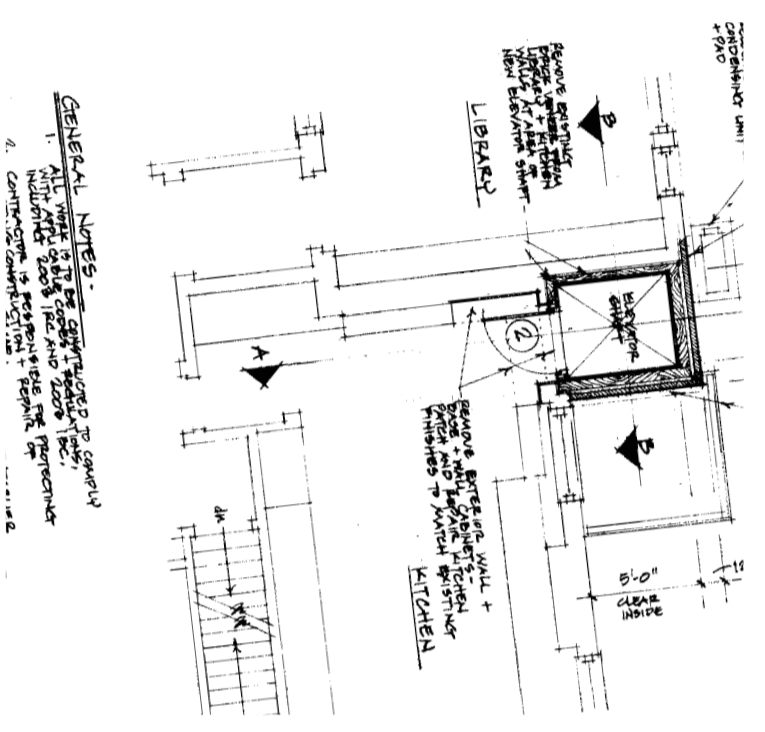


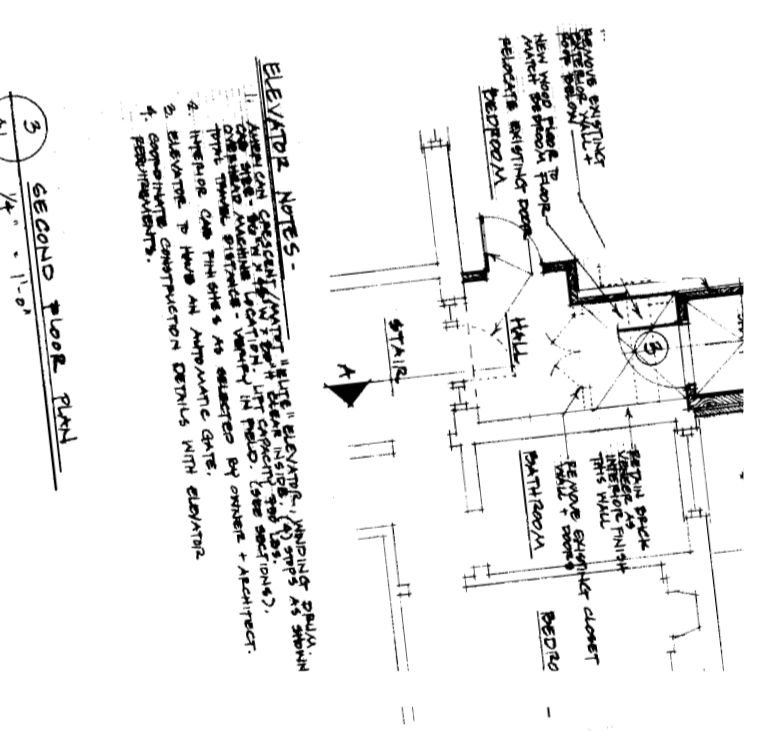
- NOTES:
1. CONCRETE WALLS TO BE BUILT TO MATCH EXISTING WALLS. PROVIDE REINFORCING BARS TO BE PLACED IN WALLS TO BE BUILT TO MATCH EXISTING WALLS.
 2. REMOVE EXISTING DOOR TO LAUNDRY. PROVIDE NEW DOOR TO LAUNDRY.
 3. REMOVE EXISTING DOOR TO STORAGE. PROVIDE NEW DOOR TO STORAGE.

1 BASEMENT PLAN
1/4" = 1'-0"



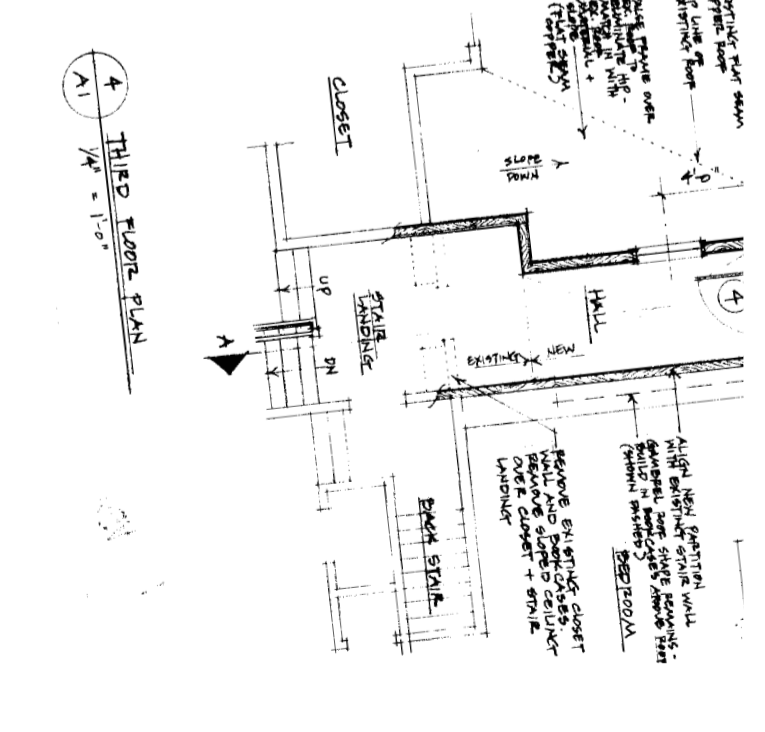
- GENERAL NOTES:
1. ALL WALLS TO BE REMOVED TO BE BUILT TO MATCH EXISTING WALLS. PROVIDE REINFORCING BARS TO BE PLACED IN WALLS TO BE BUILT TO MATCH EXISTING WALLS.
 2. REMOVE EXISTING WALL TO LIBRARY. PROVIDE NEW DOOR TO LIBRARY.
 3. REMOVE EXISTING WALL TO KITCHEN. PROVIDE NEW DOOR TO KITCHEN.
 4. REMOVE EXISTING WALL TO LIVING AREA. PROVIDE NEW DOOR TO LIVING AREA.

2 FIRST FLOOR PLAN
1/4" = 1'-0"

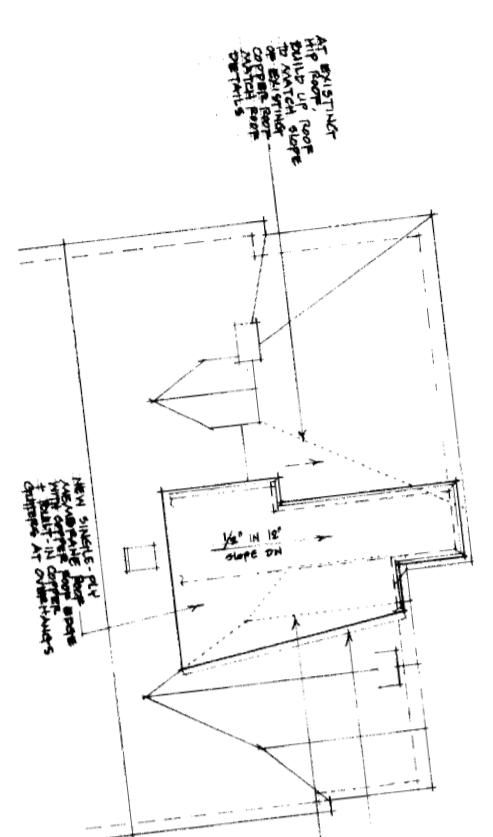


- ELEVATOR NOTES:
1. REMOVE EXISTING WALL TO ELEVATOR SHAFT. PROVIDE NEW DOOR TO ELEVATOR SHAFT.
 2. REMOVE EXISTING WALL TO ELEVATOR SHAFT. PROVIDE NEW DOOR TO ELEVATOR SHAFT.
 3. REMOVE EXISTING WALL TO ELEVATOR SHAFT. PROVIDE NEW DOOR TO ELEVATOR SHAFT.
 4. REMOVE EXISTING WALL TO ELEVATOR SHAFT. PROVIDE NEW DOOR TO ELEVATOR SHAFT.

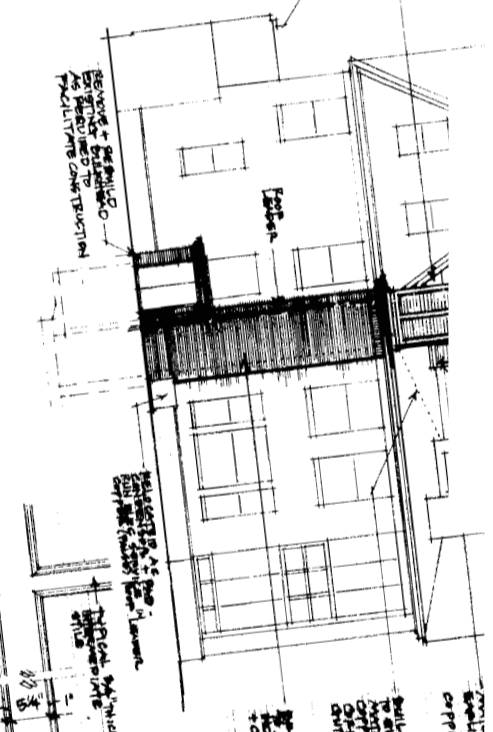
3 SECOND FLOOR PLAN
1/4" = 1'-0"



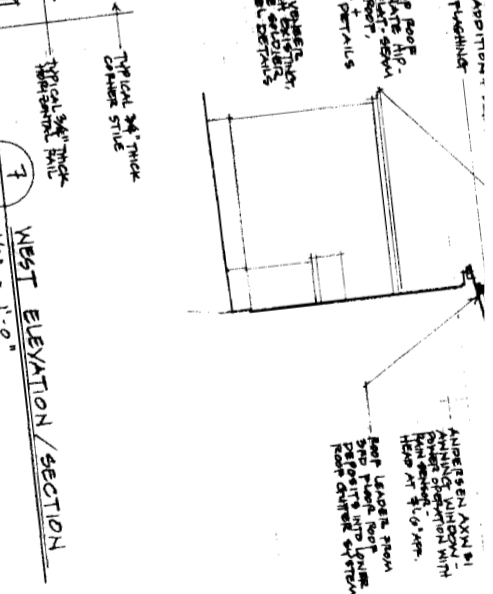
4 THIRD FLOOR PLAN
1/4" = 1'-0"



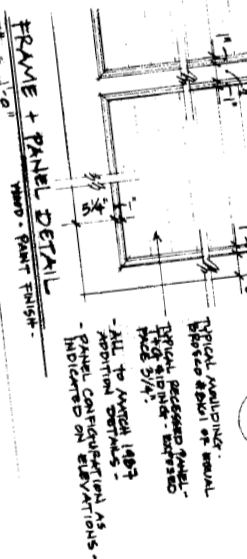
5 ROOF PLAN
1/8" = 1'-0"



6 NORTH ELEVATION
1/8" = 1'-0"

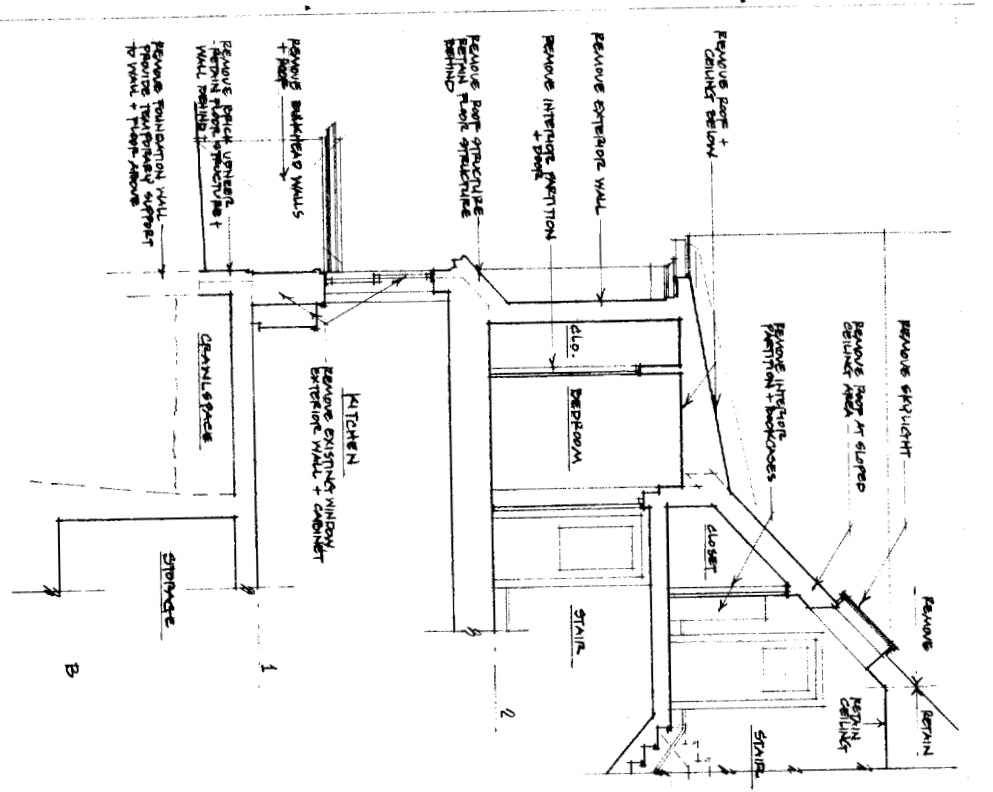


7 WEST ELEVATION / SECTION
1/8" = 1'-0"

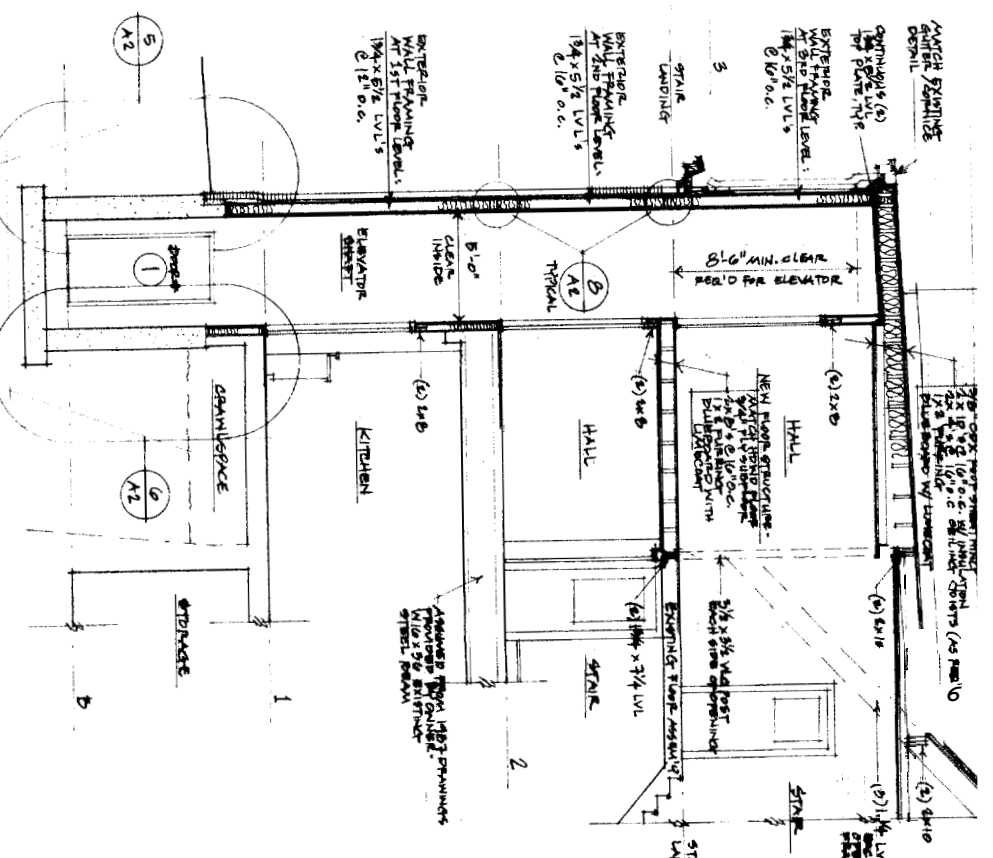


FRAME + PANEL DETAIL
1/4" = 1'-0"

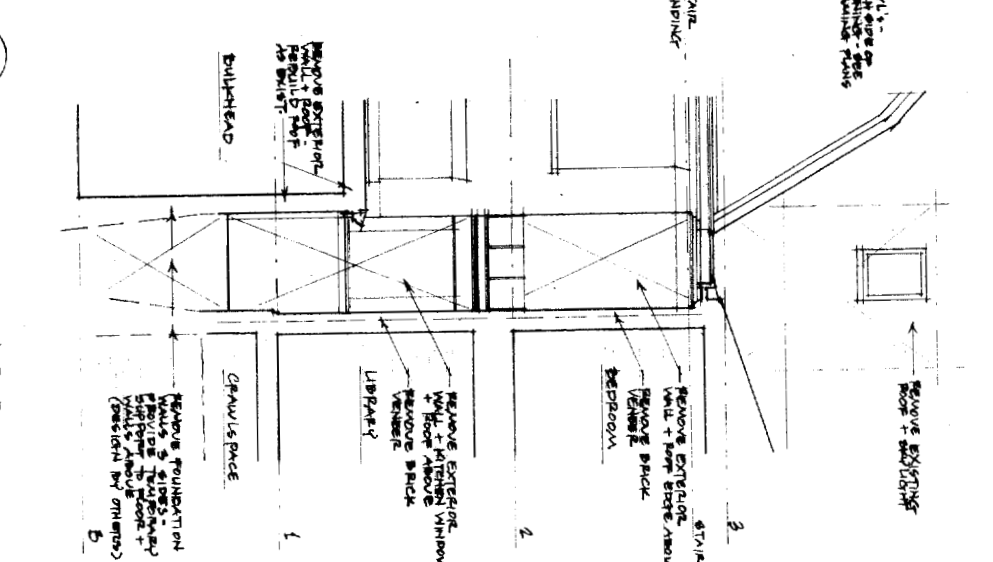
KONZEL RESIDENCE
144 CARROLL STREET PORTLAND MAINE
ELEVATOR ADDITION
AND ASSOCIATED WORK
CABARET HOUSE STUDIO ARCHITECTS LLC
144 VAUGHAN STREET PORTLAND MAINE



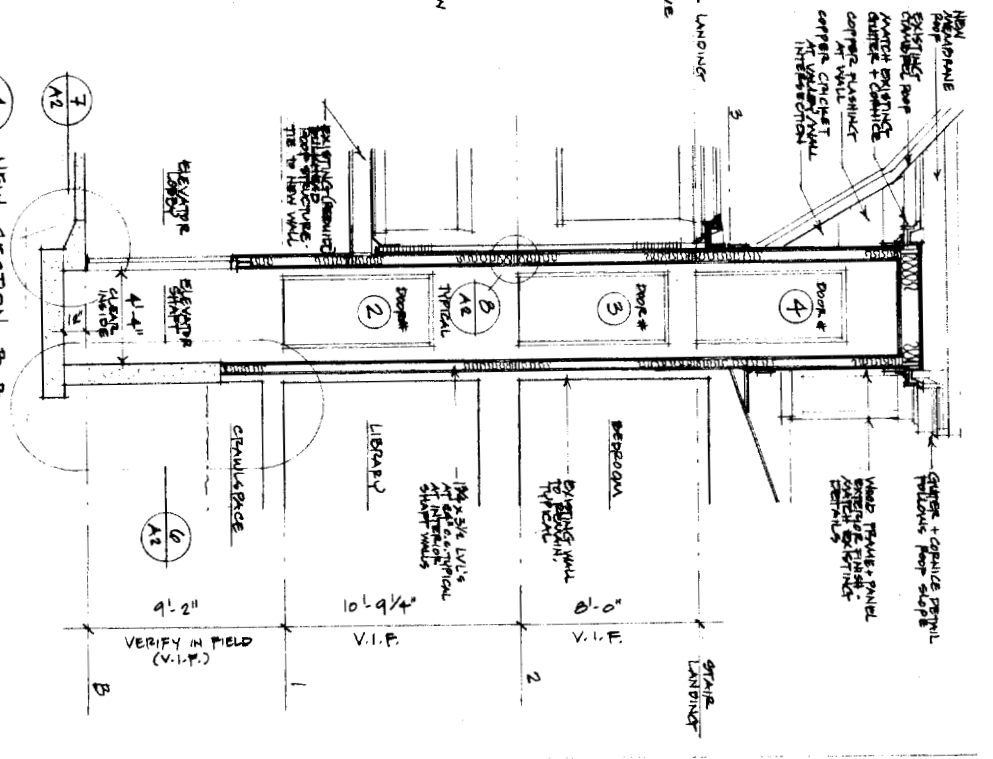
1 EXISTING SECTION A-A
1/4" = 1'-0" - DEMOLITION -



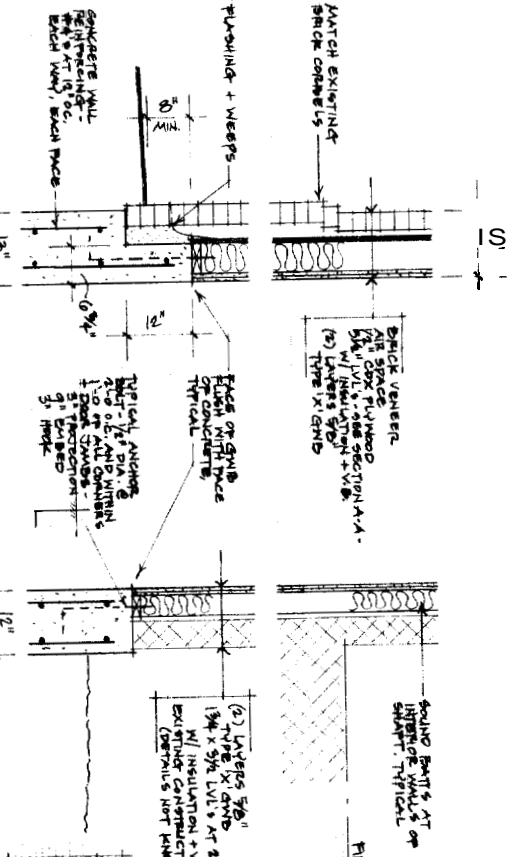
2 NEW SECTION A-A
1/4" = 1'-0"



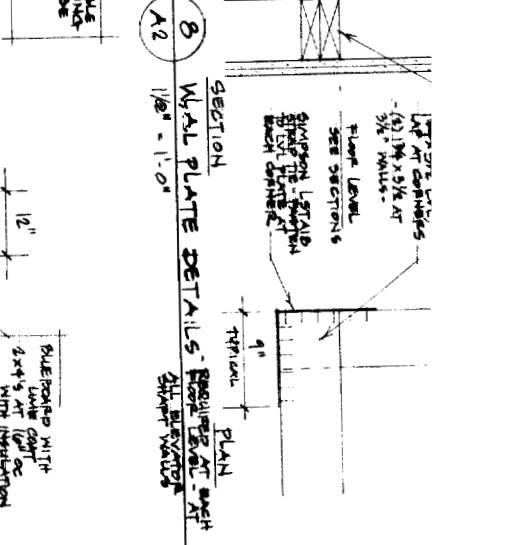
3 EXISTING SECTION B-B
1/4" = 1'-0" - DEMOLITION -



4 NEW SECTION B-B
1/4" = 1'-0"



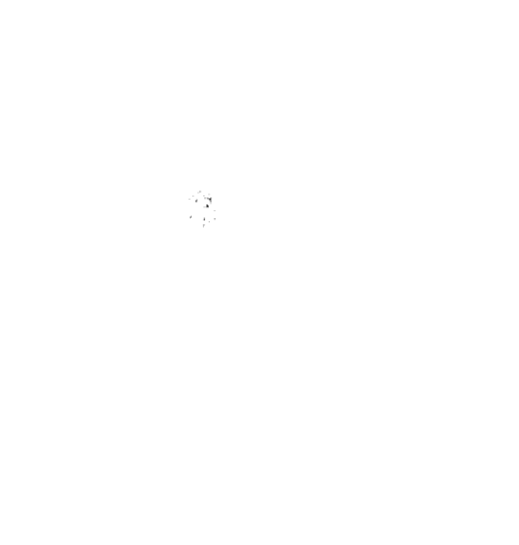
5 DETAIL
3/4" = 1'-0"



6 DETAIL
3/4" = 1'-0"

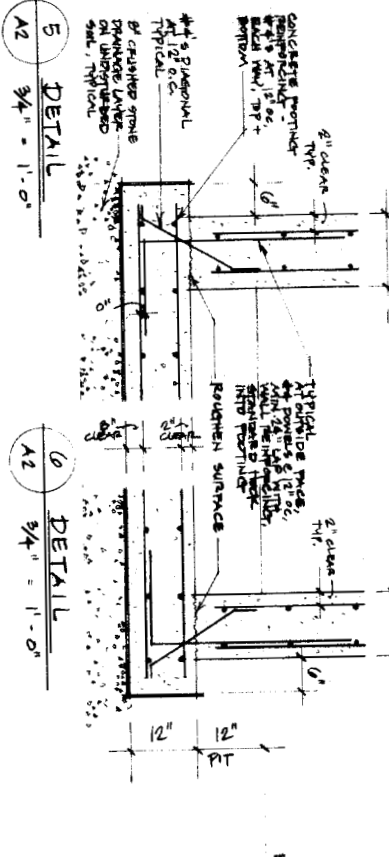


7 DETAIL
3/4" = 1'-0"

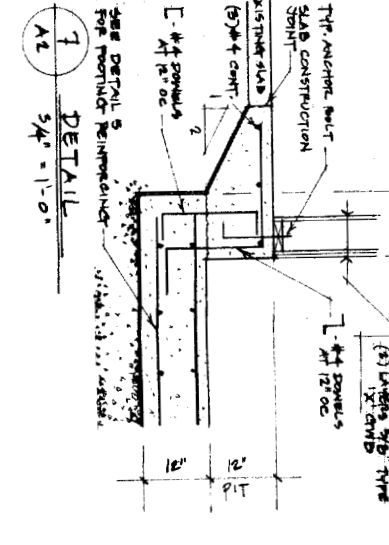


8 DETAIL
3/4" = 1'-0"

NOTE:
CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE. ANY DISCREPANCIES SHOULD BE REPORTED TO ARCHITECT IMMEDIATELY.



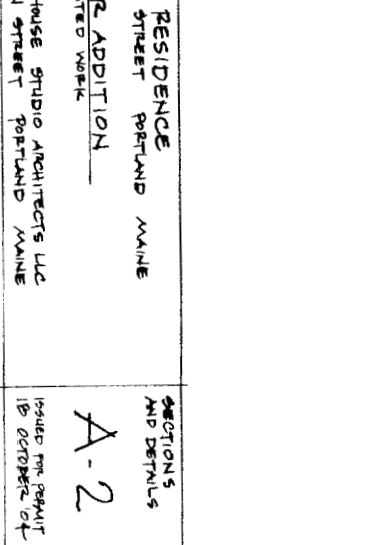
5 DETAIL
3/4" = 1'-0"



6 DETAIL
3/4" = 1'-0"



7 DETAIL
3/4" = 1'-0"

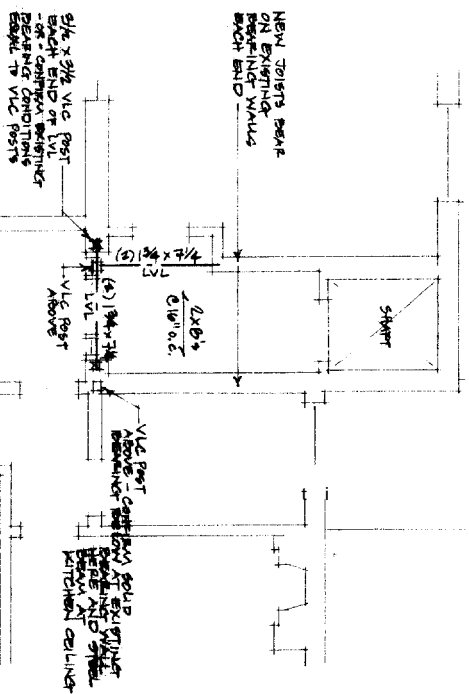


8 DETAIL
3/4" = 1'-0"

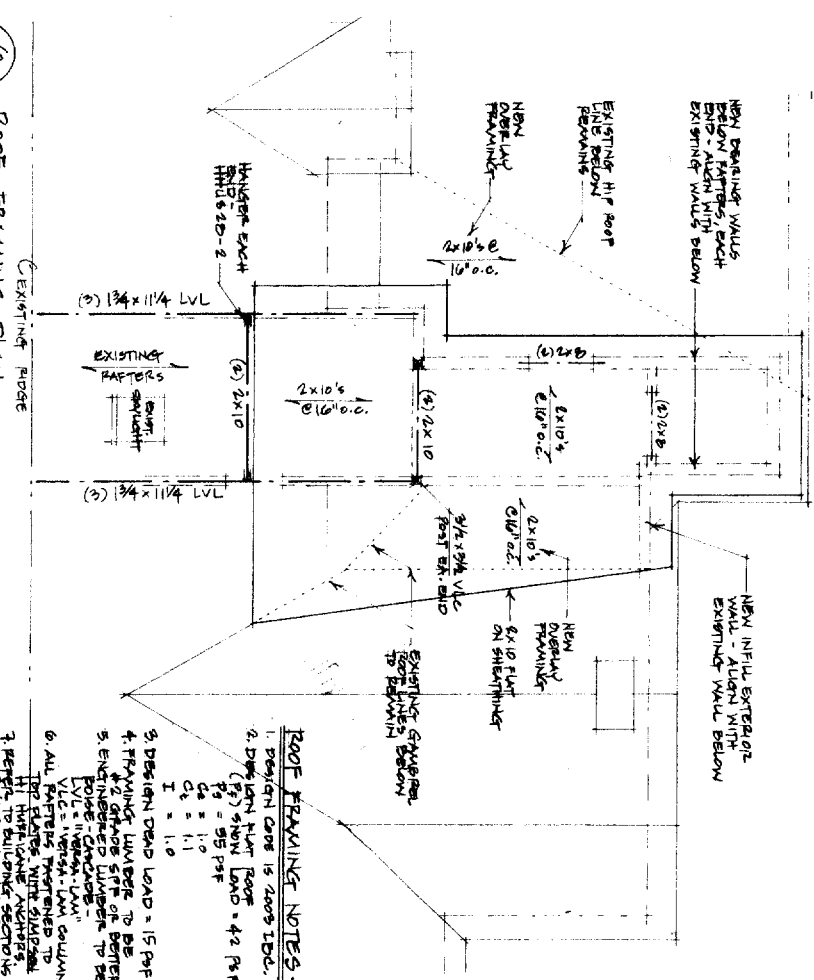
KONKEL RESIDENCE
71 CARROLL STREET PORTLAND MAINE
ELEVATOR ADDITION
AND ASSOCIATED WORK
ISSUED PER PERMIT
15 OCTOBER 04

ISSUED PER PERMIT
15 OCTOBER 04

- THIRD FLOOR FRAMING NOTES-**
1. DESIGN CODE IS 2009 IBC.
 2. DESIGN LIVE LOAD = 40 PSF.
 3. DESIGN TRIM LOAD = 15 PSF.
 4. FRAMING LUMBER TO BE #2 GRADE SPT OR BETTER.
 5. "LVL" IS EQUAL TO "VIRGIN-LUM ENLIGHTENED LUMBER" AS MANUFACTURED BY BOISE-CASCADE PAPER PRODUCTS.
 6. "VIC" IS EQUAL TO "VIRGIN-LUM COLUMN" AS MANUFACTURED BY BOISE-CASCADE.
 7. REFER TO BUILDING SECTIONS 2/A.2 AND 4/A.2.



(5) THIRD FLOOR FRAMING PLAN
1/4" = 1'-0"



- ROOF FRAMING NOTES-**
1. DESIGN CODE IS 2009 IBC.
 2. DESIGN LIVE ROOF LOAD = 42 PSF (S) SHOW LOAD = 95 PSF
 3. DESIGN DEAD LOAD = 15 PSF.
 4. FRAMING LUMBER TO BE #2 GRADE SPT OR BETTER.
 5. ENLIGHTENED LUMBER TO BE POPE-CASCADE.
 6. ALL PARTS REFERENCED TO TOP STATES WITH DIMENSIONS. REFER TO BUILDING SECTIONS 2/A.2 AND 4/A.2.

(6) ROOF FRAMING PLAN
1/4" = 1'-0"

ZONING SUMMARY

LOT SIZE: 12,240 SF

• MAX. LOT COVERAGE: $12,240 \times 30\% = 3672 \text{ SF}$

EXISTING FOOTPRINT 3660
PROPOSED NEW ADD'N 28

NEW TOTAL FOOTPRINT: 3688 SF

- VARIANCE REQ'D FOR LOT COVERAGE -

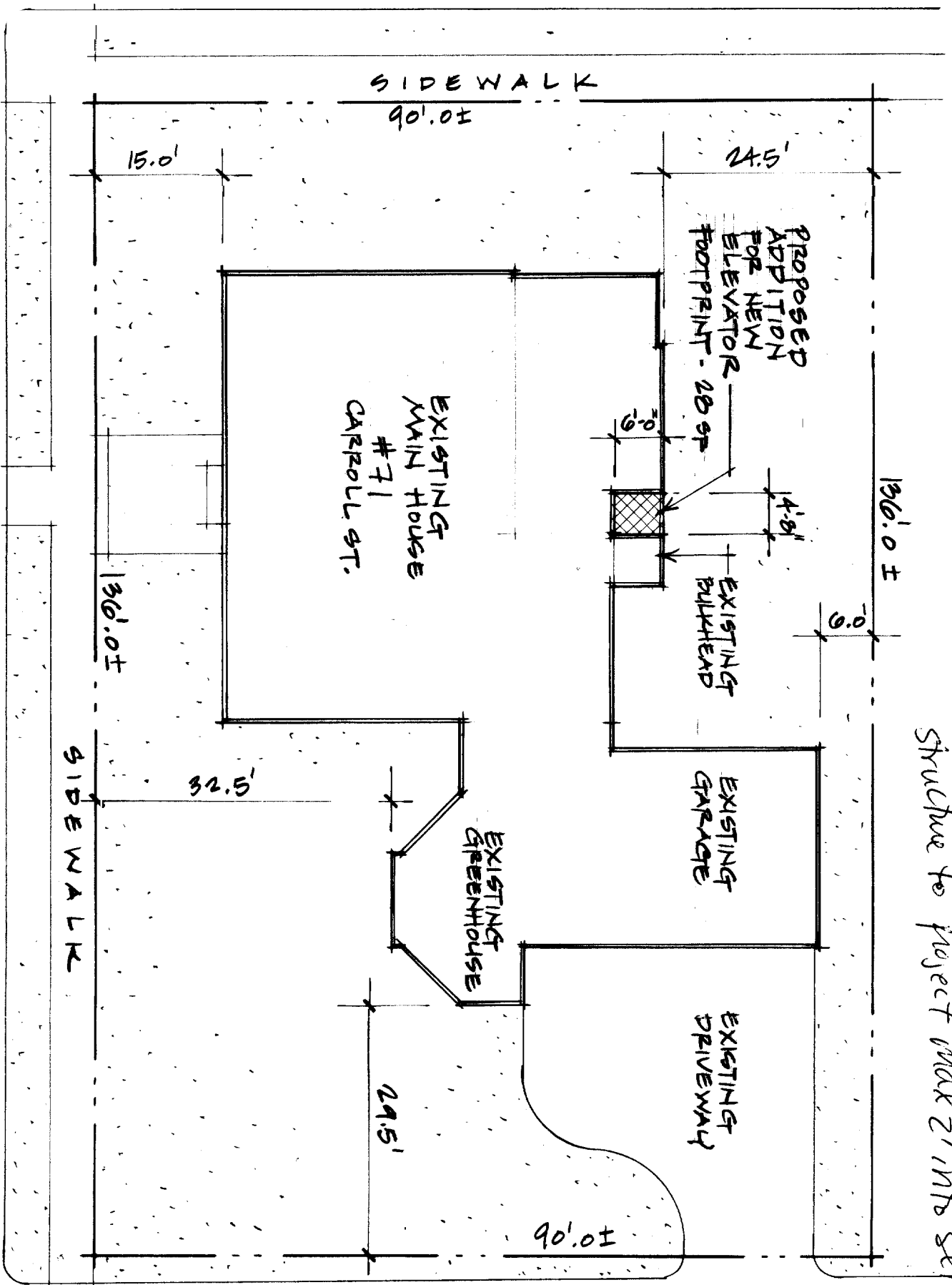
• SETBACKS - PROPOSED ADDITION CONFORMS TO EXISTING REAR YARD DIMENSION.

• STRUCTURE HEIGHT - PROPOSED ADDITION IS APPROX. 32' H. AT CORNICE, 34' H. MAX. AND BELOW THE EXISTING RIDGE LINE OF THE HOUSE.

THIS SITE PLAN WAS COMPILED FROM CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, INCLUDING: (DATE, ARCHITECT),
1911, 1922+1927 J.C. STEVENS
1987 STEELE KELLOGG ARCHITECTS
1988 C.A. WILSON ARCHITECT.

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R4 Zone
Per 25' Reg 24.5' shown
Sec. 14-425 Allows this type
structure to project max 2' into setback



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SITE PLAN

1/16" = 1'-0"

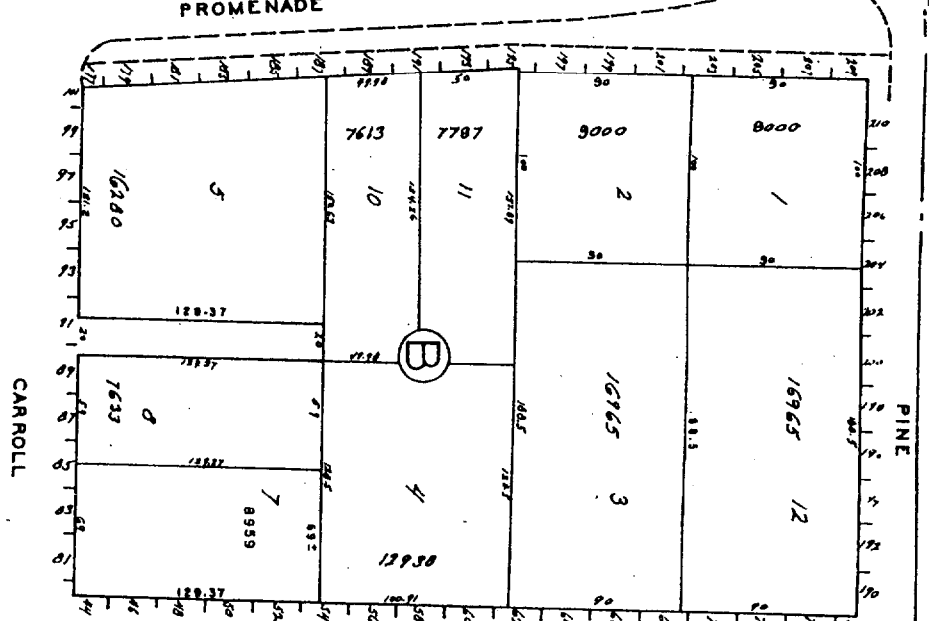
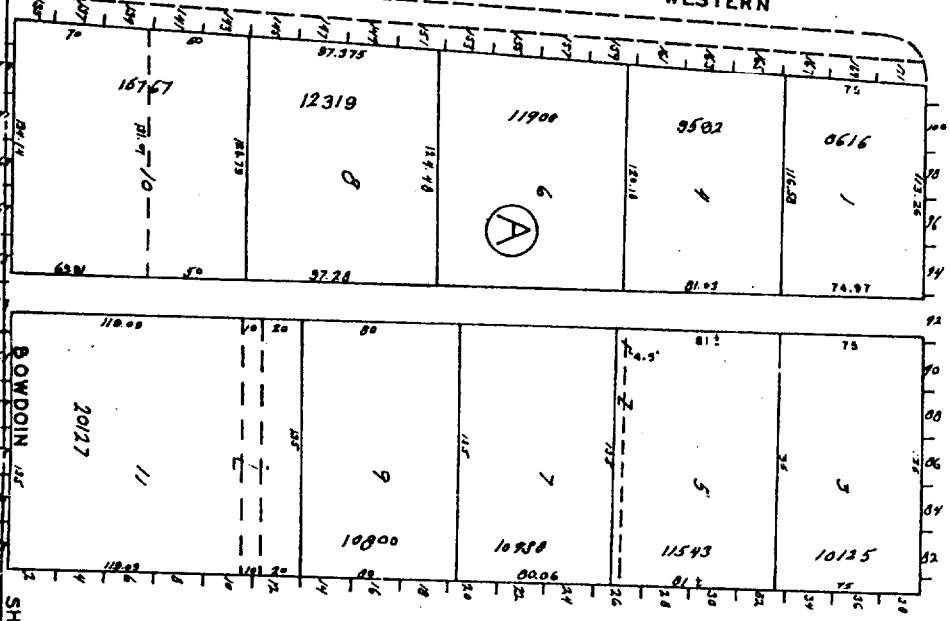
KONKEL RESIDENCE · 71 CARROLL STREET · PORTLAND · MAINE 28 MAP 04

CARRIAGE HOUSE STUDIO ARCHITECTS LLC · PORTLAND · MAINE · 207-772-7150.

SHEET 68 - A

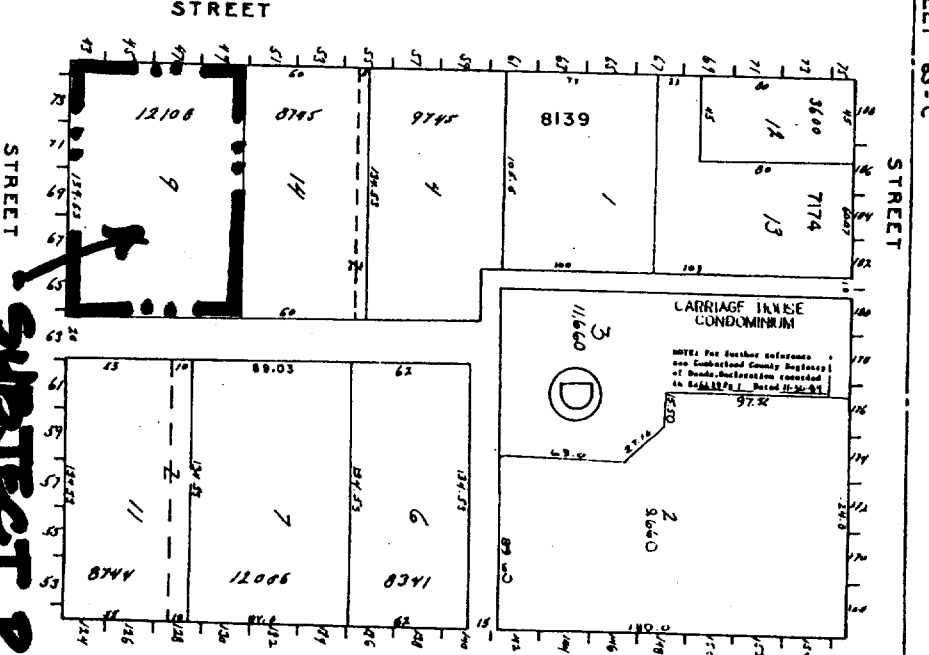
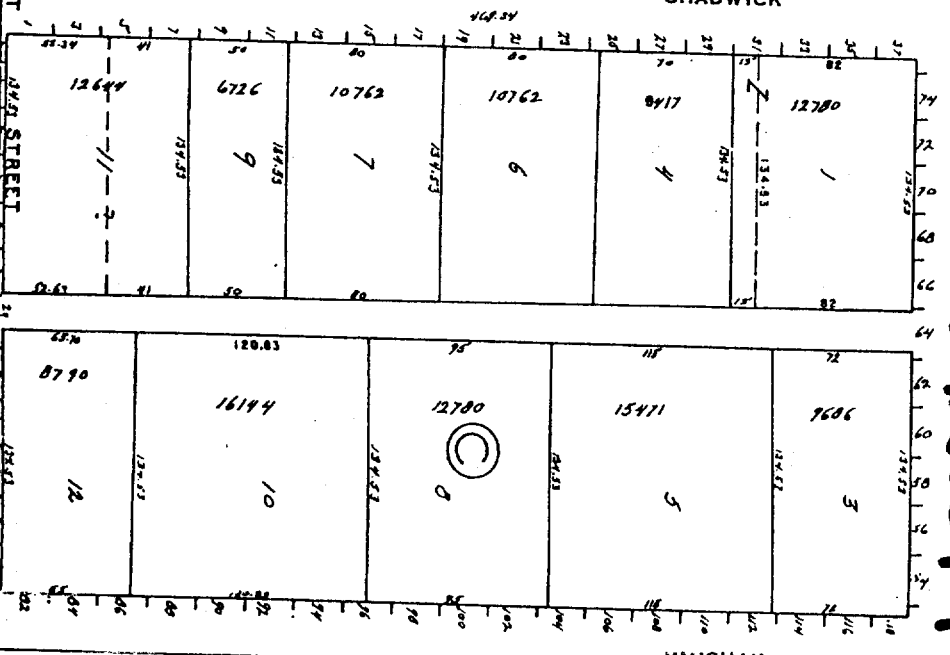
WESTERN

PROMENADE



CHADWICK

STREET



subject property.

**KONKEL RESIDENCE
SITE LOCATION.**