

CITY OF PORTLAND, MAINE
HISTORIC PRESERVATION BOARD

Rick Romano, Chair
Martha Burke Vice-Chair
Otis Baron
Scott Benson
Michael Hammen
Ted Oldham
John Turk

June 1, 2010

Shane and Susan Flynn
16 Tannery Lane
Camden, Maine 04843

Re: Fence installation; 29 Bowdoin Street

Dear Mr. and Mrs. Flynn:

On May 19, 2010, the City of Portland's Historic Preservation Board voted 5-0 (Hammen, Romano absent) to approve your application for a Certificate of Appropriateness for the installation of metal fence around your property at 29 Bowdoin Street. Board approval was for fencing as specified in your application and as presented on your behalf by Scott Hanson of Sutherland Conservation & Consulting.

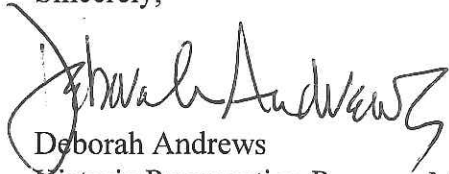
Board approval is subject to the following conditions:

- * Regrading of site shall be undertaken as required to maintain a level grade for installation of the fence.
- * Top of fencing shall be level and continuous throughout—not stepped.
- * Fence shall be fabricated of iron or steel, not aluminum.

Installation to be carried out as shown on the plans and specifications submitted for the 5/19/2010 public hearing and/or as described above. Changes to the approved plans and specifications and any additional work that may be undertaken must be reviewed and approved by this office prior to construction, alteration, or demolition. If, during the course of completing the approved work, conditions are encountered which prevent completing the approved work, or which require additional or alternative work, you must apply for and receive a Certificate of Appropriateness or Non-Applicability PRIOR to undertaking additional or alternative work.

This Certificate is granted upon condition that the work authorized herein is commenced within twelve (12) months after the date of issuance. If the work authorized by this Certificate is not commenced within twelve (12) months after the date of issuance or if such work is suspended in significant part for a period of one year after the time the work is commenced, such Certificate shall expire and be of no further effect; provided that, for cause, one or more extensions of time for periods not exceeding ninety (90) days each may be allowed in writing by the Department.

Sincerely,

A handwritten signature in black ink, appearing to read "Deborah Andrews". The signature is written in a cursive style with a large initial "D" and "A".

Deborah Andrews
Historic Preservation Program Manager

Cc: Scott Hanson, Sutherland Conservation & Consulting

Deb Andrews - 29 Bowdoin Street fence

From: "Amy Cole Ives" <amycollection@sutherlandcc.net>
To: "Deb Andrews" <DGA@portlandmaine.gov>
Date: 4/5/2010 4:27 PM
Subject: 29 Bowdoin Street fence
Attachments: 29 Bowdoin Aerial-Preferred Option.pdf

Deb, attached in an aerial photo with a proposed fence line. The preference is for the fence to be of wrought iron, of as simple and elegant a design as possible to be compatible with the house, yet also as visually transparent as possible to blend in with the streetscape and the property.

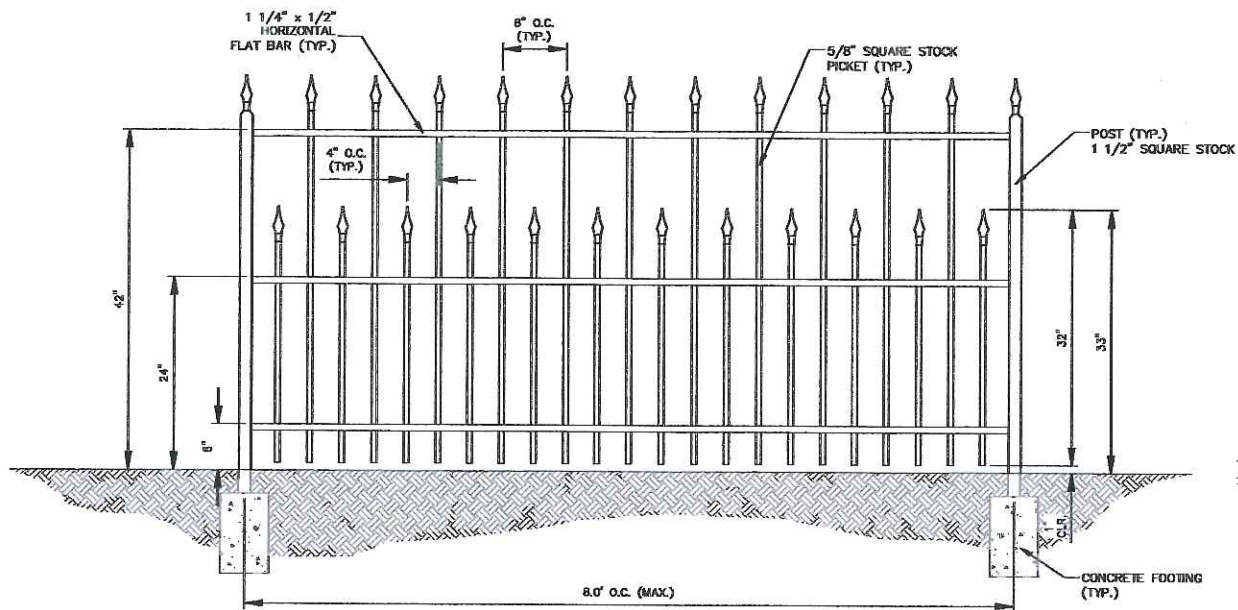
Sincerely, Amy



Amy Cole Ives
207-242-0618



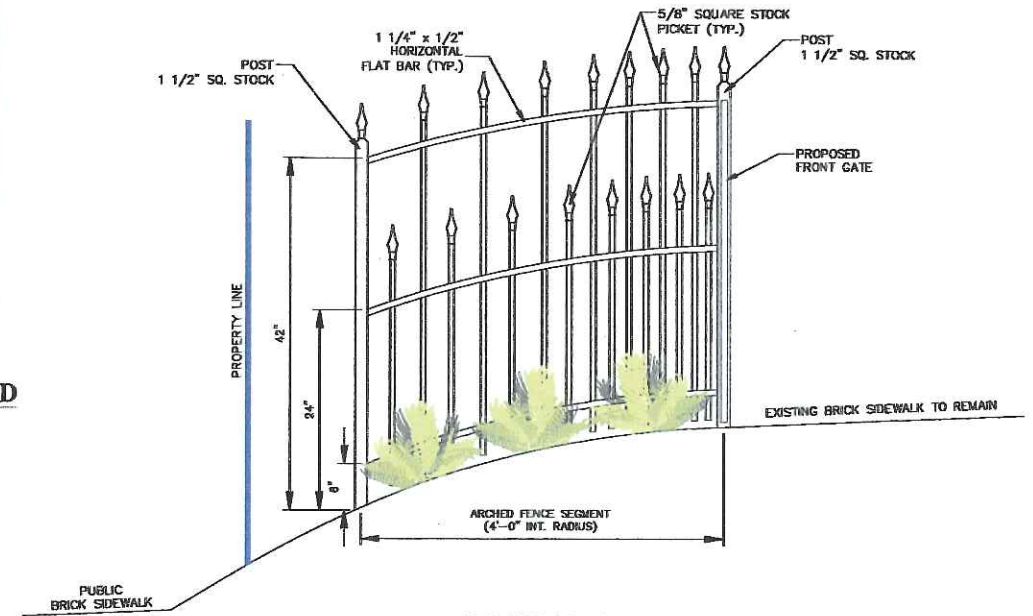
distributed at mtg.



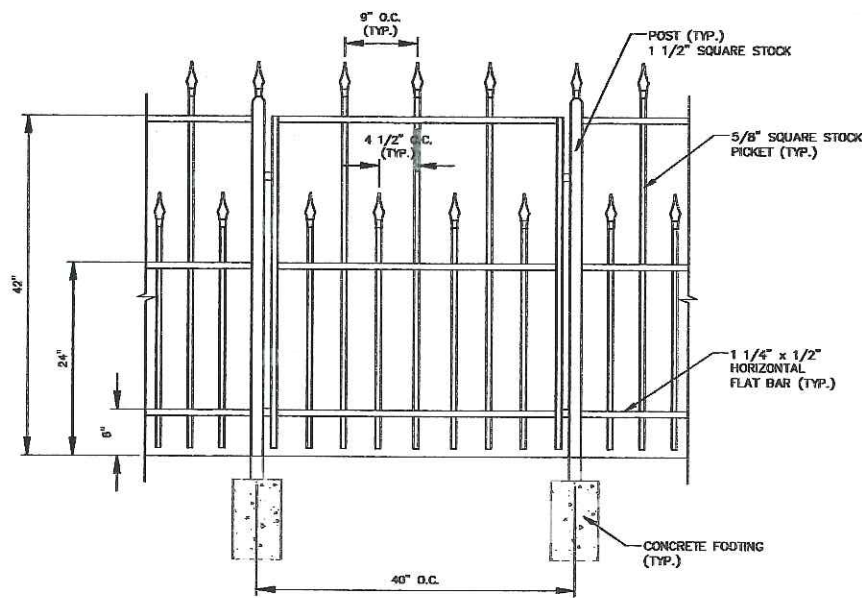
PROPOSED FENCE DETAIL
SCALE 1/2" = 1'-0"



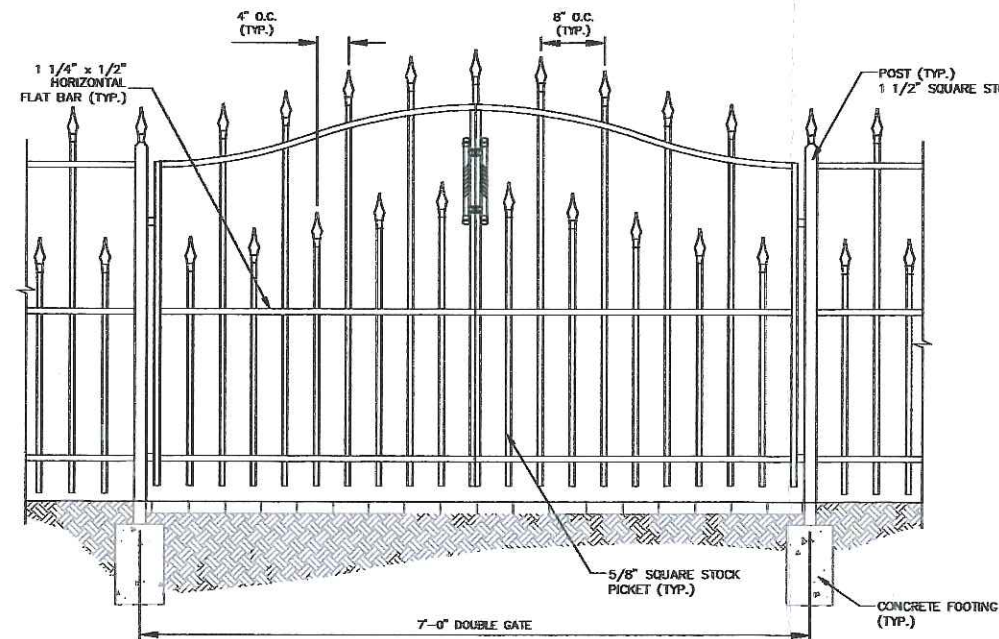
PHOTOGRAPH OF SIMILAR FENCE TO BE PROPOSED



SECTION A
SCALE 1/2" = 1'-0"



PROPOSED MAINTENANCE GATE DETAIL
SCALE 1/2" = 1'-0"



PROPOSED FRONT GATE DETAIL
SCALE 1/2" = 1'-0"

1 REVISED AND ADDED FENCING DETAILS 03-14-10

**29 BOWDOIN STREET
RENOVATION PROJECT**
PORTLAND, MAINE

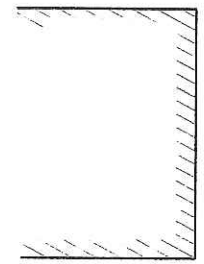
Date: MAY 3, 2010

CORDJIA
CAPITAL PROJECTS GROUP
16 Tenney Lane, Suite 23, P.O. Box 1363, Camden, Maine 04843
18 Franklin Street, Portland, Maine 04101
1007 N. Orange Street, Suite 610, Nemours Bldg., Wilmington, DE 19899
PH: 203.236.9970 FAX: 203.236.9971 www.CordjiaCapitalProjects.com

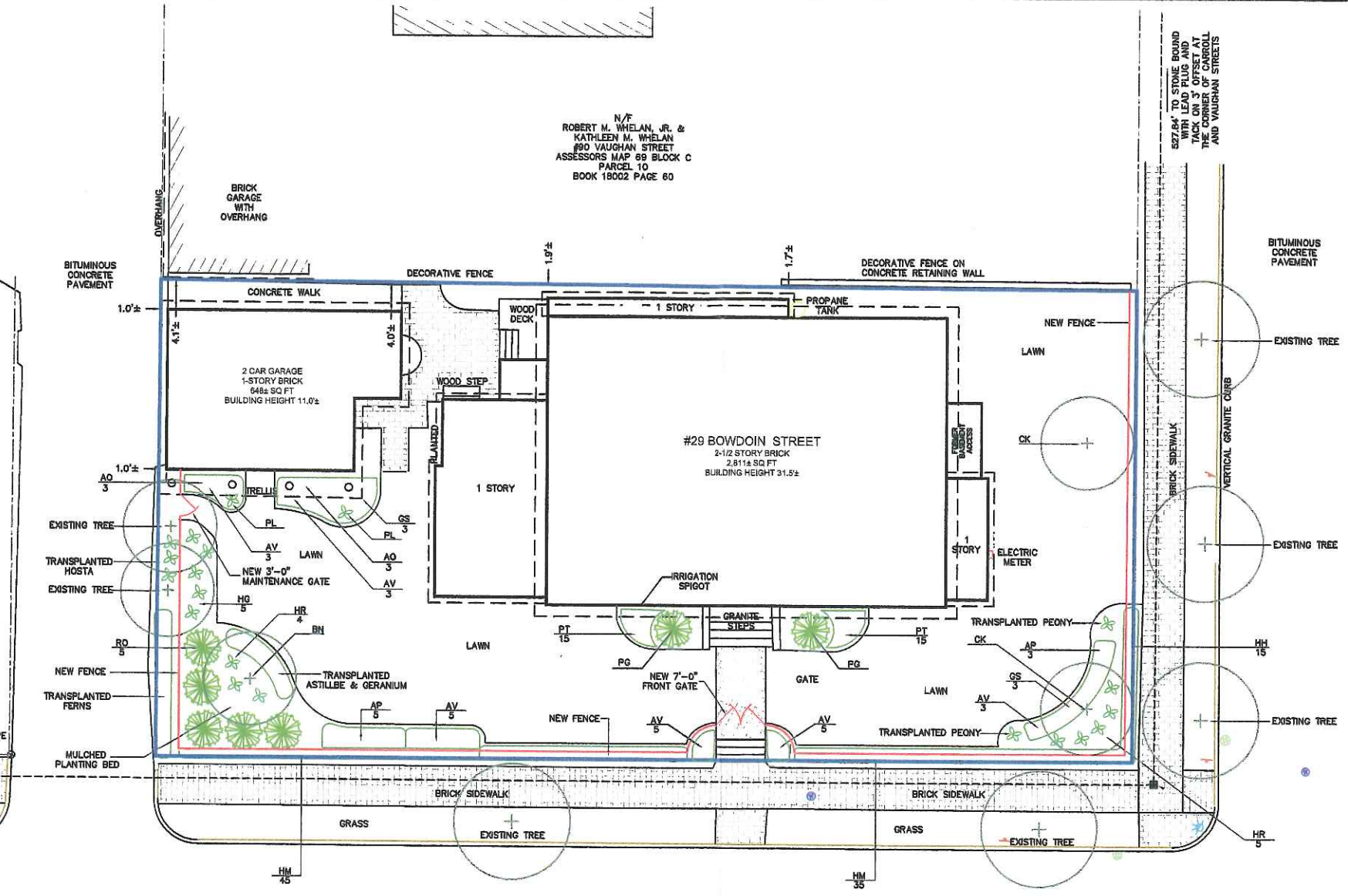
- Drawing Status:
- CONCEPT DESIGN
 - 30% DESIGN DEVELOPMENT
 - 60% DESIGN DEVELOPMENT
 - 90% DESIGN DEVELOPMENT
 - 100% BID DOCUMENT
 - 100% CONSTRUCTION DOCUMENT

**PROPOSED
FENCE DETAIL**

F-1



N/F
SUSAN B. DANA
#41 BOWDOIN STREET
ASSESSORS MAP 69 BLOCK C
PARCEL 11
BOOK 12798 PAGE 106



N/F
ROBERT M. WHELAN, JR. &
KATHLEEN M. WHELAN
#90 VAUGHAN STREET
ASSESSORS MAP 68 BLOCK C
PARCEL 10
BOOK 18002 PAGE 60



SCALE in FEET
1"=20'

VAUGHAN STREET

BOWDOIN STREET
PUBLIC - 60' WIDE

PLANT MATERIALS LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
TREES				
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	1	10'-12' CLUMP
CK	CORNUS KOUSA	KOREAN DOGWOOD	2	6'-7' B+B
PG	PICEA GLAUCA 'CONICA'	DWARF ALBERTA SPRUCE	2	5'-6' #10
SHRUBS				
RO	RHODODENDRON 'OLGA'	OLGA RHODODENDRON	5	2.5'-3' B+B
PERENNIALS				
AP	ASTILLBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILLBE	18	1 GALLON
AV	ASTILLBE JAPONICA 'BRIDAL VEIL'	BRIDAL VEIL ASTILLBE	24	1 GALLON
AO	ASTILLBE 'OSTRICH PLUME'	OSTRICH PLUME ASTILLBE	6	1 GALLON
HR	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	14	1 GALLON
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	15	1 GALLON
HM	HEMEROCALLIS 'MY MELINDA'	MY MELINDA DAYLILY	80	1 GALLON
GS	GERANIUM SANGUINEUM	CRANESBILL GERANIUM	6	1 GALLON
PL	PAEONIA LACTIFLORA 'BO PEEP'	BO PEEP PEONY	2	1 GALLON
GROUNDCOVERS				
PT	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	1	FLAT 50 COUNT

GENERAL NOTES AND PERFORMANCE EXPECTATIONS

- Selected existing perennials shall be dug up, stored and watered regularly for use in new design.
- The landscape contractor shall locate and verify all utilities prior to starting work.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete plantings as shown on all drawings.
- All materials shall conform to the guidelines established by the American Standard for Nursery Stock.
- No plant shall be installed before rough grading has been finished and approved by landscape designer or equal.
- All plants shall be balled and wrapped or container grown as specified. No root bound container stock will be accepted.
- With container grown stock, the container shall be removed and the ball shall be cut through the surface in two directions.
- All plant materials shall be installed as per details and contract specifications.
- All plant materials shall be approved by the landscape designer or equal at site before installation. Landscape designer reserves the right to reject any damaged, dying, or unlabelled plants. Any substitutions must be approved by landscape designer.
- Staking of trees on windy or open sites is required and shall be removed after the second growing season.
- Prior to installation all trees, shrubs, and perennials shall be approved by landscape designer.
- Existing irrigation system to be located and marked prior to commencement of any work. Any heads determined to conflict with new fence or plantings shall be relocated so as to water lawn areas as before. Contractor shall test irrigation system once work is completed to confirm proper coverage.

1 ADDED MAINTENANCE GATE 05-14-10

29 BOWDOIN STREET
RENOVATION PROJECT
PORTLAND, MAINE

Date: MAY 3, 2010

CHRIS MATAVA
LANDSCAPE DESIGN
935 High St. Bath, Maine 04530
207-749-1519

CORDJIA
CAPITAL PROJECTS GROUP
16 Tenney Lane, Suite 23, P.O. Box 1367, Camden, Maine 04843
12 Emerald Street, Portland, Maine 04103
1007 N. Grand Street, Suite 619, Newark, NJ 07102
Tel: 201.236.9979 Fax: 201.236.9971 www.CordjiaCapitalProjects.com

- Design Status:
- CONCEPT DESIGN
 - 30% DESIGN DEVELOPMENT
 - 60% DESIGN DEVELOPMENT
 - 80% DESIGN DEVELOPMENT
 - 100% BID DOCUMENT
 - 100% CONSTRUCTION DOCUMENT

NO DRAWING SHALL BE RECOGNIZED AS A CONSTRUCTION DOCUMENT UNLESS IT BEARS A SIGNED REGISTERED SEAL.

LANDSCAPE PLAN

Sheet
L-1.1

Date: May 5, 2010

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROPERTY ADDRESS: 29 Bowdoin Street

APPLICANT:

Mitch Daigle

Office: 207 236-9970

Cell: 207 333-2226

Fax: 207 236-9971

Cordjia Capital Projects Group

16 Tannery Lane, Camden, Maine 04843

mdaigle@cordjia.com

PROPERTY OWNERS:

Shane G and Susan A. Flynn

207 236-9970

16 Tannery Lane, Camden, Maine 04843

ARCHITECT:

John Hansen, Architect

Office: 207 594-5310

Cell: 207 592-8862

Fax: 207 594-5370

632 Spruce Head Road, South Thomaston, Maine 04858

hansenarchitect@msn.com

PRESERVATION CONSULTANT:

Scott Hanson

207 620-6291

Sutherland Conservation & Consulting

20 Warren Street, Hallowell, Maine 04347

scotthanson@sutherlandcc.net

Applicant's Signature



Owner's Signature



BILL TO: (Please list contact information for future advertising expenses)

Cordjia Capital Projects Group

Activities Requiring Approval in Historic Districts

If your property is located within a historic district or is an individually designated historic structure, it is necessary to receive approval before proceeding with any exterior alteration, construction activity or site improvement that will be visible from a public way. Following is a list of activities requiring review. **Please check all those activities that apply to your proposed project.**

Alterations and Repair

- Window and door replacement, including storms/screens
- Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, window moldings, and cornices)
- Porch replacement or construction of new porches
- Installation or replacement of siding
- Masonry work, including repointing, sandblasting, chemical cleaning, painting where the masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted
- Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- Alteration of accessory structures such as garages

Additions and New Construction

- Building additions, including rooftop additions, dormers or decks
- Construction of accessory structures
- Installation of exterior access stairs or fire escapes
- Installation of antennas and satellite receiving dishes
- Installation of solar collectors
- Rooftop mechanicals

Signage and Exterior Utilities

- Installation or alteration of any exterior sign, awning, or related lighting
- Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades

Site Alterations

- Installation or modification of site features other than vegetation, including fencing, retaining walls, driveways, paving, and re-grading

Moving and Demolition

- Moving of structures or objects on the same site or to another site
- Any demolition or relocation of a landmark contributing and/or contributing structure within a district

Note: Your project may also require a building permit. Call Building Inspections (874-8703) to make this determination. Page 4 of 8

PROJECT DESCRIPTION

Describe in a separate paragraph each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments. Page 5 of 8

This project involves a significant amount of interior work and upgrades and limited repair/replacement on the exterior and one proposed new site feature, a fence, as detailed below.

Roof:

The slate roof is to be repaired, and replaced in-kind where necessary. Heritage Company will be doing the work, which will include replacing the copper flashing and trim where necessary. Samples of an existing slate and of a proposed replacement slate will be available for the Board's review at the public hearing.

Masonry:

The brick and limestone trim elements will be repointed with ASTM C-270 Type O proportion specification using white Type I Portland and sand to match existing. City Historic Preservation staff will be contacted to approval a mortar sample on the building in advance of repointing.

Trim:

All exterior trim is to be repaired and repainted. There will be limited replacement in-kind for severely deteriorated trim elements (see window pilaster photo). Existing inappropriate pigeon screening in dormer gables will be removed and replaced with stainless steel pigeon spikes.

Windows:

Windows are to be repaired and painted. Aluminum storm windows will be painted to match trim.

Fence:

A new fence is proposed in the location shown in red on that landscape plan. The fence design is based on a common fence style that appears throughout the West End. The historic examples in the neighborhood appear in front of buildings in a wide range of architectural styles, from Second Empire to Colonial Revival. The fence design is shown alongside a photo of a nearby historic example on the enclosed Proposed Fence Detail. The fabricator has been asked to provide quotes for wrought iron, steel, and solid aluminum. Once painted, any of these materials will appear to be painted iron.

As the new owners of 29 Bowdoin Street have small children and there is no play space behind the house, they feel strongly that an appropriate fence is needed around the front and sides of the property.

ATTACHMENTS

To supplement your application, please submit the following items, *as applicable to your project*. Keep in mind that the information you provide the Historic Preservation Board and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

- X Exterior photographs (required for all applications.) Include general streetscape view, view of entire building & close-ups of affected area.
 - X Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions. Plans or drawings should generally not exceed 11" x 17". For major projects, 22" x 34" plans are requested.
 - X Details or sections, where applicable.
 - _____ Floor plans, where applicable.
 - X Site plan showing relative location of adjoining structures.
 - _____ Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)
 - _____ Materials - list all visible exterior materials. Samples are helpful.
 - _____ Other(explain)_____
-
-

If you have any questions or need assistance in completing this form, please contact Historic Preservation staff: Deb Andrews (874-8726)

Please return this form, application fee (see attached fee schedule), and related materials to:

Historic Preservation Division
Department of Planning and Development
Portland City Hall, 4th Floor
389 Congress Street
Portland, ME 04101 Page 6 of 8



29 BOWDOIN STREET SOUTH ELEVATION
Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
1. EXISTING BRICK TO BE REPOINTED WHERE REQUIRED WITH GROUT TO MATCH THE EXISTING.
 2. FLASHING TO BE REPAIRED OR REPLACED WITH SIMILAR MATERIAL.
 3. SLATE ROOF TO BE REPAIRED. ANY SLATE REPLACEMENT WILL MATCH THE EXISTING.
 4. ALL WOOD TRIM TO BE REPAINTED.
 5. MISSING SHUTTERS TO BE REPLACED.
 6. ALL EXISTING WINDOWS TO BE REPAIRED & REPAINTED (STORM WINDOWS TO BE PAINTED TO MATCH TRIM)
 7. REMOVE EXISTING PIGEON SCREENS AND REPLACE WITH S.S. PIGEON SPIKES.

Project Name:
**29 BOWDOIN STREET
RENOVATION PROJECT**
PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
ARCHITECT
JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04858
PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:
CORDJIA
CAPITAL PROJECTS GROUP
16 Tenney Lane, Suite 23, P.O. Box 1345, Caspita, Maine 04843
15 Franklin Street, Portland, Maine 04101
4107 N. Claver Street, Suite 610, Newark, DE 19702
PH: 207.236.9970 FX: 207.236.9971 www.CordjiaCapitalProjects.com

Drawing Status:
 CONCEPT DESIGN
 30% DESIGN DEVELOPMENT
 60% DESIGN DEVELOPMENT
 90% DESIGN DEVELOPMENT
 100% BID DOCUMENT
 100% CONSTRUCTION DOCUMENT

NO DRAWING SHALL BE RECOGNIZED AS A CONSTRUCTION DOCUMENT UNLESS IT BEARS A SIGNED REGISTRATION SEAL.

Existing/Proposed
South Elevation

Sheet:
A-15



29 BOWDOIN STREET WEST ELEVATION

Scale 1/8" = 1'-0"

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29 BOWDOIN STREET EAST ELEVATION

Scale 1/8" = 1'-0"

Project Name:
**29 BOWDOIN STREET
 RENOVATION PROJECT**
 PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:

CARDJIA
 CAPITAL PROJECTS GROUP
16 Treasury Lane, Suite 213, P.O. Box 1167, Camden, Maine 04843
 15 Franklin Street, Portland, Maine 04101
 1007 N. Orange Street, Suite 610, Newark, DE 19899
 PH: 207.224.9970 FX: 207.224.9971 www.CordjiaCapitalProjects.com

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Existing/Proposed
 East & West Elevations

Sheet:
A-17



29 BOWDOIN STREET NORTH ELEVATION
Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
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PORTLAND, MAINE

Date: MAY 3, 2010

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JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04858
PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:

CORDJIA
CAPITAL PROJECTS GROUP
16 Tannery Lane, Suite 23, P.O. Box 1303, Camden, Maine 04843
11 Franklin Street, Portland, Maine 04101
1007 N. Orange Street, Suite 618, Newnan, GA 30145
PH: 307.236.9910 FAX: 307.236.9911 www.CordjiaCapitalProjects.com

Drawing Status:

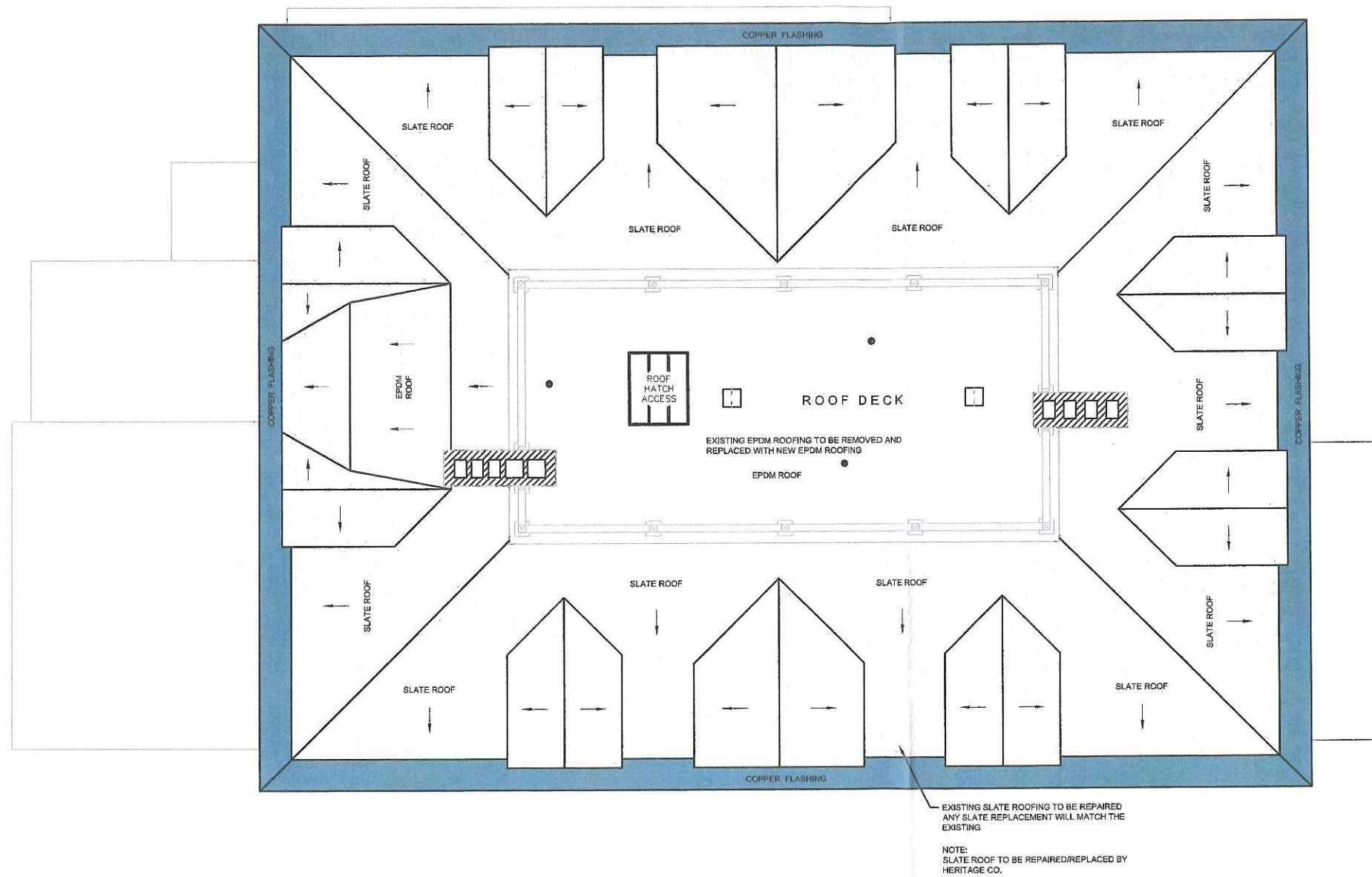
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Existing/Proposed
North Elevation

Sheet:

A-16



29 BOWDOIN STREET ROOF DECK
Scale 1/8" = 1'-0"

NOTE:
OVERHANG PROJECTION SHALL BE FIELD VERIFIED BY INSTALLER

Project Name:
**29 BOWDOIN STREET
RENOVATION PROJECT**
PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
ARCHITECT
JOHN E. HANSEN, ARCHITECT
822 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04658
PHONE: (207) 594-5310 FAX: (207) 594-5370

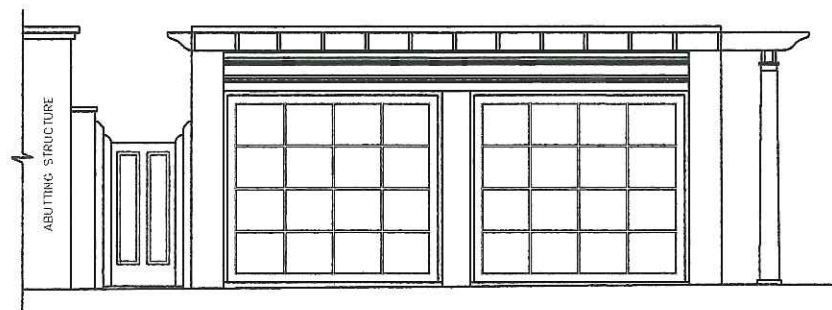
Firm Name and Address:
CORDJIA
CAPITAL PROJECTS GROUP
14 Tracey Lane, Suite 23, P.O. Box 1567, Canton, Maine 04843
15 Franklin Street, Portland, Maine 04103
1007 N. Orange Street, Suite 610, Newark, NJ 07102
Tel: 207.216.9970 Fax: 207.236.9971 www.CordjiaCapitalProjects.com

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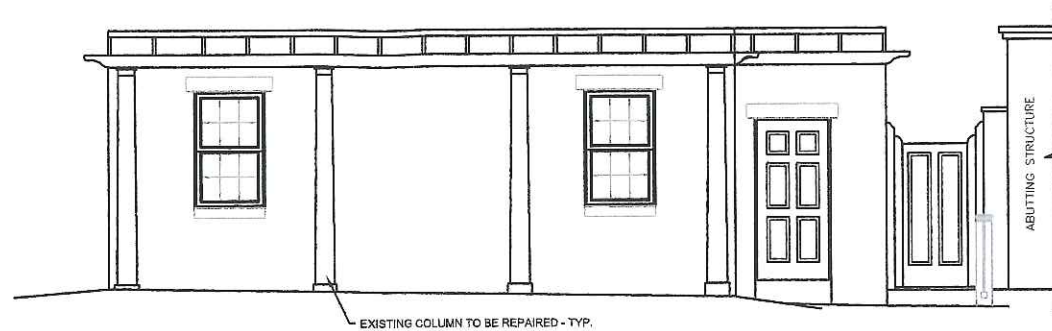
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Proposed
Roof Plan

Sheet
A-13

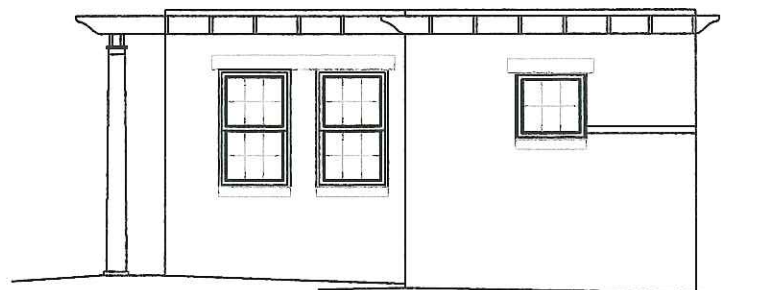


GARAGE - WEST ELEVATION
Scale 1/8" = 1'-0"

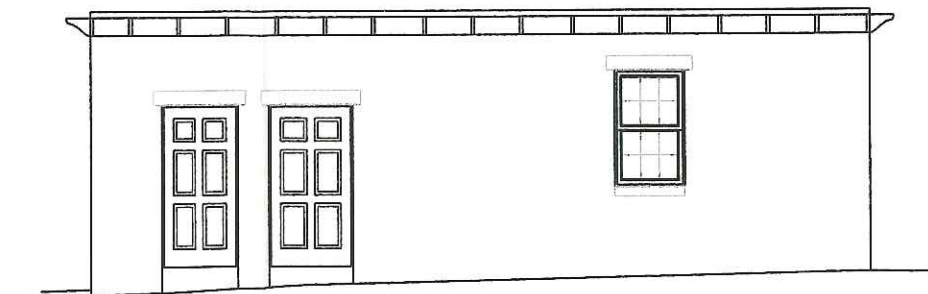


GARAGE - SOUTH ELEVATION
Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
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 2. FLASHING TO BE REPAIRED OR REPLACED WITH SIMILAR MATERIAL. (AS REQUIRED)
 3. ALL WOOD TRIM TO BE REPAINTED.
 5. ALL EXISTING WINDOWS TO BE REPAIRED & REPAINTED (STORM WINDOWS TO BE PAINTED TO MATCH TRIM)



GARAGE - EAST ELEVATION
Scale 1/8" = 1'-0"




GARAGE - NORTH ELEVATION
Scale 1/8" = 1'-0"

Project Name:
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RENOVATION PROJECT**
PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
ARCHITECT
JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04858
PHONE: (207) 594 - 8310 FAX: (207) 594 - 5370

Firm Name and Address:

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16 Tannery Lane, Suite 23, P.O. Box 1971, Camden, Maine 04843
15 Franklin Street, Portland, Maine 04101
1007 N. Orange Street, Suite 610, Newnan, GA, Wilmington, DE 19899
PH: 207.336.9570 FX: 207.336.9571 www.CordjiaCapitalProjects.com

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Existing/Proposed
Garage Elevations

Sheet:
A-18



29 BOWDOIN STREET NORTH ELEVATION

Scale 1/8" = 1'-0"

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Project Name:
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 PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Client Name and Address:

CORDJIA
 CAPITAL PROJECTS GROUP
16 Tenney Lane, Suite 23, P.O. Box 1367, Camden, Maine 04843
 15 Franklin Street, Portland, Maine 04103
 1807 N. Orange Street, Suite 410, Yorktowne Bldg., Washington, DE 19899
 PH: 207.236.8970 FX: 207.236.8971 www.CordjiaCapitalProjects.com

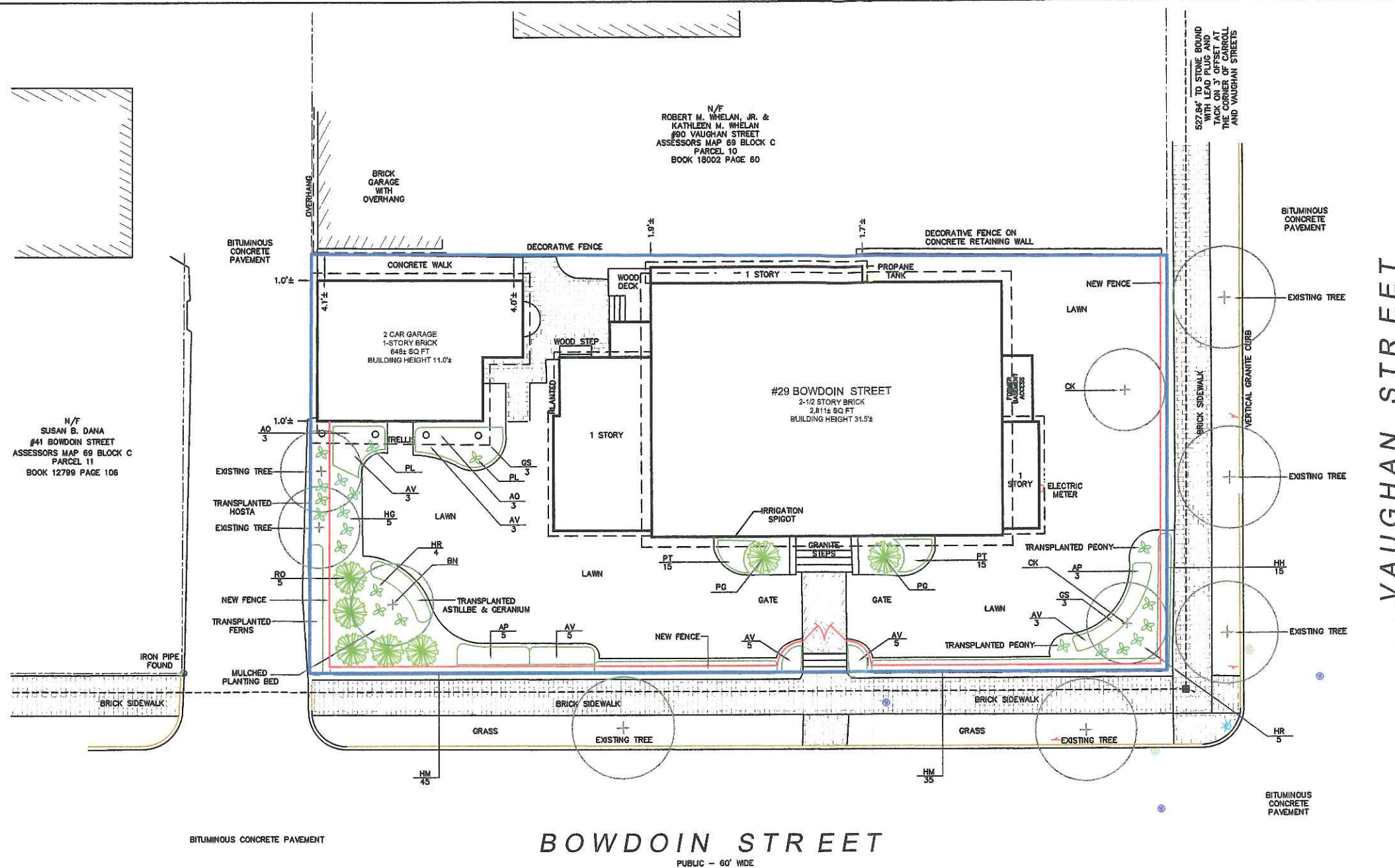
Drawing Status:

- CONCEPT DESIGN
- 30% DESIGN DEVELOPMENT
- 60% DESIGN DEVELOPMENT
- 90% DESIGN DEVELOPMENT
- 100% BID DOCUMENT
- 100% CONSTRUCTION DOCUMENT

NO DRAWING SHALL BE RECORDED AS A CONSTRUCTION DOCUMENT UNLESS IT BEARS A REGISTERED PROFESSIONAL SEAL.

Existing/Proposed
 North Elevation

Sheet:
A-16



PLANT MATERIALS LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
TREES				
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	1	10'-12' CLUMP
CK	CORNUS KOUSA	KOREAN DOGWOOD	2	6'-7' B+B
PG	PICEA GLAUCA 'CONICA'	DWARF ALBERTA SPRUCE	2	5'-6' #10
SHRUBS				
RO	RHODODENDRON 'OLGA'	OLGA RHODODENDRON	5	2.5'-3' B+B
PERENNIALS				
AP	ASTILLBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILLBE	18	1 GALLON
AV	ASTILLBE JAPONICA 'BRIDAL VEIL'	BRIDAL VEIL ASTILLBE	24	1 GALLON
AO	ASTILLBE 'OSTRICH PLUME'	OSTRICH PLUME ASTILLBE	6	1 GALLON
HR	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	14	1 GALLON
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	15	1 GALLON
HM	HEMEROCALLIS 'MY MELINDA'	MY MELINDA DAYLILY	80	1 GALLON
GS	GERANIUM SANGUINEUM	CRANESBILL GERANIUM	6	1 GALLON
PL	PAEONIA LACTIFLORA 'BO PEEP'	BO PEEP PEONY	2	1 GALLON
GROUNDCOVERS				
PT	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	1	FLAT 50 COUNT

GENERAL NOTES AND PERFORMANCE EXPECTATIONS

- Selected existing perennials shall be dug up, stored and watered regularly for use in new design.
- The landscape contractor shall locate and verify all utilities prior to starting work.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete plantings as shown on all drawings.
- All materials shall conform to the guidelines established by the American Standard for Nursery Stock.
- No plant shall be installed before rough grading has been finished and approved by landscape designer or equal.
- All plants shall be balled and wrapped or container grown as specified. No root bound container stock will be accepted.
- With container grown stock, the container shall be removed and the ball shall be cut through the surface in two directions.
- All plant materials shall be installed as per details and contract specifications.
- All plant materials shall be approved by the landscape designer or equal at site before installation. Landscape designer reserves the right to reject any damaged, dying, or unlabelled plants. Any substitutions must be approved by landscape designer.
- Staking of trees on windy or open sites is required and shall be removed after the second growing season.
- Prior to installation all trees, shrubs, and perennials shall be approved by landscape designer.
- Existing irrigation system to be located and marked prior to commencement of any work. Any heads determined to conflict with new fence or plantings shall be relocated so as to water lawn areas as before. Contractor shall test irrigation system once work is completed to confirm proper coverage.

Project Name:
29 BOWDOIN STREET RENOVATION PROJECT
PORTLAND, MAINE
Date: MAY 3, 2010

Consultant Name and Address:
CHRIS MATAVA LANDSCAPE DESIGN
935 High St. Bath, Maine 04530
207-749-1518

Firm Name and Address:
CORDJIA CAPITAL PROJECTS GROUP
16 Taverny Lane, Suite 23, P.O. Box 1367, Camden, Maine 04843
15 Franklin Street, Portland, Maine 04101
1007% Orange Street, Suite 410, Newmarket, NH, 03854
PH: 207.236.9979 FX: 207.234.9971 www.CordjiaCapitalProjects.com

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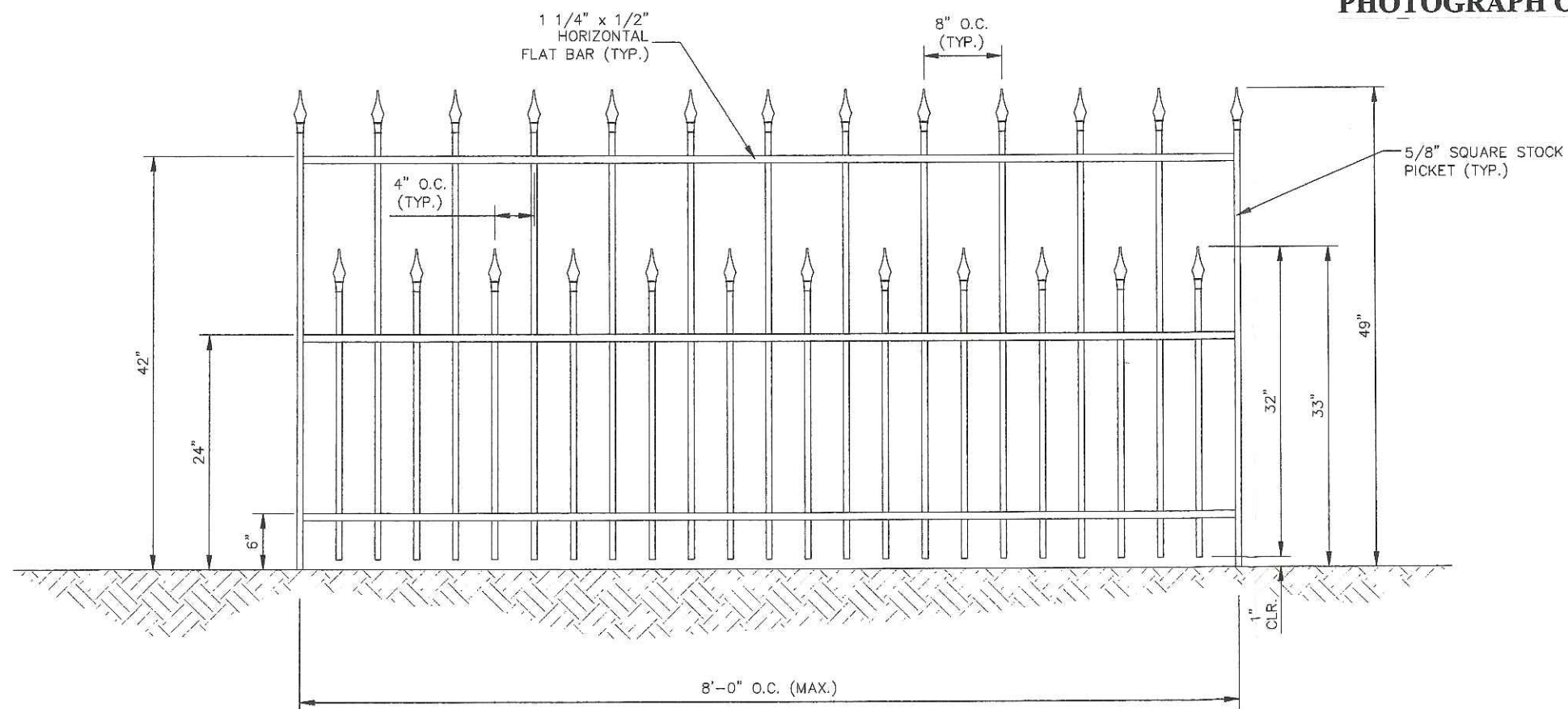
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LANDSCAPE PLAN

Sheet:
L-1.1



PHOTOGRAPH OF SIMILAR FENCE TO BE PROPOSED



PROPOSED FENCE DETAIL

Scale 3/4" = 1'-0"

Project Name:
**29 BOWDOIN STREET
 RENOVATION PROJECT**
 PORTLAND, MAINE
 Date: MAY 3, 2010

Client Name and Address:

Firm Name and Address:

CORDJIA
 CAPITAL PROJECTS GROUP
 16 Tenney Lane, Suite 22, P.O. Box 1367, Camden, Maine 04843
 12 Franklin Street, Portland, Maine 04101
 1087 N. Orange Street, Suite 616, Newark, NJ, Wilmington, DE 19899
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**PROPOSED
 FENCE DETAIL**

Sheet:
F-1



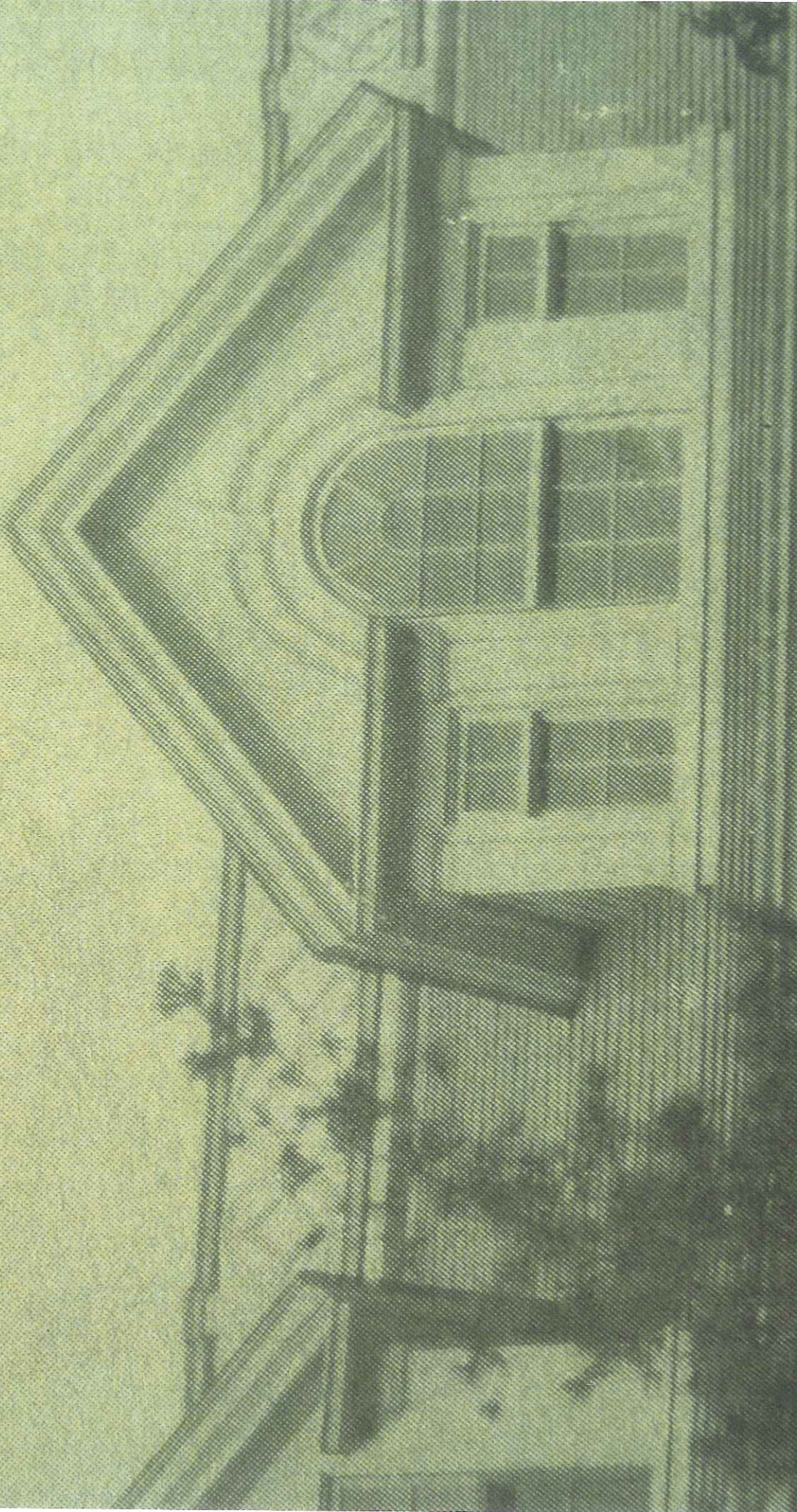












From: jeremy moser <jmoser@studionmemosyne.com>
To: deb andrews <dga@portlandmaine.gov>
Date: 5/18/2010 12:18 PM
Subject: Regarding 29 Bowdoin Street

Deb,
For public consumption if you so choose:

I applaud our new neighbors for the set of drawings and proposed repairs to the existing buildings in keeping with preservation guidelines.

The photographic example of the fence is very nice. I also applaud their consideration for using solid stock for the fence parts.

However, I reviewed the specs on the fence provided and would have hoped that the fencing intermediary pieces would be round (like arrow shafts) similar to the photograph, where appropriate; decreasing the massing of the fence parts, rather than 5/8" squares which provide for an awkward transition to the shaft head. In fact, there exist square transitions, but mostly new examples in our community.

Also noting the existing photographic example of the shafts support to ground conditions near the brick sidewalk-- Wherever the fence support post/shaft is supported at grade, there are a few half bricks which have lifted, encroaching into the side walk path (stumbling blocks). My question to the owners and their architect is how will the fence be anchored? On a granite square block or directly into a concrete sono tube...?-- it might be on the docs but I missed them reviewing from my computer....I hope whatever the choice is that it will not be reactive to frost heaves and affect the sidewalk as in the image provided.

Sincerely,

Jeremy Moser 40 Bowdoin Street

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
29 BOWDOIN STREET**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: May 11, 2010

RE: May 19, 2010 Public Hearing

Application For: Certificate of Appropriateness for Fence Installation

Address: 29 Bowdoin Street

Applicant: Shane and Susan Flynn

Represented by: Scott Hanson, Sutherland Conservation & Consulting

Introduction

Preservation consultant Scott Hanson, representing building owners Shane and Susan Flynn, requests approval for the installation of an iron fence along the front and side property lines of 29 Bowdoin Street. The subject property is bounded by Vaughan, Bowdoin and the private alleyway that serves houses facing Vaughan and Chadwick Streets. The proposed fence installation is part of a comprehensive rehabilitation of the property, which includes interior and exterior repairs/restoration as well as site work.

Note that the application describes work proposed for the roof, masonry, exterior trim and windows, as well as the proposed fence installation. Other than the fence installation, most of the work described is classified as repair or replacement in kind, therefore no formal Board review and approval is required. (As is customary, staff will inspect a test patch before repointing may proceed and replacement slate will be reviewed for compatibility with existing slate.) The only item before the Board for review and approval is the proposed fence and gate installation.

Subject Property and Context

The masterfully detailed Colonial Revival residence at 29 Bowdoin Street was designed by John Calvins Stevens and completed in 1907. The house combines Federal and Georgian design elements and is professed to be Stevens' personal favorite. A Stevens-designed garage was added in 1920; the garage is oriented towards the alleyway.

Alterations to the original structure (see enclosed 1924 photo) include the removal of the projecting gabled door hood over the front entrance and the enclosure/redesign of the original open porch.

Note that the house is raised slightly above the sidewalk, particularly towards the east end of the property. Three shallow steps accommodate the transition in grade from the sidewalk to the front walkway.

In examining the 1924 photo, it appears that the property never had any fence.

Proposed Fence Installation

The application calls for a 42" + metal fence featuring a staggered, open picket design. The pickets are capped with a traditional finial. As noted in the application, this fence design is common throughout the Western Promenade, particularly surrounding late Victorian and Colonial Revival residences. Mr. Hanson has provided a photo of a similar fence from the neighborhood.

The fence is to be installed just behind the sidewalk line along the property's Bowdoin and Vaughan Street frontage and set back slightly along the property line abutting the alleyway. A gate is proposed just behind the three steps that lead to the front entrance walkway. The fence curves back towards the recessed gate.

In conjunction with the fence installation, existing overgrown foundation plantings will be removed and replaced with new landscaping.

Note that the enclosed fence detail does not address the fence posts or the gate. Staff has asked Mr. Hanson to provide this information at the meeting.

Also note that the material of the fencing is yet to be determined. The applicants have asked the fabricator to provide quotes for wrought iron, steel and solid aluminum.

Staff Comments

Although Standards # 3 and 9 discourage new additions (including site features) that might be confused as being original to the property, the proposed fence is a very common one throughout the Western Promenade neighborhood and relatively neutral in design. Given the architectural elegance of the property, a more contemporary or pared-down design might appear incongruous here.

Applicable Review Standards

The following ordinance standards apply in the review of this project:

- (3) *All sites, structures and objects shall be recognized as products of their own time, place and use. Alterations that have no historical basis or create a false sense of historical development such as adding conjectural features or elements from other properties shall be discouraged.*

- (9) *Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant cultural, historical, architectural or archeological materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the size, scale, color, material and character of the property, neighborhood or environment.*

Motion for Consideration

On the basis of the applicant's submission and information included in the staff report for the May 19, 2010 public hearing, the Board finds that the proposed fence installation at 29 Bowdoin Street **meets (fails to meet)** the Standards for Review of Alterations within the historic preservation ordinance, **(subject to the following conditions...)**.

Attachments

1. Application and supporting materials

**HISTORIC PRESERVATION BOARD
CITY OF PORTLAND, MAINE**

**PUBLIC HEARING
29 BOWDOIN STREET**

TO: Chair Romano and Members of the Historic Preservation Board

FROM: Deborah Andrews, Historic Preservation Program Manager

DATE: May 11, 2010

RE: May 19, 2010 Public Hearing

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Motion for Consideration

On the basis of the applicant's submission and information included in the staff report for the May 19, 2010 public hearing, the Board finds that the proposed fence installation at 29 Bowdoin Street **meets (fails to meet)** the Standards for Review of Alterations within the historic preservation ordinance, **(subject to the following conditions...)**.

Attachments

1. Application and supporting materials

Date: May 5, 2010

HISTORIC PRESERVATION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Pursuant to review under the City of Portland's Historic Preservation Ordinance (Chapter 14, Article IX of the Portland City Code), application is hereby made for a Certificate of Appropriateness for the following work on the specified historic property:

PROPERTY ADDRESS: 29 Bowdoin Street

APPLICANT:

Mitch Daigle

Office: 207 236-9970

Cell: 207 333-2226

Fax: 207 236-9971

Cordjia Capital Projects Group

16 Tannery Lane, Camden, Maine 04843

mdaigle@cordjia.com

PROPERTY OWNERS:

Shane G and Susan A. Flynn

207 236-9970

16 Tannery Lane, Camden, Maine 04843

ARCHITECT:

John Hansen, Architect

Office: 207 594-5310

Cell: 207 592-8862

Fax: 207 594-5370

632 Spruce Head Road, South Thomaston, Maine 04858

hansenarchitect@msn.com

PRESERVATION CONSULTANT:

Scott Hanson

207 620-6291

Sutherland Conservation & Consulting

20 Warren Street, Hallowell, Maine 04347

scotthanson@sutherlandcc.net

Applicant's Signature



Owner's Signature



BILL TO: (Please list contact information for future advertising expenses)

Cordjia Capital Projects Group

Activities Requiring Approval in Historic Districts

If your property is located within a historic district or is an individually designated historic structure, it is necessary to receive approval before proceeding with any exterior alteration, construction activity or site improvement that will be visible from a public way. Following is a list of activities requiring review. **Please check all those activities that apply to your proposed project.**

Alterations and Repair

- Window and door replacement, including storms/screens
- Removal and/or replacement of architectural detailing (for example porch spindles and columns, railings, window moldings, and cornices)
- Porch replacement or construction of new porches
- Installation or replacement of siding
- Masonry work, including repointing, sandblasting, chemical cleaning, painting where the masonry has never been painted, or conversely, removal of paint where the masonry historically has been painted
- Installation or replacement of either roofing or gutters when they are a significant and integral feature of the structure
- Alteration of accessory structures such as garages

Additions and New Construction

- Building additions, including rooftop additions, dormers or decks
- Construction of accessory structures
- Installation of exterior access stairs or fire escapes
- Installation of antennas and satellite receiving dishes
- Installation of solar collectors
- Rooftop mechanicals

Signage and Exterior Utilities

- Installation or alteration of any exterior sign, awning, or related lighting
- Exterior lighting where proposed in conjunction with commercial and institutional signage or awnings
- Exterior utilities, including mechanical, plumbing, and electrical, where placed on or near clearly visible facades

Site Alterations

- Installation or modification of site features other than vegetation, including fencing, retaining walls, driveways, paving, and re-grading

Moving and Demolition

- Moving of structures or objects on the same site or to another site
- Any demolition or relocation of a landmark contributing and/or contributing structure within a district

Note: Your project may also require a building permit. Call Building Inspections (874-8703) to make this determination. Page 4 of 8

PROJECT DESCRIPTION

Describe in a separate paragraph each major component of your project. Describe how the proposed work will impact existing architectural features and/or building materials. If more space is needed, continue on a separate page. Attach drawings, photographs and/or specifications as necessary to fully illustrate your project—see following page for suggested attachments. Page 5 of 8

This project involves a significant amount of interior work and upgrades and limited repair/replacement on the exterior and one proposed new site feature, a fence, as detailed below.

Roof:

The slate roof is to be repaired, and replaced in-kind where necessary. Heritage Company will be doing the work, which will include replacing the copper flashing and trim where necessary. Samples of an existing slate and of a proposed replacement slate will be available for the Board's review at the public hearing.

Masonry:

The brick and limestone trim elements will be repointed with ASTM C-270 Type O proportion specification using white Type I Portland and sand to match existing. City Historic Preservation staff will be contacted to approval a mortar sample on the building in advance of repointing.

Trim:

All exterior trim is to be repaired and repainted. There will be limited replacement in-kind for severely deteriorated trim elements (see window pilaster photo). Existing inappropriate pigeon screening in dormer gables will be removed and replaced with stainless steel pigeon spikes.

Windows:

Windows are to be repaired and painted. Aluminum storm windows will be painted to match trim.

Fence:

A new fence is proposed in the location shown in red on that landscape plan. The fence design is based on a common fence style that appears throughout the West End. The historic examples in the neighborhood appear in front of buildings in a wide range of architectural styles, from Second Empire to Colonial Revival. The fence design is shown alongside a photo of a nearby historic example on the enclosed Proposed Fence Detail. The fabricator has been asked to provide quotes for wrought iron, steel, and solid aluminum. Once painted, any of these materials will appear to be painted iron.

As the new owners of 29 Bowdoin Street have small children and there is no play space behind the house, they feel strongly that an appropriate fence is needed around the front and sides of the property.

ATTACHMENTS

To supplement your application, please submit the following items, *as applicable to your project*. Keep in mind that the information you provide the Historic Preservation Board and staff is the only description they will have of your project or design. Therefore, it should precisely illustrate the proposed alteration(s).

- X Exterior photographs (required for all applications.) Include general streetscape view, view of entire building & close-ups of affected area.
 - X Sketches or elevation drawings at a minimum 1/4" scale. Please label relevant dimensions. Plans or drawings should generally not exceed 11" x 17". For major projects, 22" x 34" plans are requested.
 - X Details or sections, where applicable.
 - _____ Floor plans, where applicable.
 - X Site plan showing relative location of adjoining structures.
 - _____ Catalog cuts or product information (e.g. proposed windows, doors, lighting fixtures)
 - _____ Materials - list all visible exterior materials. Samples are helpful.
 - _____ Other(explain)_____
-
-

If you have any questions or need assistance in completing this form, please contact Historic Preservation staff: Deb Andrews (874-8726)

Please return this form, application fee (see attached fee schedule), and related materials to:

Historic Preservation Division
Department of Planning and Development
Portland City Hall, 4th Floor
389 Congress Street
Portland, ME 04101 Page 6 of 8



29 BOWDOIN STREET SOUTH ELEVATION
Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
1. EXISTING BRICK TO BE REPOINTED WHERE REQUIRED WITH GROUT TO MATCH THE EXISTING.
 2. FLASHING TO BE REPAIRED OR REPLACED WITH SIMILAR MATERIAL.
 3. SLATE ROOF TO BE REPAIRED. ANY SLATE REPLACEMENT WILL MATCH THE EXISTING.
 4. ALL WOOD TRIM TO BE REPAINTED.
 5. MISSING SHUTTERS TO BE REPLACED.
 6. ALL EXISTING WINDOWS TO BE REPAIRED & REPAINTED (STORM WINDOWS TO BE PAINTED TO MATCH TRIM)
 7. REMOVE EXISTING PIGEON SCREENS AND REPLACE WITH S.S. PIGEON SPIKES.

Project Name:
29 BOWDOIN STREET RENOVATION PROJECT
PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
ARCHITECT
JOHN E. HANSEN, ARCHITECT
632 SPRUCE HEAD ROAD
SOUTH THOMASTON, MAINE 04858
PHONE: (207) 594 - 5310 FAX: (207) 594 - 5370

Firm Name and Address:
CORDJIA
CAPITAL PROJECTS GROUP
16 Treasury Lane, Suite 23, P.O. Box 1361, Casden, Maine 04843
15 Franklin Street, Portland, Maine 04101
1007 N. Orange Street, Suite 610, Minors Bldg., Wilmington, DE 19809
P.O. 207.236.9379 FAX: 207.236.9371 www.CordjiaCapitalProjects.com

Drawing Status:

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Existing/Proposed
South Elevation

Sheet:
A-15



29 BOWDOIN STREET WEST ELEVATION

Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
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29 BOWDOIN STREET EAST ELEVATION

Scale 1/8" = 1'-0"

Project Name:
**29 BOWDOIN STREET
 RENOVATION PROJECT**
 PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 594-5310 FAX: (207) 594-5370

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Existing/Proposed
 East & West Elevations

Sheet:
A-17



29 BOWDOIN STREET NORTH ELEVATION

Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
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Project Name:
**29 BOWDOIN STREET
 RENOVATION PROJECT**
 PORTLAND, MAINE

Date: MAY 3, 2010

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 584 - 5310 FAX: (207) 594 - 5370

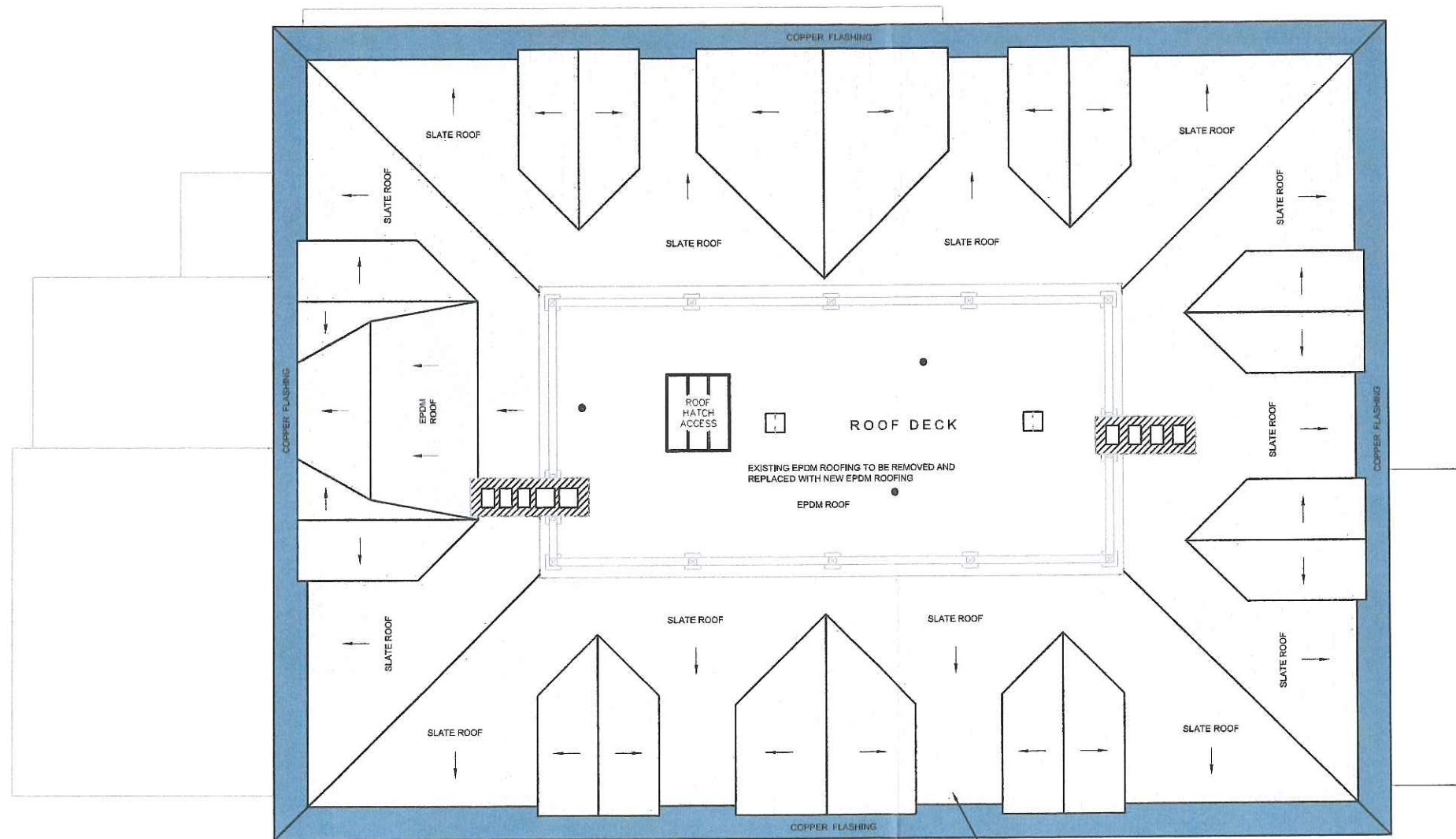
Firm Name and Address:

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 CAPITAL PROJECTS GROUP
16 Tenney Lane, Suite 23, P.O. Box 1267, Camden, Maine 04843
 13 Franklin Street, Portland, Maine 04101
 1007 N. Orange Street, Suite 610, Newbury Bldg., Wilmington, DE 19899
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Existing/Proposed
 North Elevation

Sheet:
A-16



EXISTING EPDM ROOFING TO BE REMOVED AND REPLACED WITH NEW EPDM ROOFING

EXISTING SLATE ROOFING TO BE REPAIRED ANY SLATE REPLACEMENT WILL MATCH THE EXISTING
 NOTE: SLATE ROOF TO BE REPAIRED/REPLACED BY HERITAGE CO.

29 BOWDOIN STREET ROOF DECK
 Scale 1/8" = 1'-0"

NOTE:
 OVERHANG PROJECTION SHALL BE FIELD VERIFIED BY INSTALLER

Project Name:
29 BOWDOIN STREET RENOVATION PROJECT
 PORTLAND, MAINE
 Date: MAY 3, 2010

Consultant Name and Address:
 ARCHITECT
JOHN E. HANSEN, ARCHITECT
 632 SPRUCE HEAD ROAD
 SOUTH THOMASTON, MAINE 04858
 PHONE: (207) 594-5310 FAX: (207) 594-5370

Firm Name and Address:

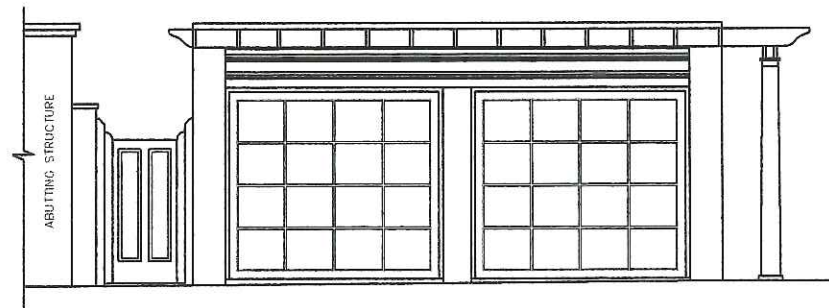
CORDJIA
 CAPITAL PROJECTS GROUP
 16 Treasury Lane, Suite 21, P.O. Box 1347, Camden, Maine 04843
 15 Franklin Street, Portland, Maine 04109
 1807 N. Orange Street, Suite 610, Newark, DE 19899
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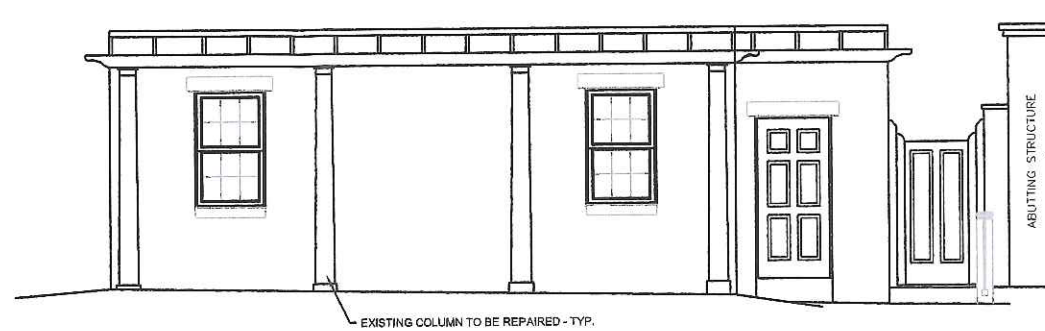
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Proposed
 Roof Plan

Sheet
A-13

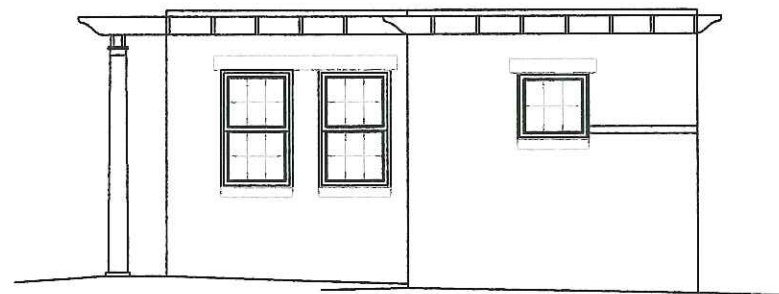


GARAGE - WEST ELEVATION
Scale 1/8" = 1'-0"

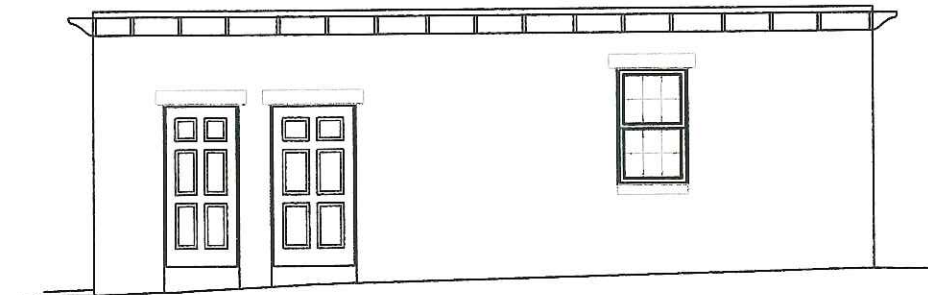


GARAGE - SOUTH ELEVATION
Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
1. EXISTING BRICK TO BE REPOINTED WHERE REQUIRED WITH GROUT TO MATCH THE EXISTING.
 2. FLASHING TO BE REPAIRED OR REPLACED WITH SIMILAR MATERIAL. (AS REQUIRED)
 3. ALL WOOD TRIM TO BE REPAINTED.
 5. ALL EXISTING WINDOWS TO BE REPAIRED & REPAINTED (STORM WINDOWS TO BE PAINTED TO MATCH TRIM)



GARAGE - EAST ELEVATION
Scale 1/8" = 1'-0"




GARAGE - NORTH ELEVATION
Scale 1/8" = 1'-0"

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**29 BOWDOIN STREET
RENOVATION PROJECT**
PORTLAND, MAINE

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Consultant Name and Address:
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Existing/Proposed
Garage Elevations

Sheet:
A-18



29 BOWDOIN STREET NORTH ELEVATION
Scale 1/8" = 1'-0"

- EXISTING ELEVATION TO REMAIN. REPAIRS TO BE MADE INCLUDE THE FOLLOWING:
1. EXISTING BRICK TO BE REPOINTED WHERE REQUIRED WITH GROUT TO MATCH THE EXISTING.
 2. FLASHING TO BE REPAIRED OR REPLACED WITH SIMILAR MATERIAL.
 3. SLATE ROOF TO BE REPAIRED. ANY SLATE REPLACEMENT WILL MATCH THE EXISTING.
 4. ALL WOOD TRIM TO BE REPAINTED.
 5. MISSING SHUTTERS TO BE REPLACED.
 6. ALL EXISTING WINDOWS TO BE REPAIRED & REPAINTED (STORM WINDOWS TO BE PAINTED TO MATCH TRIM)
 7. REMOVE EXISTING PIGEON SCREENS AND REPLACE WITH S.S. PIGEON SPIKES.

Project Name:
**29 BOWDOIN STREET
RENOVATION PROJECT**
PORTLAND, MAINE

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Consultant Name and Address:
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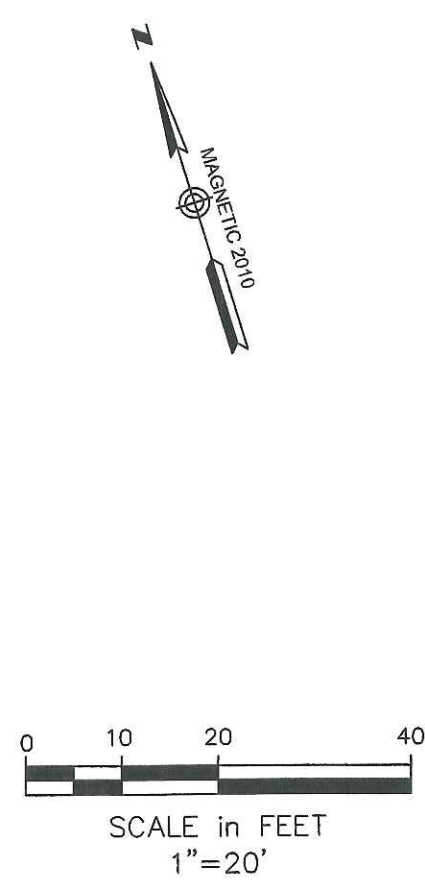
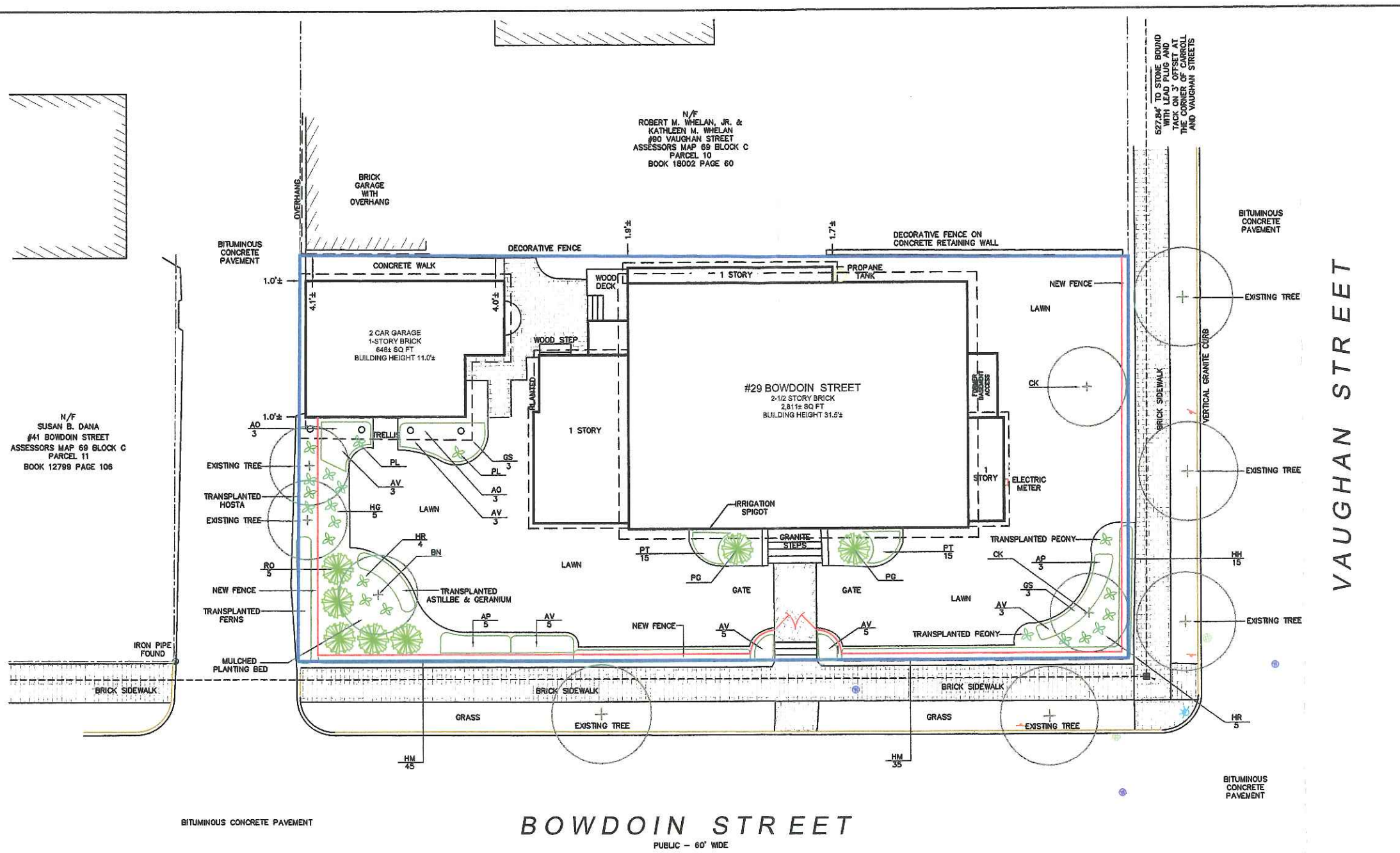
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Existing/Proposed
North Elevation

Sheet:
A-16



PLANT MATERIALS LIST

KEY	SCIENTIFIC NAME	COMMON NAME	QTY.	SIZE
TREES				
BN	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	1	10'-12' CLUMP
CK	CORNUS KOUSA	KOREAN DOGWOOD	2	6'-7' B+B
PG	PICEA GLAUCA 'CONICA'	DWARF ALBERTA SPRUCE	2	5'-6' #10
SHRUBS				
RO	RHODODENDRON 'OLGA'	OLGA RHODODENDRON	5	2.5'-3' B+B
PERENNIALS				
AP	ASTILLBE JAPONICA 'PEACH BLOSSOM'	PEACH BLOSSOM ASTILLBE	18	1 GALLON
AV	ASTILLBE JAPONICA 'BRIDAL VEIL'	BRIDAL VEIL ASTILLBE	24	1 GALLON
AO	ASTILLBE 'OSTRICH PLUME'	OSTRICH PLUME ASTILLBE	6	1 GALLON
HR	HOSTA 'ROYAL STANDARD'	ROYAL STANDARD HOSTA	14	1 GALLON
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	15	1 GALLON
HM	HEMEROCALLIS 'MY MELINDA'	MY MELINDA DAYLILY	80	1 GALLON
GS	GERANIUM 'SANGUINEUM'	CRANESBILL GERANIUM	5	1 GALLON
PL	PAEONIA LACTIFLORA 'BO PEEP'	BO PEEP PEONY	2	1 GALLON
GROUNDCOVERS				
PT	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	1	FLAT 50 COUNT

GENERAL NOTES AND PERFORMANCE EXPECTATIONS

- Selected existing perennials shall be dug up, stored and watered regularly for use in new design.
- The landscape contractor shall locate and verify all utilities prior to starting work.
- The landscape contractor shall supply all plant materials in quantities sufficient to complete plantings as shown on all drawings.
- All materials shall conform to the guidelines established by the American Standard for Nursery Stock.
- No plant shall be installed before rough grading has been finished and approved by landscape designer or equal.
- All plants shall be balled and wrapped or container grown as specified. No root bound container stock will be accepted.
- With container grown stock, the container shall be removed and the ball shall be cut through the surface in two directions.
- All plant materials shall be installed as per details and contract specifications.
- All plant materials shall be approved by the landscape designer or equal at site before installation. Landscape designer reserves the right to reject any damaged, dying, or unlabelled plants. Any substitutions must be approved by landscape designer.
- Staking of trees on windy or open sites is required and shall be removed after the second growing season.
- Prior to installation all trees, shrubs, and perennials shall be approved by landscape designer.
- Existing irrigation system to be located and marked prior to commencement of any work. Any heads determined to conflict with new fence or plantings shall be relocated so as to water lawn areas as before. Contractor shall test irrigation system once work is completed to confirm proper coverage.

29 BOWDOIN STREET RENOVATION PROJECT
 PORTLAND, MAINE
 Date: MAY 3, 2010

Consultant Name and Address:
CHRIS MATAVA LANDSCAPE DESIGN
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 207-749-1519

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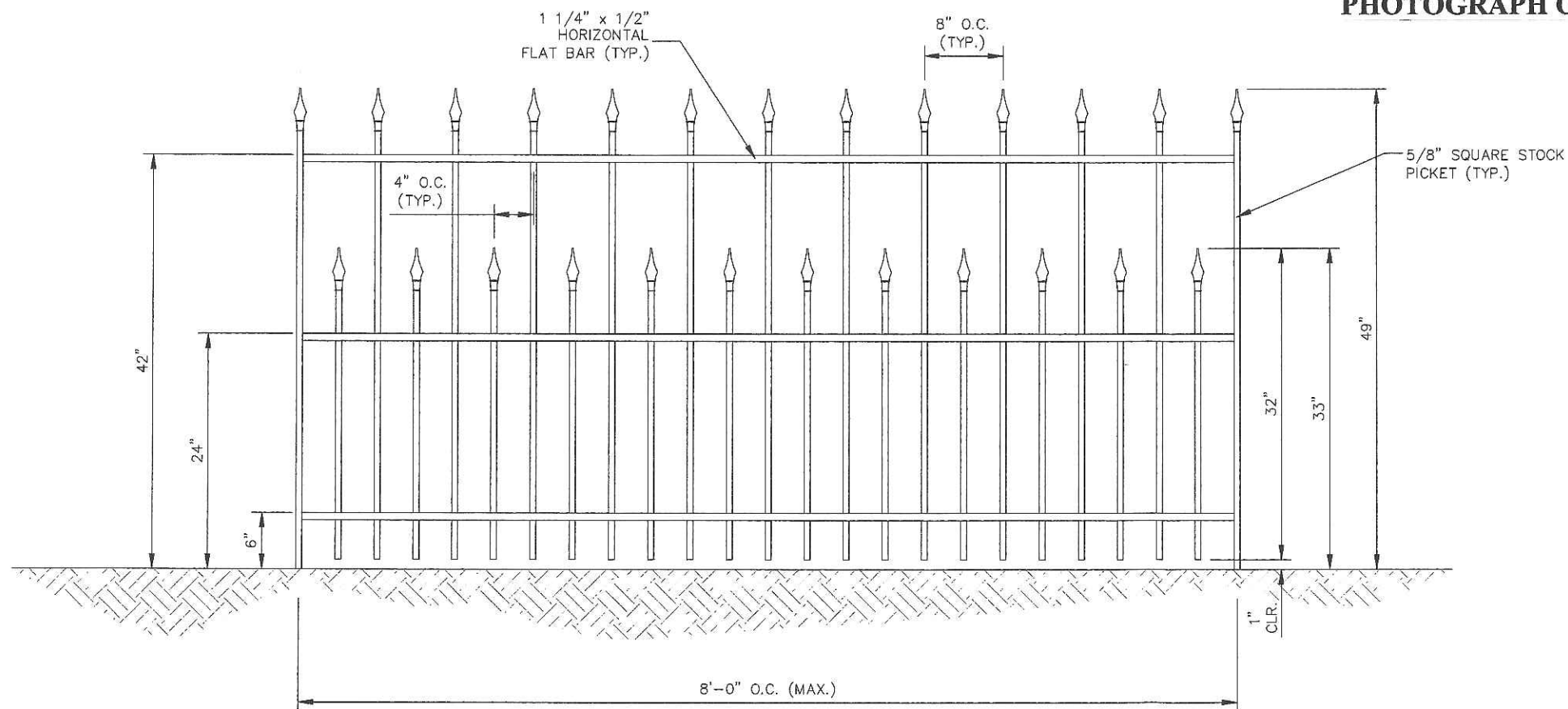
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LANDSCAPE PLAN

Sheet: **L-1.1**



PHOTOGRAPH OF SIMILAR FENCE TO BE PROPOSED



PROPOSED FENCE DETAIL

Scale 3/4" = 1'-0"

Project Name:
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 RENOVATION PROJECT**
 PORTLAND, MAINE
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Client Name and Address:

Firm Name and Address:

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**PROPOSED
 FENCE DETAIL**

F-1











