses	Inspect truss and all bracing installation. Bracing to be installed per fabricator's recommendations and BCSI 1-03	None			
1704.7 SOILS					
1. Site Preparation	Inspect preparation of site for conformance with Geotechnical recommendations prior to placement of prepared fill.	Periodic	3		
2. Fill Placement	During Fill Placement verify that material and lift thickness comply with approved Geotechnical report.	Periodic	3		
3. In-Place Soil Density	Verify compliance of in-place compacted dry density with approved Geotechnical report.	Periodic	3		
1704.8 PILE FOUNDATIONS	Provide pile driving records of each pile. Submit reports to building official and EOR. Reports to include pile tip cutoff elevation relative to a common benchmark.	None			
1704.10 ARCHITECTURAL WALL PANELS AND VENEERS	Verify compliance of attachment of interior and exterior Architectural veneers to supporting structure for building in Seismic Design Category E or F.	None			

TABLE 1 – STATEMENT OF SPECIAL INSPECTIONS, cont.

MATERIAL/ACTIVITY		EXTENT of INSPECTION (Continuous, Periodic, Other, None)	COMMENTS	AGENT #	DATE COMPLETED	REV #
1704.11 SPRAYED FIRE-RESISTANT MATERIAL	a. Verify conformance of the prepared surface with manufacturer's specifications prior to application of material.	None	No Sprayed Fire-Resistant material in project			
	b. Verify that substrate's ambient temperature meet manufacturer's specifications.	None				
	c. Verify that material thickness meets design specifications.	None				
	d. Verify that the material density meets the design specifications. Test in accordance with ASTM E 605.	None				
	e. Verify that bond strength between material and substrate is greater than or equal to 150 psf. Test in accordance with ASTM E 736 and IBC 2003 1704.11.5.1 – 1704.11.5.2	None				
1704.12 EXTERIOR AND INSULATION AND FINISH SYSTEMS (EIFS)	Verify conformance of EIFS installation with manufacturers and design specifications.	None	No EIFS in project			
1704.13 SPECIAL CASES						
1704.10 SMOKE CONTROL						
	a. Test ductwork for leakage and re-code device locations prior to concealment of mechanical systems.	None				
	b. Prior to building occupation, perform pressure difference testing, flow measurements and detection, and control monitoring.	None				

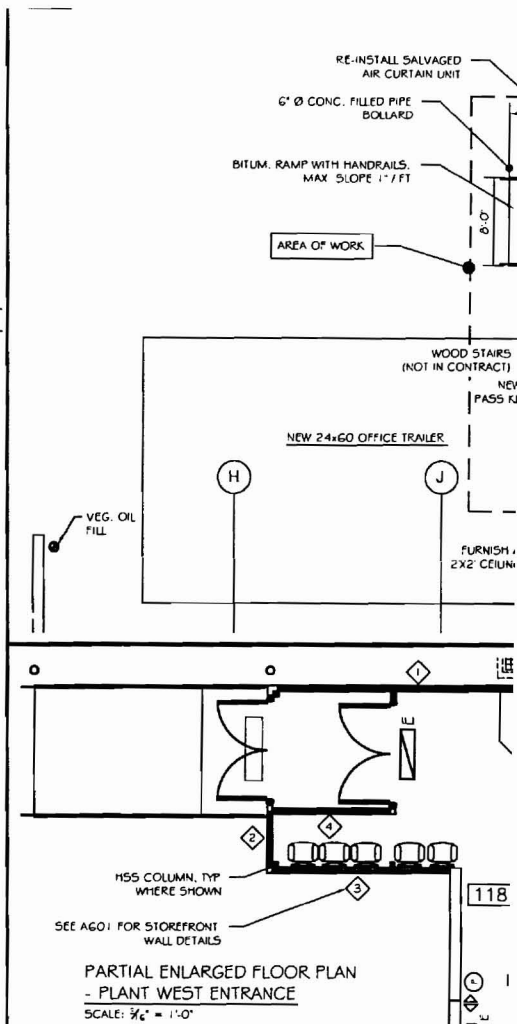
NOTES:
 1. INSTALL NEW 2'x2' CEILING TILES THROUGHOUT ADMIN AREA (APPROX. 4700 SF). PAINT ALL EXG. CEILING GRID FRAMES TO REMAIN.



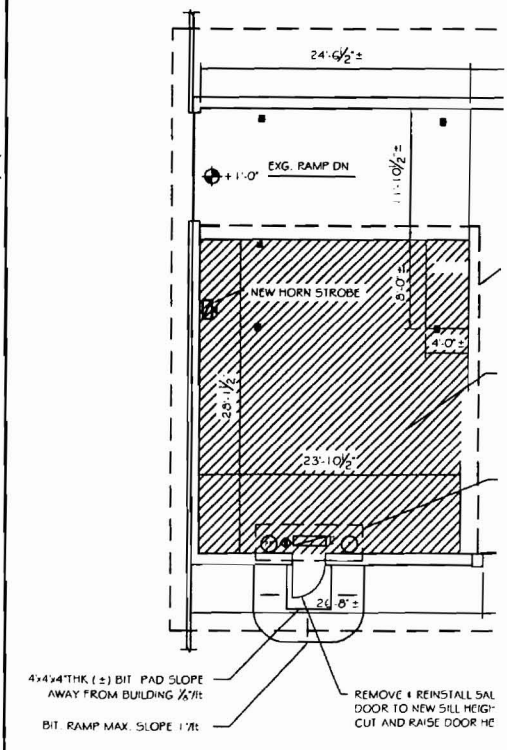
NOTES
 1. KNOX BOX AND FACP ARE LOCATED AT THE 70 SAINT JOHN ST. ENTRANCE (NO WORK IN THIS AREA)
 2. ALL NEW AND RELOCATED FIRE ALARM COMPONENTS MUST BE FULLY COMPATIBLE AND INTEGRATED INTO THE EXISTING FUNCTIONING SYSTEM PER NFPA 101-2006 LIFE SAFETY CODE AND THE CITY OF PORTLAND CODE ENFORCEMENT / FIRE SAFETY AUTHORITY

NFPA LEGEND	
	EMERGENCY LIGHT
	EXIT LIGHT
	10# ABC FIRE EXTINGUISHER w/ BRACKET
	KNOX BOX
	MANUAL PULL STATION
	NOT AN EXIT SIGN
	SMOKE DETECTOR
	HORN STROBE UNIT (110db / 110cad)
	STROBE UNIT (15cad)
	FIRE ALARM CONTROL PANEL

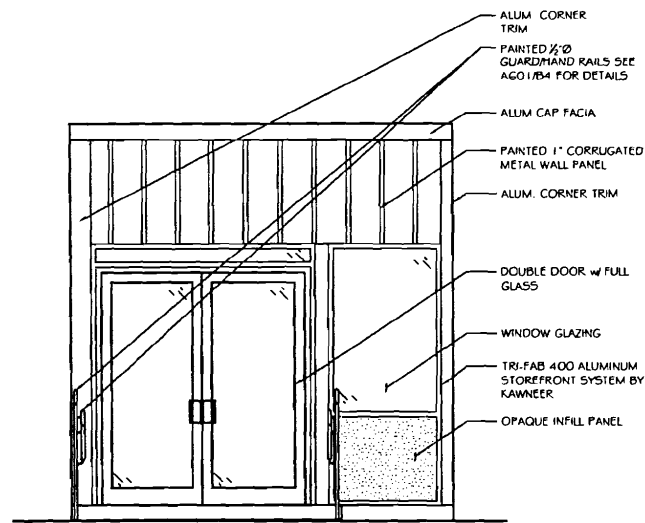
A2 FLOOR PLAN - 54 ST. JOHN ST. ADMINISTRATIVE OFFICE
 SCALE: 3/8" = 1'-0"



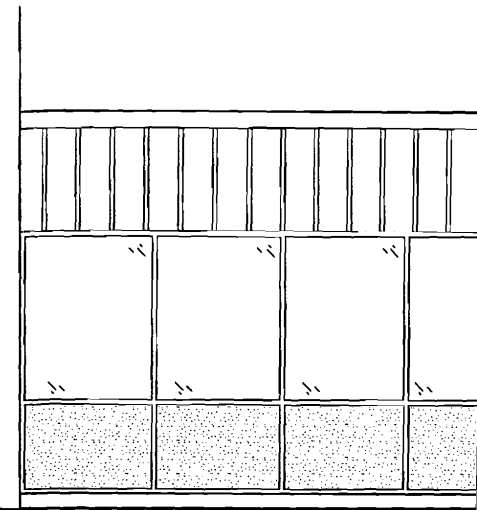
B1 PARTIAL ENLARGED FLOOR PLAN - PLANT WEST ENTRANCE
 SCALE: 3/8" = 1'-0"



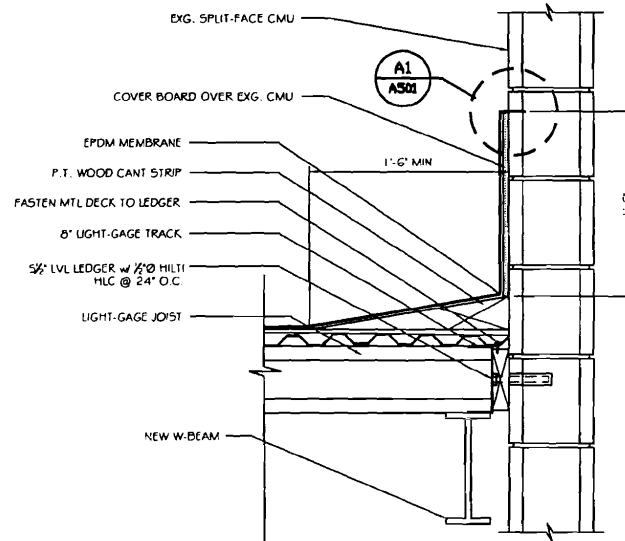
A1 FLOOR PLAN - EQUIPMENT STORAGE
 SCALE: 3/8" = 1'-0"



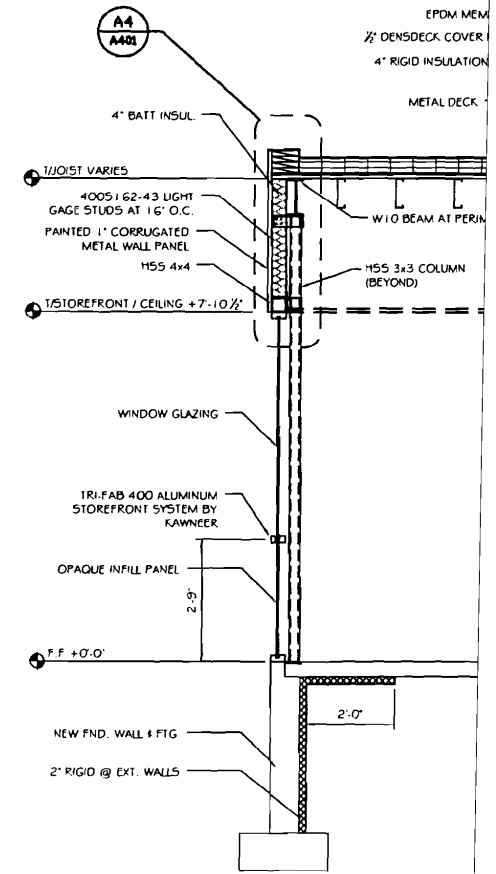
C3 RIGHT ELEVATION
SCALE: 3/8" = 1'-0"



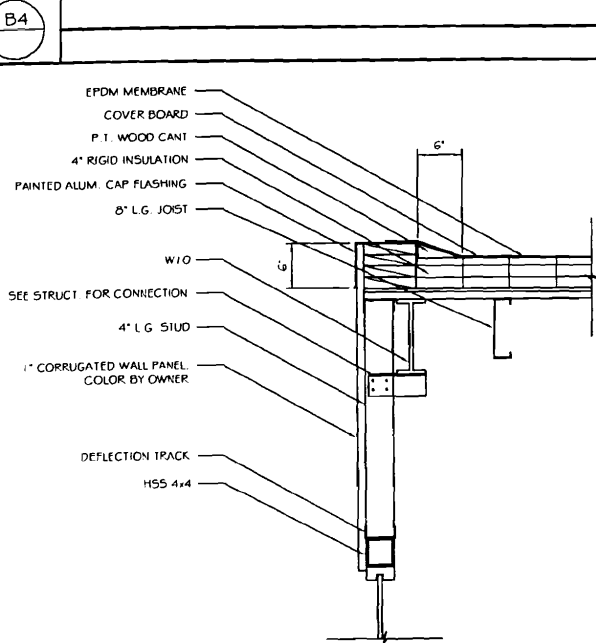
C2 FRONT ELEVATION
SCALE: 3/8" = 1'-0"



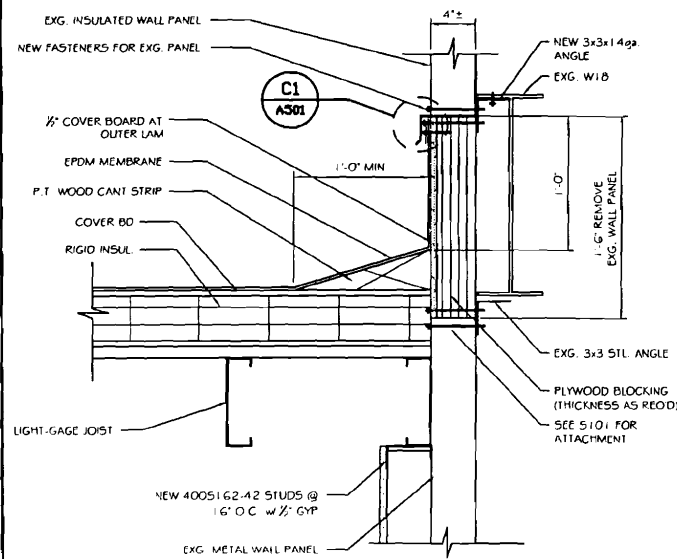
B3 NEW ROOF TO EXISTING CMU WALL DETAIL
SCALE: 1/2" = 1'-0"



A2 SECTION THROUGH SECURITY VESTIBULE
SCALE: 1/2" = 1'-0"



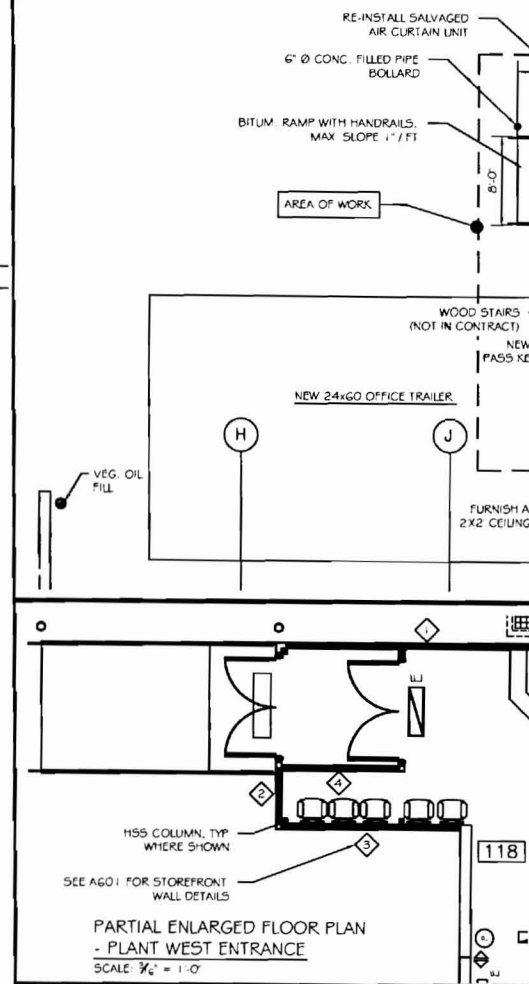
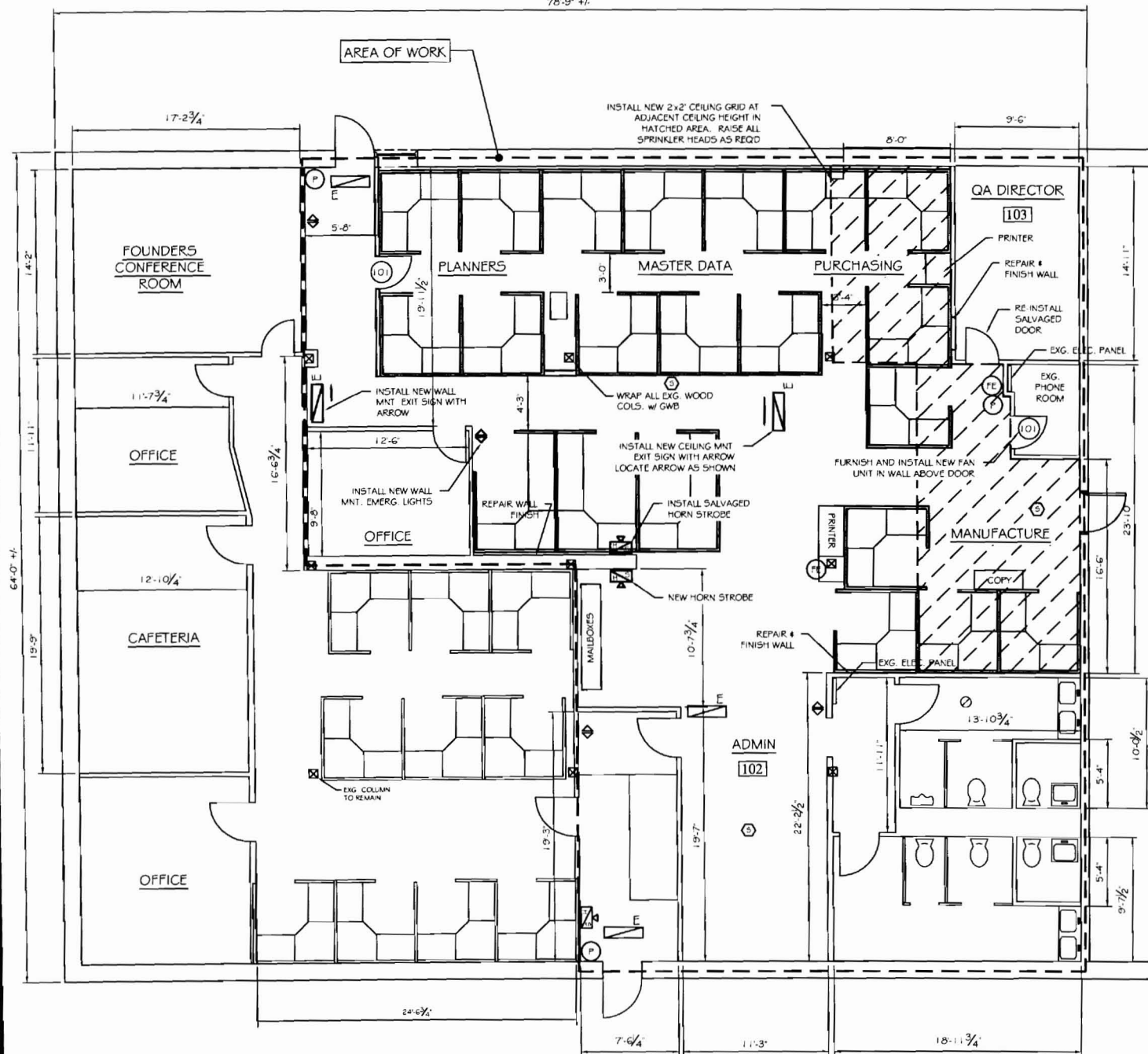
A4 EAVE DETAIL
SCALE: 1/4" = 1'-0"



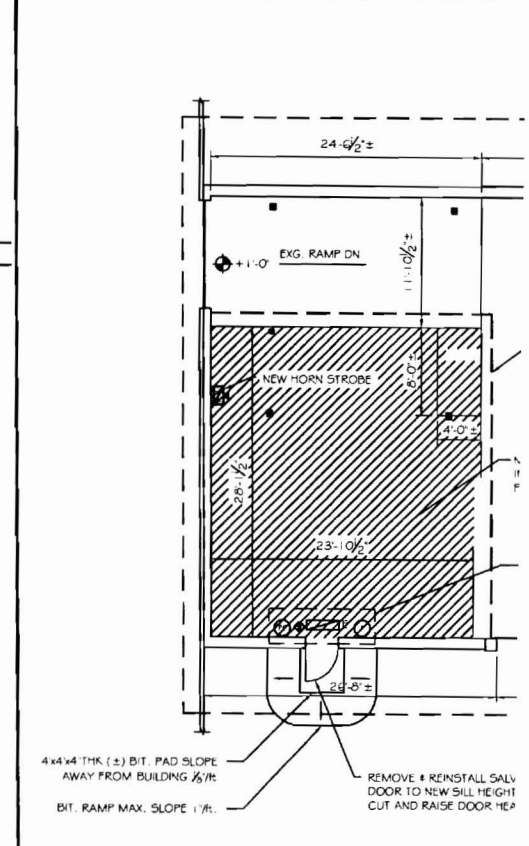
A3 NEW ROOF TO EXISTING METAL WALL DETAIL
SCALE: 1/2" = 1'-0"

NOTES:
 1. INSTALL NEW 2'X2' CEILING TILES THROUGHOUT ADMIN AREA (APPROX. 4700 SF). PAINT ALL EXG. CEILING GRID FRAMES TO REMAIN.

78'-9" ±



FLOOR PLAN - PLANT WEST ENTRANCE
 SCALE: 3/8" = 1'-0"



FLOOR PLAN - EQUIPMENT STORAGE
 SCALE: 1/8" = 1'-0"



PLANT KEY

NOTES

1. KNOX BOX AND FACP ARE LOCATED AT THE 70 SAINT JOHN ST. ENTRANCE (NO WORK IN THIS AREA).
2. ALL NEW AND RELOCATED FIRE ALARM COMPONENTS MUST BE FULLY COMPATIBLE AND INTEGRATED INTO THE EXISTING FUNCTIONING SYSTEM PER NFPA 101-2006 LIFE SAFETY CODE AND THE CITY OF PORTLAND CODE ENFORCEMENT / FIRE SAFETY AUTHORITY.

NFPA LEGEND	
	EMERGENCY LIGHT
	EXIT LIGHT
	10# ABC FIRE EXTINGUISHER w/ BRACKET
	KNOX BOX
	MANUAL PULL STATION
	NOT AN EXIT SIGN
	SMOKE DETECTOR
	HORN STROBE UNIT (110db / 110cad)
	STROBE UNIT (15cad)
	FIRE ALARM CONTROL PANEL

A2

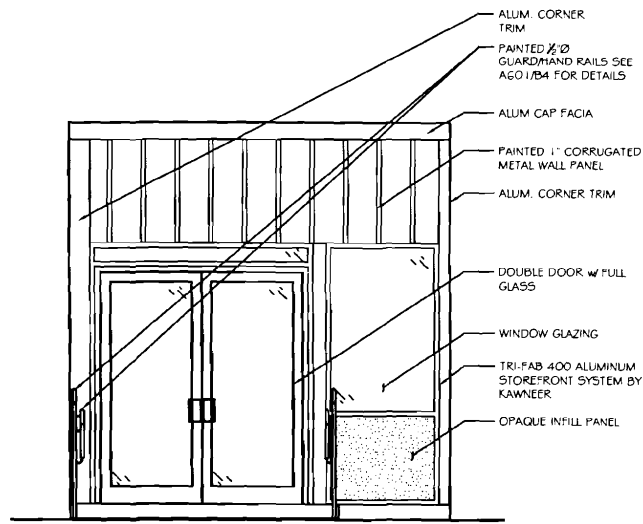
FLOOR PLAN - 54 ST. JOHN ST. ADMINISTRATIVE OFFICE

SCALE: 3/8" = 1'-0"

A1

FLOOR PLAN - EQUIPMENT STORAGE

SCALE: 1/8" = 1'-0"



C4

C3

RIGHT ELEVATION

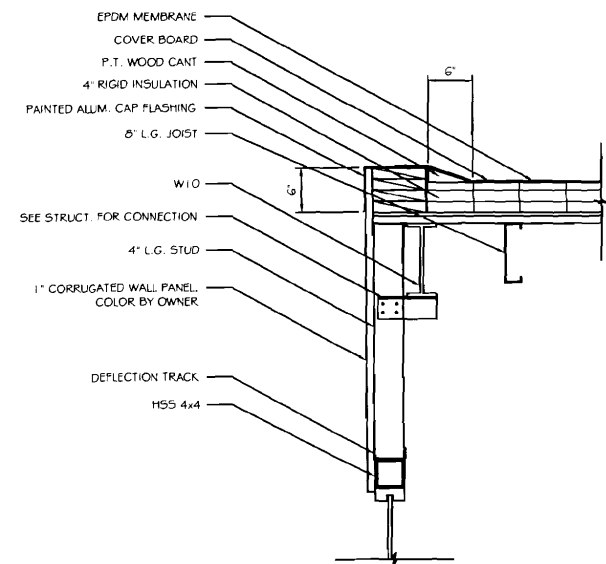
SCALE: 3/8" = 1'-0"

C2

FRONT ELEVATION

SCALE: 3/8" = 1'-0"

B4



A4

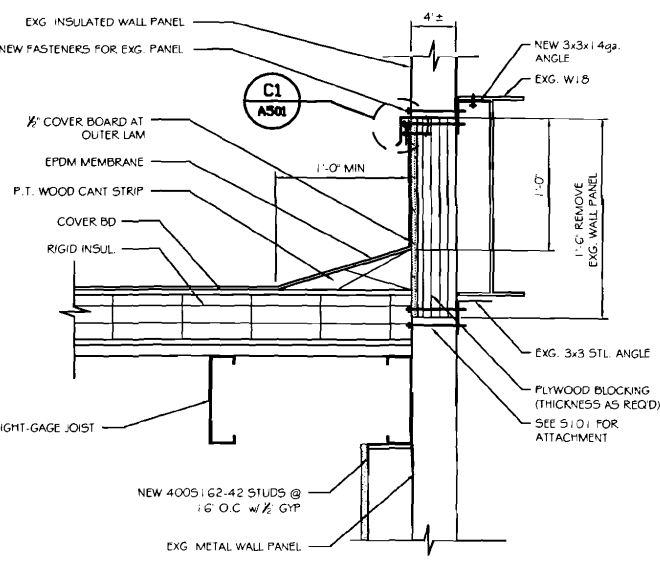
EAVE DETAIL

SCALE: 3/4" = 1'-0"

B3

NEW ROOF TO EXISTING CMU WALL DETAIL

SCALE: 1 1/2" = 1'-0"



A3

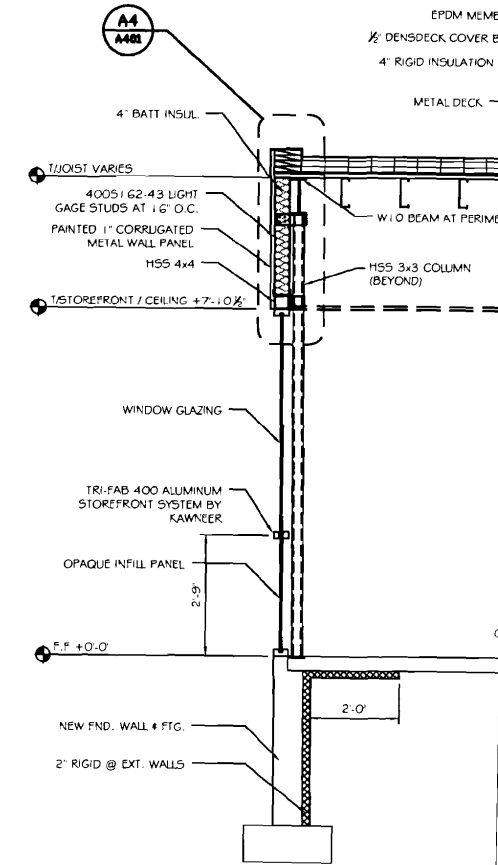
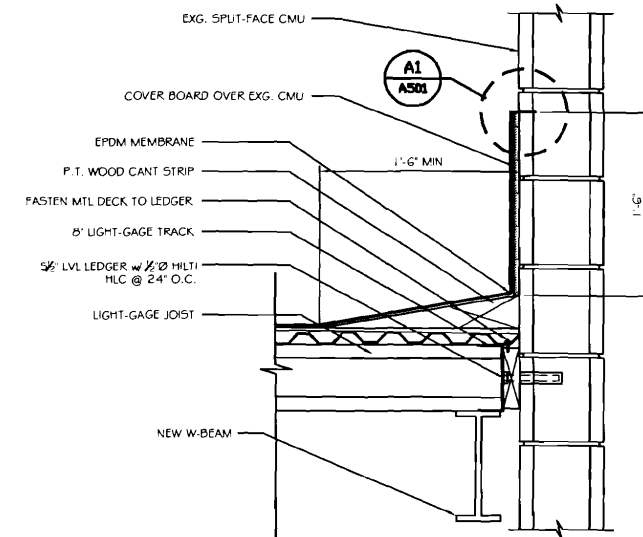
NEW ROOF TO EXISTING METAL WALL DETAIL

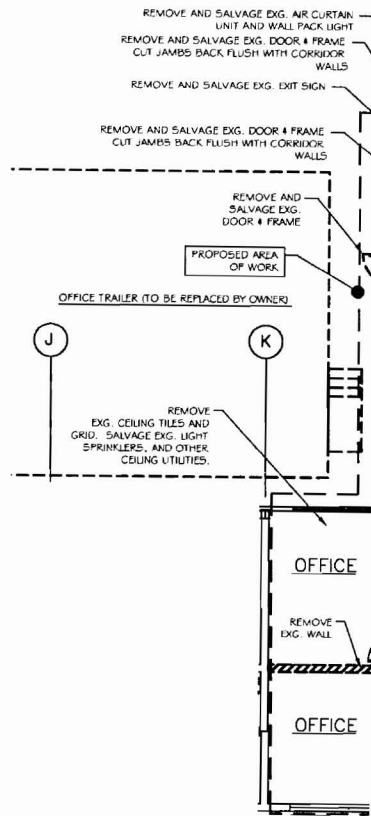
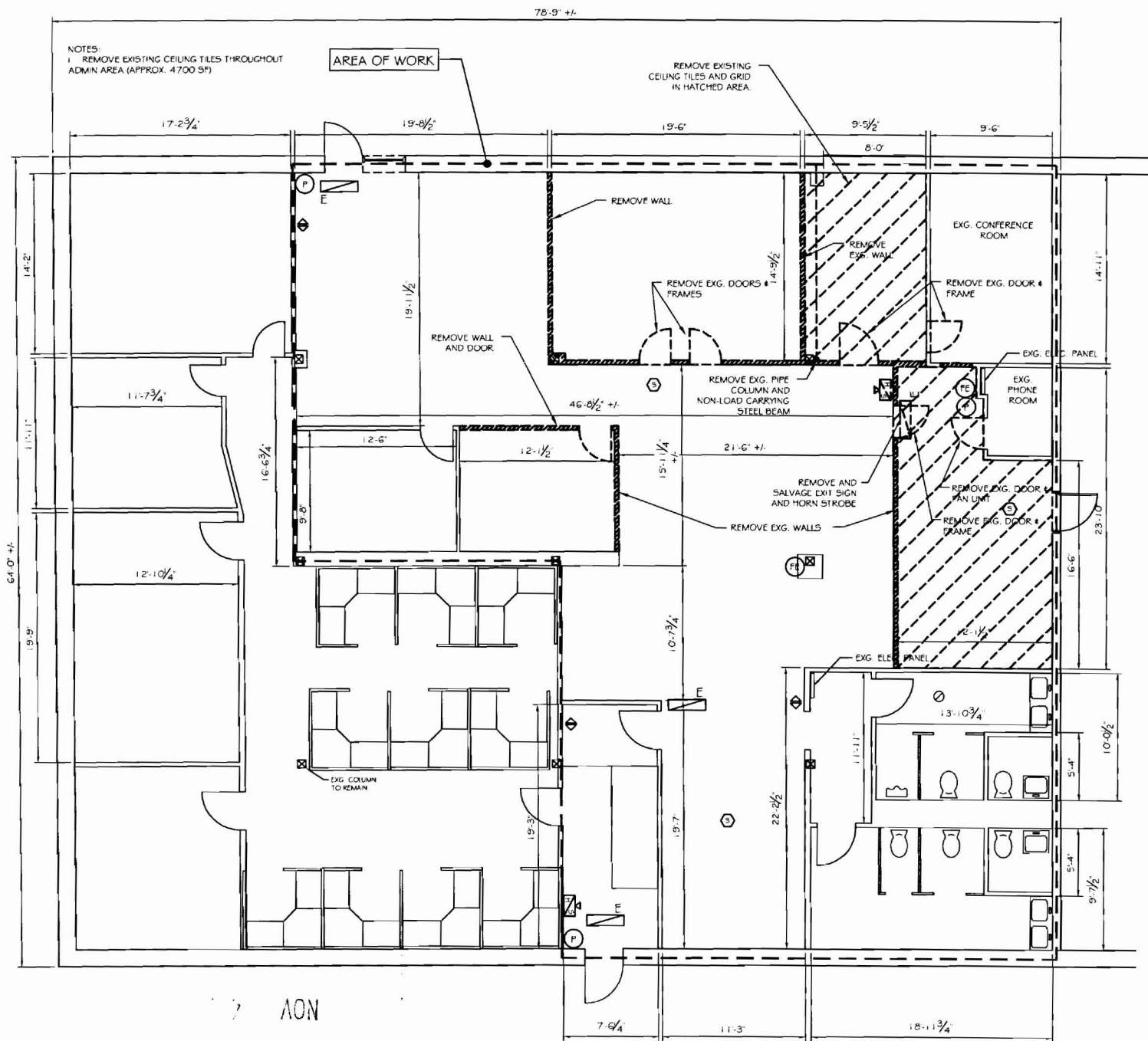
SCALE: 1 1/2" = 1'-0"

A2

SECTION THROUGH SECURITY VESTIBULE

SCALE: 1/2" = 1'-0"





B1 DEMOLITION PLAN - PLANT WEST E

SCALE: 1/8" = 1'-0"

DEMO NOTES:

1. SALVAGE ALL INTERIOR DOORS
2. Hatched area indicates walls to be removed
3. PATCH ALL FLOOR TILES (MATCH EXISTING) AT EXISTING FULL HEIGHT GYP WALLS TO BE REMOVED..
4. REMOVE ALL EXISTING CEILING TILES IN ADMIN AREA (APPROX. 4700 SF)



NFPA LEGEND	
	EMERGENCY LIGHT
	EXIT LIGHT
	10# ABC FIRE EXTINGUISHER w/ BRACKET
	KNOX BOX
	MANUAL PULL STATION
	NOT AN EXIT SIGN
	SMOKE DETECTOR
	HORN STROBE UNIT (110db / 110cda)
	STROBE UNIT (15cda)
	FIRE ALARM CONTROL PANEL

DEMOLITION NOTES:

1. SALVAGE ALL INTERIOR DOORS
2. CAP ALL ABANDONED PLUMBING
3. REMOVE ALL EXG. OVERHEAD LIGHT FIXTURES

A2

DEMOLITION PLAN - 54 ST. JOHN ST. ADMINISTRATIVE OFFICE

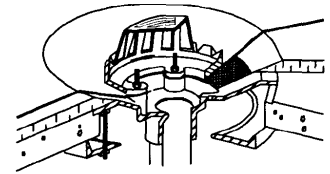
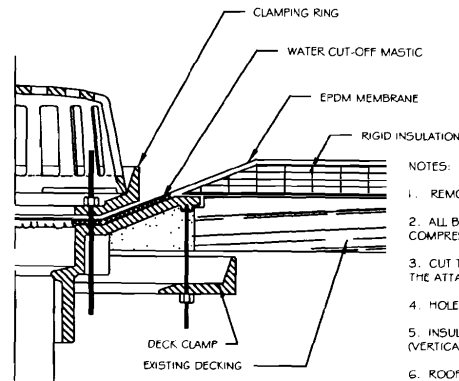
SCALE: 3/8" = 1'-0"

A1

DEMOLITION PLAN - EQUIPMENT S

SCALE: 1/8" = 1'-0"

FIELD SPLICES MUST BE LOCATED AT LEAST 6 INCHES OUTSIDE THE DRAIN SUMP



NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING.
2. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
3. CUT THE MEMBRANE SO IT EXTENDS A MINIMUM OF 1/2" (13 mm) FROM THE ATTACHMENT POINTS OF THE DRAIN CLAMPING RING.
4. HOLE IN MEMBRANE MUST EXCEED SIZE OF DRAIN PIPE.
5. INSULATION TAPER SHALL NOT BE STEEPER THAN 6:1 (50 mm) (VERTICAL IN 12" (300 mm) (HORIZONTAL).
6. ROOF DRAIN SIZE AND NUMBER OF DRAINS SHALL BE IN ACCORDANCE WITH LOCAL CODES.

NOTES

1. APP
2. WA
3. DC

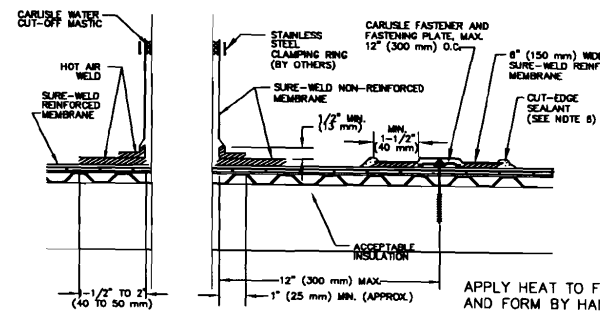
C3

C2

DRAIN DETAIL

SCALE: NO SCALE

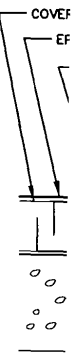
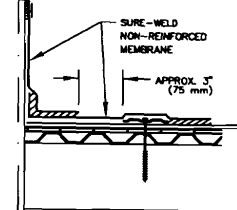
C1



NOTES:

1. REMOVE ALL LEAD AND OTHER FLASHING BEFORE INSTALLING FIELD FABRICATED PIPE SEAL.
2. TEMPERATURE OF PIPE MUST NOT EXCEED 120° F (49° C).
3. SURE-WELD NON-REINFORCED MEMBRANE WRAPPED AROUND PIPE SHALL HAVE MINIMUM 1-1/2" (40 mm) VERTICAL HOT AIR WELD.
4. INSTALL A MINIMUM OF 4 FASTENING PLATES AROUND PIPES WITH A DIAMETER UP TO 6" (150 mm). ADDITIONAL FASTENING PLATES WILL BE REQUIRED FOR PIPES GREATER THAN 6" IN DIAMETER AND SHALL BE SPACED 12" (300 mm) ON CENTER MAXIMUM.
5. REFER TO "ATTACHMENT I, MEMBRANE FASTENING CRITERIA" FOR PROPER FASTENERS AND PLATES.
6. APPROXIMATELY 1/8" (3 mm) DIAMETER BEAD OF CUT-EDGE SEALANT IS REQUIRED ON CUT EDGES OF SURE-WELD REINFORCED MEMBRANE.

OPTIONAL FLASHING



B3

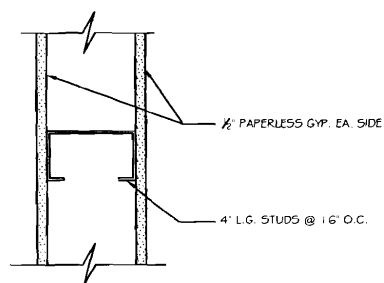
B2

FIELD FABRICATED FLASHING - OPT. #1

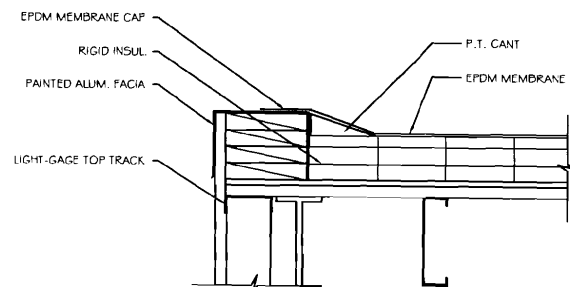
SCALE: NO SCALE

B1

M
SC



TYP. AT ALL NEW INTERIOR PARTITIONS



A3

NON-RATED PARTITION WALL DETAIL

SCALE: NO SCALE

A2

PARAPET CAP FLASHING

SCALE: NO SCALE

A1

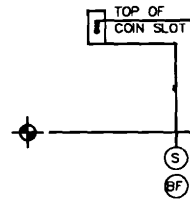
C
SC

ACCESSIBILITY ACCESSORY MOUNTING HEIGHTS

GRAB BARS	33" - 36"
TOILET PAPER HOLDER	19" MIN
TOWEL BAR/PAPER TOWEL DISPENSER	48" MAX
BUILT IN PAPER TOWEL DISPENSER	48" MAX
SOAP DISH/DISPENSER AT WALL	48" MAX
SANITARY NAPKIN DISPENSER	48" MAX
SANITARY NAPKIN DISPOSAL	19" MAX
MIRROR (BOTTOM)	40" MAX
SHELVES/STORAGE	48" MAX
ELECTRICAL SWITCHES/OUTLETS	48" MAX
COAT HOOKS/RODS	48" MAX
signage (to braille component)	60" MAX

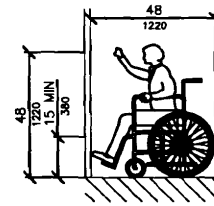
ACCESSIBILITY GENERAL NOTES

- DOORWAYS SHALL HAVE A MINIMUM CLEAR WIDTH OF 32" WITH THE DOOR OPEN 90 DEGREES. MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL DOORS SHALL HAVE LEVER HANDLE HARDWARE, EXCEPT AT SECURED STORAGE ROOMS, MECHANICAL ROOMS, AND ELEVATOR MACHINE ROOMS.
- ALL CLOSERS SHALL BE 5LB PULL MAXIMUM AT DOORS EQUIPPED WITH LEVER HANDLE HARDWARE.
- ALL DOORS WITH CLOSERS SHALL HAVE 18" CLEAR DISTANCE FROM THE LATCHSIDE OF THE OPENING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PULL SIDE OF THE OPENING.
- ALL DOORS WITH CLOSERS SHALL HAVE 12" CLEAR DISTANCE FROM THE LATCHSIDE OF THE OPENING TO ANY ADJACENT WALL OR OBSTRUCTION ON THE PUSH SIDE OF THE OPENING.
- all signage shall be mounted 60" off to braille component at latch-side wall of doors and openings.



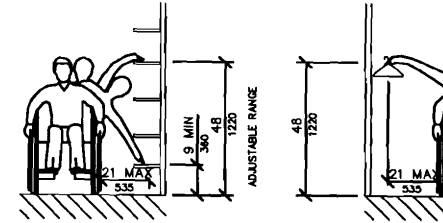
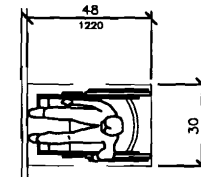
PUBLIC TELEPHONE

NTS



HIGH FORWARD REACH LIMIT

NTS

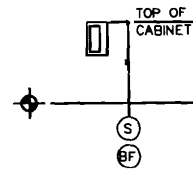


SHELVES

CLOS

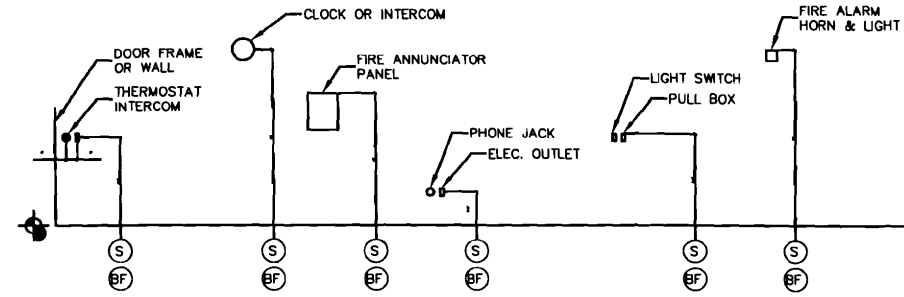
STORAGE SHELVES AND CLOSETS

NTS



FIRE EXTINGUISHER CABINET (FEC)

NTS



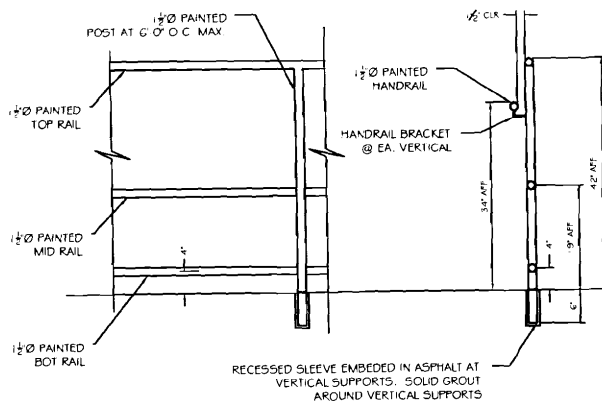
ELECTRICAL & FIRE PROTECTION DEVICES
TYPICAL UNLESS NOTED OTHERWISE

NTS

C4 ADA / NFPA NOTES AND DETAILS

SCALE: NTS

NOTE: ALL HANDRAIL / GUARDRAIL CONNECTIONS TO BE FULLY WELDED.



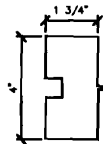
WINDOW SCHEDULE

ABBREVIATIONS

A	ALUMINUM	T	TEMPERED
F	FRONT	EM	EMERALD
E	ELECTRIC	M	MAGNETIC
H	HOLD	OP	OPERATOR
S	SLIDING	W	WELD
SH	SHIELDING	W	WELD
ST	STAINLESS	W	WELD
W	WOOD	W	WELD
WT	WITNESS		

NO.	TYPE	MANUFACTURER		NOMINAL SIZE		DETAILS					REMARKS
		MANUFACTURE	MODEL	WIDTH	HEIGHT	HEAD	JAMB	SILL	MUNT	MULL	
1	STOREFRONT	KAWNEER	TR FAB 400	13'-0"	7'-10"						SEE ELEVATIONS
2	STOREFRONT	KAWNEER	TR FAB 400	11'-4"	7'-10"						SEE ELEVATIONS
3	STOREFRONT	KAWNEER	TR FAB 400	11'-0"	7'-10"						SEE ELEVATIONS
4	STOREFRONT	KAWNEER	TR FAB 400	7'-4"	7'-10"						SEE ELEVATIONS

NO.	TYPE	SIZE (w x h)	THK	INSUL	HD	DOOR	
						TB	HW
101	A	6070	2			TB	HW
102	B	3070	3/4	NO			HW



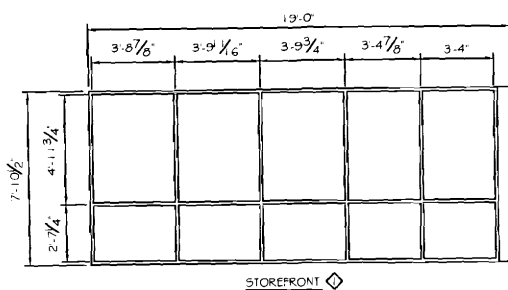
ALUMINUM STOREFRONT DOOR JAMB (KAWNEER PART 400-501 - VERIFY WITH MAN)

B4 GUARDRAIL DETAILS

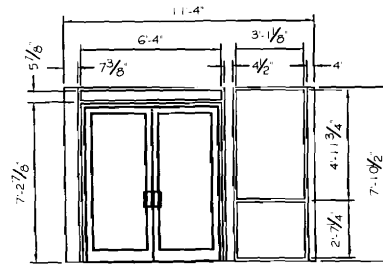
SCALE: NO SCALE

B3 WINDOW AND DOOR SCHEDULE

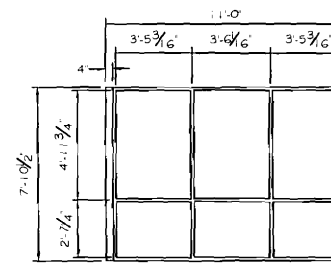
SCALE: NTS



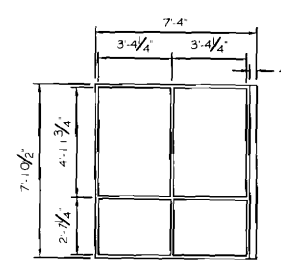
STOREFRONT



STOREFRONT



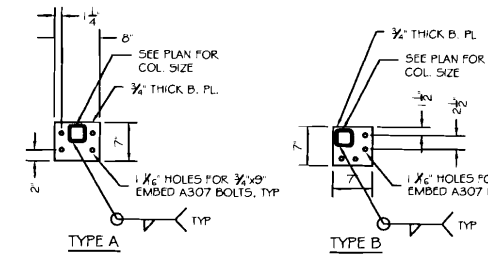
STOREFRONT



STOREFRONT

A4 WINDOW AND DOOR TYPES

SCALE: NTS



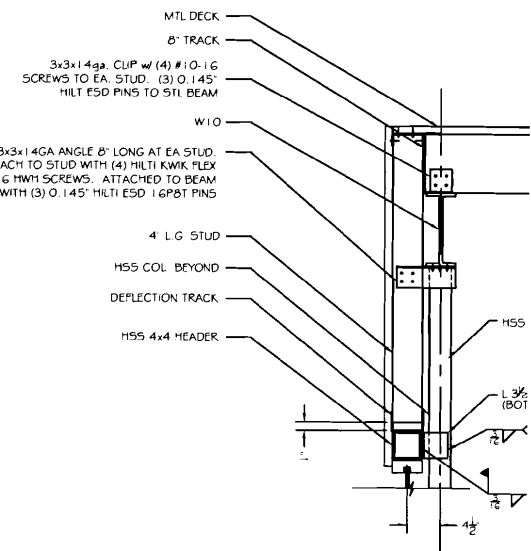
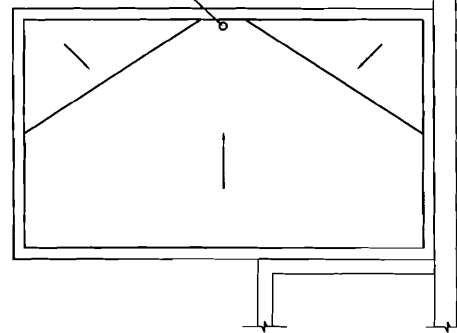
C4

C3

C2

COLUMN BASE PLATES

SCALE: 3/4" = 1'-0"

R.D. CONNECT NEW 4" DRAIN
TO EXG. CATCH BASIN

B4

B3

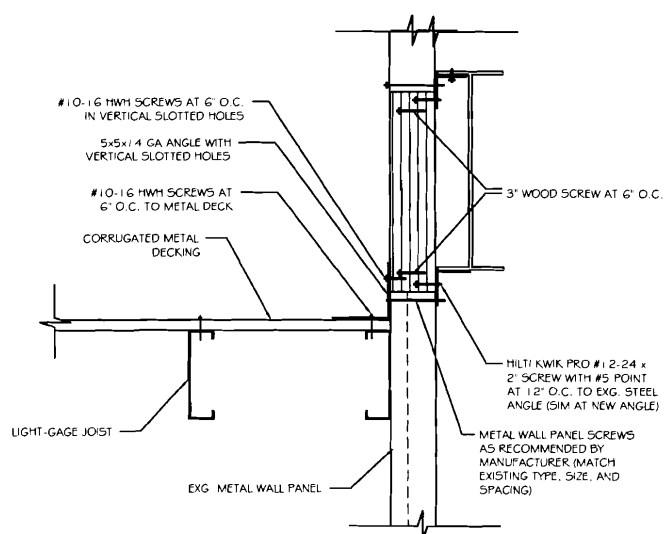
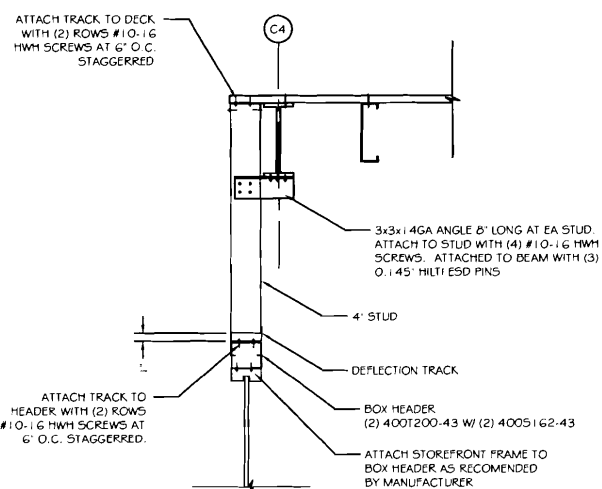
B2

SECURITY VEST. ROOF PLAN

SCALE: 1/2" = 1'-0"

SECTION

SCALE: 1" = 1'-0"



PIER SCHEDULE				
MARK	SIZE	REINFORCING	TIES	DETAIL
P1	12x12"	(4) #5 VERT	#3'S AT 12"	

FOOTING SCHEDULE		
MARK	SIZE	BOTTOM REINFORCING
F3	3'-0"x3'-0"x12"	(4) #55 E.W.
F4	4'-0"x4'-0"x12"	(5) #55 E.W.

A4

SECTION

SCALE: 1" = 1'-0"

A3

ROOF SECTION

SCALE: NTS

A2

FOOTING AND PIER SCHEDULES

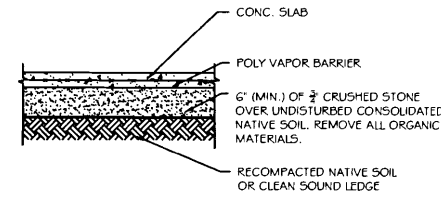
SCALE: NTS

GENERAL STRUCTURAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE STATE AND LOCAL CODES, INCLUDING BUT NOT LIMITED TO:
 - IBC BUILDING CODE 2003 ED
 - ANSI-ASCE 7-05
 - ACI 318-05 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"
 - ACI 301 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"
 - AISC STEEL CONSTRUCTION MANUAL 9TH ED ASD
 - SISI COLD FORMED STEEL DESIGN MANUAL
 - ANSI-AF&PA NDS-1997
- ROOF DESIGN LOADS:

SNOW LOAD	42 PSF + DRIFT
ROOF DEAD LOAD	15 PSF
TOTAL ROOF LOAD	57 PSF-BALANCED
- FLOOR DESIGN LOADS:

FIRST FLOOR LL	100 PSF LOBBY
----------------	---------------
- WIND LOADS:
 - ASCE 7-05 BASED ON WIND SPEED OF 100 MPH, EXP. B,
 - +/- 1G PSF PRIMARY BUILDING FRAME - FIELD ZONE
 - +/- $3\frac{3}{4}$ PSF ZONE 4/5 WALL COMPONENTS AND CLADDING
 - 15 PSF ROOF COMPONENTS AND CLADDING.
- SEISMIC LOADS:
 - ASCE 7-05: SITE CLASS D, $S_s=0.325$, $I=0.078$,
 - $S_{ds}=0.324$, $S_{d1}=0.125$, $I=1.0$, $S_{DC}=B$, $R=3.25$ OC5BF, $V=0.97K$
- CONTRACTOR SHALL IMMEDIATELY BRING TO THE ATTENTION OF THE ENGINEER ANY CONDITIONS DIFFERENT FROM THOSE SHOWN ON THE DRAWINGS AND ALSO ANY CONDITIONS THAT PREVENT THE CONTRACTOR'S COMPLETION OF THE WORK AS SHOWN ON THE CONSTRUCTION DRAWINGS.
- ALL WORK SHALL BE PERFORMED BY PERSONS QUALIFIED IN THEIR TRADE AND LICENSED TO PRACTICE SUCH TRADE IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- THESE DRAWINGS SHALL BE USED IN CONJUNCTION WITH ANY ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS, IN ADDITION TO SPECIFICATIONS AND ANY SHOP DRAWINGS PROVIDED BY SUBCONTRACTORS AND SUPPLIERS.
- ALL DIMENSIONS, ELEVATIONS, AND CONDITIONS SHALL BE VERIFIED IN THE FIELD BY GENERAL CONTRACTOR (G.C.) AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR CLARIFICATION BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
- UNLESS OTHERWISE NOTED, DETAILS, SECTIONS, AND NOTES SHOWN ON ANY DRAWING SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR DETAILS.
- THESE DRAWINGS DO NOT SHOW SIZE, LOCATION OR TYPE OF OPENING IN THE FOUNDATION SYSTEM FOR ELECTRICAL, PLUMBING OR MECHANICAL EQUIPMENT. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THESE ITEMS.
- ALL SHOP DRAWINGS PROVIDED BY OTHERS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION OF MATERIAL OR THE PURCHASE OF NON-RETURNABLE STOCK. DIMENSIONAL REVIEW IS THE CONTRACTOR'S RESPONSIBILITY.

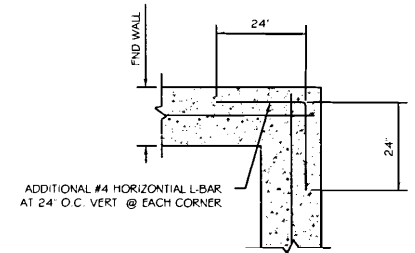
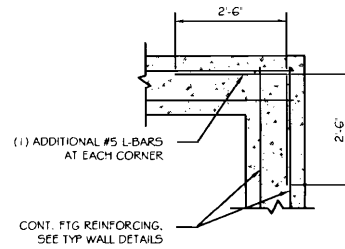


C3

C2

TYP. SLAB SECTION

SCALE: 1/2" = 1'-0"



B3

NOTES

B2

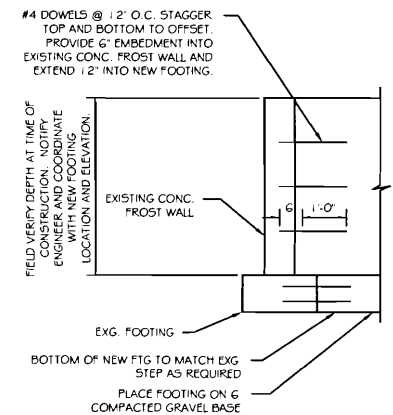
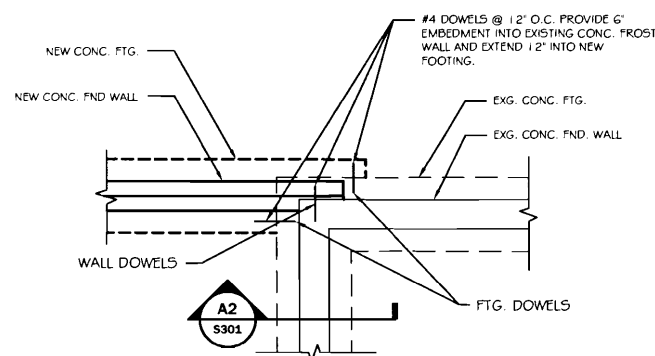
CORNER REINFORCING IN FOOTING

SCALE: 1/2" = 1'-0"

B2

CORNER REINFORCING IN FOUNDATION WALL

SCALE: 1/2" = 1'-0"



A4

A3

FOUNDATION CONNECTION DETAIL

SCALE: 1/2" = 1'-0"

A2

FOUNDATION CONNECTION SECTION

SCALE: 1/2" = 1'-0"